

2022年 6月 17日

Appendix I of RNTPC
Paper No. A/NE-TK/752A

此文件在 收到·城市規劃委員會
只會在收到所有必要的資料及文件後才正式確認收到
申請的日期。

This document is received on 17 JUN 2022
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-III
表格第 S16-III 號

APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP.131)

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

Applicable to Proposal Only Involving Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Renewal of Permission for such Temporary Use or Development*

適用於祇涉及位於鄉郊地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議*

*Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.

*其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.info.gov.hk/tpb/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.info.gov.hk/tpb/tc/plan_application/apply.html

General Note and Annotation for the Form

填寫表格的一般指引及註解

"Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/NE-7K/752
	Date Received 收到日期	17 JUN 2022

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件(倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.info.gov.hk/tpb/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載(網址: <http://www.info.gov.hk/tpb/>), 亦可向委員會秘書處(香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835)及規劃署的規劃資料查詢處(熱線: 2231 5000)(香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓)索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(Mr. 先生 / Mrs. 夫人 / Miss 小姐 / Ms. 女士 / Company 公司 / Organisation 機構)

Hung Wan Camping Limited 鴻運營有限公司

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(Mr. 先生 / Mrs. 夫人 / Miss 小姐 / Ms. 女士 / Company 公司 / Organisation 機構)

R-riches Property Consultants Limited

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼(如適用)	Lots 321 RP, 322 RP, 324 RP, 325 RP, 326 RP, 327, 328, 383 and 384RP (Part) in D.D. 17 and Adjoining Government Land, Ting Kok, Tai Po, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 2,841 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 534.6 sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積(倘有)	..... 120 sq.m 平方米 <input checked="" type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Ting Kok Outline Zoning Plan : S/NE-TK/19
(e) Land use zone(s) involved 涉及的土地用途地帶	"Agriculture" Zone
(f) Current use(s) 現時用途	Vacant (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 -

- is the sole "current land owner"^{#&} (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」^{#&} (請繼續填寫第 6 部分，並夾附業權證明文件)。
- is one of the "current land owners"^{#&} (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」^{#&} (請夾附業權證明文件)。
- is not a "current land owner"[#].
並不是「現行土地擁有人」[#]。

- The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)"[#].
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」[#]。

(b) The applicant 申請人 -

- has obtained consent(s) of "current land owner(s)"[#].
已取得 名「現行土地擁有人」[#]的同意。

Details of consent of "current land owner(s)" [#] obtained 取得「現行土地擁有人」 [#] 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- has notified "current land owner(s)"#
已通知 名「現行土地擁有人」#。

Details of the "current land owner(s)"# notified 已獲通知「現行土地擁有人」#的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼/處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- sent request for consent to the "current land owner(s)" on _____ (DD/MM/YYYY)#&
於 _____ (日/月/年)向每一名「現行土地擁有人」#郵遞要求同意書&

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- published notices in local newspapers on _____ (DD/MM/YYYY)&
於 _____ (日/月/年)在指定報章就申請刊登一次通知&

- posted notice in a prominent position on or near application site/premises on
09/06/2022 (DD/MM/YYYY)&
於 _____ (日/月/年)在申請地點/申請處所或附近的顯明位置貼出關於該申請的通知&

- sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on 09/06/2022 (DD/MM/YYYY)&
於 _____ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會&

Others 其他

- others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別	
(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas 位於鄉郊地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展 (For Renewal of Permission for Temporary Use or Development in Rural Areas, please proceed to Part (B)) (如屬位於鄉郊地區臨時用途/發展的規劃許可續期，請填寫(B)部分)	
(a) Proposed use(s)/development 擬議用途/發展	Proposed Temporary Barbecue Site and Caravan Holiday Camp with Ancillary Facilities for a Period of 3 Years and Land Filling (Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)
(b) Effective period of permission applied for 申請的許可有效期	<input checked="" type="checkbox"/> year(s) 年 3 <input type="checkbox"/> month(s) 個月
(c) Development Schedule 發展細節表	
Proposed uncovered land area 擬議露天土地面積	2,306.4 .....sq.m <input checked="" type="checkbox"/> About 約
Proposed covered land area 擬議有上蓋土地面積	534.6 .....sq.m <input checked="" type="checkbox"/> About 約
Proposed number of buildings/structures 擬議建築物/構築物數目	11
Proposed domestic floor area 擬議住用樓面面積	/sq.m <input type="checkbox"/> About 約
Proposed non-domestic floor area 擬議非住用樓面面積	534.6 .....sq.m <input checked="" type="checkbox"/> About 約
Proposed gross floor area 擬議總樓面面積	534.6 .....sq.m <input checked="" type="checkbox"/> About 約
Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明) Please refer to Plan 04.	
Proposed number of car parking spaces by types 不同種類停車位的擬議數目	
Private Car Parking Spaces 私家車車位	9
Motorcycle Parking Spaces 電單車車位	.....
Light Goods Vehicle Parking Spaces 輕型貨車泊車位	.....
Medium Goods Vehicle Parking Spaces 中型貨車泊車位	.....
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	.....
Others (Please Specify) 其他 (請列明)	.....
Proposed number of loading/unloading spaces 上落客貨車位的擬議數目	
Taxi Spaces 的士車位	.....
Coach Spaces 旅遊巴車位	.....
Light Goods Vehicle Spaces 輕型貨車車位	1
Medium Goods Vehicle Spaces 中型貨車車位	.....
Heavy Goods Vehicle Spaces 重型貨車車位	.....
Others (Please Specify) 其他 (請列明)	.....

Proposed operating hours 擬議營運時間 09:00 to 22:00 daily including public holiday (except for caravan camping activities)																															
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤/有關建築物?	Yes 是 <input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) Accessible from Ting Kok Road via a local access No 否 <input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示,並註明車路的闊度) <input type="checkbox"/>																														
(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話,請另頁註明可盡量減少可能出現不良影響的措施,否則請提供理據/理由。)																															
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?	Yes 是 <input type="checkbox"/> Please provide details 請提供詳情 No 否 <input checked="" type="checkbox"/>																														
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程?	Yes 是 <input checked="" type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地/池塘界線,以及河道改道、填塘、填土及/或挖土的細節及/或範圍) <input type="checkbox"/> Diversion of stream 河道改道 <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約 <input checked="" type="checkbox"/> Filling of land 填土 Area of filling 填土面積 734 sq.m 平方米 <input checked="" type="checkbox"/> About 約 Depth of filling 填土厚度 .not more than 0.2.. m 米 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度m 米 <input type="checkbox"/> About 約 No 否 <input type="checkbox"/>																														
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?	<table style="width:100%; border-collapse: collapse;"> <tr> <td style="width:50%;">On environment 對環境</td> <td style="width:10%;">Yes 會 <input type="checkbox"/></td> <td style="width:10%;">No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> </table>	On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
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Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													

	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>
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<p>(B) Renewal of Permission for Temporary Use or Development in Rural Areas 位於鄉郊地區臨時用途/發展的許可續期</p>	
<p>(a) Application number to which the permission relates 與許可有關的申請編號</p>	<p>A/ _____ / _____</p>
<p>(b) Date of approval 獲批給許可的日期</p>	<p>..... (DD 日/MM 月/YYYY 年)</p>
<p>(c) Date of expiry 許可屆滿日期</p>	<p>..... (DD 日/MM 月/YYYY 年)</p>
<p>(d) Approved use/development 已批給許可的用途/發展</p>	
<p>(e) Approval conditions 附帶條件</p>	<p><input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件</p> <p><input type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件</p> <p><input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件：</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>Reason(s) for non-compliance: 仍未履行的原因：</p> <p>.....</p> <p>.....</p> <p>(Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)</p>
<p>(f) Renewal period sought 要求的續期期間</p>	<p><input type="checkbox"/> year(s) 年</p> <p><input type="checkbox"/> month(s) 個月</p>

7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary. (現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明)。

Background

The applicant seeks to use Lots 321 RP, 322 RP, 324 RP, 325 RP, 326 RP, 327, 328, 383 and 384 RP (Part) in D.D. 17 and Adjoining Government Land, Ting Kok, Tai Po, New Territories (the Site) for 'Proposed Temporary Barbecue Site and Caravan Holiday Camp with Ancillary Facilities for a Period of 3 Years and Land Filling (proposed development) (Plan P01).

Due to the travel restrictions affected by the outbreak of COVID-19 in Hong Kong, the demands for local holiday camping have dramatically increased. The applicant seeks to operate a new caravan holiday camp with barbecue activities at the Site to meet the pressing demand for such use in Hong Kong.

Planning Context

The Site falls within an area zoned as "Agriculture" ("AGR") on the Approved Ting Kok Outline Zoning Plan No.: S/NE-TK/19 (Plan P02). According to the Notes of the OZP, 'caravan holiday camp' and 'barbecue site' is not column one nor two within "AGR" zone, which require planning permission from the Town Planning Board (the Board). The applied use is similar to the nearby approved S.16 planning applications for 'recreation' purposes, hence, it is considered not incompatible with the surrounding areas. As the proposed development is only on temporary basis, it will not jeopardise the long term planning intention of the "AGR" zone.

Development Proposal

The Site occupied an area of 2,841 sq.m (about), including 120 sq.m of Government Land (Plan P03). The operation hours of the Site are from 09:00 to 22:00 daily including public holiday (except for overnight caravan camping activities). The estimated maximum number of visitor per day are 40 (about). The estimated number of staff working at the Site are 8.

11 structures are proposed at the Site for caravan camps, storage of goods, washroom, changing rooms, rain shelter for circulation, refreshment kiosk, reception, storage of tools and rain shelter for barbecue area with total GFA of 534.6 sq.m (about) (Plan P04). A total of 6 nos. of caravan camping sites are provided for visitors. The remaining uncovered area are proposed for open space and circulation area.

The Site is accessible from Ting Kok Road via a local access (Plan P01). 9 nos. of private car parking spaces and 1 no. of loading/unloading (L/UL) space for light goods vehicles are provided at the Site. No medium and heavy vehicle including container vehicle, as defined in the Road Traffic Ordinance, are allowed to be parked/stored on or enter/exit the Site at any time during the planning approval. Sufficient space is provided for vehicle to smoothly manoeuvre to/from and within the Site to ensure no queuing, turning back outside the Site during the planning approval period (Plan 6). As traffic trips generated and attracted by the proposed development is minimal, adverse traffic impact to the surrounding road network should not be anticipated (Appendix I).

The Site involves 734 sq.m of filling of concrete of not more than 0.2m (about) for site formation of structures and parking and L/UL spaces (Plan P05). As heavy loading of structures and vehicles would compact the existing soiled ground and weaken the ground surface, concrete site formation is required to provide stronger ground reinforcement to stabilise the existing soiled ground and prevent erosion from surface run-off. Therefore, land filling area is considered necessary and has been kept to minimal for the operation of the proposed development. The applicant will reinstate the Site to an amenity area after the planning approval period.

The applicant will strictly follow the 'Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites' by the EPD to minimize all possible environmental impacts on the nearby sensitive receivers. The applicant will follow the Professional Persons Environmental Consultative Committee Practice Notes (ProPECCPNs) for sewage treatment at the Site. No public announcement system or any form of audio amplification system will be used at the Site during the planning approval period.

Conclusion

The proposed development will not create significant adverse traffic, environmental and drainage impacts to the surrounding areas. Adequate mitigation measures, i.e. submission of drainage and fire service installations proposals will be provided to minimize nuisance to the existing environment after planning approval has been granted by the Board.

In view of the above, the Board is hereby respectfully requested to approve the subject application for 'Proposed Temporary Barbecue Site and Caravan Holiday Camp with Ancillary Facilities for a Period of 3 Years and Land Filling'.

8. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.

本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署



Michael WONG

Name in Block Letters
姓名（請以正楷填寫）

Applicant 申請人 / Authorized Agent 獲授權代理人



Position (if applicable)
職位（如適用）

Professional Qualification(s) Member 會員 / Fellow of 資深會員

專業資格

HKIP 香港規劃師學會 / HKIA 香港建築師學會 /

HKIS 香港測量師學會 / HKIE 香港工程師學會 /

HKILA 香港園境師學會 / HKIUD 香港城市設計學會

RPP 註冊專業規劃師

Others 其他

on behalf of
代表

R-Riches Property Consultants Limited

Company 公司 / Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

20/04/2022

..... (DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

(a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置/地址	Lots 321 RP, 322 RP, 324 RP, 325 RP, 326 RP, 327, 328, 383 and 384 RP (Part) in D.D. 17 and Adjoining Government Land, Ting Kok, Tai Po, New Territories
Site area 地盤面積	2,841 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 120 sq. m 平方米 <input checked="" type="checkbox"/> About 約)
Plan 圖則	Approved Ting Kok Outline Zoning Plan No.: S/NE-TK/19
Zoning 地帶	"Agriculture" Zone
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas for a Period of 位於鄉郊地區的臨時用途/發展為期 <input checked="" type="checkbox"/> Year(s) 年 <u>3</u> <input type="checkbox"/> Month(s) 月 _____ <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas for a Period of 位於鄉郊地區臨時用途/發展的規劃許可續期為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____
Applied use/ development 申請用途/發展	Proposed Temporary Barbecue Site and Caravan Holiday Camp with Ancillary Facilities for a Period of 3 Years and Land Filling

(i) Gross floor area and/or plot ratio 總樓面面積及/或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	/	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	534.6	<input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of block 幢數	Domestic 住用	/	
	Non-domestic 非住用	11	
(iii) Building height/No. of storeys 建築物高度/層數	Domestic 住用	/	<input type="checkbox"/> (Not more than 不多於) m 米
		/	<input type="checkbox"/> (Not more than 不多於) Storeys(s) 層
	Non-domestic 非住用	2.8 - 5 (about)	<input type="checkbox"/> (Not more than 不多於) m 米
		1	<input type="checkbox"/> (Not more than 不多於) Storeys(s) 層
(iv) Site coverage 上蓋面積	19	%	<input checked="" type="checkbox"/> About 約
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數		9
	Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____		9 (PC)
Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位/停車處總數			1
Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____ _____			1 (LGV)

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件

	<u>Chinese</u> 中文	<u>English</u> 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Plan showing the zoning of the site, Plan showing the land status of the site		
Location Plan, Swept path analysis		
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Trip generation and attraction		
<p>Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號</p>		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

Estimated Trip Generation and Attraction

**Proposed Temporary Barbecue Site and Caravan Holiday Camp with Ancillary Facilities
for a Period of 3 Years and Filling of Land in "Agriculture" Zone,
Various Lots in D.D. 17, Ting Kok, Tai Po, New Territories**

- (i) The application site (the Site) is accessible from Ting Kok Road via a local access. A total of 10 nos. of spaces are provided at the Site, details are as follows:

Type of Space	No. of Space
Private Car Parking Space for Visitor - 2.5 m (W) x 5 m (L)	8
Private Car Parking Space for Staff - 2.5 m (W) x 5 m (L)	1
L/UL Space for Light Goods Vehicle - 3.5 m (W) x 7 m (L)	1

- (ii) Advanced booking is required for visitor for the use of parking space, this could help to regulate the use of parking space and prevent excessive number of vehicle and visitor to the Site and affect the public.
- (iii) The operation hours of the proposed development are from 09:00 to 22:00 daily, including public holidays (except for overnight caravan camping activities). Please see below the trip generation and attraction of the proposed development:

Time Period	Trip Generation and Attraction						2-Way Total
	Private Car (Visitor)		Private Car (Staff)		Light Goods Vehicle		
	In	Out	In	Out	In	Out	
Trips at <u>AM</u> peak per hour (11:00 – 12:00)	1	7	1	1	0.5	0.5	11
Trips at <u>PM</u> peak per hour (15:00 – 16:00)	7	1	1	1	0.5	0.5	11
Traffic trip per hour (average)	2	2	1	1	0.5	0.5	7

- (iv) In view of the above, the parking and L/UL provisions are adequate for the site operation and adverse traffic impact to the surrounding road network should not be anticipated.

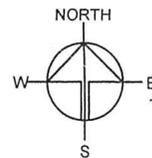
LOCATION OF THE APPLICATION SITE

APPLICATION SITE AREA : 2,841 m² (ABOUT)

VEHICULAR ACCESS
ACCESSIBLE FROM TING KOK ROAD VIA A LOCAL
ACCESS

ACCESSIBLE FROM TING
KOK ROAD VIA A LOCAL
ACCESS

APPLICATION SITE



PLANNING CONSULTANT

R-RICHES PROPERTY
CONSULTANTS LIMITED

PROJECT

PROPOSED TEMPORARY
BARBECUE SITE AND CARAVAN
HOLIDAY CAMP WITH
ANCILLARY FACILITIES FOR A
PERIOD OF 3 YEARS AND LAND
FILLING

SITE LOCATION

VARIOUS LOTS IN D.D. 17 AND
ADJOINING GOVERNMENT
LAND, TING KOK, TAI PO, NEW
TERRITORIES

SCALE

1 : 1500 @ A4

DRAWN BY

MN

DATE

11.4.2022

CHECKED BY

DATE

APPROVED BY

DATE

LEGEND

 APPLICATION SITE

DWG. TITLE

LOCATION PLAN

DWG NO.

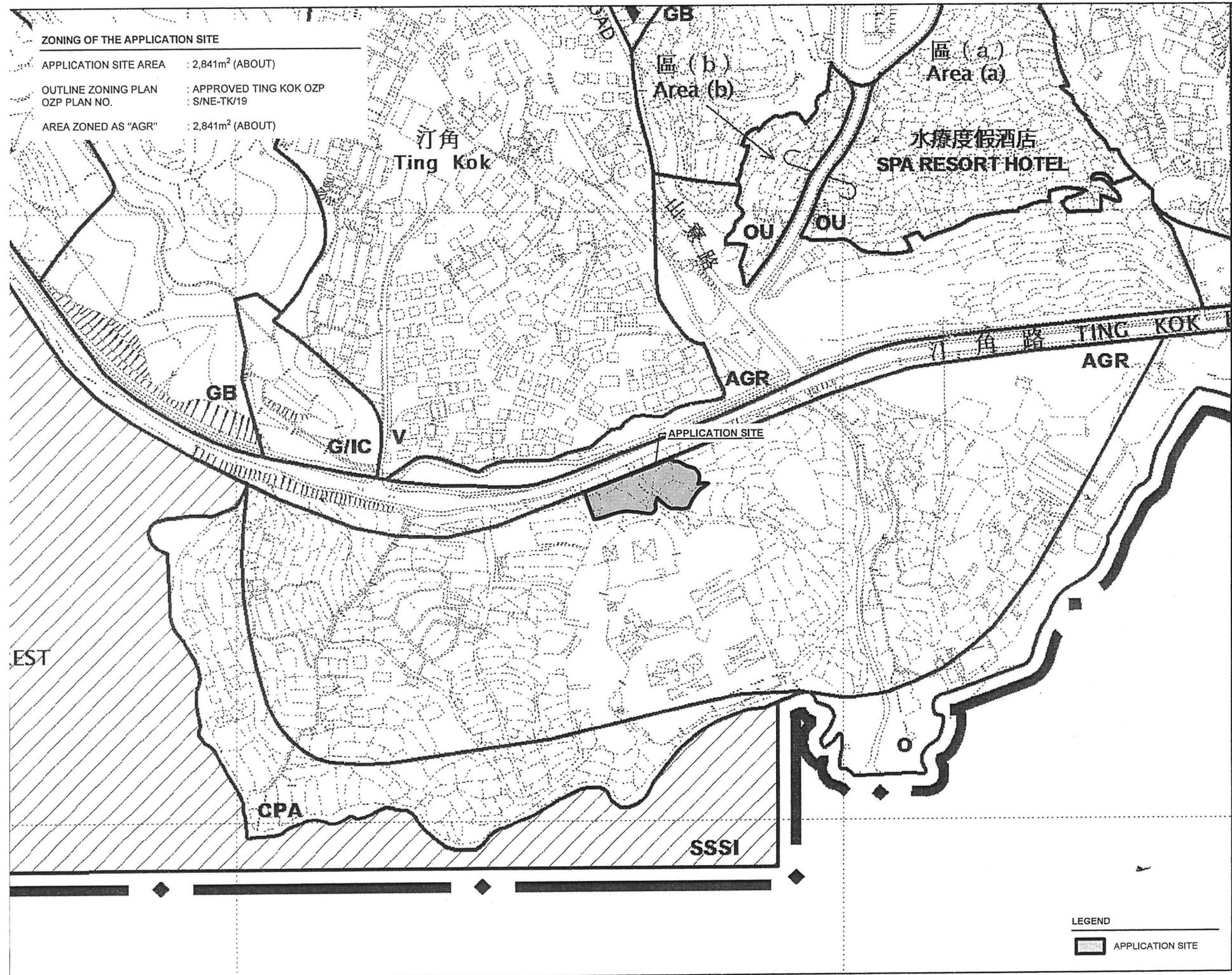
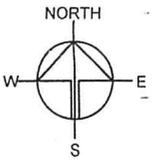
P01

VER.

001

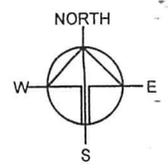
ZONING OF THE APPLICATION SITE

APPLICATION SITE AREA : 2,841m² (ABOUT)
 OUTLINE ZONING PLAN : APPROVED TING KOK OZP
 OZP PLAN NO. : S/NE-TK/19
 AREA ZONED AS "AGR" : 2,841m² (ABOUT)



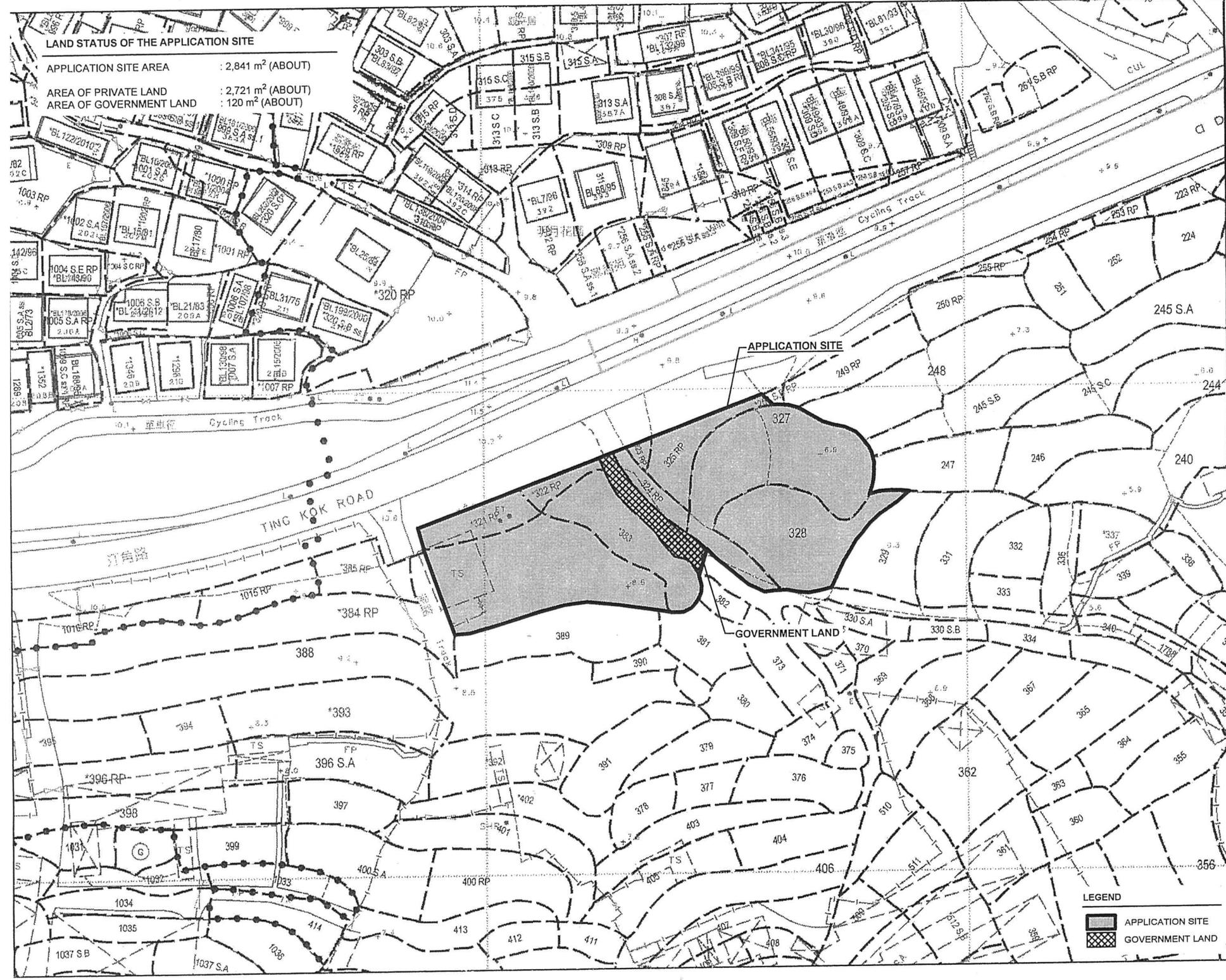
PLANNING CONSULTANT	
R-RICHES PROPERTY CONSULTANTS LIMITED	
PROJECT	
PROPOSED TEMPORARY BARBECUE SITE AND CARAVAN HOLIDAY CAMP WITH ANCILLARY FACILITIES FOR A PERIOD OF 3 YEARS AND LAND FILLING	
SITE LOCATION	
VARIOUS LOTS IN D.D. 17 AND ADJOINING GOVERNMENT LAND, TING KOK, TAI PO, NEW TERRITORIES	
SCALE	
1 : 4000 @ A4	
DRAWN BY	DATE
MN	11.4.2022
CHECKED BY	DATE
APPROVED BY	DATE
DWG. TITLE	
ZONING OF THE SITE	
DWG NO.	VER.
P02	001

LEGEND
 APPLICATION SITE



LAND STATUS OF THE APPLICATION SITE

APPLICATION SITE AREA : 2,841 m² (ABOUT)
 AREA OF PRIVATE LAND : 2,721 m² (ABOUT)
 AREA OF GOVERNMENT LAND : 120 m² (ABOUT)



PLANNING CONSULTANT	
R-RICHES PROPERTY CONSULTANTS LIMITED	
PROJECT	
PROPOSED TEMPORARY BARBECUE SITE AND CARAVAN HOLIDAY CAMP WITH ANCILLARY FACILITIES FOR A PERIOD OF 3 YEARS AND LAND FILLING	
SITE LOCATION	
VARIOUS LOTS IN D.D. 17 AND ADJOINING GOVERNMENT LAND, TING KOK, TAI PO, NEW TERRITORIES	
SCALE	
1 : 1000 @ A4	
DRAWN BY	DATE
MN	11.4.2022
CHECKED BY	DATE
APPROVED BY	DATE
DWG. TITLE	
LAND STATUS OF THE SITE	
DWG. NO.	VER.
P03	001

LEGEND

 APPLICATION SITE

 GOVERNMENT LAND

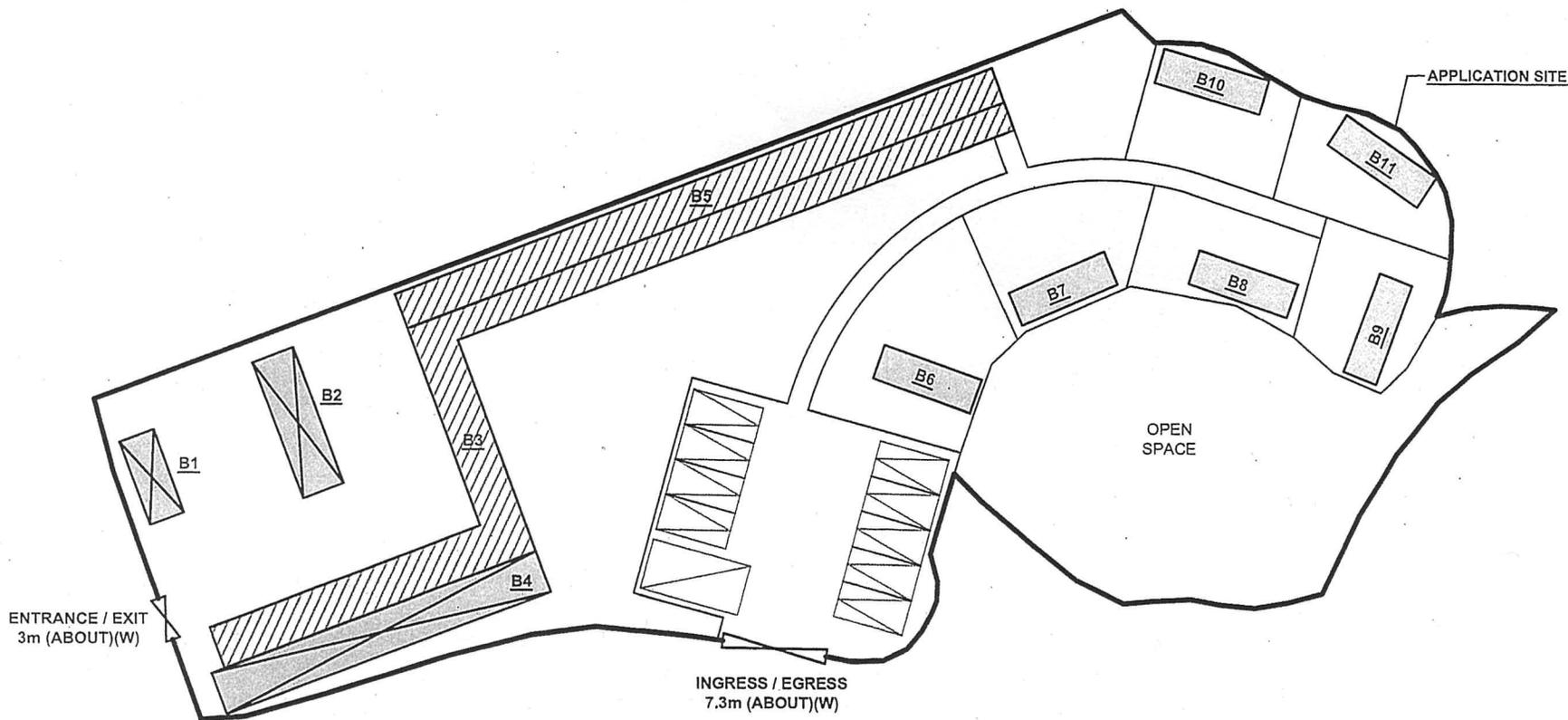
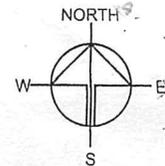
DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	: 2,841 m ² (ABOUT)
COVERED AREA	: 534.6 m ² (ABOUT)*
UNCOVERED AREA	: 2,306.4 m ² (ABOUT)
PLOT RATIO	: 0.19 (ABOUT)
SITE COVERAGE	: 19 % (ABOUT)
NO. OF STRUCTURE	: 11 (INCLUDING 6 CARAVAN CAMPS)
DOMESTIC GFA	: NOT APPLICABLE
NON-DOMESTIC GFA	: 534.6 m ² (ABOUT)*
TOTAL GFA	: 534.6 m ² (ABOUT)*

BUILDING HEIGHT	: 2.8 m - 5 m (ABOUT)
NO. OF STOREY	: 1

*INCLUDING THE AREA OF CARAVAN CAMPS

STRUCTURE	USE	COVERED AREA	GFA	BUILDING HEIGHT
B1	STORAGE OF TOOLS	15m ² (ABOUT)	15m ² (ABOUT)	3m (ABOUT)(1-STOREY)
B2	WASHROOM AND CHANGING ROOM	30m ² (ABOUT)	30m ² (ABOUT)	3m (ABOUT)(1-STOREY)
B3	RAIN SHELTER FOR CIRCULATION	195m ² (ABOUT)	195m ² (ABOUT)	5m (ABOUT)(1-STOREY)
B4	REFRESHMENT KIOSK, RECEPTION AND STORAGE OF TOOLS	72m ² (ABOUT)	72m ² (ABOUT)	3m (ABOUT)(1-STOREY)
B5	RAIN SHELTER FOR BARBECUE AREA	111m ² (ABOUT)	111m ² (ABOUT)	5m (ABOUT)(1-STOREY)
B6-B11	CARAVAN	18.6m ² (ABOUT)	111.6m ² (ABOUT)	2.8m(AABOUT)(1-STOREY)
TOTAL		534.6m² (ABOUT)	534.6m² (ABOUT)	



PLANNING CONSULTANT

R-RICHES PROPERTY CONSULTANTS LIMITED

PROJECT

PROPOSED TEMPORAL BARBECUE SITE AND CARAVAN HOLIDAY CAMP WITH ANCILLARY FACILITIES FOR PERIOD OF 3 YEARS AND LAI FILLING

SITE LOCATION

VARIOUS LOTS IN D.D. 17 ADJOINING GOVERNMENT LAND, TING KOK, TAI PO, NE TERRITORIES

SCALE

1 : 500 @ A4

DRAWN BY

MN

DATE

20.4.2022

REVISED BY

OL

DATE

9.6.2022

APPROVED BY

DATE

DWG. TITLE

LAYOUT PLAN

DWG. NO.

VER.

LEGEND

- APPLICATION SITE
- STRUCTURE (ENCLOSED)
- STRUCTURE (CANOPY)
- PARKING SPACE
- LOADING / UNLOADING SPACE
- INGRESS / EGRESS
- CARAVAN CAMP SITE

PARKING AND LOADING/UNLOADING PROVISIONS

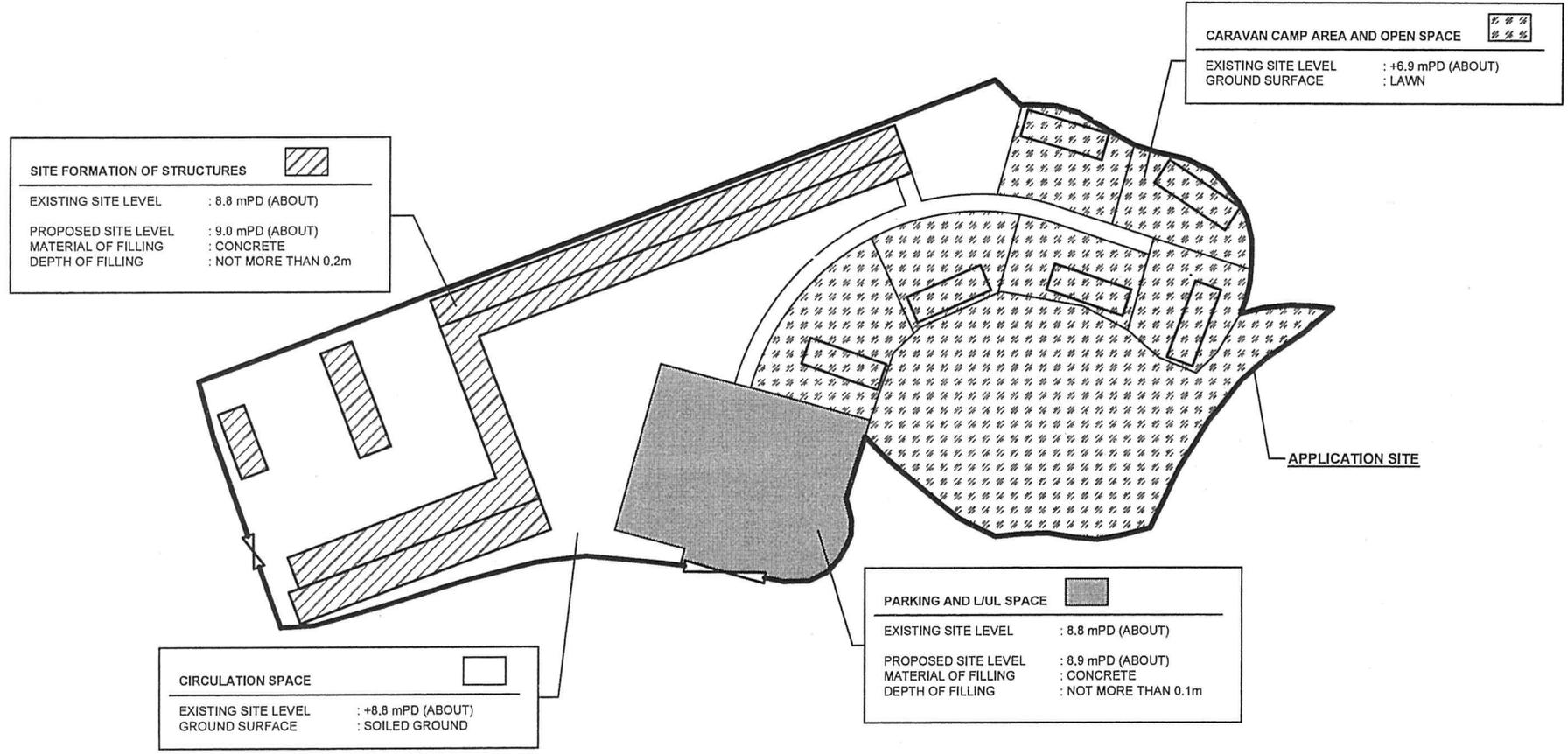
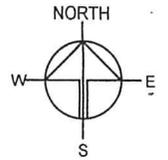
NO. OF PRIVATE CAR PARKING SPACE	: 9
DIMENSION OF PARKING SPACE	: 5 m (L) X 2.5 m (W)
NO. OF L/U/L SPACE FOR LIGHT GOODS VEHICLE	: 1
DIMENSION OF L/U/L SPACE	: 7 m (L) X 3.5 m (W)

CARAVAN CAMP SITE

NO. OF CARAVAN CAMP SITE	: 6
TOTAL AREA OF CARAVAN CAMP	: 111.6 m ² (ABOUT)
DIMENSION OF CARAVAN CAMP	: 2.44 m (W) X 7.62 m (L)(ABOUT)
HEIGHT OF CARAVAN	: 2.8 m (ABOUT)
COVERED AREA	: 18.6 m ² (ABOUT) EACH

PAVED RATIO OF THE APPLICATION SITE

APPLICATION SITE AREA	: 2,841 m ²	(ABOUT)
COVERED BY STRUCTURE	: 423 m ²	(ABOUT)
LAND FILLING AREA	: 734 m ²	(ABOUT)
DEPTH OF LAND FILLING	: NOT MORE THAN 0.2m	(ABOUT)
MATERIAL OF LAND FILLING	: CONCRETE	
PURPOSE OF LAND FILLING	: SITE FORMATION OF STRUCTURES PARKING AND LOADING/UNLOADING SPACE	
LAWN AREA	: 1,112 m ²	(ABOUT)
USE	: CARAVAN CAMPING AREA OPEN SPACE	
SOILED GROUND AREA	: 995 m ²	(ABOUT)
USE	: CIRCULATION SPACE	



SITE FORMATION OF STRUCTURES 

EXISTING SITE LEVEL : 8.8 mPD (ABOUT)

PROPOSED SITE LEVEL : 9.0 mPD (ABOUT)

MATERIAL OF FILLING : CONCRETE

DEPTH OF FILLING : NOT MORE THAN 0.2m

CARAVAN CAMP AREA AND OPEN SPACE 

EXISTING SITE LEVEL : +6.9 mPD (ABOUT)

GROUND SURFACE : LAWN

PARKING AND L/U/L SPACE 

EXISTING SITE LEVEL : 8.8 mPD (ABOUT)

PROPOSED SITE LEVEL : 8.9 mPD (ABOUT)

MATERIAL OF FILLING : CONCRETE

DEPTH OF FILLING : NOT MORE THAN 0.1m

CIRCULATION SPACE 

EXISTING SITE LEVEL : +8.8 mPD (ABOUT)

GROUND SURFACE : SOILED GROUND

PLANNING CONSULTANT
R-RICHES PROPERTY CONSULTANTS LIMITED

PROJECT
PROPOSED TEMPORARY BARBECUE SITE AND CARAVAN HOLIDAY CAMP WITH ANCILLARY FACILITIES FOR A PERIOD OF 3 YEARS AND LAND FILLING

SITE LOCATION
VARIOUS LOTS IN D.D. 17 AND ADJOINING GOVERNMENT LAND, TING KOK, TAI PO, NEW TERRITORIES

SCALE
1 : 600 @ A4

DRAWN BY	DATE
MN	11.4.2022
CHECKED BY	DATE
APPROVED BY	DATE

DWG. TITLE LAND FILLING AREA	
DWG NO. P05	VER. 001

LEGEND

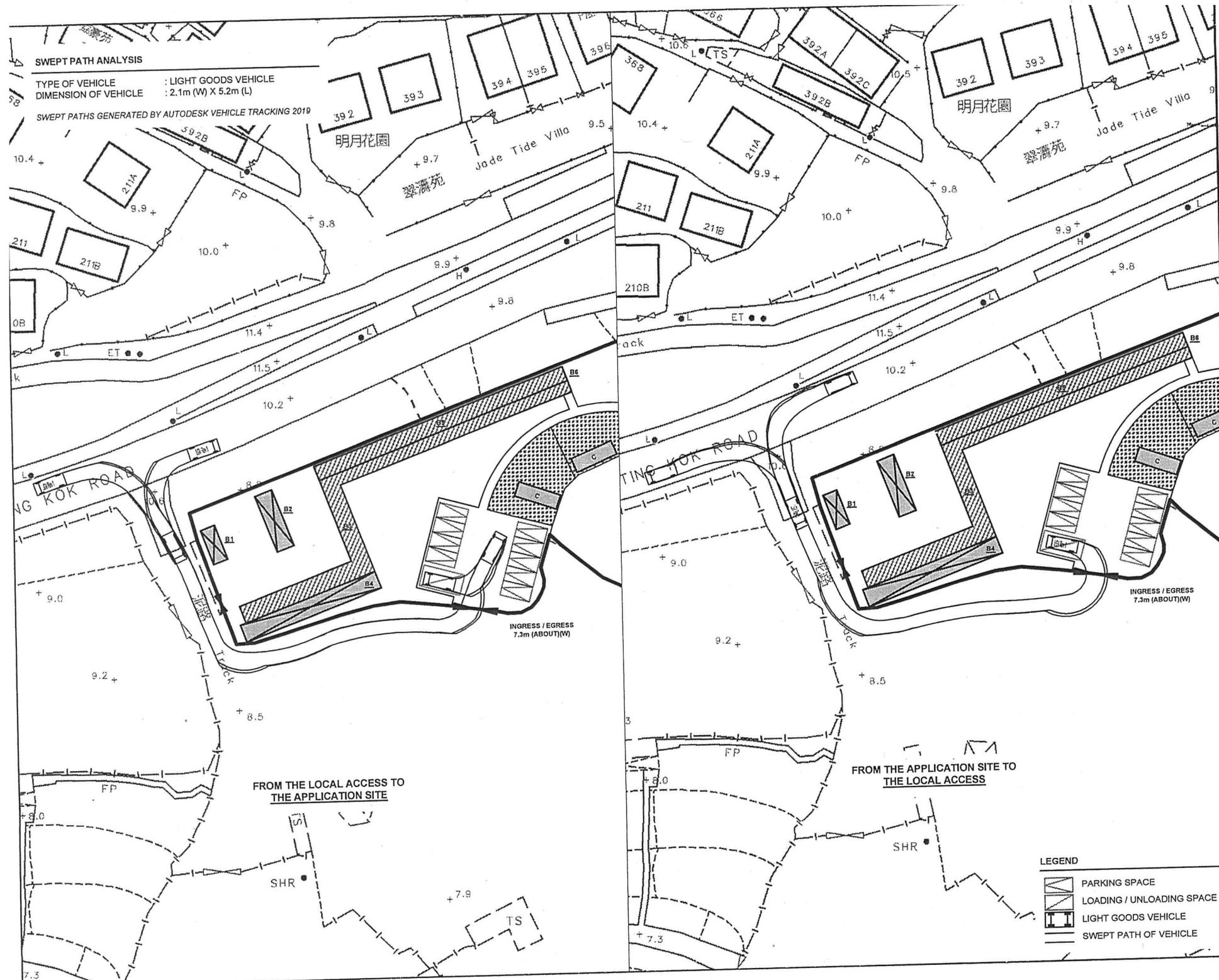
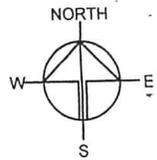
 APPLICATION SITE

 INGRESS / EGRESS

SWEPT PATH ANALYSIS

TYPE OF VEHICLE : LIGHT GOODS VEHICLE
 DIMENSION OF VEHICLE : 2.1m (W) X 5.2m (L)

SWEPT PATHS GENERATED BY AUTODESK VEHICLE TRACKING 2019



PLANNING CONSULTANT
R-RICHES PROPERTY CONSULTANTS LIMITED

PROJECT
 PROPOSED TEMPORARY BARBECUE SITE AND CARAVAN HOLIDAY CAMP WITH ANCILLARY FACILITIES FOR A PERIOD OF 3 YEARS AND LAND FILLING

SITE LOCATION
 VARIOUS LOTS IN D.D. 17 AND ADJOINING GOVERNMENT LAND, TING KOK, TAI PO, NEW TERRITORIES

SCALE
 1 : 800 @ A4

DRAWN BY MN	DATE 11.4.2022
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CHECKED BY	DATE
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APPROVED BY	DATE
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DWG. TITLE
 SWEPT PATH ANALYSIS

DWG NO. P06	VER. 001
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- LEGEND**
- PARKING SPACE
 - LOADING / UNLOADING SPACE
 - LIGHT GOODS VEHICLE
 - SWEPT PATH OF VEHICLE

FROM THE LOCAL ACCESS TO THE APPLICATION SITE

FROM THE APPLICATION SITE TO THE LOCAL ACCESS

INGRESS / EGRESS 7.3m (ABOUT)W

INGRESS / EGRESS 7.3m (ABOUT)W

Our Ref. : DD17 Lot 321 RP & VL
Your Ref. : TPB/A/NE-TK/752

The Secretary
Town Planning Board
15/F, North Point Government office
333 Java Road
North Point, Hong Kong

By Email

29 August 2022

Dear Sir,

1st Further Information

**Proposed Temporary Barbecue Site and Caravan Holiday Camp with Ancillary Facilities
for a Period of 3 Years and Filling of Land in "Agriculture" Zone,
Various Lots in D.D. 17, Ting Kok, Tai Po, New Territories**

(S.16 Planning Application No. A/NE-TK/752)

We are writing to submit further information to address departmental comments of the subject application (**Appendix I**). Your kind attention to the matter is much appreciated.

Should you require more information regarding the application, please contact our Mr. Orpheus LEE at 2339 0884 or the undersigned at your convenience.

Yours faithfully,

For and on behalf of
R-riches Property Consultants Limited

Matthew NG
Planning and Development Manager

cc DPO/STN, Pland

(Attn.: Ms. Aileen CHENG
(Attn.: Mr. Jackin YIP

email: akycheng@pland.gov.hk)
email: jhyyip@pland.gov.hk)

Responses-to-Comments

**Proposed Temporary Barbecue Site and Caravan Holiday Camp with Ancillary Facilities
for a Period of 3 Years and Filling of Land in “Agriculture” Zone,
Various Lots in D.D. 17, Ting Kok, Tai Po, New Territories**

(Application No. A/NE-TK/752)

(i) A RtoC Table:

Departmental Comments	Applicant’s Responses
1. Comments of Chief Engineer / Mainland North, Drainage Services Department (CE/MN, DSD) (Contact Person: Ms. Karen HO; Tel: 2300 1364)	
(a) I have reservation on the subject application as there is landfilling works to be carried out at the application site which may cause adverse impact to the surrounding lands and premises.	Please note that the proposed landfilling only consists of 0.2m thick concrete as ground surface protection/footpath covering 1 in 4 area of the site. No change of configuration in general and unlikely to cause adverse drainage impact to the surrounding and premises.
(b) As such, the applicant is required to provide further information to demonstrate that the development will not cause adverse drainage impact to the adjacent areas.	The attached surface water calculations demonstrate that the existing drainage system capable to absorb the runoff from proposed temporary development and will not cause adverse drainage impact to the adjacent areas (Annex I).
(c) While there are DSD’s public stormwater drains in this area, the applicant should have its own stormwater collection and discharge system to cater for the runoff generated within the Site and overland flow from surrounding of the Site, e.g. surface channel of sufficient size along the perimeter of the Site; sufficient openings should be provided at the bottom of the boundary wall/fence to allow surface runoff to pass through the Site if any boundary wall/fence are to be erected. Any existing flow path affected should be re-provided. The applicant should neither obstruct overland flow nor adversely affect the existing natural streams, village drains, ditches and the adjacent areas. The applicant	DSD’s public stormwater drains and all existing land user’s drains together with our proposed site area which originally included in the existing semi-natural drainage system. The proposed temporary development will continue to accept flow from surround including DSD’s stormwater drains. Sufficient openings (i.e.100mm in height) are provided at the bottom of the boundary wall/fence to allow surface runoff to pass through the site. No obstruction of overland flow nor adversely affect the existing natural streams, village drains, ditches and the adjacent areas. Our drainage scheme aims to fully adopt the existing original drainage system to avoid damage or nuisance caused by failure or

	is required to maintain the drainage systems properly and rectify/modify the nearby existing/original drainage systems if they are found to be inadequate or ineffective to accommodate the additional runoff arisen from the development of the Site. The applicant shall also be liable for and shall indemnify claims and demands arising out of damage or nuisance caused by failure or ineffectiveness of the modified drainage systems caused by their works.	ineffectiveness of the modified/additional new drainage systems (Annex I).
(d)	There is existing public sewers in the vicinity of the Site. Our drainage record plan is attached for your ease of reference.	Noted.
€	For works to be undertaken outside the lot boundary, prior consent and agreement from LandsD and/or relevant private lot owners should be sought.	Noted.
2. Comments of the Director of Environmental Protection (DEP) (Contact Person: Ms. Ada FUNG; Tel: 2835 1186)		
(a)	We have no objection to the application.	Noted.
(b)	Should the application be approved, the applicant is advised to follow the relevant mitigation measures and requirements in the “Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites” (COP), in particular the applicant should follow Notes to Annex I S(1) “Sewage discharge from the site should be directed to nearby public sewer. In case of unavailability of public sewer, a septic tank and soakaway pit should be provided.” Please be advised that there are manholes for connection to public sewers along Ting Kok Road in the vicinity of the subject site. In case connection to public sewer cannot be made and septic tank and soakaway system will be used, its design and construction shall follow the requirements of EPD’s Practice Note for Professional Person (ProPECC) PN	Noted. The applicant will strictly follow the “Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites” and make direct connection to nearby public sewers along Ting Kok Road for discharge of sewage generated from the Site.

	5/93 "Drainage Plans subject to Comment by the Environmental Protection Department" including percolation test and minimum clearance requirements.	
(c)	The subject site is about 170m away from Ting Kok Site of Special Scientific Interest (SSSI). In view of the vicinity of the site to the SSSI, should the application be approved, an approval condition on the submission of sewerage impact assessment (SIA) and the implementation of sewerage facilities identified in the SIA is recommended.	Noted. The applicant will submit sewerage impact assessment for your consideration and implement the proposed sewerage facilities after planning permission has been obtained from the Board.
(d)	According to our record, no environmental complaint was received related to the application suite in the past three years.	Noted.
3. Comments of the Chief Town Planner/Urban Design and Landscape Section, Planning Department (CTP/UD&L, PlanD) (Contact Person: Mr. Samuel HUI; Tel: 3565 3957)		
(a)	Based on the aerial photo of 2020, the site is located in a rural coastal plains landscape character comprising of farmlands, vacant lands, village houses, temporary structures and scattered tree groups. According to the record, previous planning application for barbecue site, hobby farm and filling of land (Application No. A/NE-TK/687, 697, 698, 704 and 712) within the same "AGR" zone was approved. According to the layout plan attached in the application form, majority of the site is proposed to uncovered lawn and soiled ground. The proposed use is not incompatible to the landscape character of the surrounding area.	Noted.
(b)	According to our inspection photos taken in June 2022, the site is fenced off and partly covered by grass and vegetation. Some temporary structures, car parking and storage of kayak were found within the site. Some existing trees of common species within the application site may be in conflict	Noted. The proposed layout (i.e. location of structures, parking spaces the land filling works) are revised by the applicant to minimise impact on existing trees (Plans 1 and 2). The submitted tree survey report also provided information on the existing trees within the Site, the proposed tree treatment

	with the proposed structures and land filling works. The proposed location of ingress/egress may be in conflict with the existing tree outside the application site. Without tree information, proposed tree treatment and mitigation measures provided in the application, the impact on existing landscape resources arising from the proposed use could not be reasonably ascertained.	and mitigation measures for your consideration (Annex II).
(c)	The applicant is advised to provide information on the existing trees within the application site including location, species and sizes, general condition with photos, proposed tree treatment and mitigation measures for consideration.	Tree survey report (with information on the existing trees within the Site and respective mitigation measures) is provided for your consideration (Annex II).
(d)	The applicant should be advised that approval of the application does not imply approval of tree works such as pruning, transplanting and felling under lease. The applicant is reminded to seek approval for any proposed tree works from relevant departments prior to commencement of the works.	Noted.
4. Comments of Commissioner for Transport (Contact Person: Mr. Issac CHAN; Tel: 2399 2406)		
(a)	The applicant shall justify if the proposed 8 nos. of parking spaces are sufficient to meet the parking demand generated by the development, with a breakdown on the proposed no. of visitors to the site using the proposed facilities.	It is estimated that the Site would be able to accommodate not more than 40 visitors per day, within which, not more than 24 visitors (<i>max. 4 visitors per caravan, 6 caravans are provided at the Site</i>) will be served overnight at the holiday camp portion of the Site, while the remaining no. of visitor will be served at the barbecue site and they are required to leave at the Site at 22:00. Other facilities provided at the Site (i.e. refreshment kiosk, storage of tools, washroom and changing room etc.) intend to support the operation of holiday camp. Advanced booking is required for visitors to access the Site and the use of parking spaces, which could help to prevent

		<p>excessive number of vehicles at the Site and affect the public. Majority of visitor are recommended to make good use of public transport provided at Ting Kok Road then walk to the Site (Annex III). As the Site is served with public transport services and booking is required for the use parking space at the Site, adverse traffic impact to the surrounding road network should not be anticipated.</p>
(b)	<p>For the village access road, it is not under TD's management. It is suggested that the land status, management and maintenance responsibilities of the village access should be clarified with the relevant lands and maintenance authorities accordingly in order to avoid potential land disputes.</p>	<p>Noted. The applicant will liaise with relevant lot owners and Government departments for the management and maintenance responsibilities of the village access after planning permission has been obtained from the Board.</p>

Surface water disposal calculation of Existing stormwater drainage system

For

Temporary BBQ and camp site

For

Period for 3 years various lots in D.D.17, Ting Kok Village, Tai Po, N.T.

(Ref. no. TPB/A/NE-TK/752)

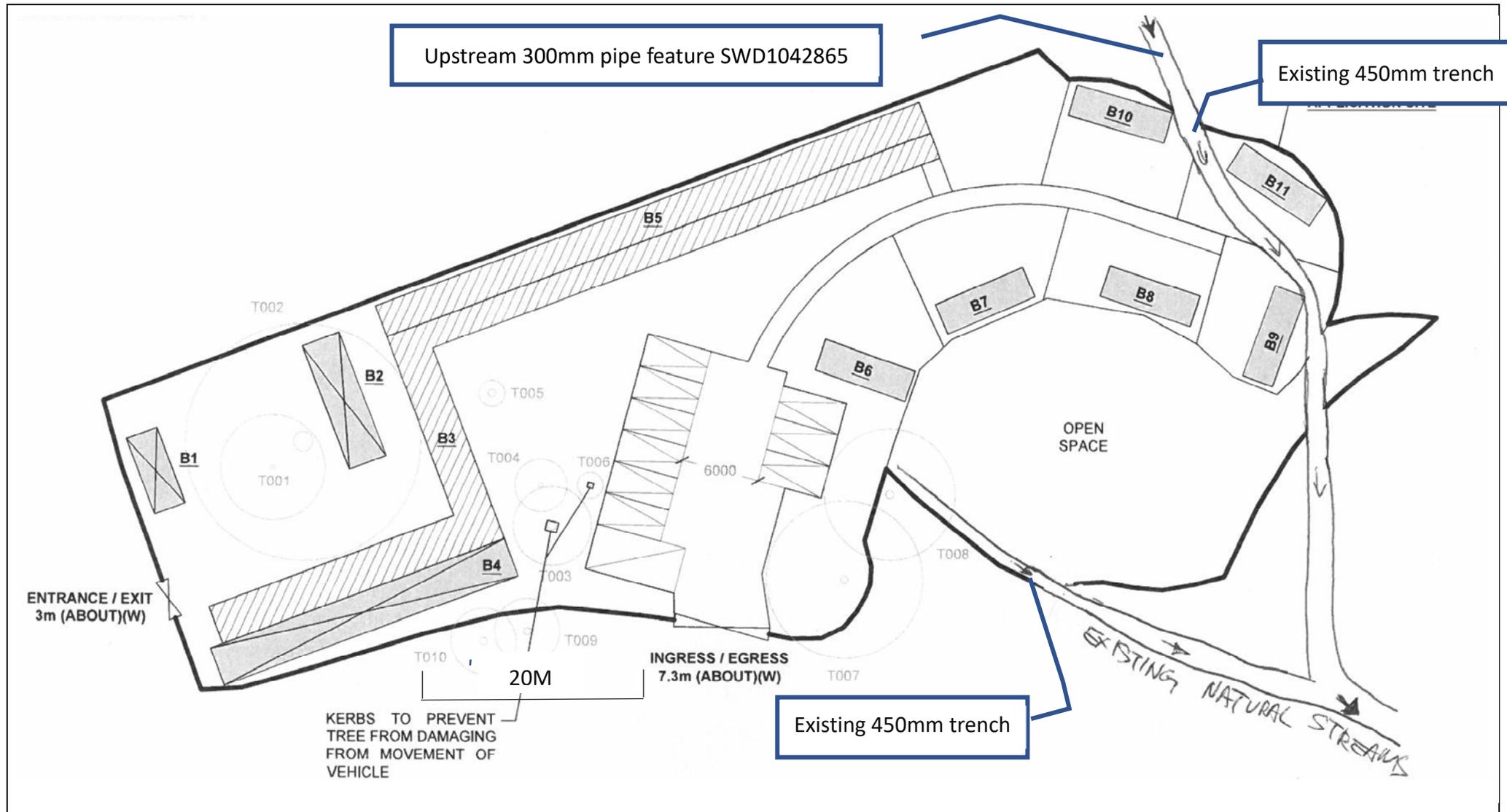
Surface water disposal calculation of Existing stormwater drainage system For Temporary BBQ and camp site For Period for 3 years various lots in D.D.17, Ting Kok Village, Tai Po, N.T. (Ref. no. TPB/A/NE-TK/752)



Catchment Area

Total catchment area = 2500m² + 710m² = 3210m²

Surface water disposal calculation of Existing stormwater drainage system For Temporary BBQ and camp site For Period for 3 years various lots in D.D.17, Ting Kok Village, Tai Po, N.T. (Ref. no. TPB/A/NE-TK/752)



Storm water drainage plan

Surface water disposal calculation of Existing stormwater drainage system on Temporary BBQ and camp site for Period for 3 years various lots in D.D.17, Ting Kok Village, Tai Po, N.T. (Ref. no. TPB/A/NE-TK/752)

Surface water disposal calculation on Existing drainage system

Existing Trench Size 450mm

Total Catchment Area 3210m²

Calculation of Peak runoff from the site

Catchment Runoff

Area =3210m²
 =0.0032km²

Calculation of rainfall intensity
 =0.14465L/H^{0.2}A^{0.1}
 =0.14465*80/4^{0.2}*3240^{0.1}
 =11.57/2.93
 =3.94min

Value of a,b,c are from Table 3a of Stormwater Drainage Manual with 10yrs return period =a/(t+b)c
 =471.9/(3.94+3.02)0.397
 =170mm/hr

Table 3a – Storm Constants for Different Return Periods of HKO Headquarters

Return Period T (years)	2	5	10	20	50	100	200	500	1000
a	499.8	480.2	471.9	463.6	451.3	440.8	429.5	414.0	402.1
b	4.26	3.36	3.02	2.76	2.46	2.26	2.05	1.77	1.55
c	0.494	0.429	0.397	0.369	0.337	0.316	0.295	0.269	0.251

Surface water disposal calculation of Existing stormwater drainage system on Temporary BBQ and camp site for Period for 3 years various lots in D.D.17, Ting Kok Village, Tai Po, N.T. (Ref. no. TPB/A/NE-TK/752)

Calculation of runoff coefficient C & mean intensity of rainfall (i)

By "Rational Method"

$Q_p = 0.278CiA$ Where

Q_p = Peak runoff in m³/s

C = runoff coefficient (dimensionless)

i = rainfall intensity in mm/hr

A = catchment area in Km²

Type of surface	Impermeability factors	Area of surface type(m ²)	Percentage(%)
Concrete Paving	0.875	710	22
Glassland sandy flat	0.1	2500	78

Total Peak Runoff in m³/s

$Q_p = 0.278CiA$ Where Q_p = Peak Runoff in m³/s

Catchment A = 3240m² (Concrete Paving = 710 m² + Glassland sandy flat = 2500 m²)

Concrete Paving = $0.278 \times 0.875 \times 170 \times 0.0007$ = 0.029m ³ /s = 1740 liter/min	Glassland sandy flat = $0.278 \times 0.1 \times 170 \times 0.0025$ = 0.01m ³ /s = 600 liter/min	
--	---	--

= 1740 + 600

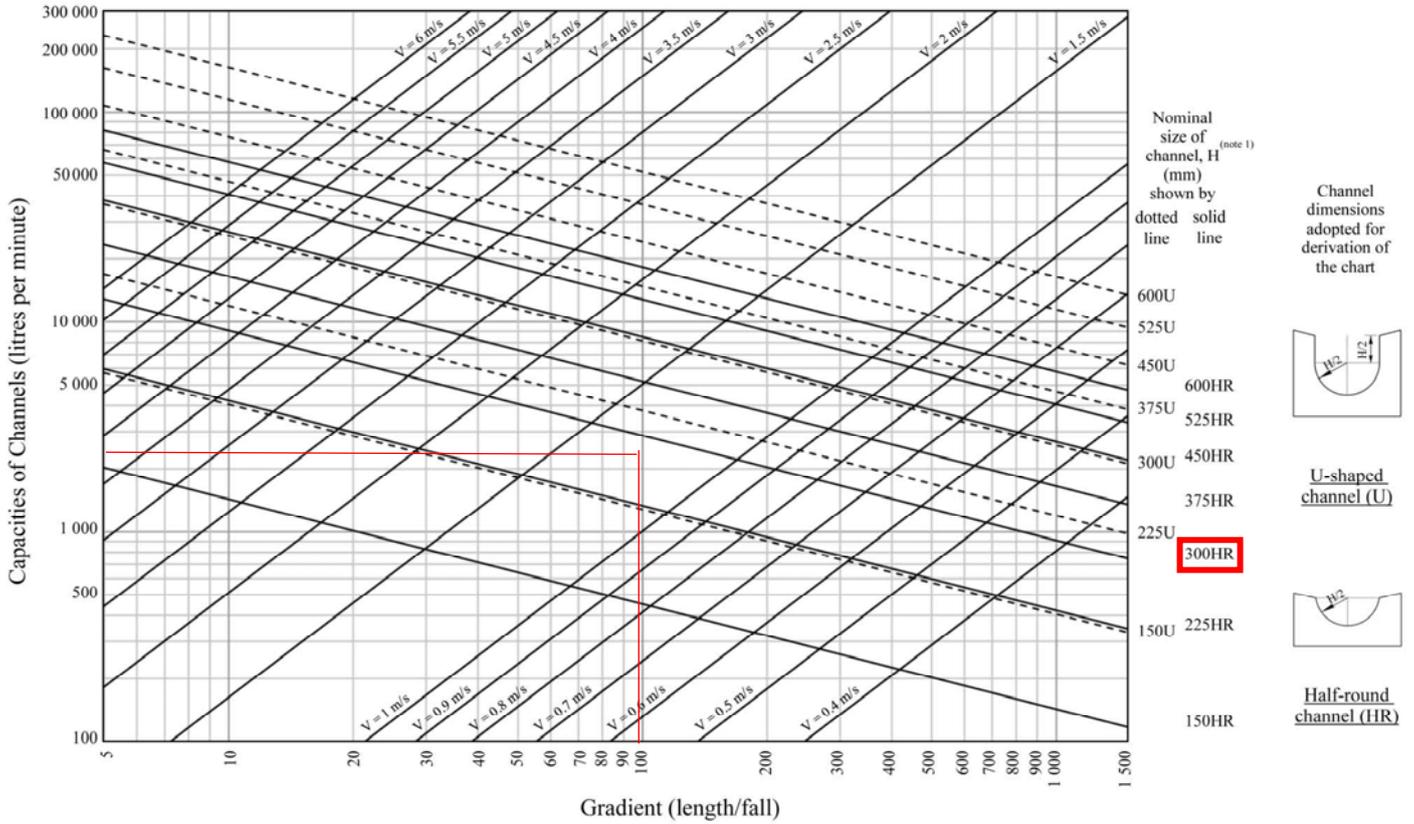
= 2340 liter/min

According to (Below Figure 7.1 – Chart for Rapid Design of Channel)

Peak Runoff of Catchment A = 2340 liter/min

For gradient 1:100, 300HR is adequate(OK)

Thus, Existing Trench 450mm is sufficient.



Surface water disposal calculation of Existing stormwater drainage system on Temporary BBQ and camp site for Period for 3 years various lots in D.D.17, Ting Kok Village, Tai Po, N.T. (Ref. no. TPB/A/NE-TK/752)



Existing drainage system, 450mm trench

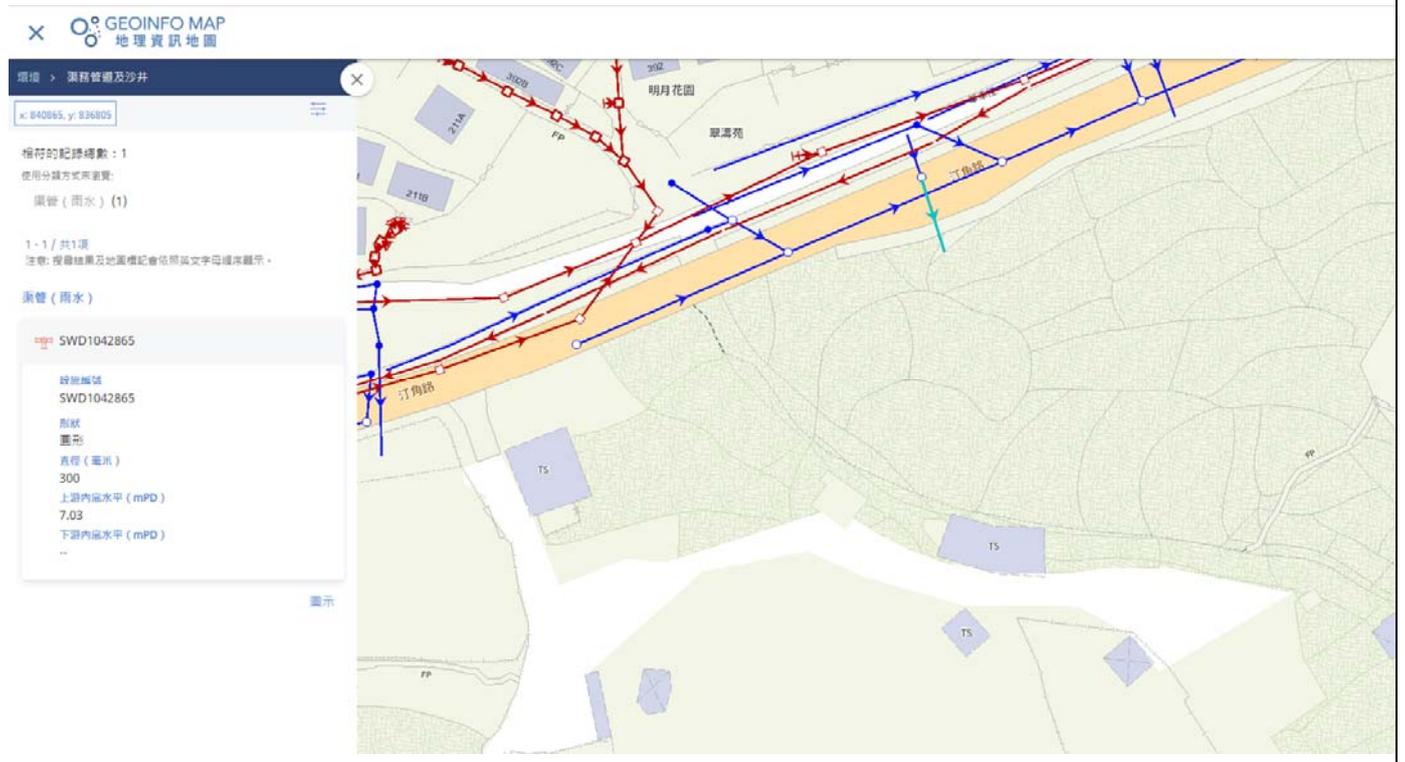


Existing drainage system, 450mm trench

Surface water disposal calculation of Existing stormwater drainage system on Temporary BBQ and camp site for Period for 3 years various lots in D.D.17, Ting Kok Village, Tai Po, N.T. (Ref. no. TPB/A/NE-TK/752)



Sufficient openings (100mm) provided at the bottom of boundary wall/fence to allow surface runoff to pass through the site



Existing drainage system sufficiently cater for surrounding catchment and adjoining drainage ie. Feature SWD1042865



Initial Tree Survey Report in Private Area at Ting Kok Road, Tai Po

Date of Survey: 21th July 2022

Prepared by:



Ellen So

(ISA Certified Arborist:HK-0936A)



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WING HO YUEN LANDSCAPING CO., LTD.

Table of contents

1. Introduction
2. Location
3. Objective
4. Existing Trees affected by the Proposed Works
5. Condition summary

Appendix:

- I. Tree Survey Schedule
- II. Tree Survey Plan
- III. Photo Records

Disclaimer:

The tree survey conducted indicates the condition of the surveyed trees at the time of inspection only. The assessments of amenity value, form, health and structural condition of the trees surveyed are based on visual inspection from the ground only. No aerial inspection, root digging or mapping, or diagnostic testing has been conducted as part of this survey. Wing Ho Yuen Landscaping Company Limited cannot accept responsibility for future failure or defects detected after the time of inspection of the trees surveyed in this report.

Introduction

We were appointed by ACE Construction Co., Ltd to conduct the initial tree survey in the private lot area at Ting Kok Road, Tai Po

This Tree Survey Report (TSR) is written to record the impact on trees and provide advice for the treatment of the trees.

This report describes the methodology and findings of the individual tree survey that was carried out on 21 July 2022.

Summary of Existing Trees

At the time of inspection on 21 July 2022, **10 nos.** of trees were recorded in the report. There are 7 nos of trees in the site area, and 3 nos of trees are near the site boundary. We found that the health condition and structural condition of trees are fair. But T003, the decay and wound on one of the trunks of T005 was observed. The decay was at the trunk base, which maybe affect the tree's stability. Trunk removal is recommended.

The tree location plan attached at Appendix I, and the detail of each tree condition recorded and photo record refers to Appendix II and Appendix III.



Reference:

Guidelines and reference listed below in preparation of this report:

LAO/LandsD Practice Note 2/2020 Tree Preservation and Removal

Proposal for Building Development in Private Projects Compliance of Tree
Preservation Clause under Lease

AFCD Conservation Practice Note No. 2 Measurement of Diameter at Breast
Height (DBH)

AFCD Conservation Practice Note No. 3 The Use of Plant Names

The Law of Hong Kong Chapter 96. Forest and Countryside Ordinance

The Law of Hong Kong Chapter 586. Animals and Plants (Protection of Endangered
Species) Ordinance

DEVB TC(W) No. 7/2015 or No. 04/2020 Tree Preservation

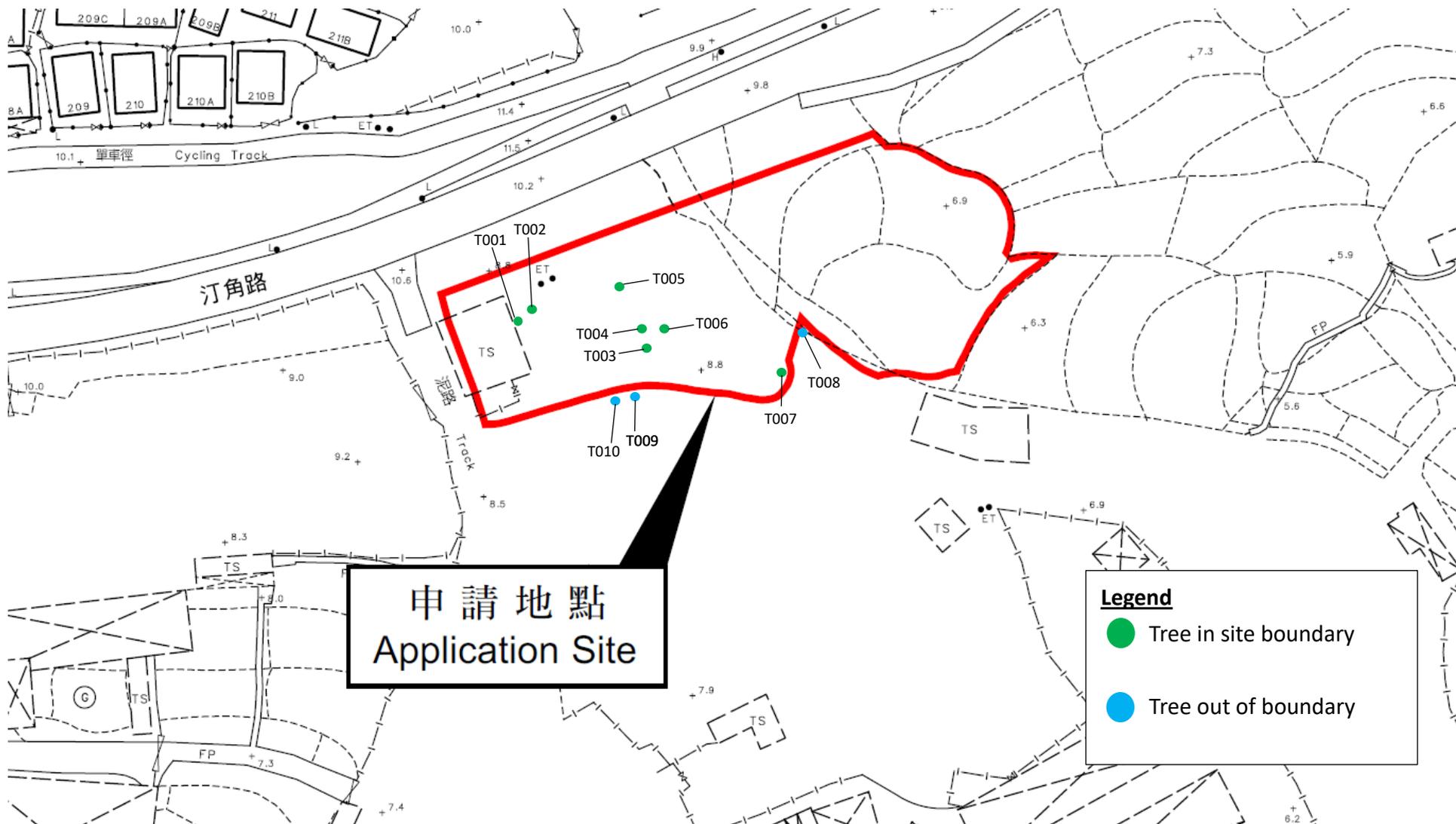
ETWB TC(W) No. 05/2020 Registration of Old and Valuable Trees, and Guidelines
for their Preservations



Appendix I: Tree Location Plan



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Appendix II

Tree Assessment Schedule

Tree Assessment Schedule

Location: Private Area, Ting Kok Road,

Inspection Date: 21 July 2022

Tree Number	Scientific Name	Chinese Name	Tree Size			Form (Good/Fair/ Poor)	Health Condition (Good/Fair/ Poor)	Structural Conditional (Good/Fair/ Poor)	Anticipated survival rate after transplanting (High/Medium/ Low)	Proposed Treatment (Retain/Transpla nt/Fell)	Remarks
			Overall Heigh (m)	DBH (mm)	Average crown spread (m)						
T001	<i>Eucalyptus torelliana</i>	毛葉桉	12	330	8	Fair	Fair	Fair	Low	Retain	
T002	<i>Ficus microcarpa</i>	細葉榕	13	1500	18	Fair	Fair	Fair	Low	Retain	
T003	<i>Eucalyptus torelliana</i>	毛葉桉	10	615	6	Fair	Fair	Poor	Low	Retain	The tree has two main trunks, one of trunk has are decay at tree base, this trunk removal is recommended.
T004	<i>Eucalyptus citriodora</i>	檸檬桉	12	388	4	Fair	Fair	Fair	Low	Retain	
T005	<i>Eucalyptus torelliana</i>	毛葉桉	7	590	2	Fair	Fair	Fair	Low	Retain	<i>Caryota ochlandra</i> is crossing T05, so <i>Caryota ochlandra</i> to remove is recommended.
T006	<i>Archontophoenix alexandrae</i>	假檳榔	7	180	2	Fair	Fair	Fair	Low	Retain	
T007	<i>Celtis sinensis</i>	朴樹	10	580	12	Fair	Fair	Fair	Low	Retain	
T008	<i>Celtis sinensis</i>	朴樹	8	620	10	Fair	Fair	Fair	Low	Retain	Out of the site area
T009	<i>Eucalyptus torelliana</i>	毛葉桉	10	560	5	Fair	Fair	Fair	Low	Retain	Out of the site area
T010	<i>Eucalyptus torelliana</i>	毛葉桉	10	580	5	Fair	Fair	Fair	Low	Retain	Out of the site area



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Appendix III

Tree Photo Record



General View 1



General View 2



General View 3



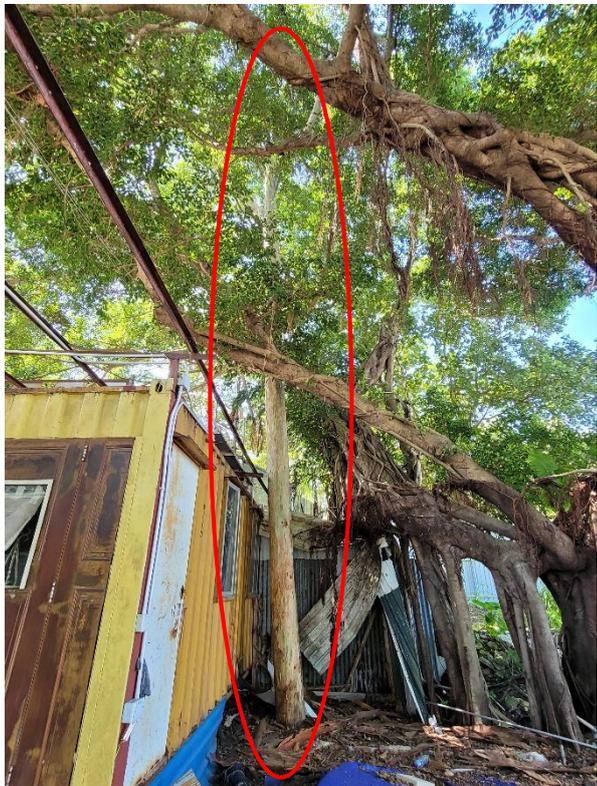
General View 4



T001: *Eucalyptus torelliana* 毛葉桉



T001: Crown Condition



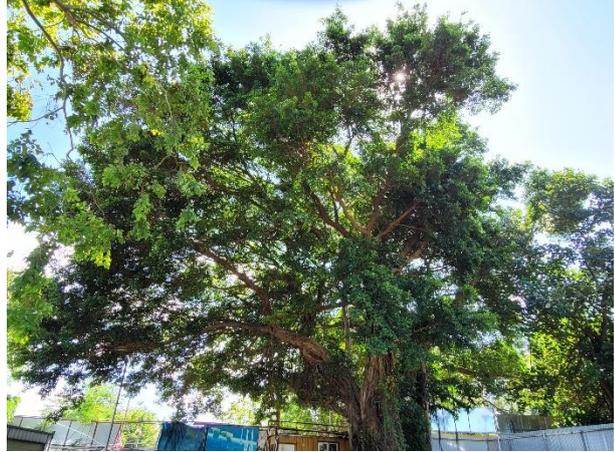
T001: Trunk Condition



T001: Root Condition



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T002: *Ficus microcarpa* 細葉榕

T002: Crown Condition

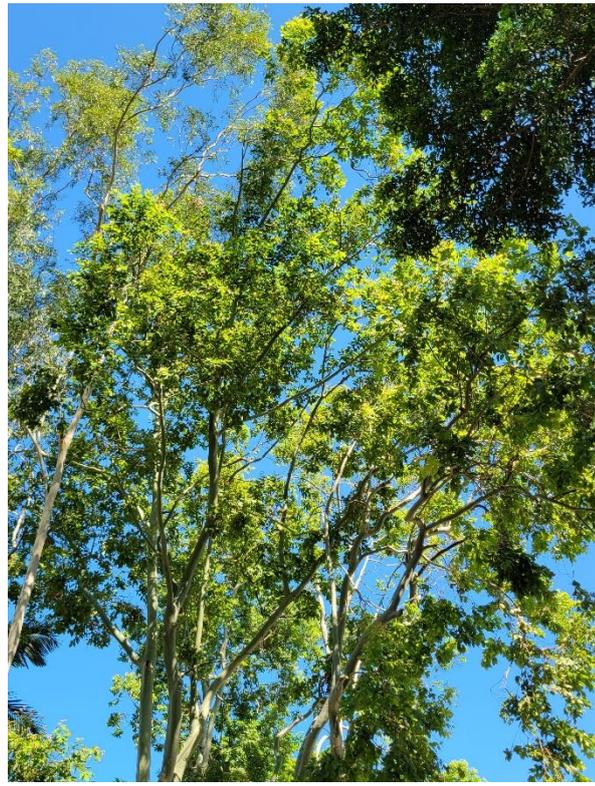


T002: Trunk Condition

T002: Root Condition



T003: *Eucalyptus torelliana* 毛葉桉



T003: Crown Condition



T003: Trunk Condition: Codminant trunk



T003: Root Condition



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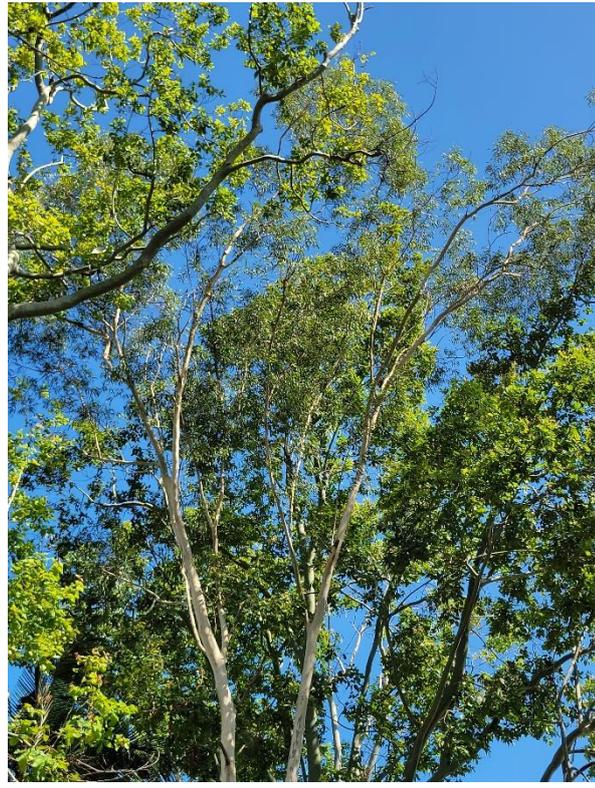
T003: Wound and decay on tree base



T003: Close up the defect

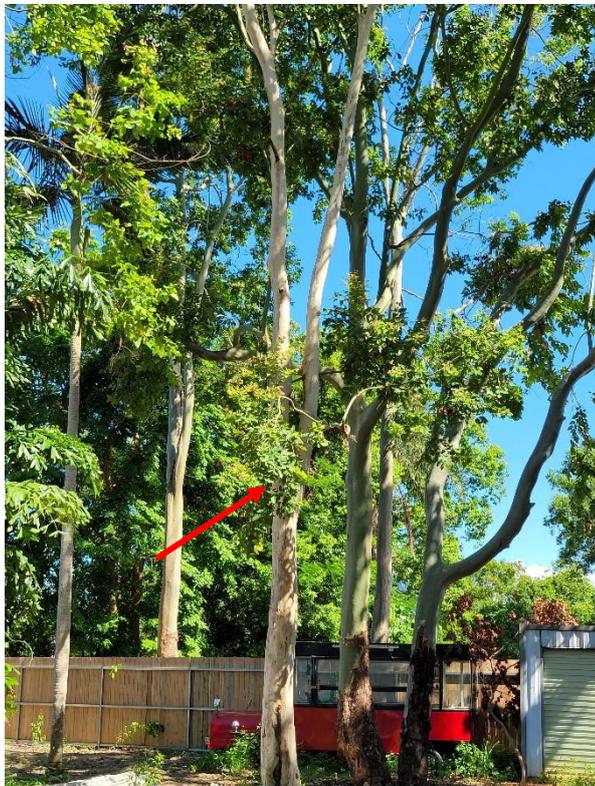


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T004: *Eucalyptus citriodora* 檸檬桉

T004: Crown Condition



T004: Trunk Condition

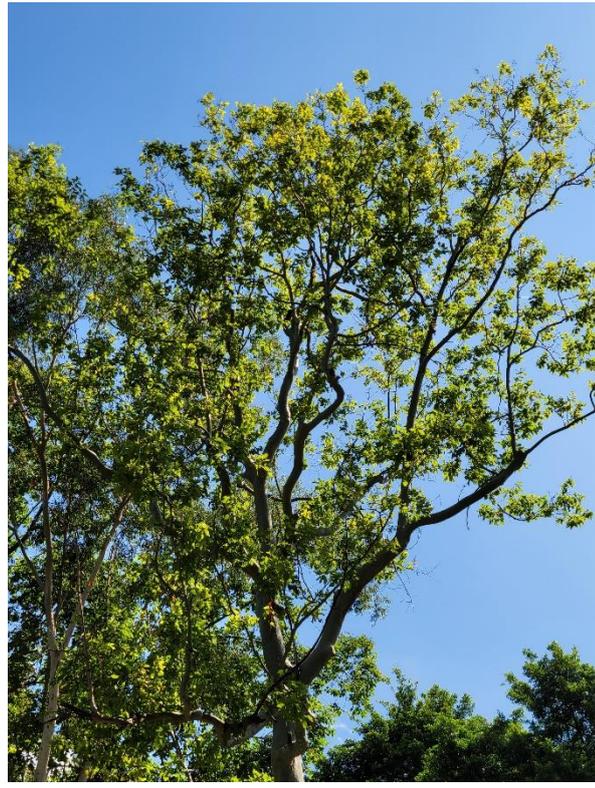
T004: Root Condition



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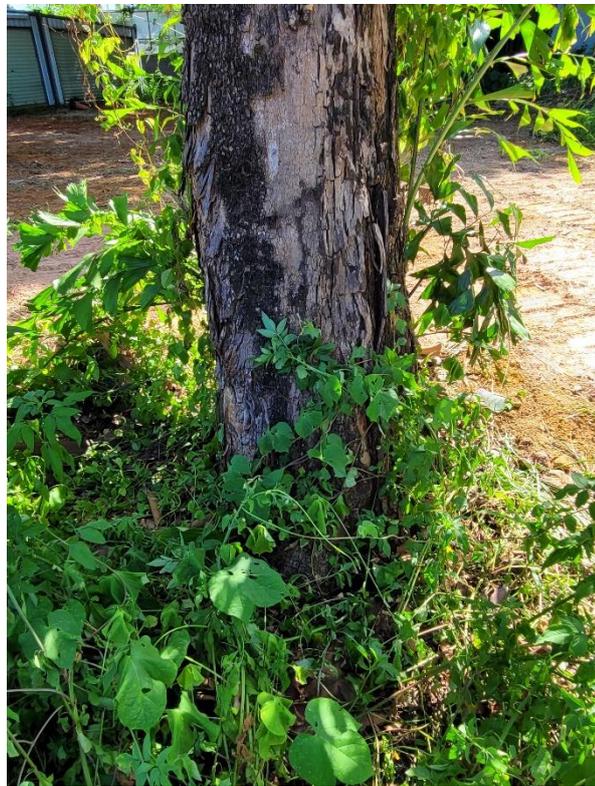
T005: *Eucalyptus torelliana* 毛葉桉



T005: Crown Condition



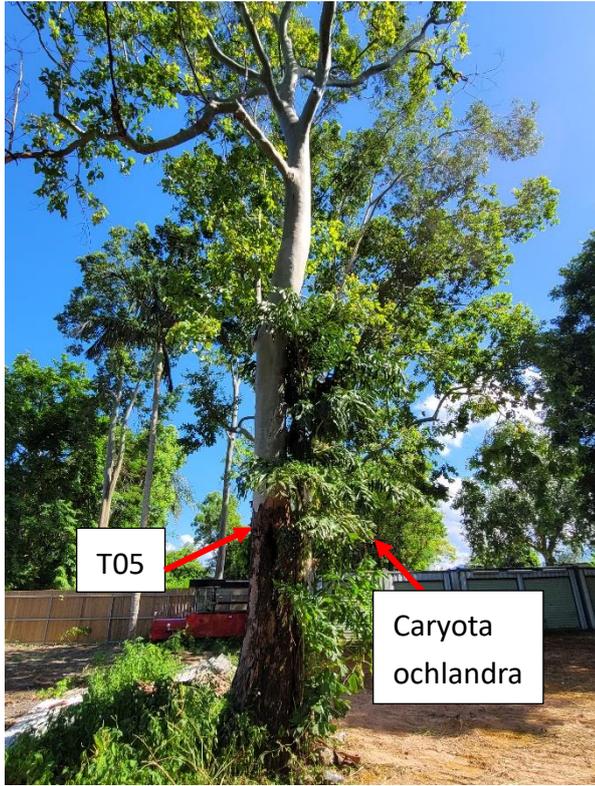
T005: Trunk Condition



T005: Root Condition



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T004: The Caryota ochlandra is crossing the T05



T006: *Eucalyptus citriodora* 檸檬桉



T006: Crown Condition



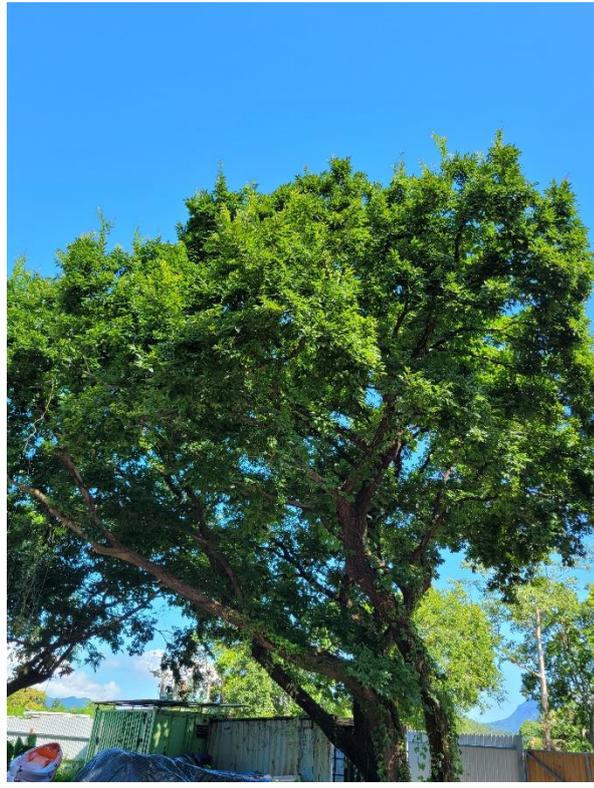
T006: Trunk Condition



T006: Root Condition



T007: *Celtis sinensi* 朴樹



T007: Crown Condition



T007: Trunk Condition



T007: Root Condition



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T008: *Celtis sinensi* 朴樹



T008: Crown Condition



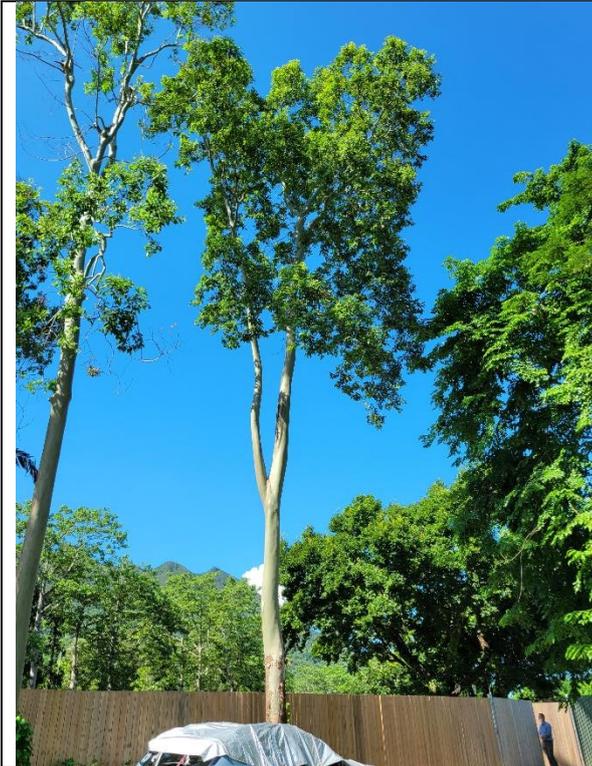
T008: Trunk Condition



T008: Root Condition



永豪園 綠化工程有限公司
WING HO YUEN LANDSCAPING CO., LTD.



T009: *Eucalyptus torelliana* 毛葉桉

T009: Crown Condition

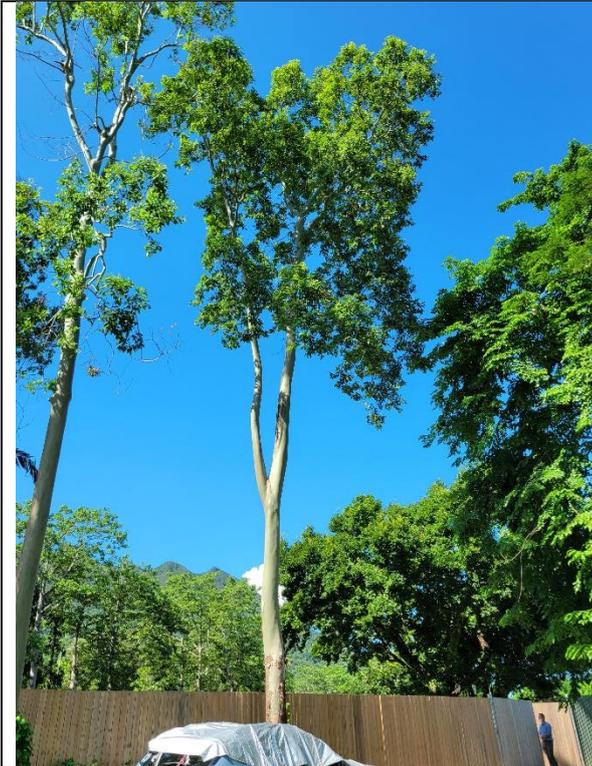


T009: Trunk Condition

T009: Root Condition



永豪園 綠化工程有限公司
WING HO YUEN LANDSCAPING CO., LTD.



T010: *Eucalyptus torelliana* 毛葉桉

T009: Crown Condition

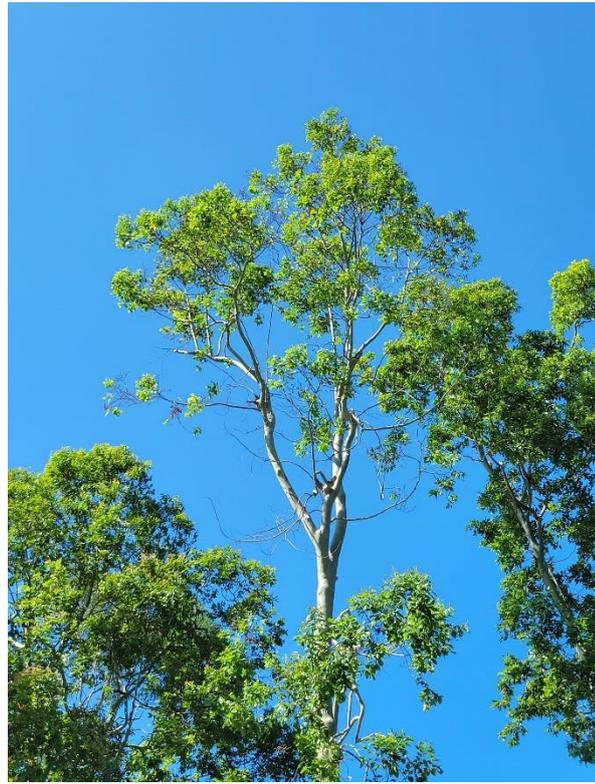


T009: Trunk Condition

T009: Root Condition



永豪園 綠化工程有限公司
WING HO YUEN LANDSCAPING CO., LTD.



T010: *Eucalyptus torelliana* 毛葉桉

T010: Crown Condition



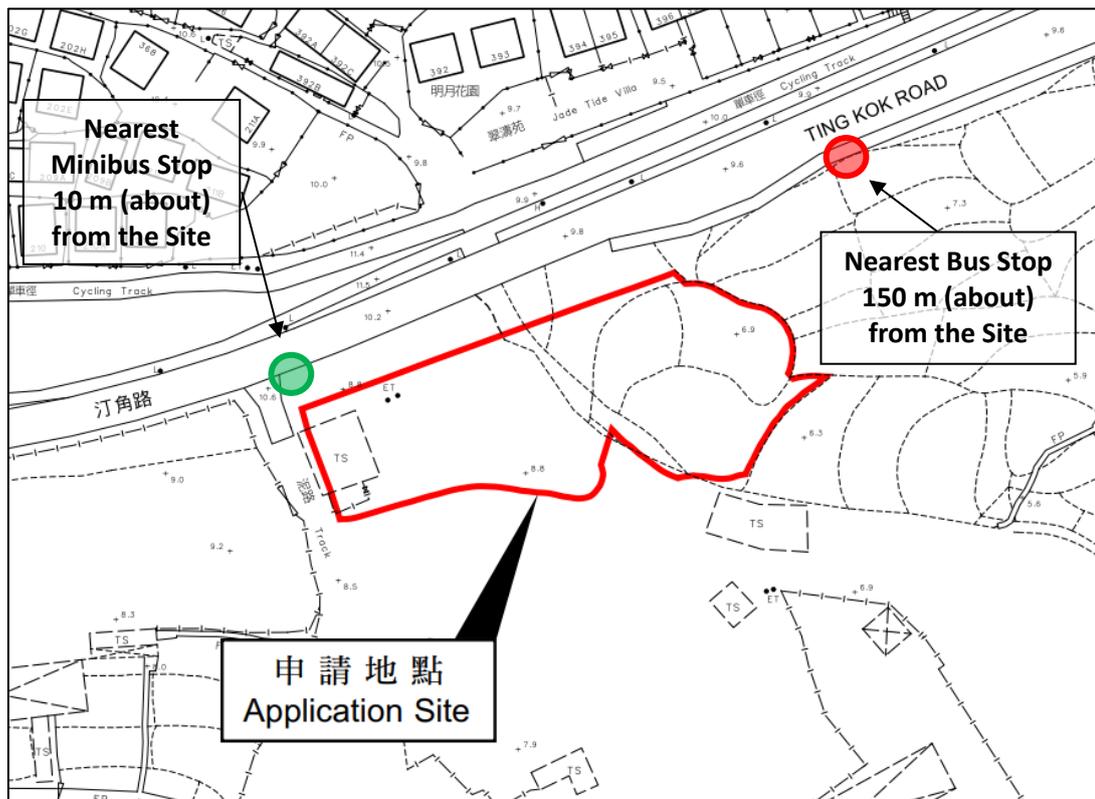
T010: Trunk Condition

T010: Root Condition

Annex III - Public Transport Services Serving the Application Site

- (i) The Site is accessible from Ting Kok Road, which is served with public transport services. Majority of staff and visitor are required to commute to the Site by taking public transport to Ting Kok Road then walk to the Site. Details of the nearest public transport services are as follows:

Route No.	Termination Points	
Franchised Bus		
72C	Tai Po Market Station Bus Terminus	Tai Mei Tuk Bus Terminus
73P	Tsuen Wan (Nina Tower)	
74E	Kwun Tong Ferry	
75K / 75P	Tai Po Market Station Bus Terminus	Wu Kau Tang Bus Terminus
275R	Tai Po Market Station Bus Terminus	
Green Minibus		
20C	Tai Po Market Station Minibus Terminus	Tai Mei Tuk PTI
20E		Shan Liu (Circular)
20R		Wu Kau Tang

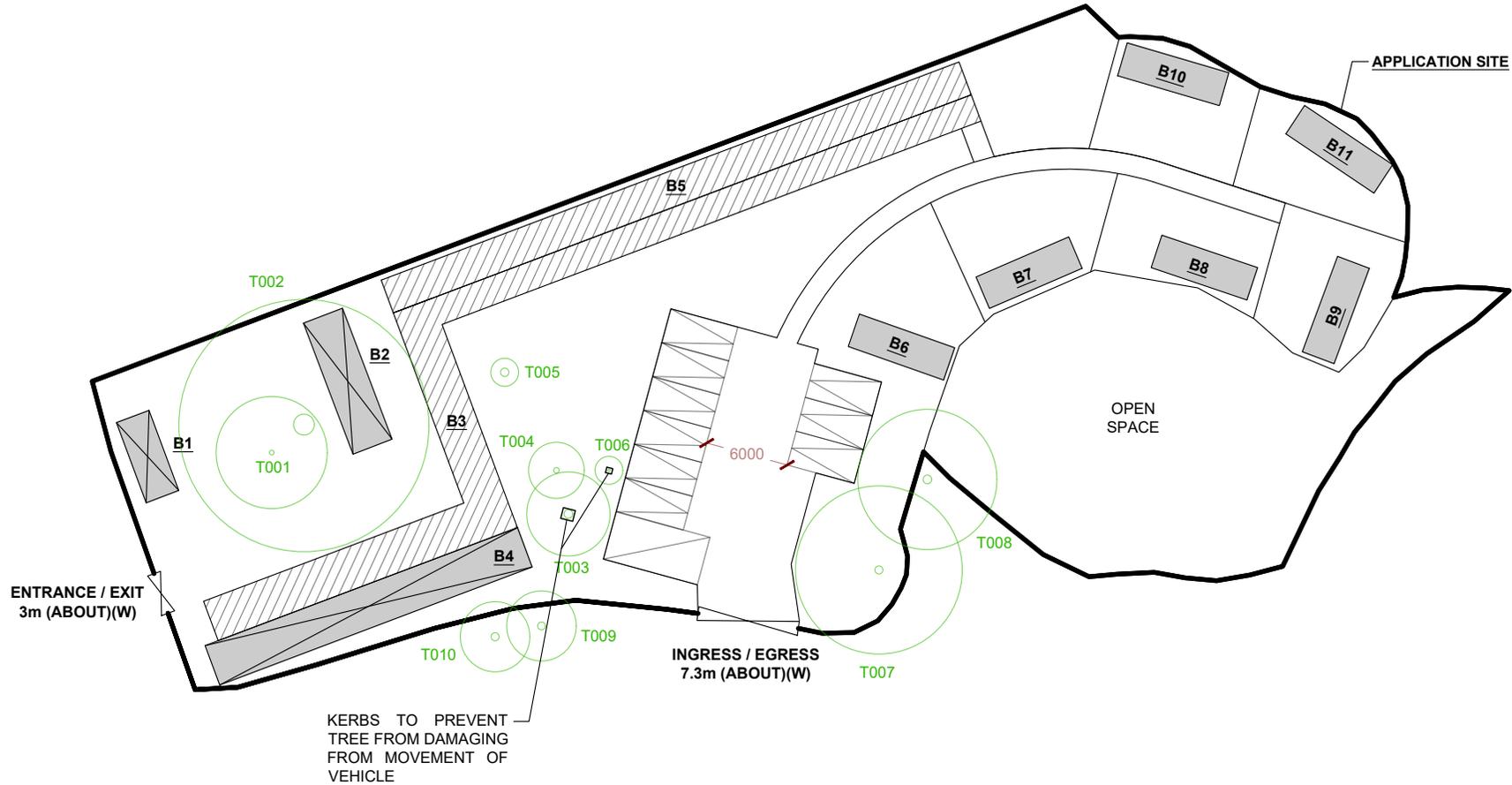
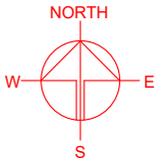


DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	: 2,841 m ² (ABOUT)
COVERED AREA	: 534.6 m ² (ABOUT)*
UNCOVERED AREA	: 2,306.4 m ² (ABOUT)
PLOT RATIO	: 0.19 (ABOUT)
SITE COVERAGE	: 19 % (ABOUT)
NO. OF STRUCTURE	: 11 (INCLUDING 6 CARAVAN CAMPS)
DOMESTIC GFA	: NOT APPLICABLE
NON-DOMESTIC GFA	: 534.6 m ² (ABOUT)*
TOTAL GFA	: 534.6 m ² (ABOUT)*
BUILDING HEIGHT	: 2.8 m - 5 m (ABOUT)
NO. OF STOREY	: 1

*INCLUDING THE AREA OF CARAVAN CAMPS

STRUCTURE	USE	COVERED AREA	GFA	BUILDING HEIGHT
B1	STORAGE OF TOOLS	15m ² (ABOUT)	15m ² (ABOUT)	3m (ABOUT)(1-STOREY)
B2	WASHROOM AND CHANGING ROOM	30m ² (ABOUT)	30m ² (ABOUT)	3m (ABOUT)(1-STOREY)
B3	RAIN SHELTER FOR CIRCULATION	195m ² (ABOUT)	195m ² (ABOUT)	5m (ABOUT)(1-STOREY)
B4	REFRESHMENT KIOSK, RECEPTION AND STORAGE OF TOOLS	72m ² (ABOUT)	72m ² (ABOUT)	3m (ABOUT)(1-STOREY)
B5	RAIN SHELTER FOR BARBECUE AREA	111m ² (ABOUT)	111m ² (ABOUT)	5m (ABOUT)(1-STOREY)
B6-B11	CARAVAN	18.6m ² (ABOUT)	111.6m ² (ABOUT)	2.8m(About)(1-STOREY)
TOTAL		534.6m² (ABOUT)	534.6m² (ABOUT)	



PARKING AND LOADING/UNLOADING PROVISIONS

NO. OF PRIVATE CAR PARKING SPACE	: 9
DIMENSION OF PARKING SPACE	: 5 m (L) X 2.5 m (W)
NO. OF L/UL SPACE FOR LIGHT GOODS VEHICLE	: 1
DIMENSION OF L/UL SPACE	: 7 m (L) X 3.5 m (W)

CARAVAN CAMP SITE

NO. OF CARAVAN CAMP SITE	: 6
TOTAL AREA OF CARAVAN CAMP	: 111.6 m ² (ABOUT)
DIMENSION OF CARAVAN CAMP	: 2.44 m (W) X 7.62 m (L)(ABOUT)
HEIGHT OF CARAVAN	: 2.8 m (ABOUT)
COVERED AREA	: 18.6 m ² (ABOUT) EACH

LEGEND

- APPLICATION SITE
- STRUCTURE (ENCLOSED)
- STRUCTURE (CANOPY)
- PARKING SPACE
- LOADING / UNLOADING SPACE
- INGRESS / EGRESS
- CARAVAN CAMP SITE
- EXISTING TREE

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R-RICHES PROPERTY CONSULTANTS LIMITED

PROJECT

PROPOSED TEMPORARY BARBECUE SITE AND CARAVAN HOLIDAY CAMP WITH ANCILLARY FACILITIES FOR A PERIOD OF 3 YEARS AND LAND FILLING

SITE LOCATION

VARIOUS LOTS IN D.D. 17 AND ADJOINING GOVERNMENT LAND, TING KOK, TAI PO, NEW TERRITORIES

SCALE

1 : 500 @ A4

DRAWN BY

MN

DATE

25.8.2022

REVISED BY

DATE

APPROVED BY

DATE

DWG. TITLE

LAYOUT PLAN

DWG NO.

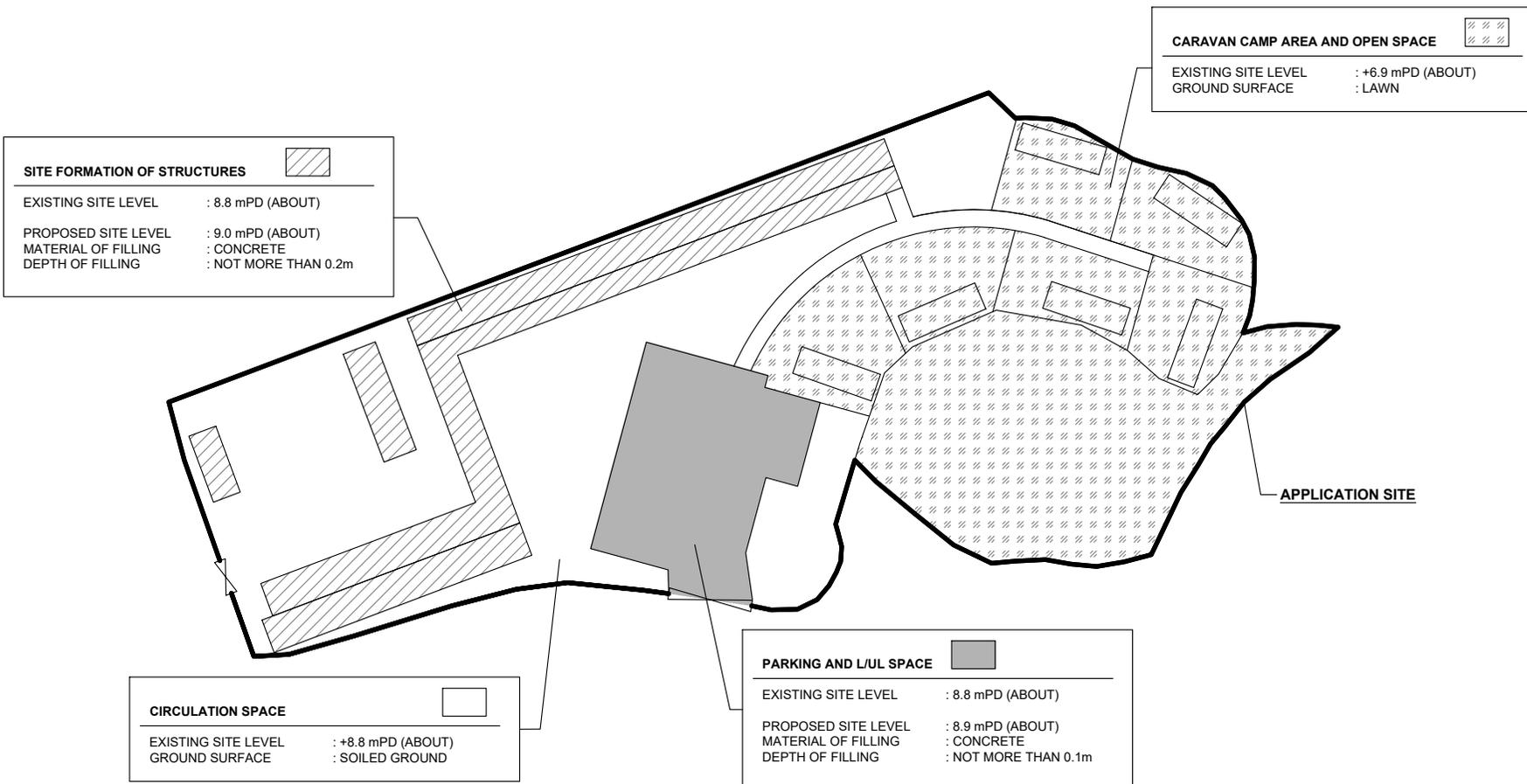
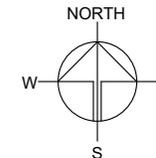
PLAN 1

VER.

003

PAVED RATIO OF THE APPLICATION SITE

APPLICATION SITE AREA	: 2,841 m ²	(ABOUT)
COVERED BY STRUCTURE	: 423 m ²	(ABOUT)
LAND FILLING AREA	: 701 m ²	(ABOUT)
DEPTH OF LAND FILLING	: NOT MORE THAN 0.2m	(ABOUT)
MATERIAL OF LAND FILLING	: CONCRETE	
PURPOSE OF LAND FILLING	: SITE FORMATION OF STRUCTURES PARKING AND LOADING/UNLOADING SPACE	
LAWN AREA	: 1,082 m ²	(ABOUT)
USE	: CARAVAN CAMPING AREA OPEN SPACE	
SOILED GROUND AREA	: 1,058 m ²	(ABOUT)
USE	: CIRCULATION SPACE	



PLANNING CONSULTANT
R-RICHES PROPERTY CONSULTANTS LIMITED

PROJECT
 PROPOSED TEMPORARY BARBECUE SITE AND CARAVAN HOLIDAY CAMP WITH ANCILLARY FACILITIES FOR A PERIOD OF 3 YEARS AND LAND FILLING

SITE LOCATION
 VARIOUS LOTS IN D.D. 17 AND ADJOINING GOVERNMENT LAND, TING KOK, TAI PO, NEW TERRITORIES

SCALE 1 : 600 @ A4	
DRAWN BY MN	DATE 11.4.2022
CHECKED BY	DATE
APPROVED BY	DATE

LEGEND

□ APPLICATION SITE
 ⊕ INGRESS / EGRESS

DWG. TITLE
LAND FILLING AREA

DWG. NO.
PLAN 2

VER.
 002

Our Ref. : DD17 Lot 321 RP & VL
Your Ref. : TPB/A/NE-TK/752

The Secretary
Town Planning Board
15/F, North Point Government office
333 Java Road
North Point, Hong Kong

By Email

29 September 2022

Dear Sir,

2nd Further Information

**Proposed Temporary Barbecue Site and Caravan Holiday Camp with Ancillary Facilities
for a Period of 3 Years and Filling of Land in "Agriculture" Zone,
Various Lots in D.D. 17, Ting Kok, Tai Po, New Territories**

(S.16 Planning Application No. A/NE-TK/752)

We are writing to submit further information to address departmental comments of the subject application (**Appendix I**). Your kind attention to the matter is much appreciated.

Should you require more information regarding the application, please contact our Mr. Orpheus LEE at 2339 0884 or the undersigned at your convenience.

Yours faithfully,

For and on behalf of
R-riches Property Consultants Limited




Matthew NG
Planning and Development Manager

cc DPO/STN, Pland

(Attn.: Ms. Aileen CHENG
(Attn.: Mr. Jackin YIP

email: akycheng@pland.gov.hk)
email: jhyyip@pland.gov.hk)

Responses-to-Comments

**Proposed Temporary Barbecue Site and Caravan Holiday Camp with Ancillary Facilities
for a Period of 3 Years and Filling of Land in "Agriculture" Zone,
Various Lots in D.D. 17, Ting Kok, Tai Po, New Territories**

(Application No. A/NE-TK/752)

(i) A RtoC Table:

Departmental Comments	Applicant's Responses
1. Comments of the Chief Town Planner/Urban Design and Landscape Section, Planning Department (CTP/UD&L, PlanD) (Contact Person: Ms. Katherine NG; Tel: 3565 3952)	
(a) Proposed structure "B2" is located within Tree Protection Zone (TPZ) of the mature tree T002, and proposed kerbs with small tree pit opening is also observed for T003 and T006. It is advised to relocate the proposed "B2" and kerbs outside the TPZ of the concerned trees for better tree preservation.	Structure B2 has been relocated to the west of the ingress/egress of the application site (the Site) to avoid encroaching onto the Tree Protection Zone of tree T002 (Plans 1 and 2). Kerbs are provided along the edge of the parking spaces to prevent tree from damaging by movement of vehicle (Plan 1).
(b) Excavation should be carried out away from the TPZ. Proper tree preservation measures should be carried out to avoid damage to existing trees during the construction. It is advised to refer to guidelines promulgated by the DEVB on Tree Preservation during Construction.	Noted. The applicant will refer to guidelines promulgated by the DEVB on Tree Preservation during Construction. Please be confirmed that no excavation of land would be carried out at the Site.
2. Comments of Chief Engineer / Mainland North, Drainage Services Department (CE/MN, DSD) (Contact Person: Ms. Karen HO; Tel: 2300 1364)	
(a) R to C Item 1(a) refers. Please clarify if the blue areas shown on drawing "Catchment Ares" are the areas where landfilling works will be carried out.	A revised drainage proposal is provided for your consideration please (Annex I).
(b) Please provide topography showing the formation levels of the application site.	
(c) The catchment area appears underestimated. Areas with runoff passing through the site should be included.	

(d)	Please demonstrate how the existing 450mm trenches can collect runoff from the eastern part of the application site.	
(e)	Please justify the adoption of runoff coefficient $C=0.875$ for concrete paving and $C=0.1$ for grassland sandy flat.	
(f)	The rainfall intensity should be increased by 13.8% according to Table 28 of SDM (Fifth Edition, January 2018).	
(g)	Calculation should be provided to justify the hydraulic capacity of the existing 450mm trenches. Please also provide the cover and invert levels at the upstream and downstream of the existing 450mm trenches.	
(h)	The drainage flow path from the drainage facilities within the Site to the public drainage system / streamcourse / sea / any recognized drainage facilities shown in LandsD map should be provided in association with supporting site photos.	

Surface water disposal calculation of Existing stormwater drainage system

For

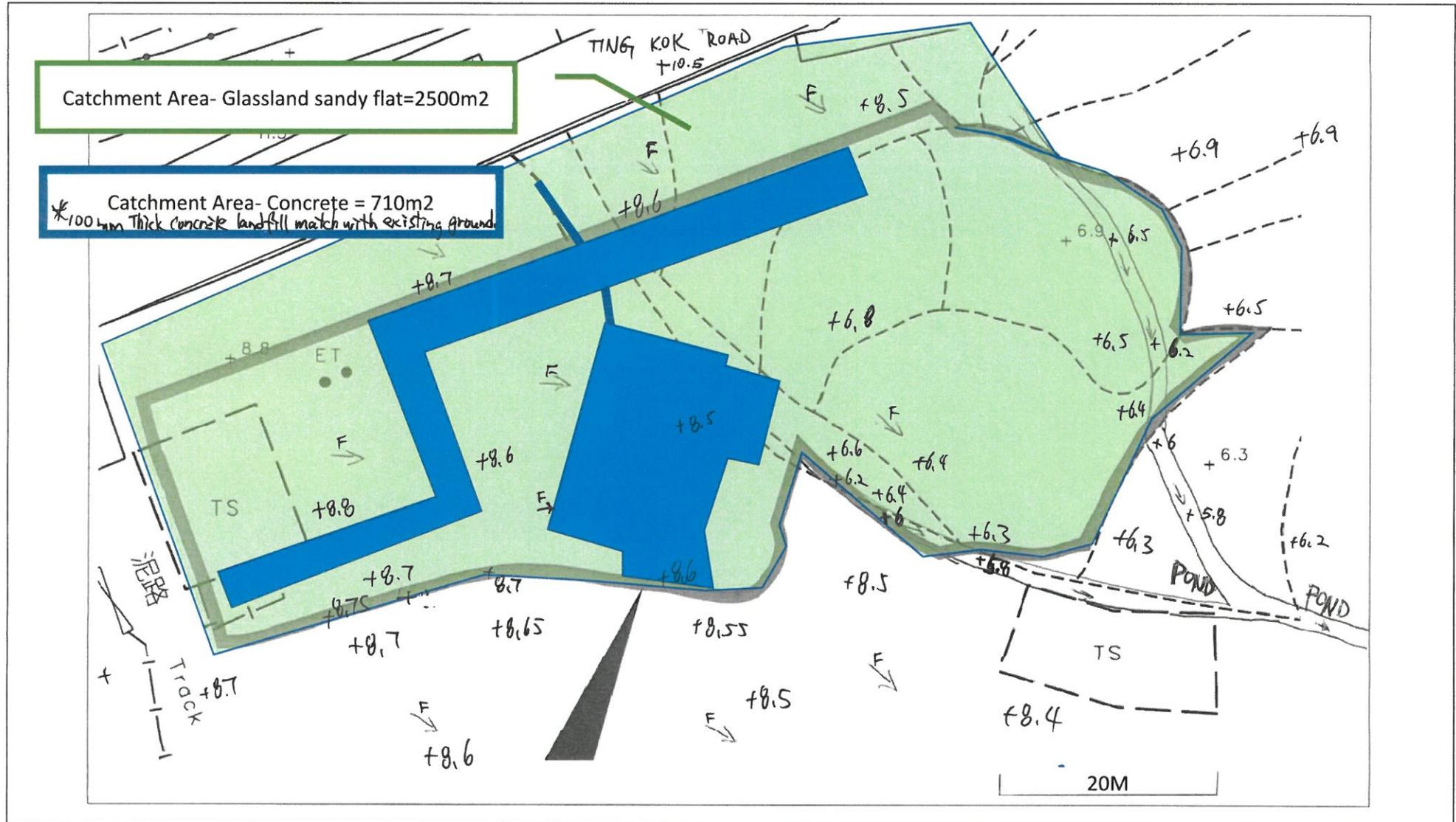
Temporary BBQ and camp site

For

Period for 3 years various lots in D.D.17, Ting Kok Village, Tai Po, N.T.

(Ref. no. TPB/A/NE-TK/752)

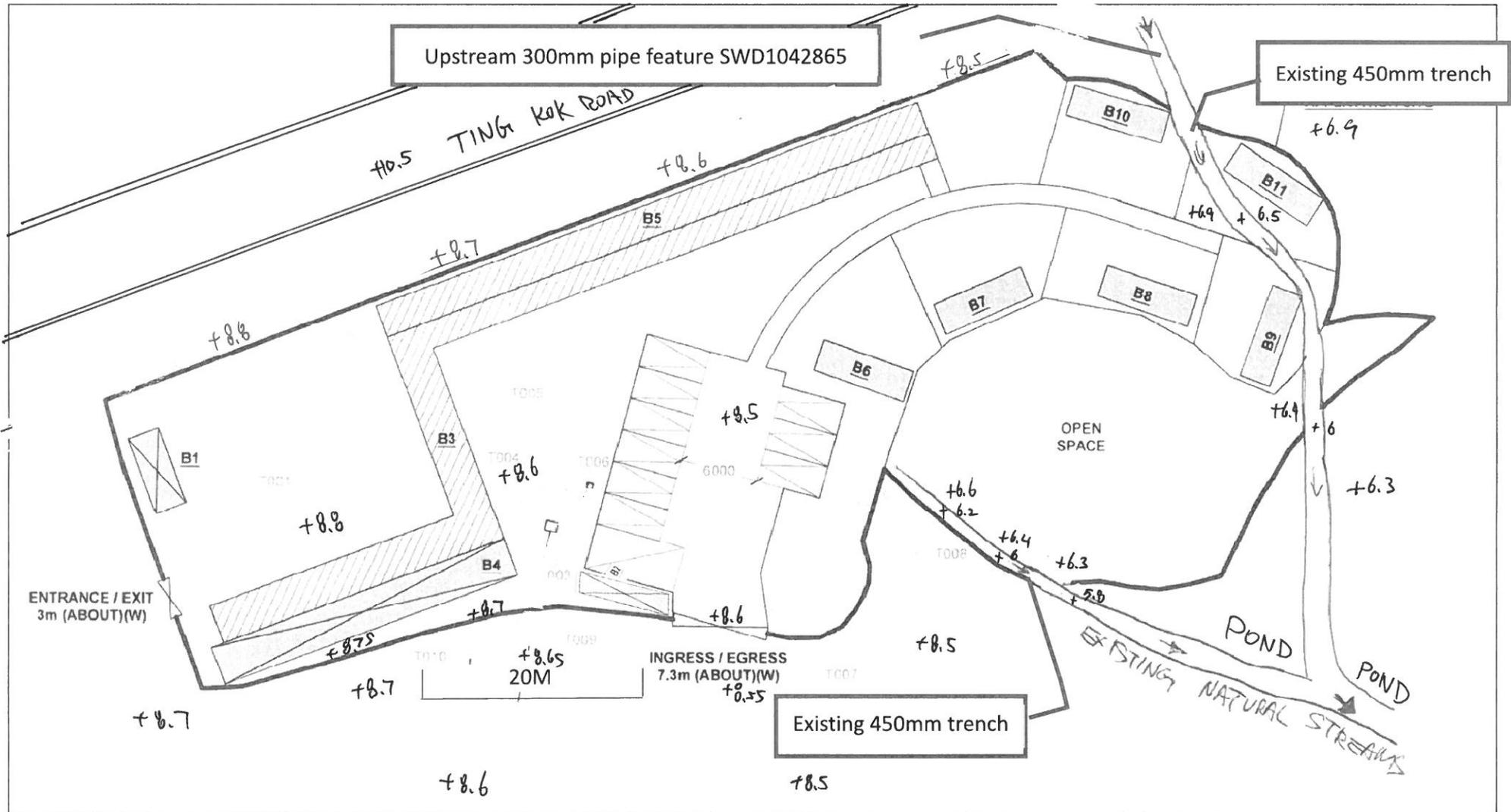
Surface water disposal calculation of Existing stormwater drainage system For Temporary BBQ and camp site For Period for 3 years various lots in D.D.17, Ting Kok Village, Tai Po, N.T. (Ref. no. TPB/A/NE-TK/752)



Catchment Area

Total catchment area = 2500m² + 710m² = 3210m²

Surface water disposal calculation of Existing stormwater drainage system For Temporary BBQ and camp site For Period for 3 years various lots in D.D.17, Ting Kok Village, Tai Po, N.T. (Ref. no. TPB/A/NE-TK/752)



Storm water drainage plan

Surface water disposal calculation of Existing stormwater drainage system on Temporary BBQ and camp site for Period for 3 years various lots in D.D.17, Ting Kok Village, Tai Po, N.T. (Ref. no. TPB/A/NE-TK/752)

Surface water disposal calculation on Existing drainage system

Existing Trench Size 450mm

Total Catchment Area 3210m²

Calculation of Peak runoff from the site

Catchment Runoff

Area =3210m²
=0.0032km²

Calculation of rainfall intensity
=0.14465L/H^{0.2}A^{0.1}
=0.14465*80/4^{0.2}*3240^{0.1}
=11.57/2.93
=3.94min

Value of a,b,c are from Table 3a of Stormwater Drainage Manual with 10yrs return period =a/(t+b)c
=471.9/3.94+3.02)0.397
=170mm/hr

Table 3a – Storm Constants for Different Return Periods of HKO Headquarters

Return Period T (years)	2	5	10	20	50	100	200	500	1000
a	499.8	480.2	471.9	463.6	451.3	440.8	429.5	414.0	402.1
b	4.26	3.36	3.02	2.76	2.46	2.26	2.05	1.77	1.55
c	0.494	0.429	0.397	0.369	0.337	0.316	0.295	0.269	0.251

Surface water disposal calculation of Existing stormwater drainage system on Temporary BBQ and camp site for Period for 3 years various lots in D.D.17, Ting Kok Village, Tai Po, N.T. (Ref. no. TPB/A/NE-TK/752)

Calculation of runoff coefficient C & mean intensity of rainfall (i)

By "Rational Method"

$Q_p = 0.278CiA$ Where

Q_p = Peak runoff in m³/s

C = runoff coefficient (dimensionless)

i = rainfall intensity in mm/hr

A = catchment area in Km²

Type of surface	Impermeability factors	Area of surface type(m ²)	Percentage(%)
Concrete Paving	0.95	710	22
Glassland sandy flat	0.15	2500	78

Total Peak Runoff in m³/s

$Q_p = 0.278CiA$ Where Q_p = Peak Runoff in m³/s

Catchment A = 3210m² (Concrete Paving = 710 m² + Glassland sandy flat = 2500 m²)

Concrete Paving =0.278*0.95*170*0.0007 =0.031m ³ /s =1885 liter/min	Glassland sandy flat =0.278*0.15*170*0.0025 =0.01m ³ /s =1063 liter/min
---	---

=1885+1063

=2948 liter/min

Rainfall intensity increased 13.8% according to Table 28 of SDM (Fifth Edition, January 2018)

=2948 liter/min + 13.8%

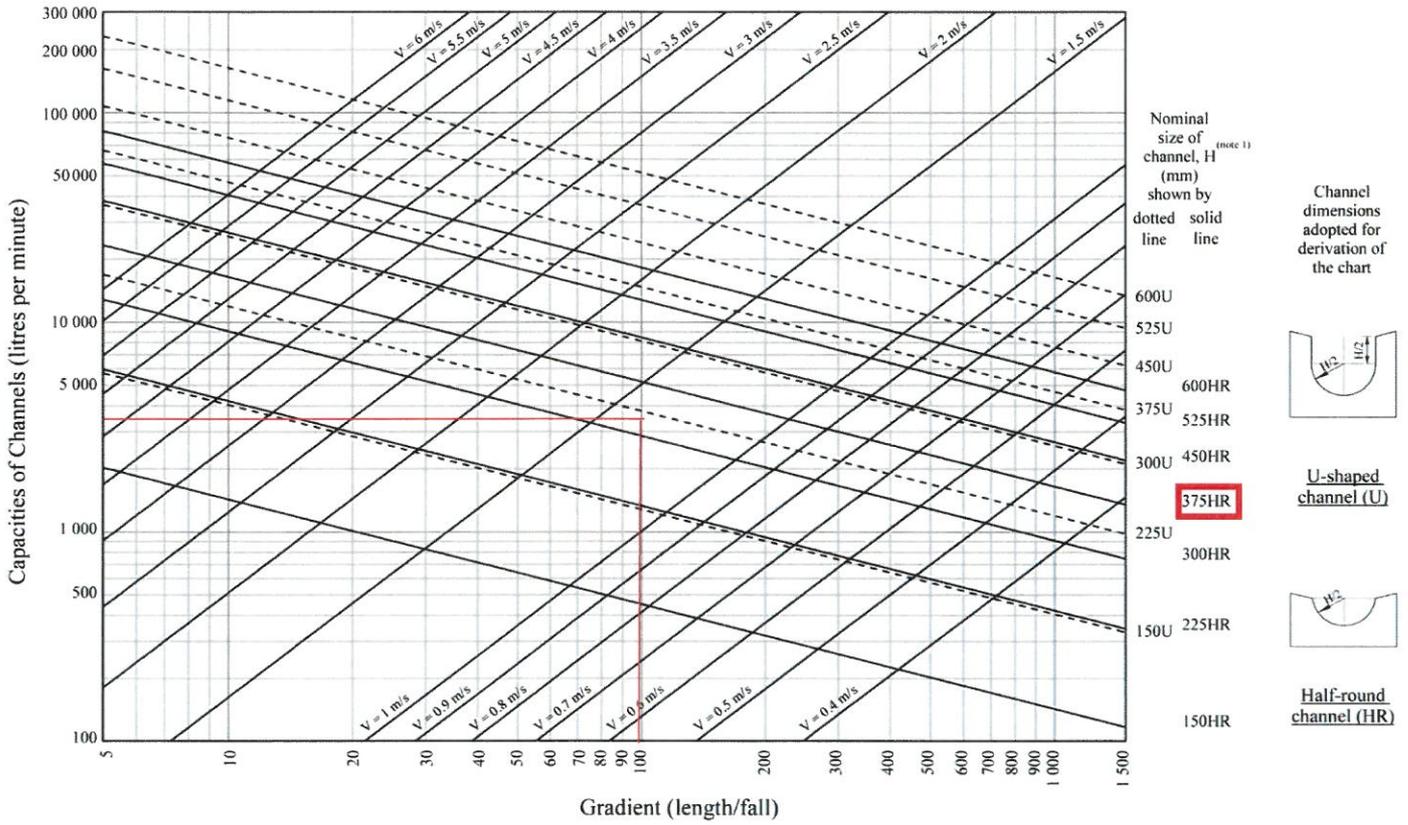
=3354 liter/min

According to (Below Figure 7.1 – Chart for Rapid Design of Channel)

Peak Runoff of Catchment A = 3354 liter/min

For gradient 1:100, 375HR is adequate(OK)

Thus, Existing Trench 450mm is sufficient.



Surface water disposal calculation of Existing stormwater drainage system on Temporary BBQ and camp site for Period for 3 years various lots in D.D.17, Ting Kok Village, Tai Po, N.T. (Ref. no. TPB/A/NE-TK/752)



Photo 1- Existing drainage system, 450mm trench

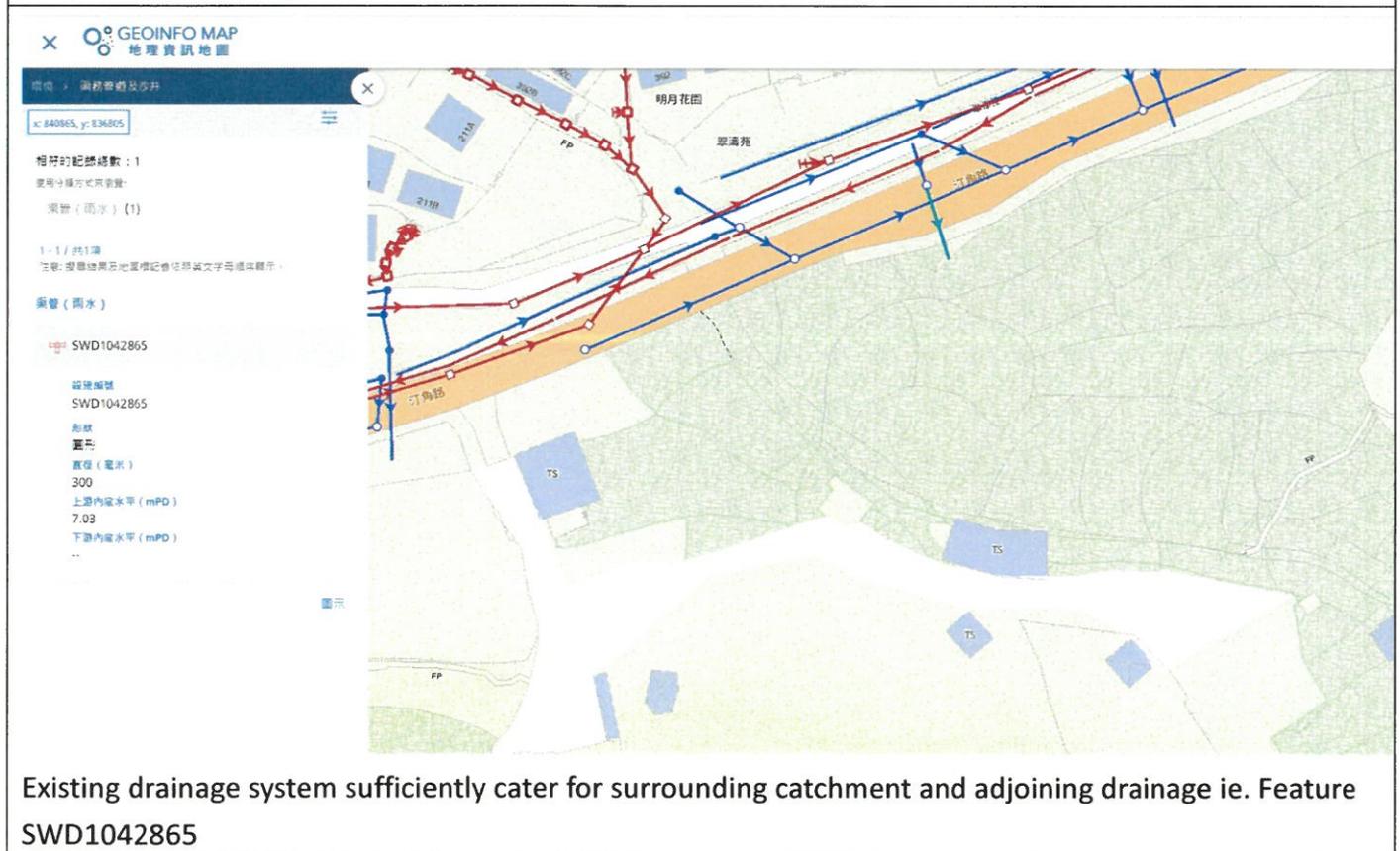


Photo 2- Existing drainage system, 450mm trench

Surface water disposal calculation of Existing stormwater drainage system on Temporary BBQ and camp site for Period for 3 years various lots in D.D.17, Ting Kok Village, Tai Po, N.T. (Ref. no. TPB/A/NE-TK/752)



Photo 3- Sufficient openings (100mm) provided at the bottom of boundary wall/fence to allow surface runoff to pass through the site



Existing drainage system sufficiently cater for surrounding catchment and adjoining drainage ie. Feature SWD1042865

Surface water disposal calculation of Existing stormwater drainage system on Temporary BBQ and camp site for Period for 3 years various lots in D.D.17, Ting Kok Village, Tai Po, N.T. (Ref. no. TPB/A/NE-TK/752)

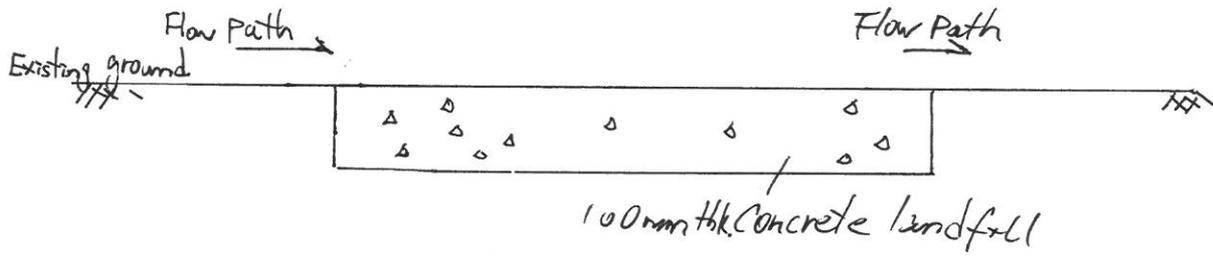


Photo 4- Existing downstream 450mm trench

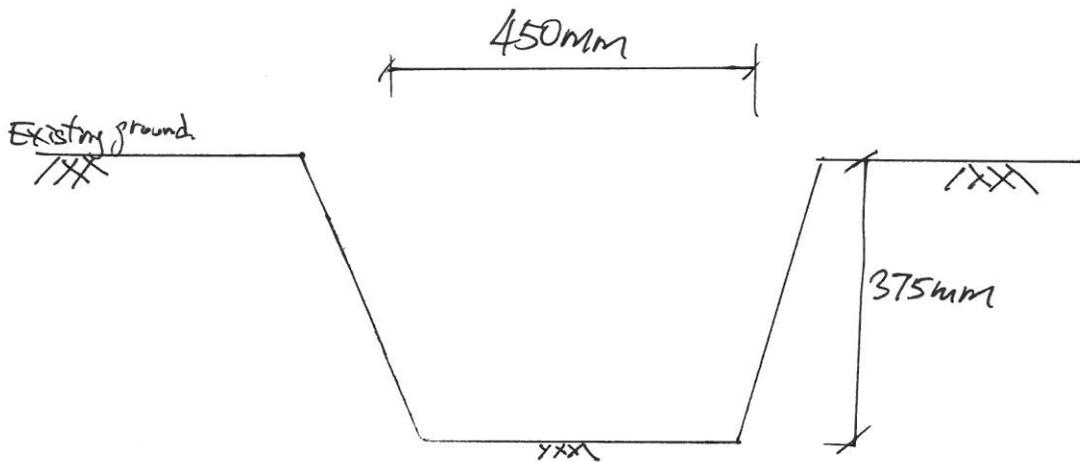


Photo 5- Existing downstream pond

Surface water disposal calculation of Existing stormwater drainage system on Temporary BBQ and camp site for Period for 3 years various lots in D.D.17, Ting Kok Village, Tai Po, N.T. (Ref. no. TPB/A/NE-TK/752)



Section of existing ground and landfill (100mm thk. Concrete match with existing ground)



Section of 450mm trench

Surface water disposal calculation of Existing stormwater drainage system on Temporary BBQ and camp site for Period for 3 years various lots in D.D.17, Ting Kok Village, Tai Po, N.T. (Ref. no. TPB/A/NE-TK/752)



Photo 6- Existing drainage system, 450mm trench

DEVELOPMENT PARAMETERS

APPLICATION SITE AREA : 2,841 m² (ABOUT)
 COVERED AREA : 516.6 m² (ABOUT)*
 UNCOVERED AREA : 2,324.4 m² (ABOUT)

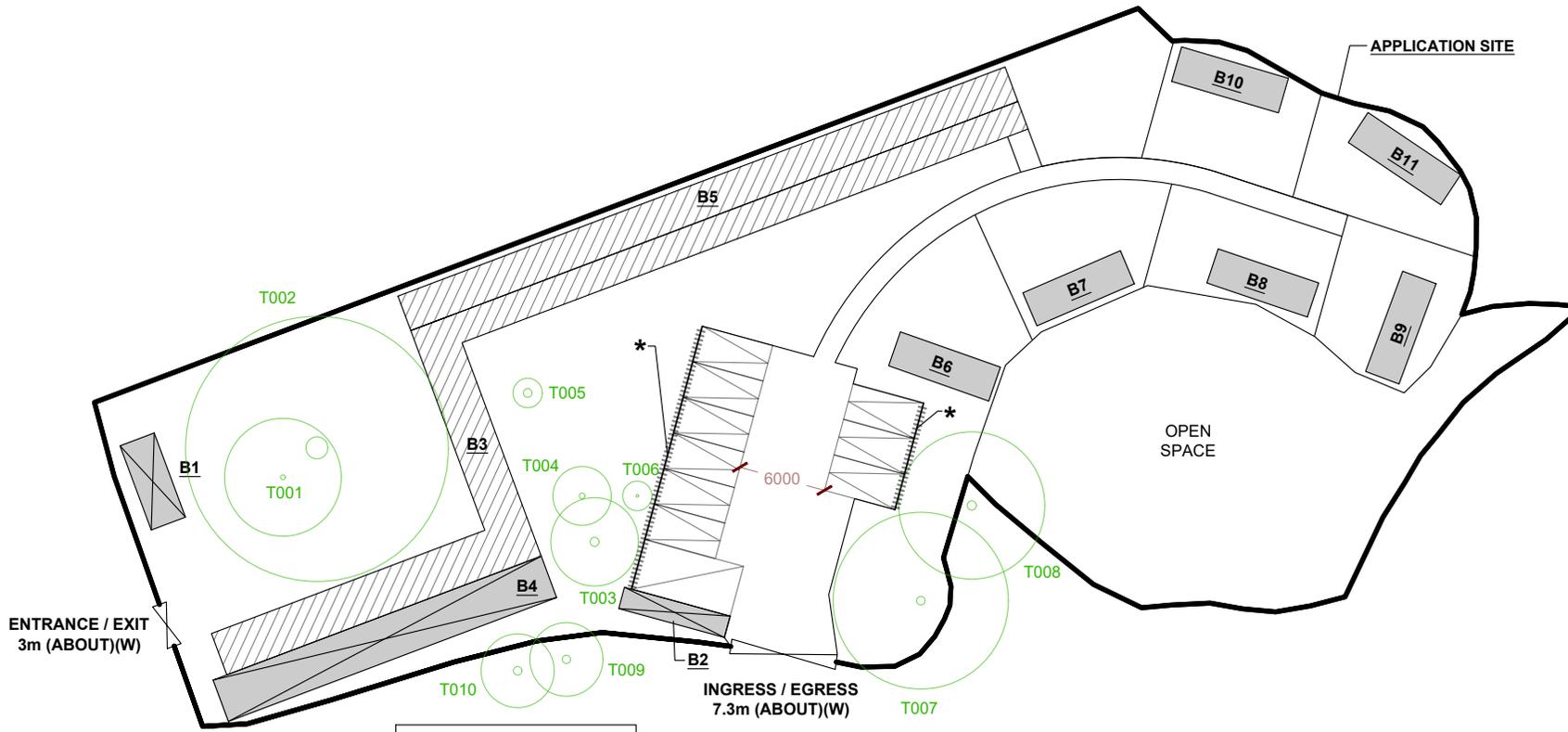
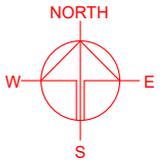
PLOT RATIO : 0.18 (ABOUT)
 SITE COVERAGE : 18 % (ABOUT)

NO. OF STRUCTURE : 11 (INCLUDING 6 CARAVAN CAMPS)
 DOMESTIC GFA : NOT APPLICABLE
 NON-DOMESTIC GFA : 516.6 m² (ABOUT)*
 TOTAL GFA : 516.6 m² (ABOUT)*

BUILDING HEIGHT : 2.8 m - 5 m (ABOUT)
 NO. OF STOREY : 1

*INCLUDING THE AREA OF CARAVAN CAMPS

STRUCTURE	USE	COVERED AREA	GFA	BUILDING HEIGHT
B1	STORAGE OF TOOLS	15m ² (ABOUT)	15m ² (ABOUT)	3m (ABOUT)(1-STOREY)
B2	WASHROOM AND CHANGING ROOM	12m ² (ABOUT)	12m ² (ABOUT)	3m (ABOUT)(1-STOREY)
B3	RAIN SHELTER FOR CIRCULATION	195m ² (ABOUT)	195m ² (ABOUT)	5m (ABOUT)(1-STOREY)
B4	REFRESHMENT KIOSK, RECEPTION AND STORAGE OF TOOLS	72m ² (ABOUT)	72m ² (ABOUT)	3m (ABOUT)(1-STOREY)
B5	RAIN SHELTER FOR BARBECUE AREA	111m ² (ABOUT)	111m ² (ABOUT)	5m (ABOUT)(1-STOREY)
B6-B11	CARAVAN	111.6m ² (ABOUT)	111.6m ² (ABOUT)	2.8m(AABOUT)(1-STOREY)
TOTAL		516.6m² (ABOUT)	516.6m² (ABOUT)	



* KERBS TO PREVENT TREE FROM DAMAGING BY MOVEMENT OF VEHICLE

PARKING AND LOADING/UNLOADING PROVISIONS

NO. OF PRIVATE CAR PARKING SPACE : 9
 DIMENSION OF PARKING SPACE : 5 m (L) X 2.5 m (W)

NO. OF L/UL SPACE FOR LIGHT GOODS VEHICLE : 1
 DIMENSION OF L/UL SPACE : 7 m (L) X 3.5 m (W)

CARAVAN CAMP SITE

NO. OF CARAVAN CAMP SITE : 6
 TOTAL AREA OF CARAVAN CAMP : 111.6 m² (ABOUT)
 DIMENSION OF CARAVAN CAMP : 2.44 m (W) X 7.62 m (L)(ABOUT)
 HEIGHT OF CARAVAN : 2.8 m (ABOUT)
 COVERED AREA : 18.6 m² (ABOUT) EACH

LEGEND

	APPLICATION SITE
	STRUCTURE (ENCLOSED)
	STRUCTURE (CANOPY)
	PARKING SPACE
	LOADING / UNLOADING SPACE
	INGRESS / EGRESS
	CARAVAN CAMP SITE
	EXISTING TREE

PLANNING CONSULTANT	
R-RICHES PROPERTY CONSULTANTS LIMITED	
PROJECT	
PROPOSED TEMPORARY BARBECUE SITE AND CARAVAN HOLIDAY CAMP WITH ANCILLARY FACILITIES FOR A PERIOD OF 3 YEARS AND LAND FILLING	
SITE LOCATION	
VARIOUS LOTS IN D.D. 17 AND ADJOINING GOVERNMENT LAND, TING KOK, TAI PO, NEW TERRITORIES	
SCALE	
1 : 500 @ A4	
DRAWN BY	DATE
MN	26.9.2022
REVISED BY	DATE
APPROVED BY	DATE
DWG. TITLE	
LAYOUT PLAN	
DWG NO.	VER.
PLAN 1	003

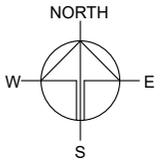
PAVED RATIO OF THE APPLICATION SITE

APPLICATION SITE AREA : 2,841 m² (ABOUT)
 COVERED BY STRUCTURE : 405 m² (ABOUT)
 (EXCLUDE CARAVAN CAMP SITE)

LAND FILLING AREA : 681 m² (ABOUT)
 DEPTH OF LAND FILLING : NOT MORE THAN 0.2m (ABOUT)
 MATERIAL OF LAND FILLING : CONCRETE
 PURPOSE OF LAND FILLING : SITE FORMATION OF STRUCTURES
 PARKING AND LOADING/UNLOADING SPACE

LAWN AREA : 1,082 m² (ABOUT)
 USE : CARAVAN CAMPING AREA
 OPEN SPACE

SOILED GROUND AREA : 1,078 m² (ABOUT)
 USE : CIRCULATION SPACE



SITE FORMATION OF STRUCTURES 

EXISTING SITE LEVEL : 8.8 mPD (ABOUT)
 PROPOSED SITE LEVEL : 9.0 mPD (ABOUT)
 MATERIAL OF FILLING : CONCRETE
 DEPTH OF FILLING : NOT MORE THAN 0.2m

CARAVAN CAMP AREA AND OPEN SPACE 

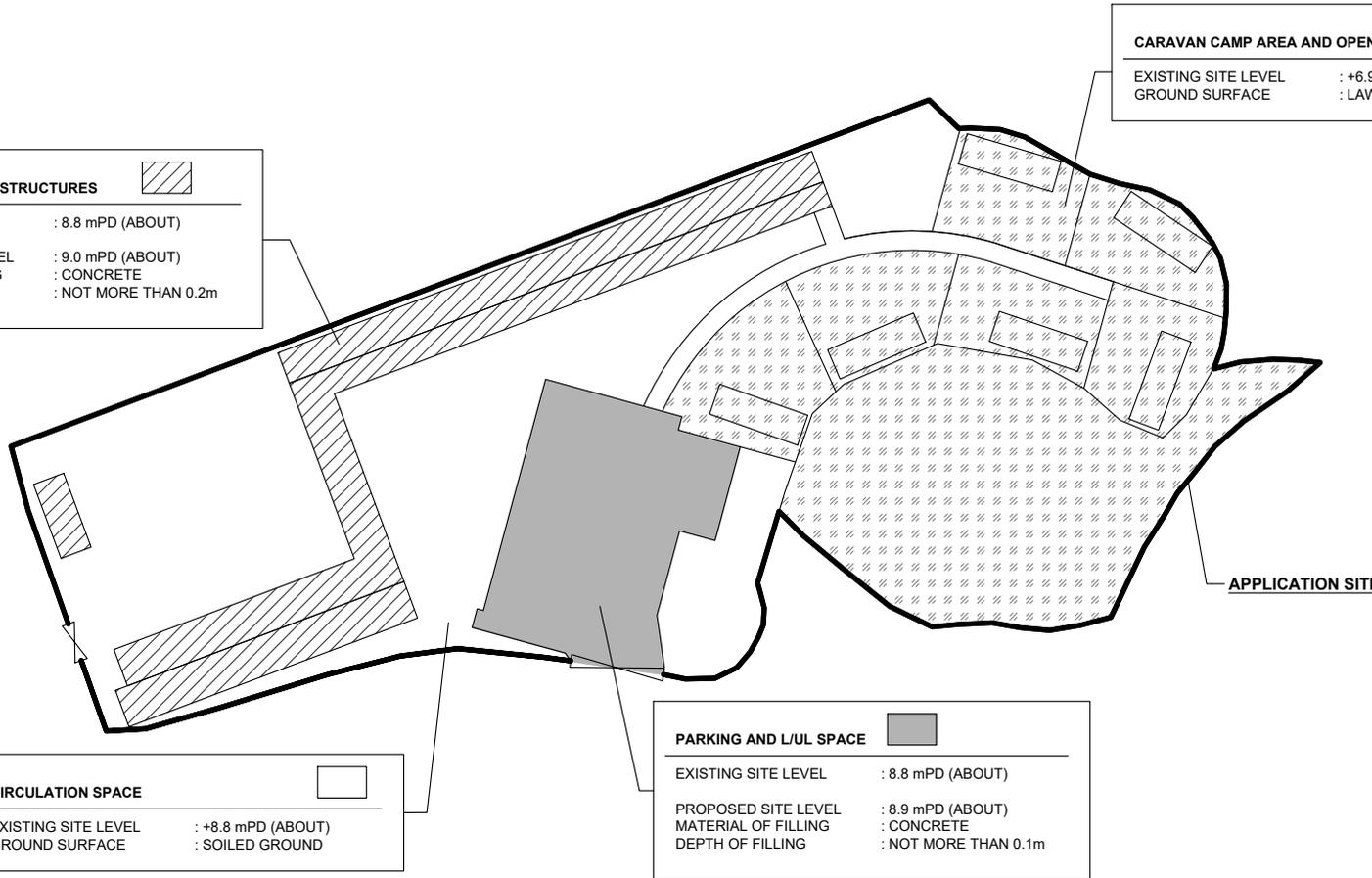
EXISTING SITE LEVEL : +6.9 mPD (ABOUT)
 GROUND SURFACE : LAWN

CIRCULATION SPACE 

EXISTING SITE LEVEL : +8.8 mPD (ABOUT)
 GROUND SURFACE : SOILED GROUND

PARKING AND L/UL SPACE 

EXISTING SITE LEVEL : 8.8 mPD (ABOUT)
 PROPOSED SITE LEVEL : 8.9 mPD (ABOUT)
 MATERIAL OF FILLING : CONCRETE
 DEPTH OF FILLING : NOT MORE THAN 0.1m



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PROJECT

PROPOSED TEMPORARY BARBECUE SITE AND CARAVAN HOLIDAY CAMP WITH ANCILLARY FACILITIES FOR A PERIOD OF 3 YEARS AND LAND FILLING

SITE LOCATION

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SCALE

1 : 600 @ A4

DRAWN BY DATE

MN 26.9.2022

CHECKED BY DATE

APPROVED BY DATE

DWG. TITLE

LAND FILLING AREA

DWG NO. VER.

PLAN 2 003

LEGEND

 APPLICATION SITE

 INGRESS / EGRESS

**Similar Applications in the vicinity of the Site within the same “AGR” Zone
on the Ting Kok Outline Zoning Plan over the Past Five Years**

Approved Applications

Application No.	Proposed Development	Date of Consideration
A/NE-TK/624 ¹	Temporary Barbecue Site for a Period of 3 Years	9.2.2018
A/NE-TK/625 ²	Temporary Barbecue Site and Car Park for a Period of 3 Years	16.3.2018
A/NE-TK/628 ³	Temporary Barbecue Site for a Period of 3 Years	18.5.2018
A/NE-TK/661 ⁴	Temporary Barbecue Site and Car Park for a Period of 3 Years	1.2.2019 (Revoked on 1.5.2021)
A/NE-TK/697 ¹	Renewal of Planning Approval for Temporary Barbecue Site for a Period of 3 Years	5.2.2021
A/NE-TK/698 ²	Temporary Barbecue Site and Car Park for a Period of 3 Years	12.3.2021
A/NE-TK/704 ³	Temporary Barbecue Site for a Period of 3 Years	28.5.2021
A/NE-TK/712 ⁴	Temporary Barbecue Site and Car Park for a Period of 3 Years	24.12.2021

¹ Applications No. A/NE-TK/624 and 697 are covering the same site.

² Applications No. A/NE-TK/625 and 698 are covering the same site.

³ Applications No. A/NE-TK/628 and 704 are covering the same site.

⁴ Applications No. A/NE-TK/661 and 712 are covering the same site.

Government Departments' General Comments

1. Land Administration

Comment of the District Lands Officer/Tai Po, Lands Department (DLO/TP, LandsD):

- no objection to the application.

2. Traffic

Comment of the Commissioner for Transport (C for T):

- no in-principle objection to the application from traffic engineering viewpoint.

3. Environment

Comments of the Director of Environmental Protection (DEP):

- no objection to the application;
- it is noted that the applicant has proposed to make connection to the nearby public sewers along Ting Kok Road as sewage disposal means;
- the Site is about 170m away from the Ting Kok Site of Special Scientific Interest (SSSI). In view of the vicinity of the Site to the SSSI, should the application be approved, an approval condition requiring the submission of sewerage impact assessment (SIA) and the implementation of sewage facilities identified therein is recommended; and
- no environmental complaint has been received in relation to the Site in the past 3 years.

4. Landscape

Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD):

- the Site is located in an area of rural coastal plains landscape character comprising mainly farmlands, vacant lands, village houses, temporary structures and scattered tree groups. A number of applications (No. A/NE-TK/687, 697, 698, 704 and 712) for temporary barbecue site and hobby farm with filling of land within the same "AGR" zone in the vicinity of the Site were previously approved by the Board. The proposed use is considered not incompatible with the landscape character of the surrounding area;
- according to the applicant's submission, 7 trees of common tree species generally in fair to poor condition are identified within the Site, and all of them are proposed to be retained. Significant adverse impact arising from the proposed development on the existing landscape resources within the Site is not anticipated. As such, she has no in-principle objection on the application from landscape planning perspective; and

- existing trees and vegetation acting as landscape buffer between Ting Kok Road and the Site is observed. Should the application be approved, it is considered not necessary to impose a landscape condition.

5. **Drainage**

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD):

- no in-principle objection to the application from public drainage viewpoint; and
- should the application be approved, an approval condition requiring the submission and implementation of drainage proposal for the Site is recommended to ensure that it will not cause adverse drainage impact to the surrounding areas.

6. **Building Matters**

Comment of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD):

- formal submission under the Buildings Ordinance (BO) is required for any proposed new works, including any temporary structures and site formation works like filling of pond and land. Detailed comments under the BO will be provided at the building plan submission stage.

7. **Fire Safety**

Comment of the Director of Fire Services (D of FS):

- no in-principle objection to the application subject to fire service installations being provided to his satisfaction.

8. **Food and Environmental Hygiene**

Comment of the Director of Food and Environmental Hygiene (DFEH):

- no adverse comment on the application.

9. **Hotel and Guesthouse Licensing**

Comments of the Chief Officer (Licensing Authority), Home Affairs Department (CO/LA, HAD):

- no licence application for operation of a guesthouse at the Site was received by the Office of Licensing Authority; and
- detailed licensing requirements will be formulated upon receipt of application under the Hotel and Guesthouse Accommodation Ordinance (Cap. 349).

10. Other Departments

The following departments have no objection to/no comment on the application:

- Chief Highway Engineer/New Territories East, Highways Department (CHE/NTE, HyD);
- Chief Engineer/Construction of Water Supplies Department (CE/C, WSD);
- Head (Geotechnical Engineering Office) of Civil Engineering and Development Department (H(GEO), CEDD);
- Project Manager/North of Civil Engineering and Development Department (PM/N, CEDD); and
- District Officer (Tai Po), Home Affairs Department (DO(TP), HAD).

Recommended Advisory Clauses

- (a) to note the comments of the District Lands Officer/Tai Po, Lands Department (DLO/TP, LandsD) that:
- the Site consists of 9 private lots and a piece of government land in D.D. 17 of Ting Kok. The private lots are held under the Block Government Lease demised for agricultural purpose. No structure shall be erected on the lots without prior approval from LandsD;
 - a recent inspection revealed that some structures are erected on the Site without approval from LandsD;
 - should the application be approved, the lots owner is required to submit applications for Short Term Waiver (STW) and Short Term Tenancy (STT) to LandsD should any structures to be erected on the Site. However, there is no guarantee at this stage that the STW and STT applications would be approved. If the applications are approved by LandsD acting in the capacity as landlord at its sole discretion, such approval will be subject to such terms and conditions as may be imposed by LandsD where appropriate, including payment of waiver fee, rent and administrative fee; and
 - there is no guarantee to the grant of a right of way to the Site or approval of the emergency vehicular access (EVA) thereto;
- (b) to note the comment of the Commissioner for Transport (C for T) that the village access is not under Transport Department's management. The land status, management and maintenance responsibilities of the village access should be clarified with the relevant lands and maintenance authorities accordingly in order to avoid potential land disputes;
- (c) to note the comment of the Director of Environmental Protection (DEP) that should the application be approved, the applicant is advised to follow the relevant mitigation measures and requirements in the "Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites", in particular Notes to Annex I S(1) "Sewage discharge from the Site should be directed to nearby public sewer. In case of unavailability of public sewer, a septic tank and soakaway pit should be provided". There are manholes for connection to public sewers along Ting Kok Road in the vicinity of the Site. In case connection to public sewer cannot be made, and septic tank and soakaway system will be used, its design and construction shall follow the requirements of Environmental Protection Department (EPD)'s Practice Note for Professional Person (ProPECC) PN 5/93 "Drainage Plans subject to Comment by the EPD" including percolation test and minimum clearance requirements;
- (d) to note the comments of the Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD) that:
- excavation, if any, should be carried out away from the Tree Protection Zone. Proper tree preservation measures should be carried out to avoid damage to existing trees during the construction. The applicant is advised to refer to the Guidelines on Tree Preservation during Development promulgated by the Development Bureau; and

- approval of the application does not imply approval of tree works such as pruning, transplanting and felling under lease. The applicant is reminded to seek comments and approval for any proposed tree works from relevant departments prior to the commencement of works.
- (e) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD) that:
- while there are DSD's public stormwater drains in this area, the applicant should have his own stormwater collection and discharge system to cater for the runoff generated within the Site and overland flow from the surrounding of the Site, e.g. surface channel of sufficient size along the perimeter of the Site; sufficient openings should be provided at the bottom of the boundary wall/fence to allow surface runoff to pass through the Site if any boundary wall/fence are to be erected. Any existing flow path affected should be re-provided. The proposed use should neither obstruct overland flow nor adversely affect the existing natural streams, village drains, ditches and the adjacent areas. The applicant is required to maintain the drainage systems properly and rectify the systems if they are found to be inadequate or ineffective to accommodate the additional runoff arisen from the proposed development of the Site. The applicant shall also be liable for and shall indemnify claims and demands arising out of damage or nuisance caused by failure or ineffectiveness of the modified drainage systems caused by their works;
 - for works to be undertaken outside the lot boundary, prior consent and agreement from LandsD and/or relevant private lot owners should be sought; and
 - following comments on the revised drainage proposal should be addressed in the formal submission of drainage proposal for compliance with approval condition:
 - (a) according to the stormwater drainage plan, since the existing 300mm diameter pipe (SMH1035022) is connected to the existing 450mm trench at the east of the Site, the discharge from this pipe should be included in the peak runoff calculation. Site photo showing the connection between the existing 300mm diameter pipe and 450mm trench should be provided;
 - (b) calculation should be provided to justify the hydraulic capacity of the existing 450mm trenches. Cover and invert levels at the upstream and downstream of the existing 450mm trenches should be provided;
 - (c) site photos to show that the depth of the existing 450mm trenches should be provided;
 - (d) site photo of the existing natural stream indicated on the stormwater drainage plan should be provided; and
 - (e) it is noted that some structures will be constructed in the Site. The applicant should demonstrate that these structures will not affect the flow from the west southwest part of the Site to the existing 450mm trenches. Please also indicate the drainage flow path from the rooftop of the structure to the proposed drainage system on the stormwater drainage plan;

- (f) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:
- if the existing structures are erected on leased land without approval of the Buildings Department (BD) (not being a New Territories Exempted House), they are unauthorized under the Buildings Ordinance (BO) and should not be designated for any approved use under the planning application;
 - before any new buildings works (including drainage works) are to be carried out on the Site, prior approval and consent of the Building Authority (BA) should be obtained unless they are exempted building works or commenced under the simplified requirement under the Minor Works Control System, otherwise they are Unauthorized Building Works (UBW). An Authorized Person (AP) should be appointed as the co-ordinator for the proposed building works in accordance with the BO;
 - for UBW erected on leased land, enforcement action may be taken by the BA to effect their removal in accordance with BD's enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing buildings works or UBW on the Site under the BO;
 - if the proposed use under application is subject to the issue of a licence, the applicant is reminded that any existing structures on the Site intended to be used for such purposes are required to comply with the building safety and other relevant requirements as may be imposed by the licensing authority;
 - any temporary shelters or converted containers for storage or other uses are considered as temporary buildings are subject to the control of Part VII of the Building (Planning) Regulations (B(P)R);
 - the Site shall be provided with means of obtaining access thereto from a street under Regulation 5 of the B(P)R and EVA shall be provided under the Regulation 41D of the B(P)R;
 - if the Site is not abutting on a specified street having a width not less than 4.5m, the development intensity shall be determined by the BA under Regulation 19(3) of the B(P)R at building plan submission stage; and
 - in general, there is no requirement under the BO in respect of provision of car parking spaces for a proposed development. However, the applicant should note the provision of accessible car parking spaces designated for the use of persons with a disability as per the requirements under the B(P)R 72 and Division 3 of Design Manual: Barrier Free Access 2008;
- (g) to note the comment of the Director of Fire Services (D of FS) that the applicant should submit relevant layout plans incorporated with the proposed fire service installations (FSIs) for approval. The layout plans should be drawn to scale and depicted with dimensions and nature of occupancy and the location of the proposed FSIs to be installed should be clearly marked. Licensing requirements would be formulated upon receipt of formal application via the licensing authority. The applicant is also reminded that if the proposed structures are required to comply with the BO (Cap. 123), detailed fire service requirements will be formulated upon receipt of formal submission of

general building plans;

(h) to note the comments of the Director of Food and Environmental Hygiene (DFEH) that:

- proper licence/permit issued by Food and Environmental Hygiene Department (FEHD) is required if there is any food business/catering service/activities regulated by the DFEH under the Public Health and Municipal Services Ordinance (Cap. 132) and other relevant legislation:
 - (a) under the Food Business Regulation, Cap. 132X, a food business licence is required for the operation of the relevant type of food business listed in the Regulation. For any premises intended to be used for food business (e.g. a restaurant, a food factory, a fresh provision shop), a food business licence from the FEHD in accordance with the Public Health and Municipal Services Ordinance (Cap. 132) shall be obtained. The application for licence, if acceptable by the FEHD, will be referred to relevant government departments such as the Buildings Department, Fire Services Department and Planning Department for comment. If there is no objection from the departments concerned, a letter of requirements will be issued to the applicant for compliance and the licence will be issued upon compliance of all the requirements;
 - (b) depending on the mode of operation, generally there are 3 types of food business licence/permits that the operator of an outdoor barbecue site may apply for under the Food Business Regulation:
 - (i) if food is sold to customers for consumption on the premises, a restaurant licence should be obtained;
 - (ii) if food is only prepared for sale for consumption off the premises, a food factory licence should be obtained; and
 - (iii) if fresh, chilled or frozen meat is sold, a fresh provision shop licence should be obtained;
- proper licence issued by FEHD is required if related place of entertainment is involved. Any person who desires to keep or use any place of public entertainment for example a theatre and cinema or a place, building, erection or structure, whether temporary or permanent, on one occasion or more, capable of accommodating the public presenting or carrying on public entertainment within Places of Public Entertainment (PPE) Ordinance (Cap. 172) and its subsidiary legislation, such as a concert, opera, ballet, stage performance or other musical, dramatic or theatrical entertainment, cinematograph or laser projection display or an amusement ride and mechanical device which is designed for amusement, a Place of Public Entertainment Licence (or Temporary Place of Public Entertainment Licence) should be obtained from FEHD whatever the general public is admitted with or without payment; and
- if the proposed development involves any commercial/trading activities, there should be no encroachment on the public place and no environmental nuisance should be generated to the surrounding areas. Its state should not be a nuisance or injurious or dangerous to health and surrounding environment. Also, for any waste generated from such activities/ operation, the applicant should arrange disposal properly at their own expenses; and

- (i) to note the comments of the Chief Officer (Licensing Authority), Home Affairs Department (CO/LA, HAD) that:
- according to the Hotel and Guesthouse Accommodation Ordinance (Cap. 349) (HAGAO), “hotel” and “guesthouse” mean any premises whose occupier, proprietor or tenant holds out that, to the extent of his available accommodation, he will provide sleeping accommodation at a fee for any person presenting himself at the premises, unless all accommodation in the premises is provided for a period of 28 consecutive days or more for each letting which is exempted under the Hotel and Guesthouse Accommodation (Exclusion) Order (Cap.349C);
 - if the mode of operation falls within the definition of “hotel” or “guesthouse” under HAGAO, a licence under the HAGAO must be obtained before operation. Whether the mode of operation of a camping site falls within the ambit of the HAGAO depends on the actual circumstances of each case and cannot be generalized; and
 - for any structure which constitutes as “building works” or “building” under the BO to be included into the licence, the applicant should submit a copy of either an occupation permit issued by the BA or a Certificate of Compliance issued by LandsD when making an application under the HAGAO.

Urgent Return Receipt Requested Sign Encrypt Mark Subject Restricted Expand personal&publi



A/NE-TK/752 DD 17 Ting Kok Tent City
12/07/2022 03:11

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
File Ref:

A/NE-TK/752

Lots 321 RP, 322 RP, 324 RP, 325 RP, 326 RP, 327, 328, 383 and 384 RP (Part) in
D.D. 17 and Adjoining Government Land, Ting Kok, Tai Po

Site area : About 2,841sq.m Includes Government Land of about 120sq.m

Zoning : "Agriculture"

Applied use : BBQ / 6 Caravan Holiday Camp / 734sq.m **Filling of Land** / 10 Vehicle
Parking

Dear TPB Members,

Strong objections. There is farming activity on some of the lots. The location is not
suitable for holiday camp as it is close to a busy road and surrounded by BBQ sites.
The intention would appear to be on the lines of what is happening at locations like
Pui O where caravans/containers are being rented out as homes.

There is substantial filling of land. Also the 'Storage of Tools' is questionable. Tools
for what? There is no Hobby Farm element as all agriculture activity would be
eliminated.

Members should question how many BBQ sites are already in operation in the
vicinity.

Mary Mulvihill

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Comments on the Section 16 Application No. A/NE-TK/752

12/07/2022 13:23

From: [Redacted]
To: <tpbpd@pland.gov.hk>
Cc: [Redacted]
File Ref:

1 attachment



TPB20220712(TK752).pdf

Dear Sir/Madam,

Attached please find our submission on the captioned.

Yours faithfully,
Chow Oi Chuen (Ms.)
Campaign Officer
The Conservancy Association

T: 2728 6781

F: 2728 5538

Registered Name 註冊名稱 : The Conservancy Association 長春社
(Incorporated in Hong Kong with limited liability by guarantee 於香港註冊成立的擔保有限公司)

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長春社 Since 1968

The Conservancy Association

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網址 Website:www.cahk.org.hk

12th July 2022

Town Planning Board
15/F North Point Government Offices
333 Java Road
North Point
Hong Kong

By e-mail: tpbpd@pland.gov.hk

Dear Sir/Madam,

Comments on the Section 16 Application No. A/NE-TK/752

The Conservancy Association (CA) OBJECTS to the captioned application.

1. Not in line with the planning intention of Agriculture (AGR) zone

According to the approved Ting Kok Outline Zoning Plan (OZP) No. S/NE-TK/19, the planning intention of AGR zone *“is intended primarily to retain and safeguard good quality agricultural land/farm/fish ponds for agricultural purposes. It is also intended to retain fallow arable land with good potential for rehabilitation for cultivation and other agricultural purposes.”*

However, all the proposed *Temporary Barbecue Site and Caravan Holiday Camp with ancillary facilities* are not related to agricultural purposes, especially land filling of 734m². We cannot see any details to justify how such plan would fulfill the above planning intention.

2. Adverse environmental impacts

We worry that there would be several potential adverse environmental impacts caused by the application:

- No plans on land recovery: Various structures/uses, including 11 single-storey structures of about 2.8m to 5m in height, and 734m²-land filling for barbecue area, caravan holiday camp, refreshment kiosk, reception and storage of tools, washroom and changing room and rain shelter, would be temporarily proposed in



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The Conservancy Association

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Add.: Units 1305-6, 13/F, Tower 1, Magnet Place, 77-81 Container Port Road, Kwai Chung, New Territories, H.K. 電子郵件 E-mail:cahk@cahk.org.hk
網址 Website:www.cahk.org.hk

the application site. However, no details are available to illustrate how the land would be recovered after the proposed temporary use.

- Adverse sewage and waste impact: The applicant does not provide any details of sewage arrangement, such as design, collection, treatment, disposal of sewage, back-up plans, and so on. Besides, insufficient details are available to identify other sources of wastewater arising from operation, particularly potential oily wastewater from camping and barbecue site and how these pollution sources would be treated. We worry that if the above issues cannot be properly addressed, it may lead to serious environmental and hygiene problems within the application site and its surrounding area, which is active agriculture land, coastal protection area and Site of Special Scientific Interest.
- Other sources of environmental impacts not clearly addressed: There are no site management and operational plans to describe issues such as number of expected visitors/users, crowd control, waste management, additional provision of ancillary utilities, and so on. Regarding the proposed recreation activities rooms, no details are available to describe their exact uses and activities, and whether additional wastewater would be generated during operation. All these would help identify source of environmental impacts and then suggest measures to minimize or mitigate potential environmental disturbance, but we cannot see the project proponent has attempted to address this.

Yours faithfully,
Chow Oi Chuen
Campaign Officer
The Conservancy Association

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Comments on the Section 16 Application No. A/NE-TK/752

27/09/2022 17:21

From: [REDACTED]
To: <tpbpd@pland.gov.hk>
Cc: [REDACTED]
File Ref:

1 attachment



TPB20220927(TK752).pdf

Dear Sir/Madam,

Attached please find our submission on the captioned.

Yours faithfully,
Chow Oi Chuen (Ms.)
Campaign Officer
The Conservancy Association

T: 2728 6781

F: 2728 5538

Registered Name 註冊名稱 : The Conservancy Association 長春社
(Incorporated in Hong Kong with limited liability by guarantee 於香港註冊成立的擔保有限公司)

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網址 Website:www.cahk.org.hk

27th September 2022

Town Planning Board
15/F North Point Government Offices
333 Java Road
North Point
Hong Kong

By e-mail: tpbpd@pland.gov.hk

Dear Sir/Madam,

Comments on the Section 16 Application No. A/NE-TK/752

The Conservancy Association (CA) OBJECTS to the captioned application.

1. Not in line with the planning intention of Agriculture (AGR) zone

According to the approved Ting Kok Outline Zoning Plan (OZP) No. S/NE-TK/19, the planning intention of AGR zone *“is intended primarily to retain and safeguard good quality agricultural land/farm/fish ponds for agricultural purposes. It is also intended to retain fallow arable land with good potential for rehabilitation for cultivation and other agricultural purposes.”*

However, all the proposed *Temporary Barbecue Site and Caravan Holiday Camp with ancillary facilities* are not related to agricultural purposes, especially land filling of 701m². We cannot see any details to justify how such plan would fulfill the above planning intention.

2. Adverse environmental impacts

We worry that there would be several potential adverse environmental impacts caused by the application:

- No plans on land recovery: Various structures/uses, including 11 single-storey structures of about 2.8m to 5m in height, and 701m²-land filling for barbecue area, caravan holiday camp, refreshment kiosk, reception and storage of tools, washroom and changing room and rain shelter, would be temporarily proposed in the application site. However, no



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網址 Website: www.cahk.org.hk

details are available to illustrate how the land would be recovered after the proposed temporary use.

- Adverse sewage and waste impact: The applicant does not provide any details of sewage arrangement, such as design, collection, treatment, disposal of sewage, back-up plans, and so on. Besides, insufficient details are available to identify other sources of wastewater arising from operation, particularly potential oily wastewater from barbecue site and how these pollution sources would be treated. We worry that if the above issues cannot be properly addressed, it may lead to serious environmental and hygiene problems within the application site and its surrounding area, which are active agriculture land, coastal protection area and Site of Special Scientific Interest.
- Other sources of environmental impacts not clearly addressed: There are no site management and operational plans to describe issues such as number of expected visitors/users, crowd control, waste management, additional provision of ancillary utilities, and so on. All these would help identify source of environmental impacts and then suggest measures to minimize or mitigate potential environmental disturbance, but we cannot see the project proponent has attempted to address this.

3. Undesirable precedent of “destroy first, build later”

According to the google earth aerial photos, this site has been subject to land formation and vegetation clearance (Figure 1-5) since 2015. Therefore we suspected that this is a case of “destroy first, build later”.

Planning Department and members of Town Planning Board (TPB) should alert that TPB has announced approaches to deter “destroy first, build later” activities in 2011. It stated that “*the Board is determined to conserve the rural and natural environment and will not tolerate any deliberate action to destroy the rural and natural environment in the hope that the Board would give sympathetic consideration to subsequent development on the site concerned*”¹. Therefore, this application should not be given any sympathetic consideration, or it will set an undesirable precedent for similar cases in future.

Yours faithfully,
Chow Oi Chuen
Campaign Officer
The Conservancy Association

¹ TPB Press Release. Available at: <http://www.info.gov.hk/gia/general/201107/04/P201107040255.htm>

Figure 1-5 According to the aerial photos from Google Earth, the application site (marked in red) has been subject to land formation and vegetation clearance since 2015





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網址 Website:www.cahk.org.hk



October 2018



February 2021



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網址 Website: www.cahk.org.hk



tpbpd@pland.gov.hk

寄件者: [REDACTED]
寄件日期: 2022年09月29日星期四 3:51
收件者: tpbpd
主旨: Re: A/NE-TK/752 DD 17 Ting Kok Tent City

Dear TPB Members,

This plan looks suspiciously like it is intended for residential use rather than casual recreational.

So much GFA for merely six caravans? Do the math. Renting them out as 'homes' on the other hand would be another matter.

Members should carefully examine the details.

Mary Mulvihill

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
Date: Tuesday, 12 July 2022 3:11 AM CST
Subject: A/NE-TK/752 DD 17 Ting Kok Tent City

A/NE-TK/752

Lots 321 RP, 322 RP, 324 RP, 325 RP, 326 RP, 327, 328, 383 and 384 RP (Part) in D.D. 17 and Adjoining Government Land, Ting Kok, Tai Po

Site area : About 2,841sq.m Includes Government Land of about 120sq.m

Zoning : "Agriculture"

Applied use : BBQ / 6 Caravan Holiday Camp / 734sq.m **Filling of Land** / 10 Vehicle Parking

Dear TPB Members,

Strong objections. There is farming activity on some of the lots. The location is not suitable for holiday camp as it is close to a busy road and surrounded by BBQ sites. The intention would appear to be on the lines of what is happening at locations like Pui O where caravans/containers are being rented out as homes.

There is substantial filling of land. Also the 'Storage of Tools' is questionable. Tools for what? There is no Hobby Farm element as all agriculture activity would be eliminated.

Members should question how many BBQ sites are already in operation in the vicinity.

Mary Mulvihill