

2023年 8月 14日

此文件在 收到・城市規劃委員會
只會在收到所有必要的資料及文件後才正式確認收到
申請的日期。

4 AUG 2023

This document is received on
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Appendix I of RNTPC
Paper No. A/NE-TK/783A

Form No. S16-III
表格第 S16-III 號

**APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP.131)**

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of
Land and/or Building Not Exceeding 3 Years in Rural Areas or Renewal
of Permission for such Temporary Use or Development***

**適用於祇涉及位於鄉郊地區土地上及/或建築物內進行為期不超過三年的
臨時用途/發展或該等臨時用途/發展的許可續期的建議***

**Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.*

**其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。*

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.info.gov.hk/tpb/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.info.gov.hk/tpb/tc/plan_application/apply.html

General Note and Annotation for the Form

填寫表格的一般指引及註解

- # "Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人
- & Please attach documentary proof 請夾附證明文件
- ^ Please insert number where appropriate 請在適當地地方註明編號
- Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」
- Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明
- Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/NE-TK/783
	Date Received 收到日期	14 AUG 2023

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.info.gov.hk/tpb/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.info.gov.hk/tpb/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☒ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☐ Organisation 機構)

陳遠輝 CHAN Yuen Fai

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☒ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☐ Organisation 機構)

許軍兒 Hui Kwan Yee

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	D.D.17 Lot Nos.384RP(Part),388(Part),393(Part),394,395,396RP(Part) & D.D.29 Lot Nos.317,318,321,322,323S.A,323S.B,323 S:C(Part),324, 1016RP(Part),1019RP, 1020RP, 1022, 1023 S.A,1023 S.B,1023 S.C, 1023 S.D, 1023 S.E, 1023S.F, 1023 S.G, 1023RP, 1024 S.B,1024 S.C, 1024 S.D,1024S.E,1024RP,1025 S.A,1025 S.B, 1025RP, 1026, 1027(Part), 1028 S.A, 1028 S.B, 1028 S.C, 1028 S.D, 1028RP, 1029(Part),1040(Part),1041 to 1044, 1049, 1050
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 9888.6 sq.m 平方米 <input type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 617.01 sq.m 平方米 <input type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有) sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	S/NE-TK/19 汀角分區計劃大綱圖
(e) Land use zone(s) involved 涉及的土地用途地帶	"Agriculture" and area shown as 'Road'
(f) Current use(s) 現時用途	Temporary Barbecue Site and Car Park (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☐ is the sole "current land owner"^{##} (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」^{##} (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners"^{##} (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」^{##} (請夾附業權證明文件)。
- ☒ is not a "current land owner"^{##}.
並不是「現行土地擁有人」^{##}。

- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification 就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)"^{##}.
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」^{##}。

(b) The applicant 申請人 –

- ☐ has obtained consent(s) of "current land owner(s)"^{##}.
已取得 名「現行土地擁有人」^{##}的同意。

Details of consent of "current land owner(s)" ^{##} obtained 取得「現行土地擁有人」 ^{##} 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified “current land owner(s)”[#]
已通知 名「現行土地擁有人」[#]。

Details of the “current land owner(s)” [#] notified 已獲通知「現行土地擁有人」 [#] 的詳細資料		
No. of ‘Current Land Owner(s)’ 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☒ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the “current land owner(s)” on _____ (DD/MM/YYYY)^{#&}
於_____ (日/月/年)向每一名「現行土地擁有人」[#]遞要求同意書[&]

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on _____ (DD/MM/YYYY)[&]
於_____ (日/月/年)在指定報章就申請刊登一次通知[&]
- ☒ posted notice in a prominent position on or near application site/premises on _____ (DD/MM/YYYY)[&]
於 01-08-2023 (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知[&]
- ☒ sent notice to relevant owners’ corporation(s)/owners’ committee(s)/mutual aid committee(s)/management office(s) or rural committee on _____ (DD/MM/YYYY)[&]
於 01-08-2023 (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會[&]

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別	
(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas 位於鄉郊地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展 (For Renewal of Permission for Temporary Use or Development in Rural Areas, please proceed to Part (B)) (如屬位於鄉郊地區臨時用途/發展的規劃許可續期，請填寫(B)部分)	
(a) Proposed use(s)/development 擬議用途/發展	Temporary Barbecue Site and Car Park (Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)
(b) Effective period of permission applied for 申請的許可有效期	<input checked="" type="checkbox"/> year(s) 年 3 <input type="checkbox"/> month(s) 個月
(c) Development Schedule 發展細節表 Proposed uncovered land area 擬議露天土地面積 9271.59sq.m <input type="checkbox"/> About 約 Proposed covered land area 擬議有上蓋土地面積 617.01sq.m <input type="checkbox"/> About 約 Proposed number of buildings/structures 擬議建築物／構築物數目 15 Proposed domestic floor area 擬議住用樓面面積sq.m <input type="checkbox"/> About 約 Proposed non-domestic floor area 擬議非住用樓面面積 617.01sq.m <input type="checkbox"/> About 約 Proposed gross floor area 擬議總樓面面積 617.01sq.m <input type="checkbox"/> About 約 Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明) 空間不足，請見附頁之構築物資料表	
Proposed number of car parking spaces by types 不同種類停車位的擬議數目 53 Private Car Parking Spaces 私家車車位 45 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 8 Others (Please Specify) 其他 (請列明)	
Proposed number of loading/unloading spaces 上落客貨車位的擬議數目 Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明)	

Proposed operating hours 擬議營運時間 營運時間為每日上午8時至晚上11時(包括公眾假期)			
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？	Yes 是	<input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) 汀角路	
	No 否	<input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度) <input type="checkbox"/>	
(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。)			
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動？	Yes 是	<input type="checkbox"/> Please provide details 請提供詳情	
	No 否	<input checked="" type="checkbox"/>	
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程？	Yes 是	<input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍) <input type="checkbox"/> Diversion of stream 河道改道 <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約	
	No 否	<input checked="" type="checkbox"/>	
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響？	On environment 對環境 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> On traffic 對交通 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> On water supply 對供水 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> On drainage 對排水 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> On slopes 對斜坡 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> Affected by slopes 受斜坡影響 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> Landscape Impact 構成景觀影響 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> Tree Felling 砍伐樹木 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> Visual Impact 構成視覺影響 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> Others (Please Specify) 其他 (請列明) Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> _____ _____		

	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>
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(B) Renewal of Permission for Temporary Use or Development in Rural Areas**位於鄉郊地區臨時用途/發展的許可續期**

(a) Application number to which the permission relates 與許可有關的申請編號	A/ _____ / _____
(b) Date of approval 獲批給許可的日期 (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期 (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	
(e) Approval conditions 附帶條件	<p><input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件</p> <p><input type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件</p> <p><input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件：</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Reason(s) for non-compliance: 仍未履行的原因：</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>(Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)</p>
(f) Renewal period sought 要求的續期期間	<p><input type="checkbox"/> year(s) 年</p> <p><input type="checkbox"/> month(s) 個月</p>

7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
 現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明）。

申請早於2021年提交時已獲 貴委員會批准，編號為(A/NE-TK/698)，惟當中因遭遇疫情及部門意見往返需時，導致附帶條件未能及時在可延長期限內完成，其實當時申請已完成大部分附帶條件，只欠排水現場落實，懇請 貴會可重新批准此規劃許可申請，申請人定當盡快完成所有附帶條件。

8. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.
本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署


.....
許軍兒 Hui Kwan Yee

☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Name in Block Letters
姓名（請以正楷填寫）

Position (if applicable)
職位（如適用）

Professional Qualification(s)
專業資格

☐ Member 會員 / ☐ Fellow of 資深會員

☐ HKIP 香港規劃師學會 /

☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 /

☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 /

☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他

on behalf of
代表

☐ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

..... - 2 AUG. 2023 (DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

(a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要 (Please provide details in both English and Chinese <u>as far as possible</u> . This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.) (請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)	
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置／地址	D.D.17 Lot Nos.384RP(Part),388(Part),393(Part),394,395,396RP(Part) & D.D.29 Lot Nos.317,318,321,322,323S.A,323S.B,323 S.C(Part),324, 1016RP(Part),1019RP, 1020RP, 1022, 1023 S.A,1023 S.B,1023 S.C, 1023 S.D, 1023 S.E, 1023S.F, 1023 S.G, 1023RP, 1024 S.B,1024 S.C, 1024 S.D,1024S.E,1024RP,1025 S.A,1025 S.B, 1025RP, 1026, 1027(Part), 1028 S.A, 1028 S.B, 1028 S.C, 1028 S.D, 1028RP, 1029(Part),1040(Part),1041 to 1044, 1049, 1050
Site area 地盤面積	9888.6 sq. m 平方米 □ About 約 (includes Government land of 包括政府土地 sq. m 平方米 □ About 約)
Plan 圖則	S/NE-TK/19 汀角分區計劃大綱圖
Zoning 地帶	"Agriculture" and area shown as 'Road'
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas for a Period of 位於鄉郊地區的臨時用途/發展為期 <input checked="" type="checkbox"/> Year(s) 年 3 □ Month(s) 月 _____ <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas for a Period of 位於鄉郊地區臨時用途/發展的規劃許可續期為期 <input type="checkbox"/> Year(s) 年 _____ □ Month(s) 月 _____
Applied use/development 申請用途/發展	Temporary Barbecue Site and Car Park

(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	617.01 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.062 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of block 幢數	Domestic 住用		
	Non-domestic 非住用	15	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	m 米 <input type="checkbox"/> (Not more than 不多於)	
		Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)	
	Non-domestic 非住用	2.14 - 4.27 m 米 <input type="checkbox"/> (Not more than 不多於)	
		1 Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)	
(iv) Site coverage 上蓋面積	0.062 % <input checked="" type="checkbox"/> About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數		53
	Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____		45 8
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數		
	Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____ _____		

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	Chinese 中文	English 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明） site plan, 告示, 告示照片, 郵寄證明, 構築物資料表, 已履行之附帶條件副本	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估（噪音、空氣及／或水的污染）	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input type="checkbox"/>
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

嘉年華

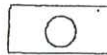
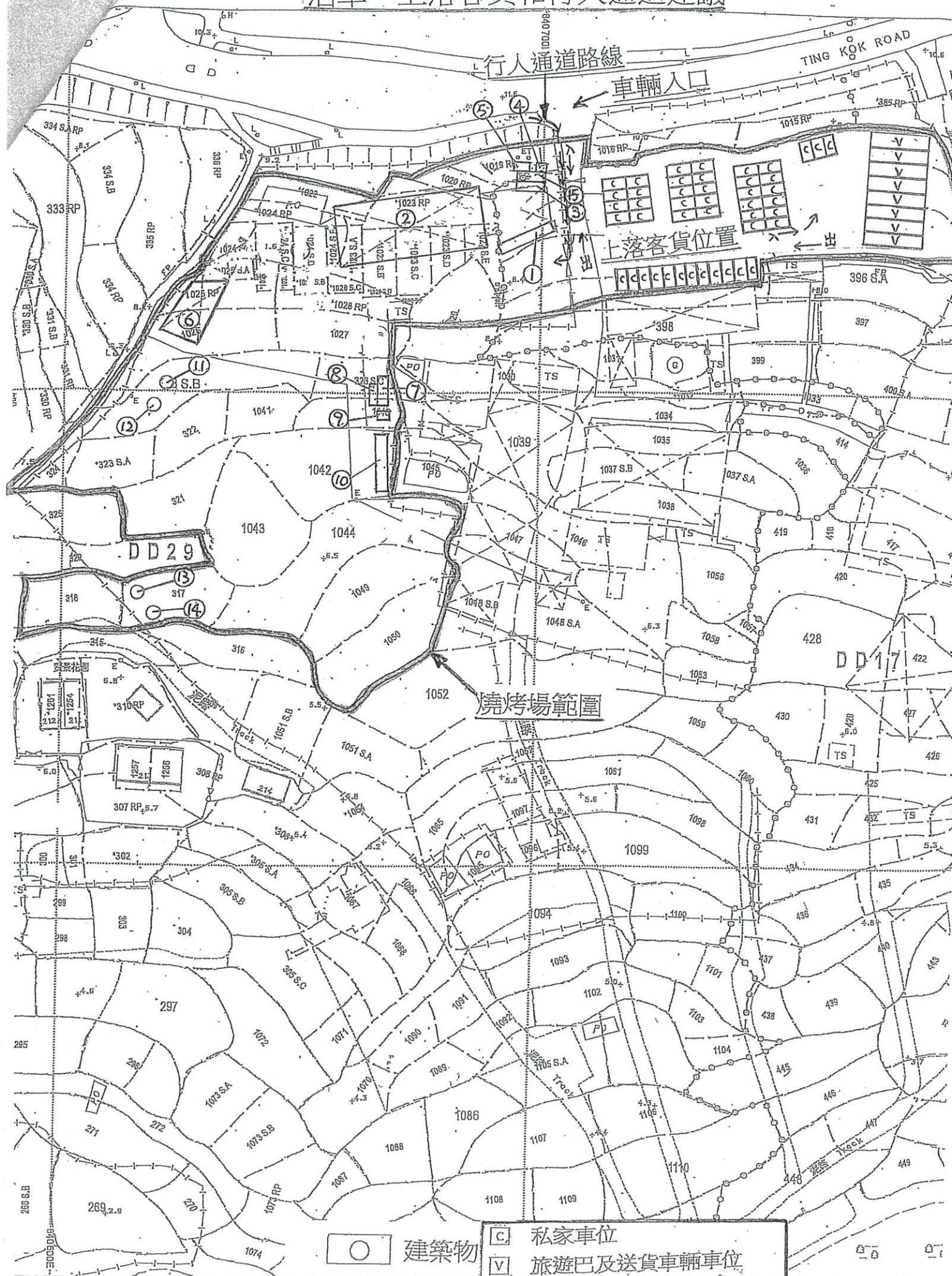
臨時燒烤場建築物資料：

號數	用途	面積	高度	備註
1	接待處及寫字樓	$12.20 \times 2.44 = 29.77\text{m}^2$	2.90m	
2	燒烤區	$30.50 \times 12.50 = 381.25\text{m}^2$	4.27m	
3	燒烤用品存放區	$6.10 \times 2.44 = 14.88\text{m}^2$	2.90m	
4	電錶房	$3.00 \times 1.80 = 5.40\text{m}^2$	2.14m	
5	廚房及蔭棚	87.50m^2	2.90m	
6	凍肉櫃	$6.10 \times 2.44 = 14.88\text{m}^2$	2.90m	
7	洗手間（女）	$4.20 \times 1.40 = 5.88\text{m}^2$	2.90m	
8	洗手間（殘障人士）	$2.30 \times 1.60 = 3.68\text{m}^2$	2.90m	
9	洗手間（男）	$12.20 \times 2.44 = 29.77\text{m}^2$	2.90m	
10	蔭棚	6.60m^2	2.90m	
11	蔭棚	6.60m^2	2.90m	
12	蔭棚	6.60m^2	2.90m	
13	蔭棚	6.60m^2	2.90m	
14	雜物倉	$6.10 \times 2.44 = 14.88\text{m}^2$	2.90m	
15	電錶房	$1.70 \times 1.60 = 2.72\text{m}^2$	2.14m	
		建築物總面積： 617.01m^2		

備註：全部建築物均為一層高。

泊車、上落客貨和行人通道建議

Site Plan



建築物

[C] 私家車位

[V] 旅遊巴及送貨車輛車位

規 劃 署

沙田、大埔及北區規劃處
香港新界沙田上禾輦路一號
沙田政府合署
十三樓 1301-1314 室



Planning Department

Sha Tin, Tai Po & North District
Planning Office
Rooms 1301-1314, 13/F,
Shatin Government Offices,
1 Sheung Wo Che Road, Sha Tin,
N.T., Hong Kong

來函檔號 Your Reference
本署檔號 Our Reference TPB/A/NE-TK/698
電話號碼 Tel. No.: 2158 6220
傳真機號碼 Fax No.: 2691 2806

郵寄
(共一頁)

許先生：

履行規劃許可附帶條件(d)及(e)項
在劃為「農業」地帶及顯示為「道路」的地方的
大埔汀角路丈量約份第 17 約及第 29 約多幅地段
臨時燒烤場及停車場（為期 3 年）
(申請編號 A/NE-TK/698)

就你履行上述規劃許可附帶條件(d)及(e)項有關落實消防裝置和滅火水源建議的來信，本署已於二零二二年八月二十二日收悉，並於同年八月三十一日予以回覆，確認附帶條件(d)項經已履行。

消防處處長審視你提交的文件後，認為有關的消防裝置和滅火水源建議已適當落實。因此，規劃許可附帶條件(d)及(e)項經已全部履行。

如你對消防裝置及滅火水源建議有任何疑問，請與消防處廖偉銓先生(電話：2733 7735)聯絡。如有其他疑問，請與本署鄭嘉欣女士(電話：2158 6018)聯絡。

規劃署署長

(陳巧賢

代行)

二零二二年十月七日

副本抄送：

消防處處長

(經辦人：廖偉銓先生)

(傳真：2739 8775)

地政專員/大埔

(經辦人：許漢傑先生)

(傳真：2650 9896)

內部抄送：

總城市規劃師/城市規劃委員會(1)

地盤記錄

MC/HL/AC/ac

規 劃 署

沙田、大埔及北區規劃處
新界沙田上禾輦路1號
沙田政府合署13樓



Planning Department

Sha Tin, Tai Po & North
District Planning Office
13/F., Sha Tin Government Offices,
1 Sheung Wo Che Road, Sha Tin,
N.T.

來函檔號 Your Reference
本署檔號 Our Reference TPB/A/NE-TK/698
電話號碼 Tel. No. : 2158 6220
傳真機號碼 Fax No. : 2691 2806

郵寄
(共一頁+附件)

許先生：

履行規劃許可附帶條件(d)及(e)項
在劃為「農業」地帶及顯示為「道路」的地方的
大埔汀角路丈量約份第17約及第29約多幅地段
臨時燒烤場及停車場(為期3年)
(申請編號 A/NE-TK/698)

就你履行上述規劃許可附帶條件(d)項及(e)項的來信，本署已於二零二二年八月二十二日收悉，現回覆如下：

消防處處長已審視你提交的文件，並確認上述申請的規劃許可附帶條件(d)項經已履行。他的指引性質意見刊載於附錄 I (只提供英文文本)。消防處處長仍在處理有關規劃許可附帶條件(e)項的文件。

如你對消防裝置及滅火水源建議有任何疑問，請與消防處廖偉銓先生(電話：2733 5844)聯絡。如你有任何其他疑問，請與本署鄭嘉欣女士(電話：2158 6018)聯絡。

規劃署署長

(陳巧賢

代行)

二零二二年八月三十一日

副本抄送：

消防處處長

(經辦人：廖偉銓先生)

(傳真：2739 8775)

內部抄送：

總城市規劃師/城市規劃委員會(1)

地盤記錄

MC/HL/AC/JY/jy

規 劃 署

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電話號碼 Tel. No. : 2158 6220
傳真機號碼 Fax No. : 2691 2806

郵寄及傳真()
(共兩頁+附件)

許先生：

履行規劃許可附帶條件(b)項
在劃為「農業」地帶及顯示為「道路」的地方的
大埔汀角路丈量約份第 17 約及第 29 約多個地段
闢設臨時燒烤場及停車場（為期 3 年）
(申請編號 A/NE-TK/698)

就你履行上述規劃許可附帶條件(b)項有關提交排水建議的來信及附加資料，本署已分別於二零二三年六月一日及六月六日收悉，現回覆如下：

渠務署總工程師／新界北已審視你提交的文件，並確認上述申請的規劃許可附帶條件(b)項經已履行。他的指引性質意見刊載於附錄 I（只提供英文文本）。

從地區規劃的角度而言，部分擬議排水設施可能位於申請地點以南的「海岸保護區」及「具特殊科學價值地點」地帶。若落實該等設施涉及任何位於「海岸保護區」或「具特殊科學價值地點」地帶內的填土或挖土工程，你須另行就該等工程向城市規劃委員會（城規會）申請規劃許可。另外，如工程涉及於政府土地砍伐樹木或植物清除活動，該等工程須先獲地政專員／大埔（大埔地政處）批准方可進行。你應時刻採取預防／保護措施，使有關工程對現有樹木及植被的影響減至最低，並防止對海岸及紅樹林生境造成不良影響。

如你對落實排水設施有任何疑問，請與渠務署何美鎔女士（電話：2300 1364）聯絡。如你有任何其他疑問，請與本署鄭嘉欣女士（電話：2158 6018）聯絡。

規劃署署長

(陳巧賢



代行)

二零二三年六月九日

副本抄送：

渠務署總工程師／新界北	(經辦人：何美鎔女士)	(傳真：2770 4761)
漁農自然護理署署長	(經辦人：梁傲晞博士)	(傳真：2377 4427)
地政專員／大埔	(經辦人：林德聰先生)	(傳真：2650 9896)

內部抄送：

總城市規劃師/城市規劃委員會(1)
地盤記錄

MC/JW/AC/KL/kl



A/NE-TK/78318/08/2023 15:18

From: Victor Hui <

>

To: khhlee@pland.gov.hk

File Ref:

2 Attachments



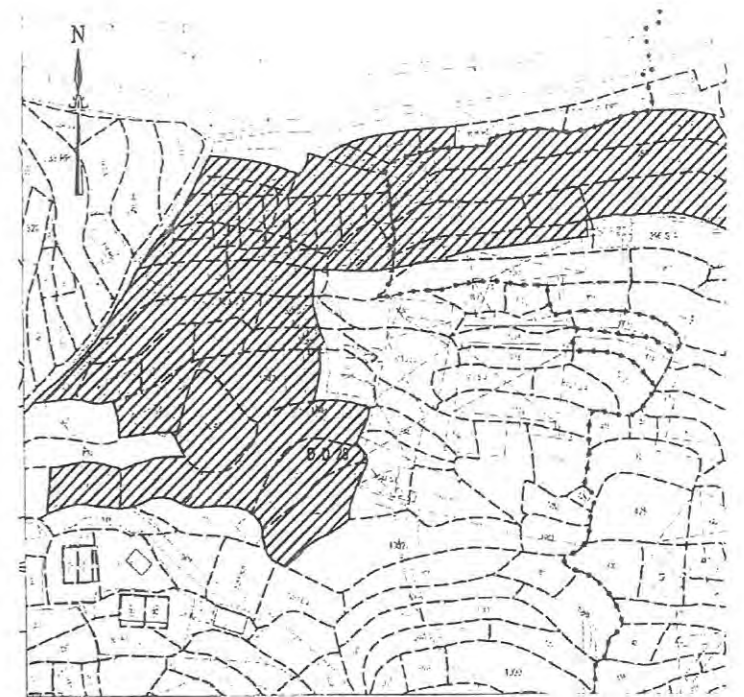
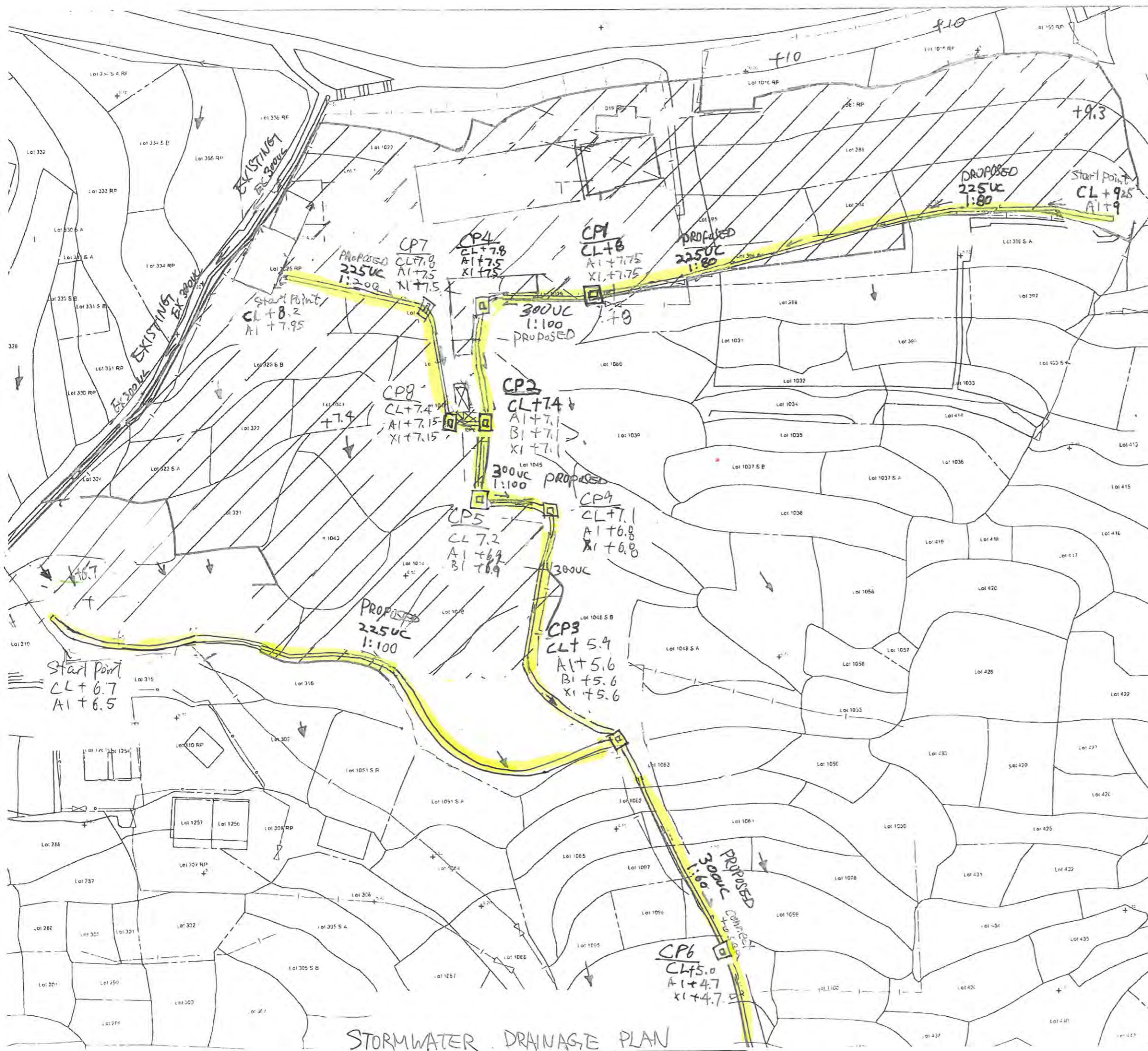
2023-08-18 revised page.pdf 2023-06-06 Proposal TK698.pdf

李先生：

隨此付上已修正之頁面及TK/698最後提交之渠務報告建議。

--

Best Regards,
Victor,Hui Kwan Yee



BLOCK PLAN (SCALE 1:2000)

PROPOSED	C.L.	A1	B1	C1	I.L.
CP1 Dwg. No. 2405 (CEDD DRAWING: 2405)	8	7.75	---	---	7.75
CP2 Dwg. No. 2405 (CEDD DRAWING: 2405)	7.4	7.1	7.1	---	7.1
CP3 Dwg. No. 2406 (CEDD DRAWING: 2406)	5.9	5.6	5.6	---	5.6
CP4 Dwg. No. 2405 (CEDD DRAWING: 2405)	7.8	7.5	---	---	7.5
CP5 Dwg. No. 2405 (CEDD DRAWING: 2405)	7.2	6.9	---	---	6.9
CP6 Dwg. No. 2405 (CEDD DRAWING: 2405)	5.0	4.7	---	---	4.7
CP7 Dwg. No. 2405 (CEDD DRAWING: 2405)	7.8	7.5	---	---	7.5
CP8 Dwg. No. 2405 (CEDD DRAWING: 2405)	7.4	7.15	---	---	7.15
CP9 Dwg. No. 2405 (CEDD DRAWING: 2405)	7.1	6.8	---	---	6.8

LEGEND

- Flow Pattern
- Subject Lot Boundary
- Subject Building Line
- Existing 225mm/300mm U-Channel with CONC. CI COVER
- PROPOSED 225/300UC
- PROPOSED 75mm UPVC PIPE FOR RAINWATER ROOF FALL
- PROPOSED 150/200mm UPVC SOL. AND WASTE PIPE
- EXISTING STORMWATER MANHOLE
- PROPOSED STORMWATER CATCHPIT
- PROPOSED SEWERAGE MANHOLE
- EXISTING GOVERNMENT SEWERAGE MANHOLE
- PROPOSED SEWERAGE TERMINAL MANHOLE
- C.L. COVER LEVEL
- I.L. INVERT LEVEL
- D.T.L. DISCONNECTING TRAP LEVEL

NOTES FOR DRAINAGE WORKS

- Concrete mix to be grade 30D/20 design mix and comply with CS1:1990
- Blinding layer to be grade 15P mix.
- Concrete cover to main steel bar to be 50mm.
- Reinforcement marked "R" denote mild steel bar ($f_y=250$ MPa) and marked "Y" denote high tensile steel bar ($f_y=460$ MPa) in compliance with B.S.4449:1988 and CS2:1995.
- Confirm that the invert levels of inlet u-channels and outlet u-channels are the same
- Confirm that the levels of inlet invert and outlet invert of the proposed catchpits are the same

NO.	DATE	AMENDED
a	07/2022	AMENDED
b	12/2022	AMENDED
c	05/2023	AMENDED

THIS SET OF DRAWING INCLUDES

DLO Ref.	NAME	D
Our Ref.	Veronica Chiu	09
CHECKED	Vincent Li	09

PROJECT
PROPOSED STORMWATER DRAINAGE WORKS on 大埔汀角路 第17約及29約多個地段 開設臨時燒烤場及停車場 (為期三年)
 REF. NO.: (TPB/A/NE-TK/698)

DRAWING TITLE
BLOCK PLAN, STORMWATER DRAINAGE PLAN, DETAILS AND NOTES

DRAWING NO.	SCALE
D - 1c	AS SH 1:700

Surface water disposal calculation of stormwater
drainage system for a village house

on

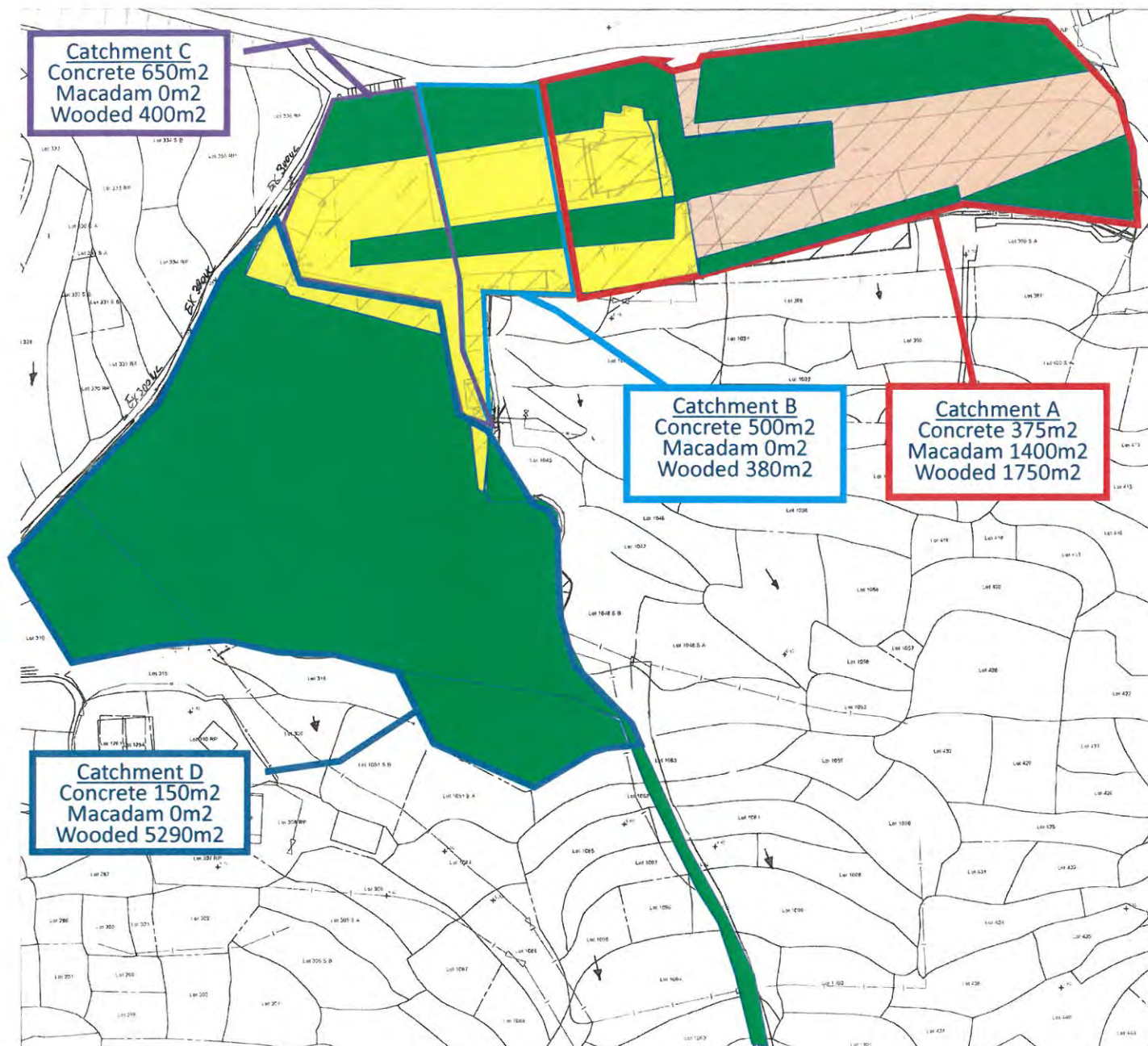
VARIOUS LOTS IN D.D.17 AND D.D. 29,

TING KOK VILLAGE, TAI PO

(Ref. No. : TPB/A/NE-TK/698-7)

June 2023

Surface water disposal calculation of stormwater drainage system on Temporary BBQ site and Car Park for Period for 3 years various lots in D.D.17 and D.D.29, Ting Kok Village, Tai Po, N.T. (Ref. no. TPB/A/NE-TK/698-7)



Total Catchment = 10895 m²

Catchment A = 3525m² (Concrete Paving = 375 m² + Macadam Roadways = 1400 m² + Wooded Areas = 1750 m²)

Catchment B = 880m² (Concrete Paving = 500 m² + Macadam Roadways = 0 m² + Wooded Areas = 380 m²)

Catchment C = 1050m² (Concrete Paving = 650 m² + Macadam Roadways = 0 m² + Wooded Areas = 400 m²)

Catchment D = 5440m² (Concrete Paving = 150 m² + Macadam Roadways = 0 m² + Wooded Areas = 5290 m²)

Surface water disposal calculation of stormwater drainage system on Temporary BBQ site and Car Park for Period for 3 years various lots in D.D.17 and D.D.29, Ting Kok Village, Tai Po, N.T. (Ref. no. TPB/A/NE-TK/698-7)

Surface water disposal calculation on proposed U-Channel

Proposed U-Channel Size 225,300mm
Total Catchment Area 10095m2

Calculation of Peak runoff from the site

Catchment Runoff(The site)

Area

=10895m2

=0.01km2

Calculation of rainfall intensity

=0.14465L/H^{0.2}A^{0.1}

=0.14465*200/4^{0.2}*10895^{0.1}

=28.93/3.34

=8.7min

Value of a,b,c are from Table 3a of Stormwater Drainage Manual with 10yrs return period

=a/(t+b)^c

=471.9/(8.7+3.02)^{0.397}

=179mm/hr

Table 3a – Storm Constants for Different Return Periods of HKO Headquarters

Return Period T (years)	2	5	10	20	50	100	200	500	1000
a	499.8	480.2	471.9	463.6	451.3	440.8	429.5	414.0	402.1
b	4.26	3.36	3.02	2.76	2.46	2.26	2.05	1.77	1.55
c	0.494	0.429	0.397	0.369	0.337	0.316	0.295	0.269	0.251

Surface water disposal calculation of stormwater drainage system on Temporary BBQ site and Car Park for Period for 3 years various lots in D.D.17 and D.D.29, Ting Kok Village, Tai Po, N.T. (Ref. no. TPB/A/NE-TK/698-7)

Calculation of runoff coefficient C & mean intensity of rainfall (i)

By "Rational Method"
 $Q_p = 0.278 C i A$ Where

Q_p = Peak runoff in m³/s
C = runoff coefficient (dimensionless)
i = rainfall intensity in mm/hr
A = catchment area in Km²

Type of surface	Impermeability factors	Area of surface type(m2)	Percentage(%)
Concrete Paving	0.95	1600	15
Macadam Roadways	0.6	1300	12
Wooded Areas(glassland sandy)	0.150	7995	73

Total Peak Runoff in m3/s
 $Q_p = 0.278 C i A$ Where Q_p = Peak Runoff in m3/s

Catchment A = 3525m2 (Concrete Paving = 300 m2 + Macadam Roadways = 1300 m2 + Wooded Area=1925m2)

Concrete Paving =0.278*0.95*179*0.0003 =0.0142m3/s =852 liter/min	Macadam Roadways =0.278*0.6*179*0.0013 =0.0388m3/s =2328 liter/min	Wooded Areas (glassland sandy) =0.278*0.15*179*0.001925 =0.0143m3/s =858 liter/min
--	---	---

=852+2328+858 =4038 liter/min
(Rainfall intensity increased by 11.1% for Mid 21 century according to Corrigendum no.1/2022)
=4486 liter/min

Catchment B = 880m2 (Concrete Paving = 500 m2 + Macadam Roadways = 0 m2 + Wooded Areas = 380 m2)

Concrete Paving =0.278*0.95*179*0.0005 =0.0236m3/s =1416 liter/min	Macadam Roadways =0 liter/min	Wooded Areas (glassland sandy) =0.278*0.15*179*0.00038 =0.0028m3/s =168 liter/min
---	----------------------------------	--

=1416+0+168 =1584 liter/min
(Rainfall intensity increased by 11.1% for Mid 21 century according to Corrigendum no.1/2022)
=1760 liter/min

Catchment C = 1050m² (Concrete Paving = 650 m²+ Macadam Roadways = 0 m² + Wooded Area=400m²)

Concrete Paving = $0.278 \times 0.95 \times 179 \times 0.00065$ =0.0307m ³ /s =1842 liter/min	Macadam Roadways =0 liter/min	Wooded Areas(glassland sandy) = $0.278 \times 0.15 \times 179 \times 0.0004$ =0.0030m ³ /s =180 liter/min
---	----------------------------------	---

=1842+0+180 =2022 liter/min

(Rainfall intensity increased by 11.1% for Mid 21 century according to Corrigendum no.1/2022)

=2246 liter/min

Catchment D = 5440m² (Concrete Paving = 150 m²+ Macadam Roadways = 0 m² + Wooded Area=5290m²)

Concrete Paving = $0.278 \times 0.95 \times 179 \times 0.00015$ =0.0071m ³ /s =462 liter/min	Macadam Roadways =0 liter/min	Wooded Areas(glassland sandy) = $0.278 \times 0.15 \times 179 \times 0.00529$ =0.0394m ³ /s =2364 liter/min
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=462+0+2364 =2826 liter/min

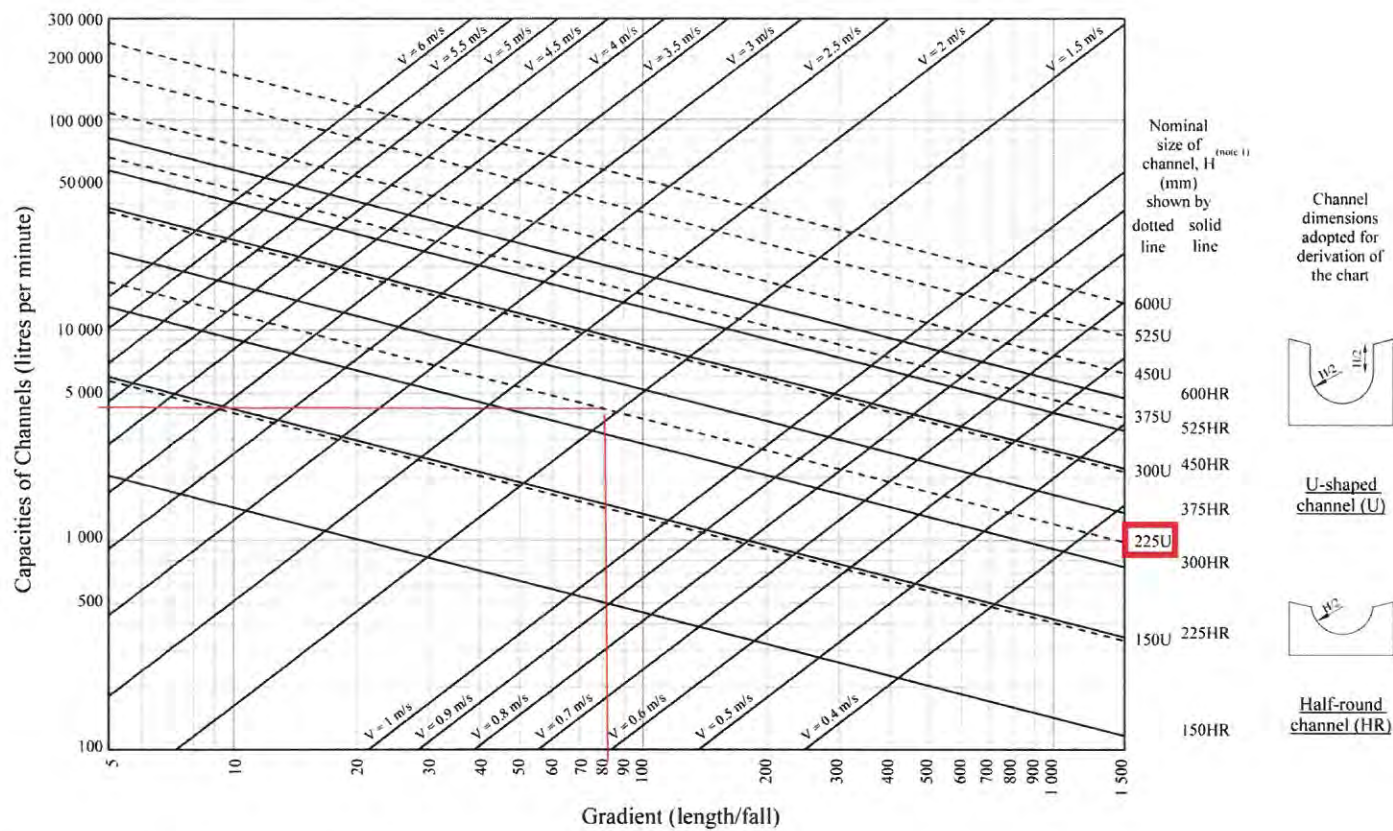
(Rainfall intensity increased by 11.1% for Mid 21 century according to Corrigendum no.1/2022)

=3139 liter/min

According to (Below Figure 7.1 – Chart for Rapid Design of Channel)

Peak Runoff of Catchment A = 4486 liter/min

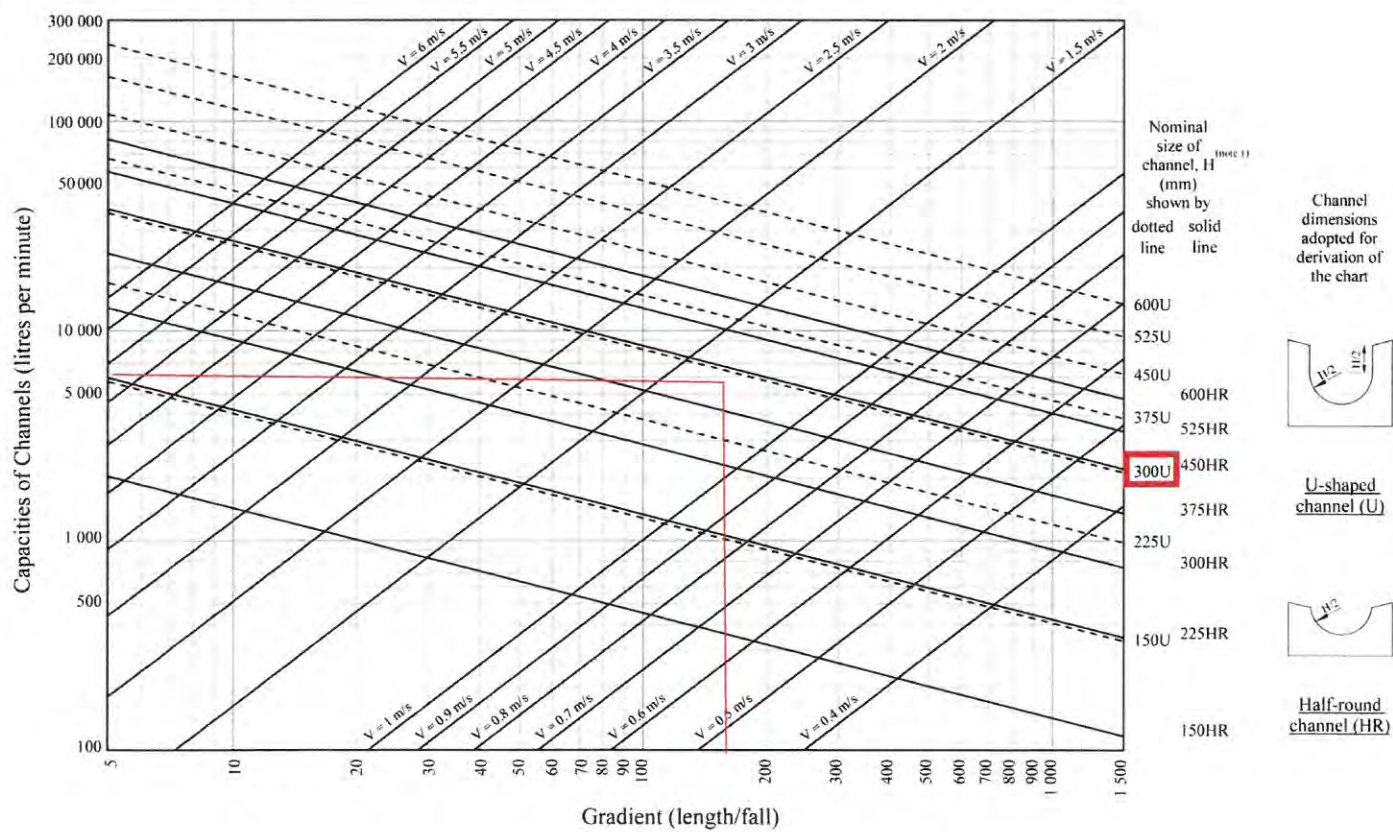
For gradient 1:80, 225UC is adequate(OK)



According to (Below Figure 7.1 – Chart for Rapid Design of Channel)

Peak Runoff of Catchment A+B = 4486 + 1760 = 6246 liter/min

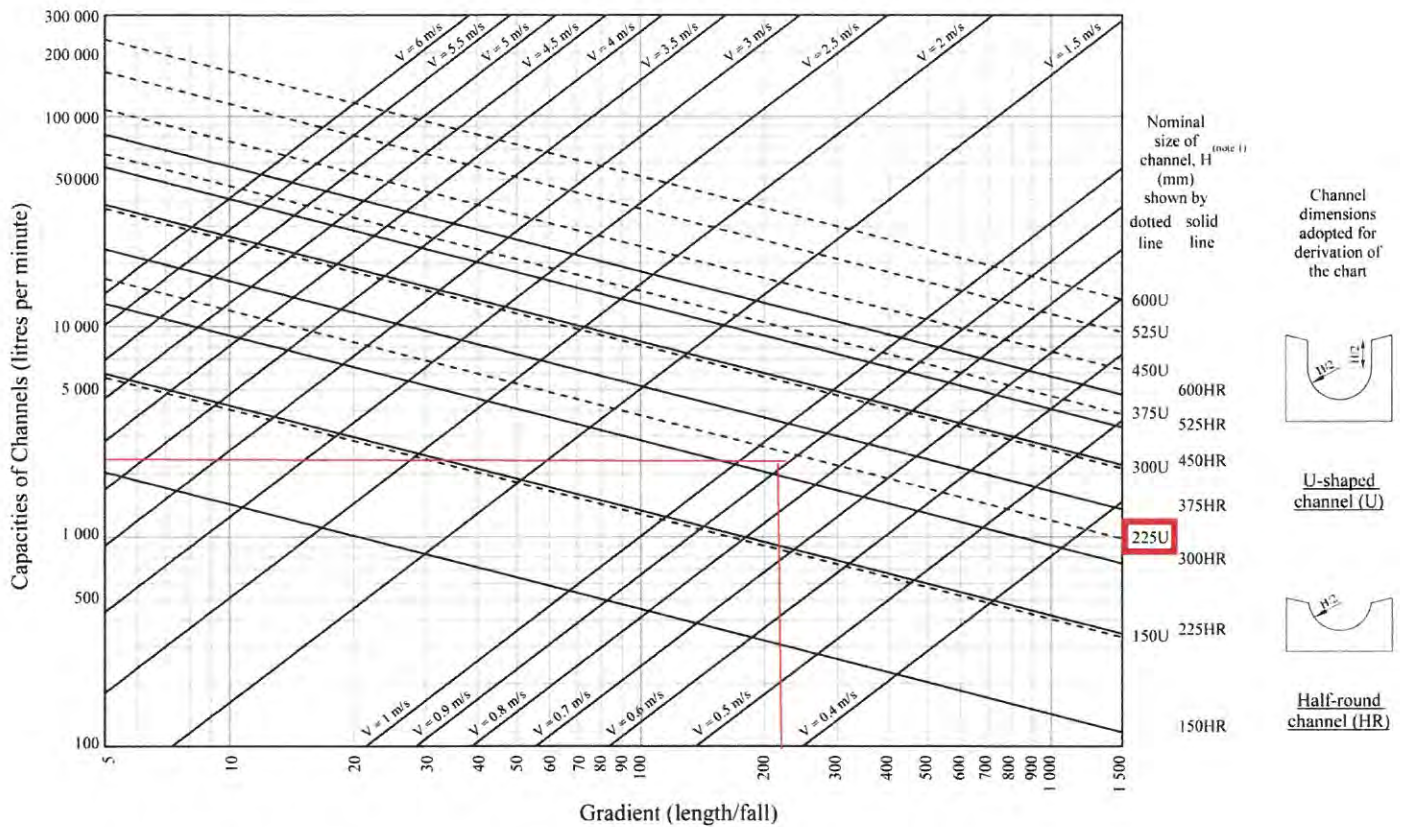
For gradient 1:100, 300UC is adequate(OK)



According to (Below Figure 7.1 – Chart for Rapid Design of Channel)

Peak Runoff of Catchment C = 2246 liter/min

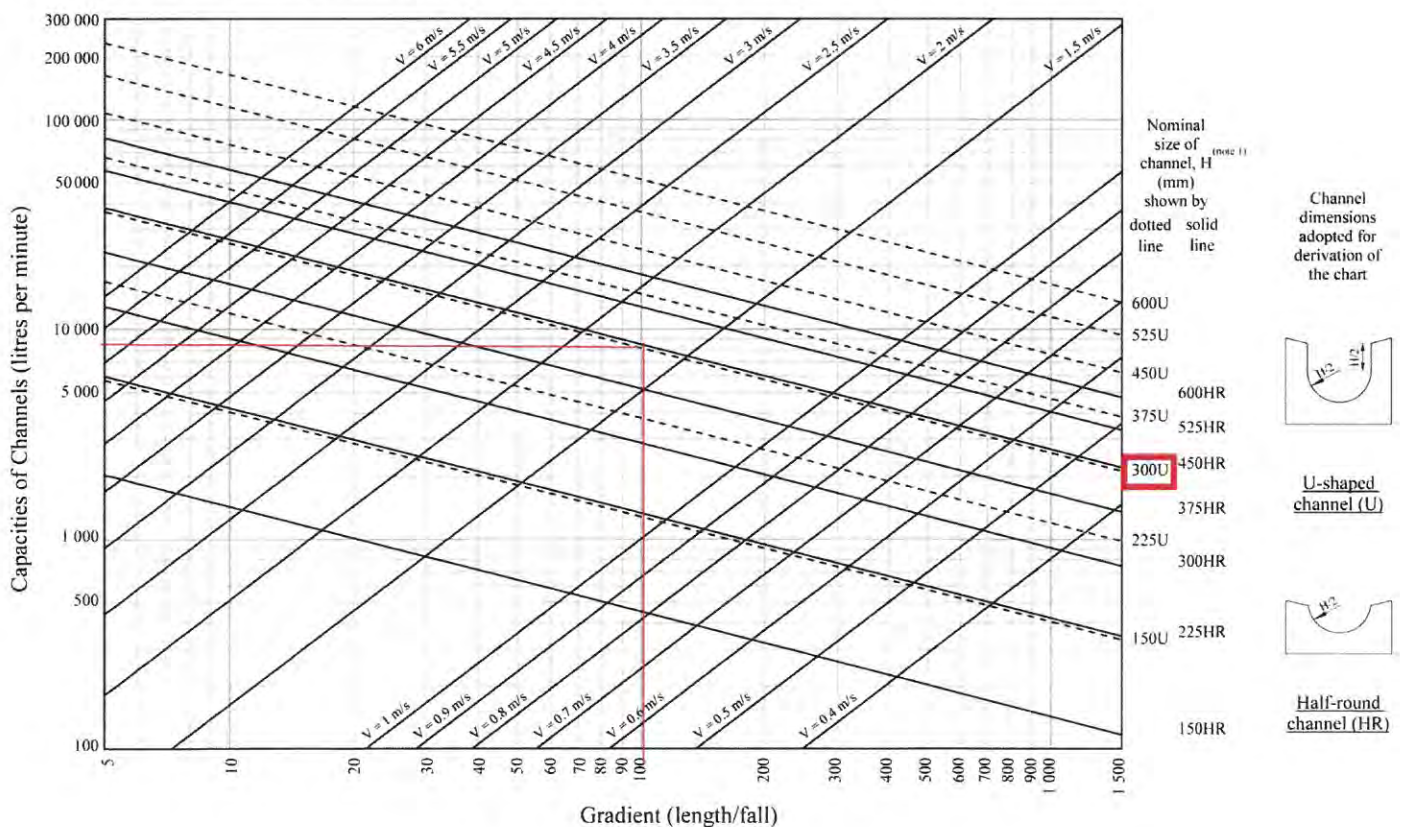
For gradient 1:200, 225UC is adequate(OK)



According to (Below Figure 7.1 – Chart for Rapid Design of Channel)

Peak Runoff of All Catchment A + B + C = 4486 + 1760 + 2246 = 8492 liter/min

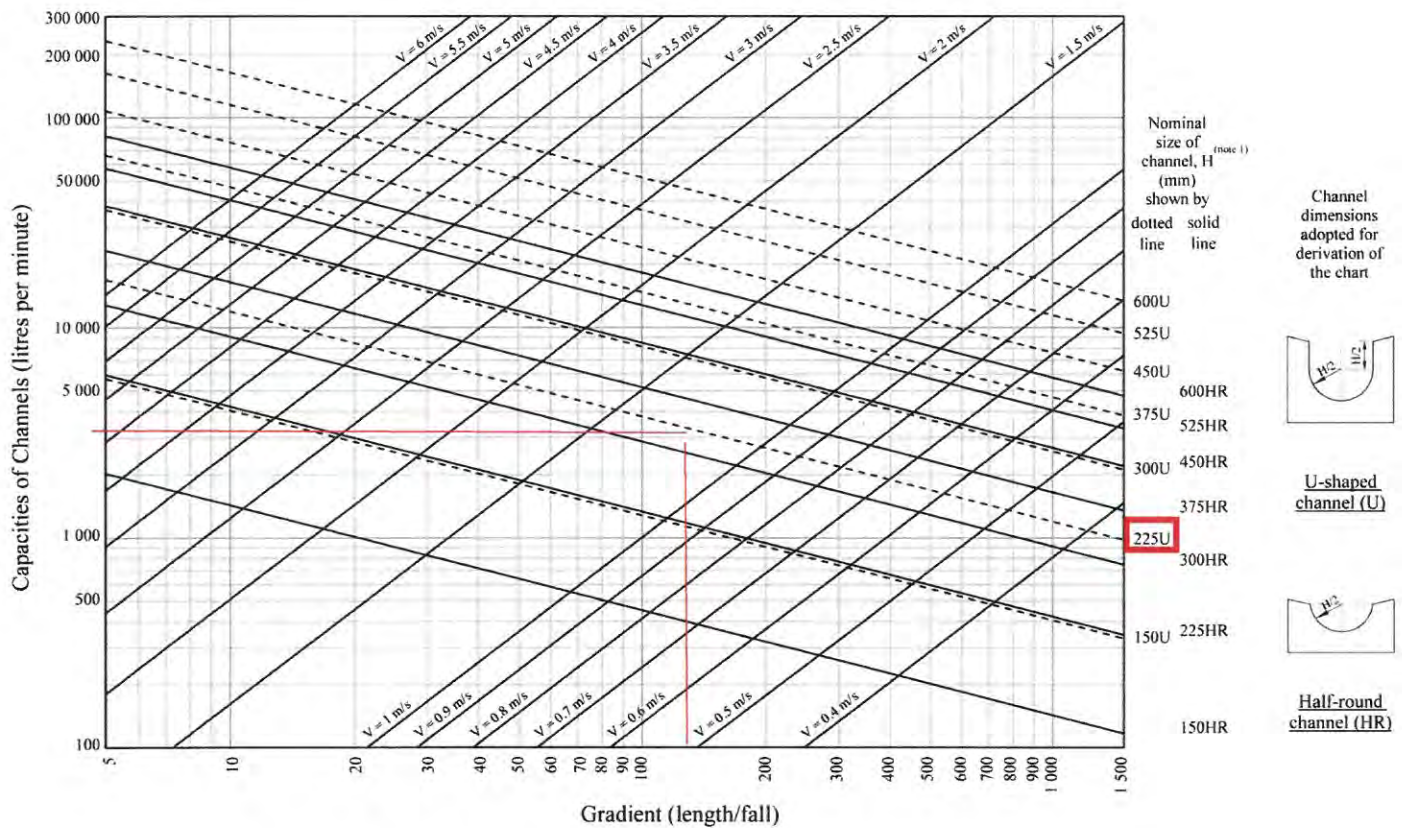
For gradient 1:100, 300UC is adequate(OK)



According to (Below Figure 7.1 – Chart for Rapid Design of Channel)

Peak Runoff of All Catchment D = 3139 liter/min

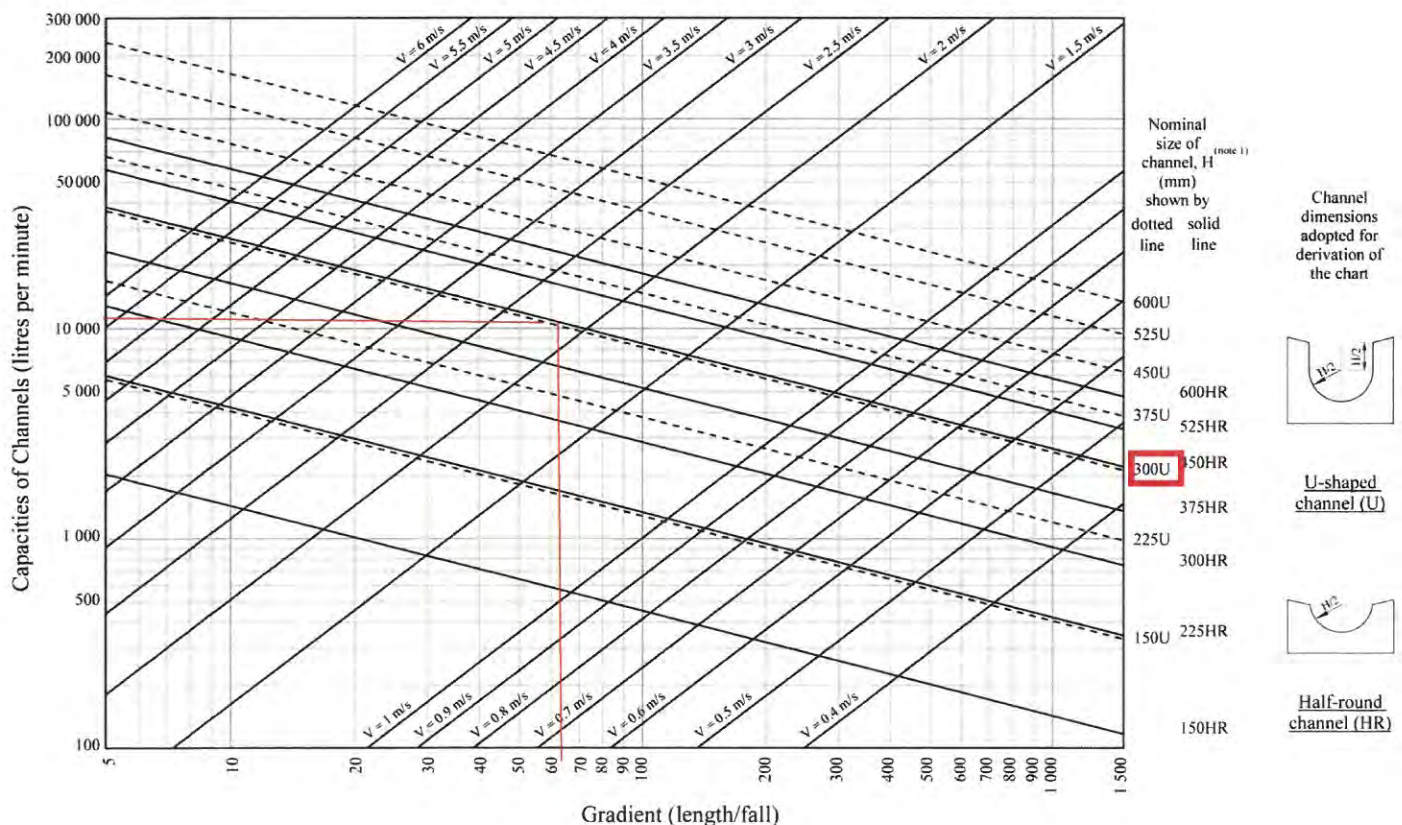
For gradient 1:100, 225UC is adequate(OK)



According to (Below Figure 7.1 – Chart for Rapid Design of Channel)

Peak Runoff of All Catchment A + B + C + D = 4486 + 1760 + 2246 + 3139 = 11631 liter/min

For gradient 1:60, 300UC is adequate(OK)



GEO Technical Guidance Note No. 39 (TGN 39)
Guidelines for Estimation of Surface Runoff from Natural Terrain
Catchments for Drainage Design Purposes

Issue No.: 1	Revision: -	Date: 27.12.2013	Page: 4 of 4
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Values of Runoff Coefficient Recommended in DSD (2013)

Surface Characteristics	Runoff coefficient, C ^{Note 1}
Asphalt	0.70 - 0.95
Concrete	0.80 - 0.95
Brick	0.70 - 0.85
Grassland (heavy soil ^{Note 2})	
Flat	0.13 - 0.25
Steep	0.25 - 0.35
Grassland (sandy soil)	
Flat	0.05 - 0.15
Steep	0.15 - 0.20

0.95 used

0.15 used

Notes

- (1) For steep natural hillsides or areas where a shallow soil surface is underlain by an impervious rock layer, a higher C value of 0.4 - 0.9 may be applicable.
- (2) Heavy soil refers to fine-grained soil composed largely of silt and clay.

TABLE 3.7
Values of Runoff Coefficient or Impermeability Factor for Different Surfaces (After Kuichling)

S.No.	Type of surface	Value of C
1	Watertight roof surface	0.70 to 0.95
2	Pavements of asphalt and concrete	0.85 to 0.90
3	Pavements of stones, bricks and wooden blocks with tightly cemented joints	0.75 to 0.85
4	Pavements of stones, bricks and wooden blocks with open joints	0.50 to 0.70
5	Macadam roads	0.25 to 0.60
6	Gravel roads	0.15 to 0.30
7	Unpaved surfaces, railway yards and open spaces	0.10 to 0.30
8	Parks, gardens, lawns, meadows, etc	0.05 to 0.25
9	Forest land or wooded area	0.01 to 0.20
10	Fertilized land	0.01 to 0.20

0.6 used

Surface water disposal calculation of stormwater drainage system on Temporary BBQ site and Car Park for Period for 3 years various lots in D.D.17 and D.D.29, Ting Kok Village, Tai Po, N.T. (Ref. no. TPB/A/NE-TK/698-7)



Photo 1 -Carpark area



Photo 2- Wooded Area



Photo 3- Carpark area



Photo 4- Macadam Roadway



Photo 5- Macadam Roadway



Photo 6- Wooded Area

Surface water disposal calculation of stormwater drainage system on Temporary BBQ site and Car Park for Period for 3 years various lots in D.D.17 and D.D.29, Ting Kok Village, Tai Po, N.T. (Ref. no. TPB/A/NE-TK/698-7)



Photo 7- Wooded Area



Photo 8- Wooded Area



Photo 9- Concrete paving



Photo 10- Concrete paving



Photo 11- Concrete paving



Photo 12- Wooded Area

Surface water disposal calculation of stormwater drainage system on Temporary BBQ site and Car Park for Period for 3 years various lots in D.D.17 and D.D.29, Ting Kok Village, Tai Po, N.T. (Ref. no. TPB/A/NE-TK/698-7)



Photo 13- Wooded Area



Photo 14- Wooded Area



Photo 15- Existing 300UC outside



Photo 16- Existing 300UC outside

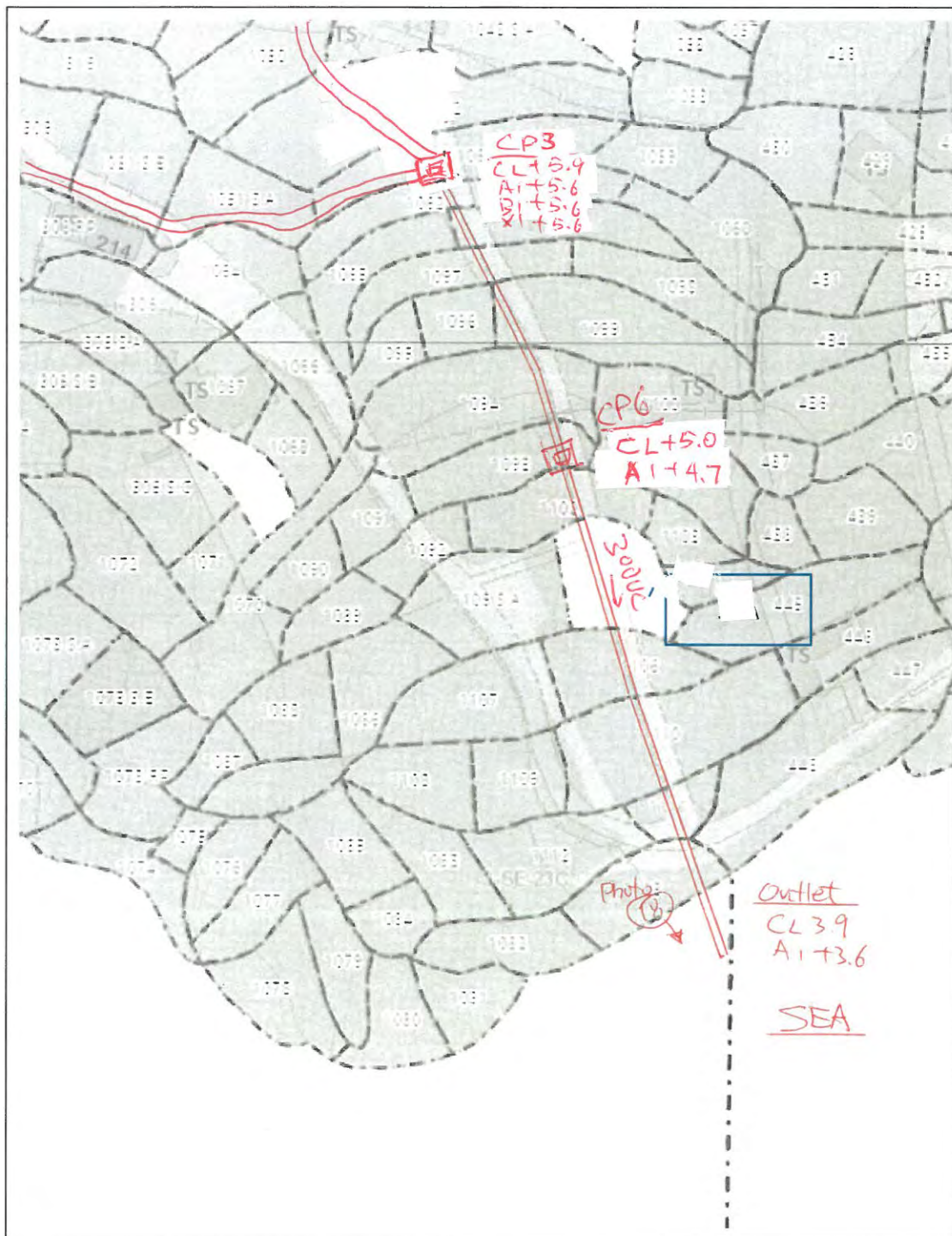


Photo 17- Existing 300UC outside



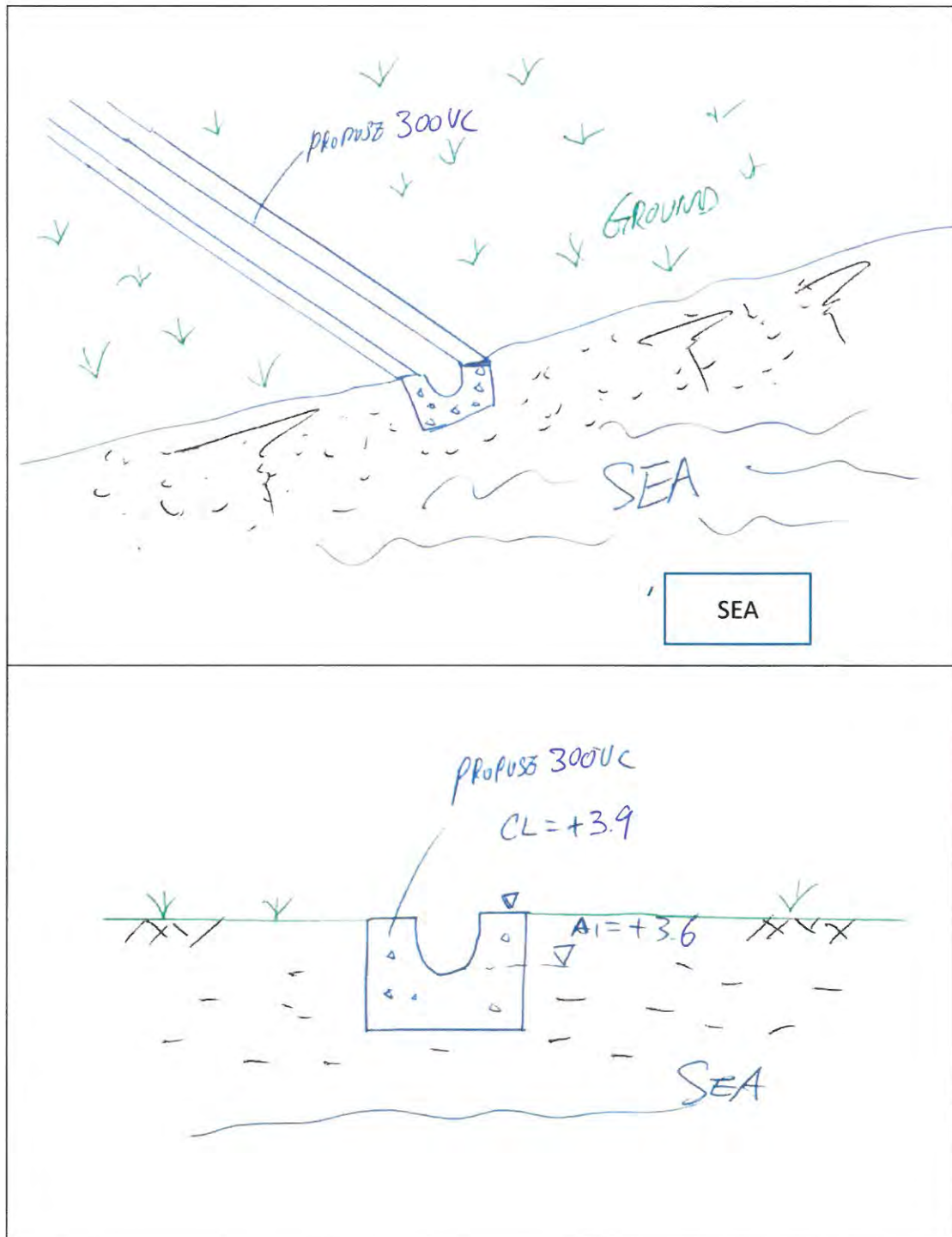
Photo 18- Drainage outlet to Sea

Surface water disposal calculation of stormwater drainage system on Temporary BBQ site and Car Park for Period for 3 years various lots in D.D.17 and D.D.29, Ting Kok Village, Tai Po, N.T. (Ref. no. TPB/A/NE-TK/698-7)

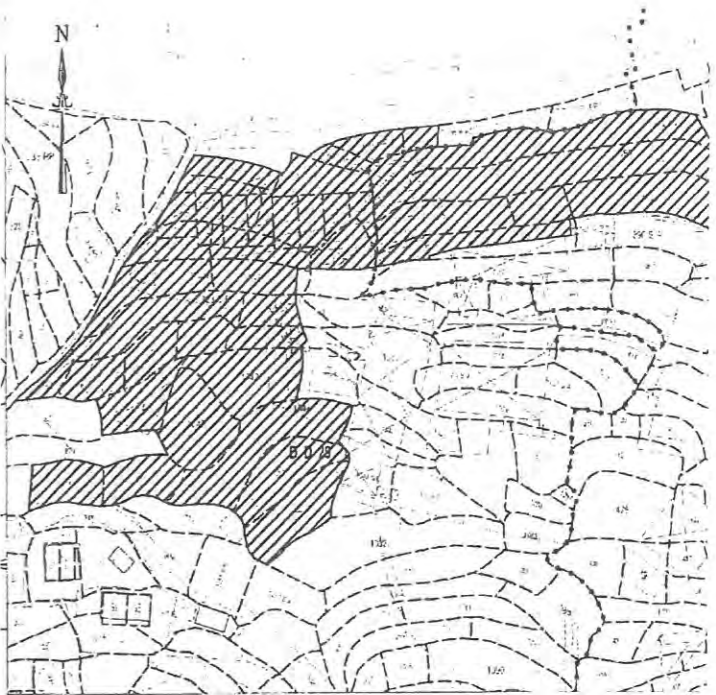
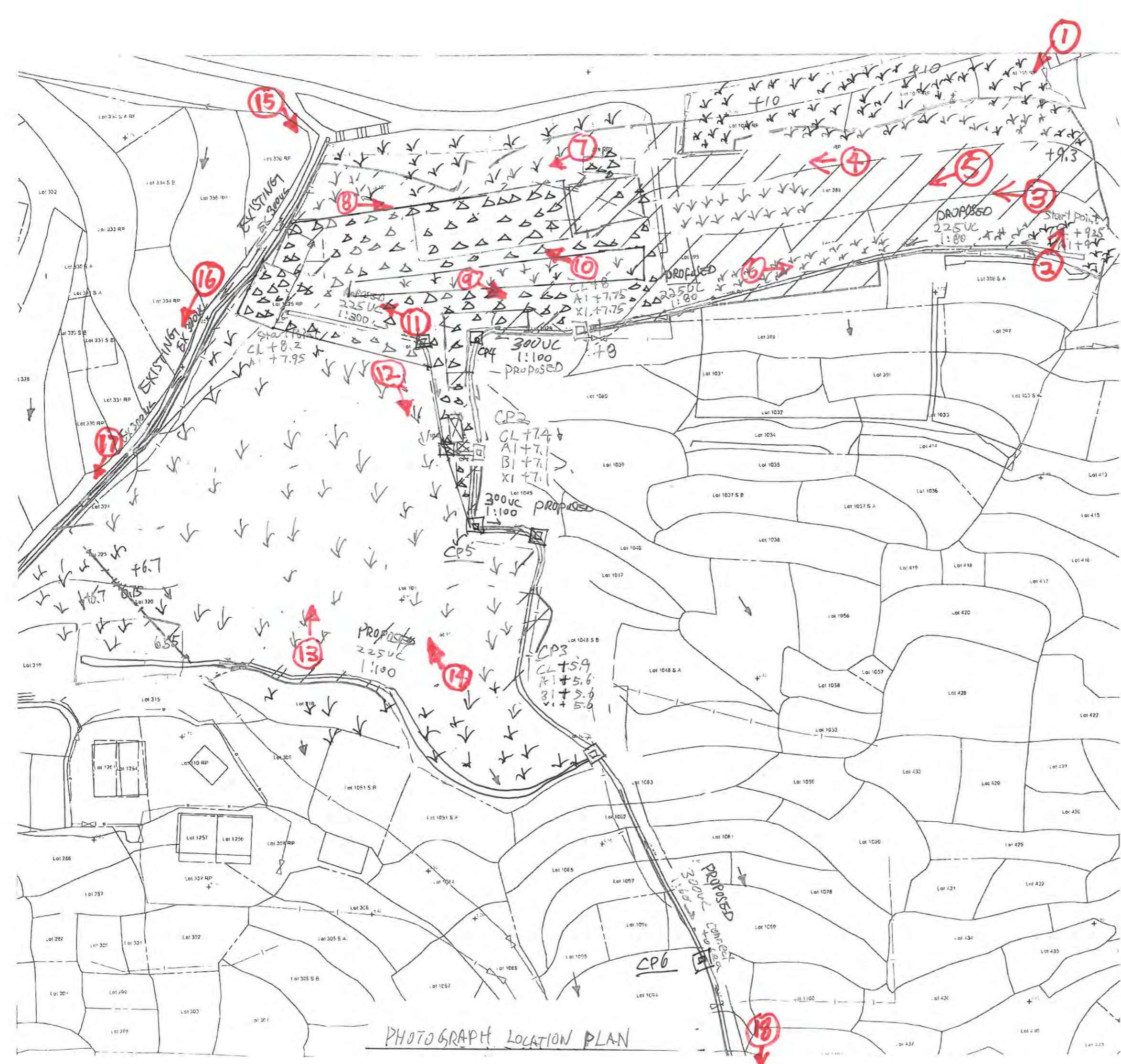


Site to Sea Map

Surface water disposal calculation of stormwater drainage system on Temporary BBQ site for Period for 3 years various lots in D.D.17, Ting Kok Village, Tai Po, N.T. (Ref. no. TPB/A/NE-TK/698)



Details of proposed 300 UC to be connected to sea



BLOCK PLAN (SCALE 1:2000)

	C.L.	A1	B1	I.L.
CP1 (CEDD DRAWING NO. C2405/1)	8	7.75		7.75
CP2 (CEDD DRAWING NO. C2405/1)	7.4	7.1	7.1	7.1
CP3 (CEDD DRAWING NO. C2405/1)	5.9	5.6	5.6	5.6

CP4 CP7
CP5 CP8
CP6 CP9

↓ WOODED AREA
△ CONCRETE PAVING

← PHOTO DIRECTION

MACADAM

COLOUR INDICATION

- EXISTING STORMWATER WORKS
- PROPOSED STORMWATER WORKS
- CONCRETE WORKS
- STEEL WORKS

LEGEND

- F FLOW PATTERN
- SUBJECT LOT BOUNDARY
- SUBJECT BUILDING LINE
- EXISTING 225mm / 300mm U-CHANNEL with CONC. COVER
- PROPOSED 300mm CHANNEL
- PROPOSED 225mm STEP CHANNEL
- PROPOSED 75mm UPVC PIPE FOR RAINWATER ROOF FALL
- PROPOSED 150mm / 200mm UPVC SOL. AND WASTE PIPE
- EXISTING STORMWATER MANHOLE
- PROPOSED STORMWATER CATCH-PIT
- PROPOSED SEWERAGE MANHOLE
- EXISTING GOVERNMENT SEWERAGE MANHOLE
- PROPOSED SEWERAGE TERMINAL MANHOLE
- C.L. COVER LEVEL
- I.L. INVERT LEVEL
- O.T.L. DISCONNECTING TRAP LEVEL

NOTES FOR DRAINAGE WORKS

- Concrete mix to be grade 30D/20 design mix and comply with CS1:1990.
- Blinding layer to be grade 15P mix.
- Concrete cover to main steel bar to be 50mm.
- Reinforcement marked "R" denote mild steel bar ($f_y=250$ MPa) and marked "Y" denote high tensile steel bar ($f_y=460$ MPa) in compliance with B.S.4449: 1988 and CS2: 1995.
- Confirm that the invert levels of inlet u-channels and outlet u-channels are the same.
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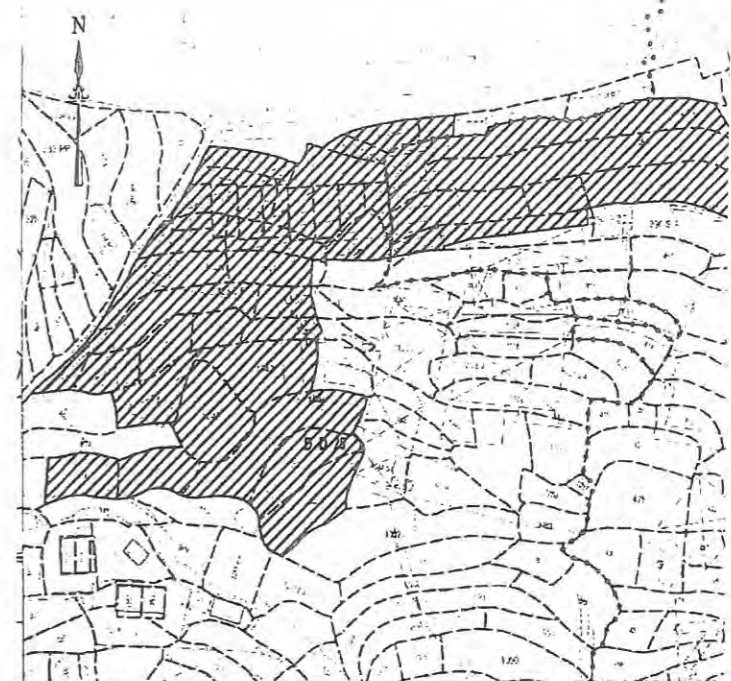
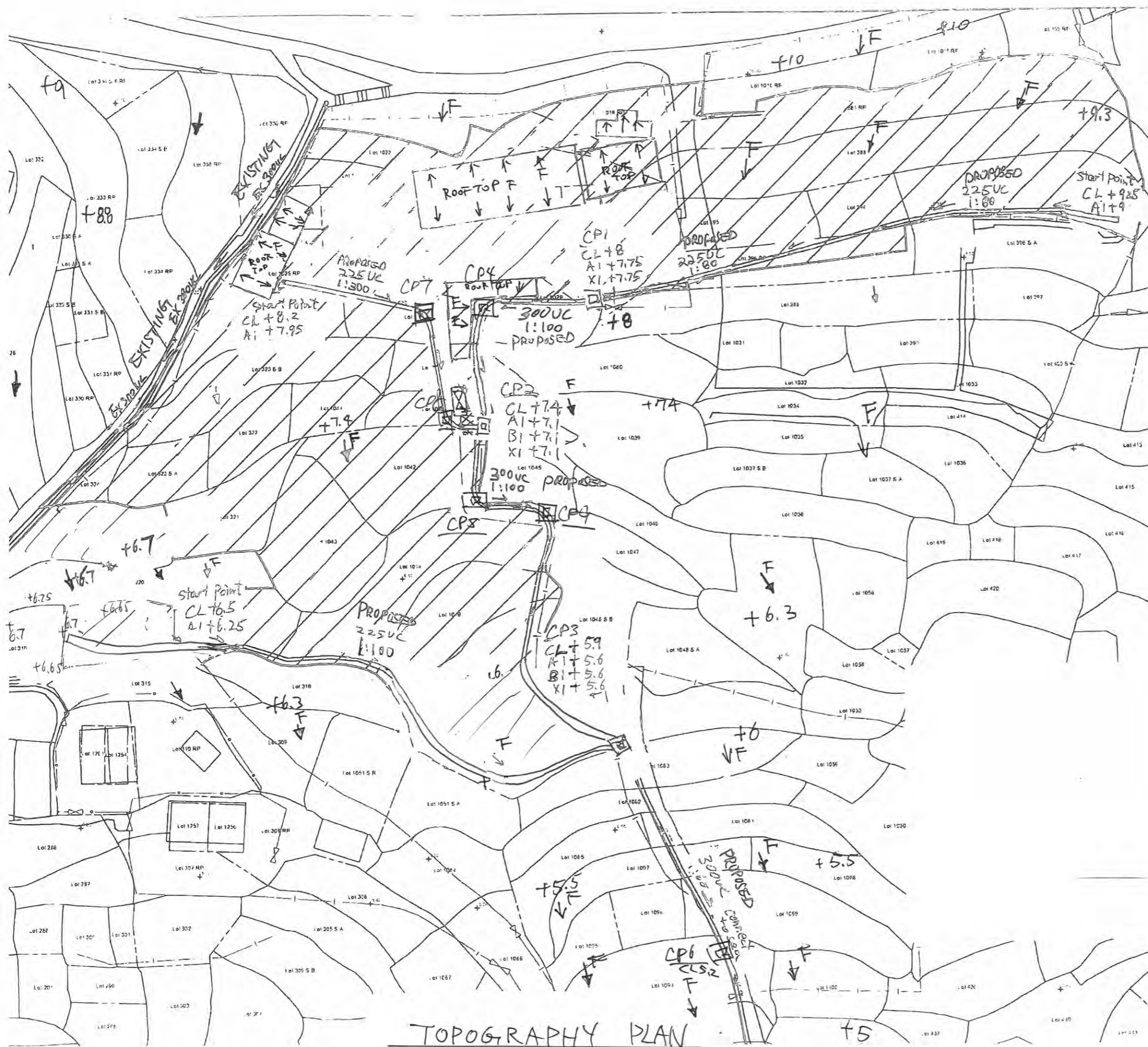
THIS SET OF DRAWINGS INCLUDES:

Our Ref.	NAME	
DRAWN	Veronica Chiu	09
CHECKED	Vincent Li	09

PROJECT
PROPOSED STORMWATER DRAINAGE WORKS on 大埔汀角路第17約及29約多個地段 鋪設臨時燒烤場及停車場 (為期三年)
REF. NO.: (TPB/A/NE-TK) 698

DRAWING TITLE
BLOCK PLAN, STORMWATER DRAINAGE PLAN, DETAILS AND NOTES

DRAWING NO.	SCALE
D-1c	AS SH 1:700



BLOCK PLAN (SCALE 1:2000)

	C.L.	A1	B1	I.L.
CP1 (CEDD DRAWING NO. C2405/1)	8	7.75		7.75
CP2 (CEDD DRAWING NO. C2405/1)	7.4	7.1		7.1
CP3 (CEDD DRAWING NO. C2405/1)	5.9	5.6	5.6	5.6

CP4
CP5
CP6
CP7
CP8
CP9

COLOUR INDICATION

	EXISTING STORMWATER WORKS
	PROPOSED STORMWATER WORKS
	CONCRETE WORKS
	STEEL WORKS

LEGEND

	FLOW PATTERN
	SUBJECT LOT BOUNDARY
	SUBJECT BUILDING LINE
	EXISTING 225mm x 300mm U-CHANNEL WITH CONC. COVER
	PROPOSED 300mm U-CHANNEL
	PROPOSED 225mm STEP CHANNEL
	PROPOSED 150mm UPVC PIPE FOR RAINWATER ROOF FALL
	PROPOSED 150mm UPVC SOIL AND WASTE PIPE
	EXISTING STORMWATER MANHOLE
	PROPOSED STORMWATER CATCHPIT
	PROPOSED SEWERAGE MANHOLE
	EXISTING GOVERNMENT SEWERAGE MANHOLE
	PROPOSED SEWERAGE TERMINAL MANHOLE
C.L.	COVER LEVEL
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REVISION		
NO.	DATE	AMENDED
a	07/2022	AMENDED
b	12/2022	AMENDED
c	05/2023	AMENDED

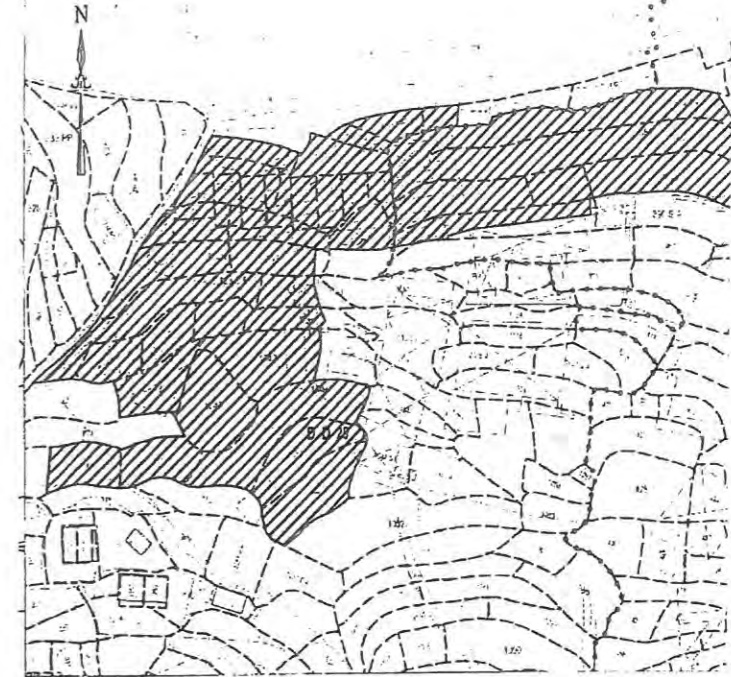
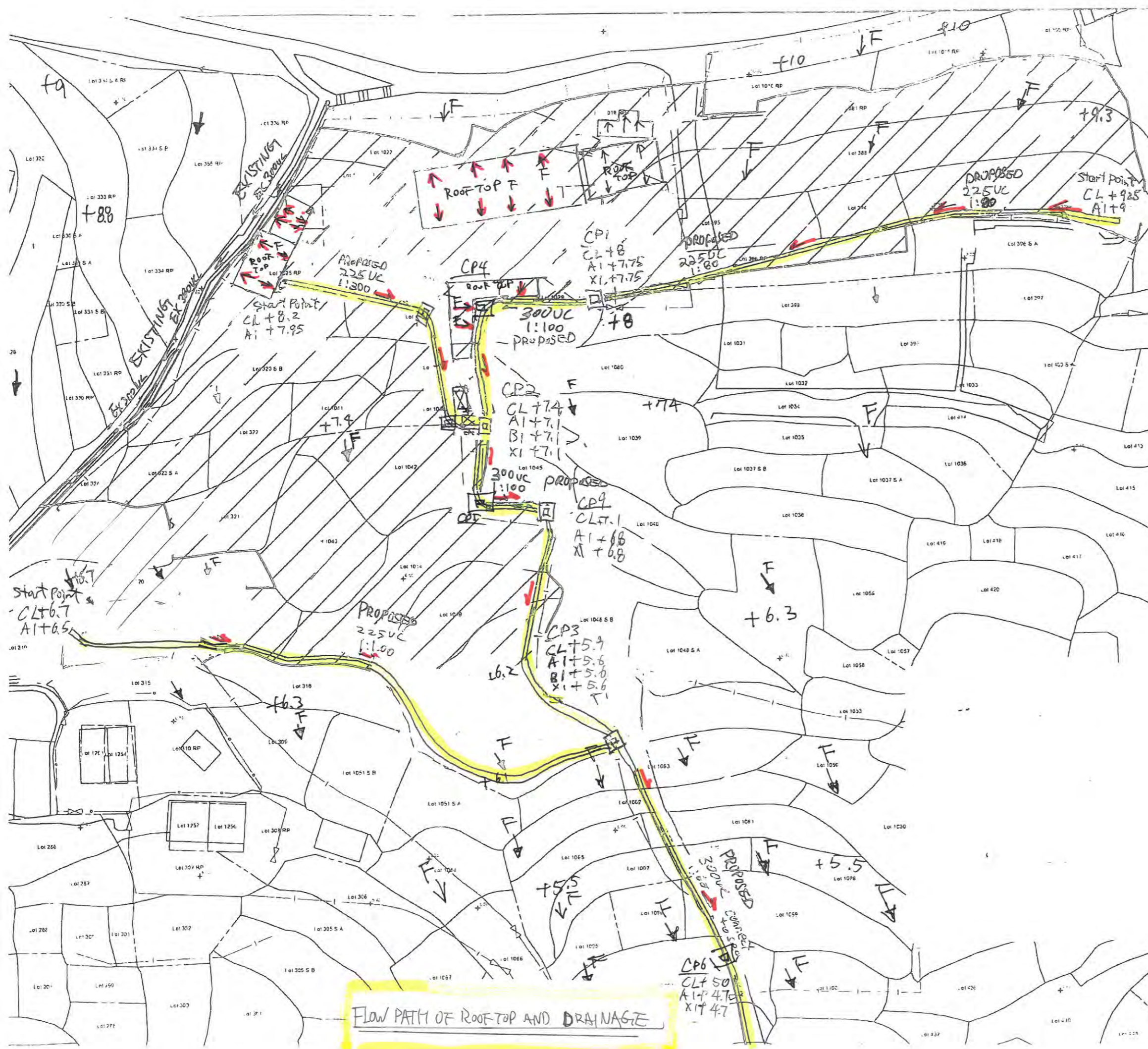
THIS SET OF DRAWING INCLUDES

DLO Ref.:	
Our Ref.:	
DRAWN	Veronica Chiu
CHECKED	Vincent Li

PROJECT
PROPOSED STORMWATER DRAINAGE WORKS on 大埔汀角路 第17約及29約多個地段 鋪設臨時燒烤場及停車場 (為期三年)
REF. NO.: (TPB/A/NE-TK/699)

DRAWING TITLE
BLOCK PLAN, STORMWATER DRAINAGE PLAN, DETAILS AND NOTES

DRAWING NO.	SCALE
D-1c	AS SH 1:700



BLOCK PLAN (SCALE 1:2000)

	C.L.	A1	B1	C1	LL
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CP3 (CEDD DRAWING NO. C2405/1)	5.9	5.6	5.6		5.6
CP4 (CEDD DRAWING NO. C2405/1)	7.8	7.5			7.5
CP5 (CEDD DRAWING NO. C2405/1)	7.2	6.9			6.9
CP6 (CEDD DRAWING NO. C2405/1)	5.0	4.7			4.7
CP7 (CEDD DRAWING NO. C2405/1)	7.8	7.5			7.5
CP8 (CEDD DRAWING NO. C2405/1)	7.4	7.15			7.15
CP9 (CEDD DRAWING NO. C2405/1)	7.1	6.8			6.8

NO.	DATE	AMENDED
a	07/2022	AMENDED
b	12/2022	AMENDED
c	05/2023	AMENDED

THIS SET OF DRAWINGS INCLUDES:

LEGEND

- Flow Pattern
- Subject Lot Boundary
- Subject Building Line
- Existing 225mm / 300mm U-Channel with CONC. C1 COVER
- Proposed 225mm U-Channel
- Proposed 225mm STEP CHANNEL
- Proposed 75mm UPVC PIPE FOR RAINWATER ROOF FALL
- Proposed 150mm / 200mm UPVC SOL AND WASTE PIPE
- Existing Stormwater Manhole
- Proposed Stormwater Catchpit
- Proposed Sewerage Manhole
- Existing Government Sewerage Manhole
- Proposed Sewerage Terminal Manhole
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- LL. INVERT LEVEL
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a	07/2022	AMENDED
b	12/2022	AMENDED
c	05/2023	AMENDED

THIS SET OF DRAWINGS INCLUDES:

PROPOSED STORMWATER DRAINAGE WORKS ON 大埔汀角路 第17及29約多個地段 鋪設臨時燒烤場及停車場 (為期三年)

REF. NO. : (TPB/A/NE-TK/698)

DRAWING TITLE

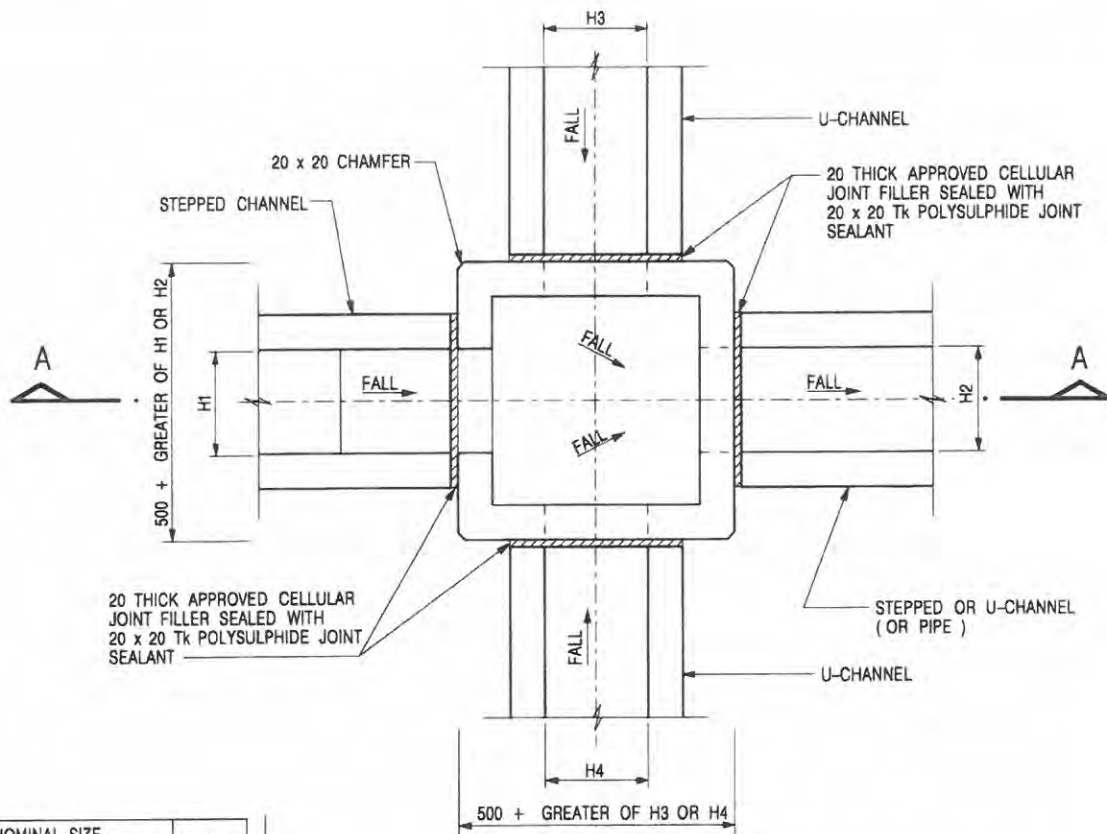
BLOCK PLAN, STORMWATER DRAINAGE PLAN, DETAILS AND NOTES

DRAWING NO.

D - 1c

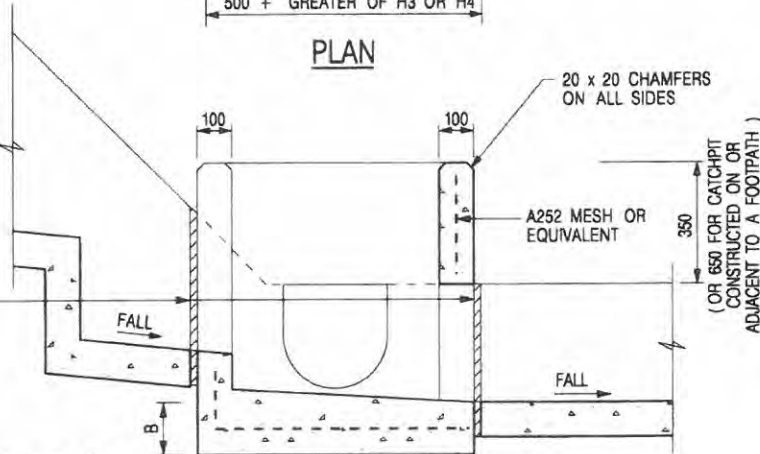
SCALE

AS SH 1:700

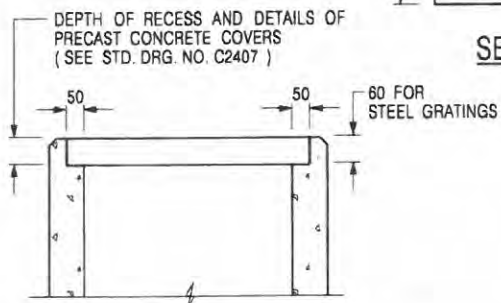


NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175

20 THICK APPROVED CELLULAR
JOINT FILLER SEALED WITH
20 x 20 Tk POLYSULPHIDE JOINT
SEALANT



SECTION A - A




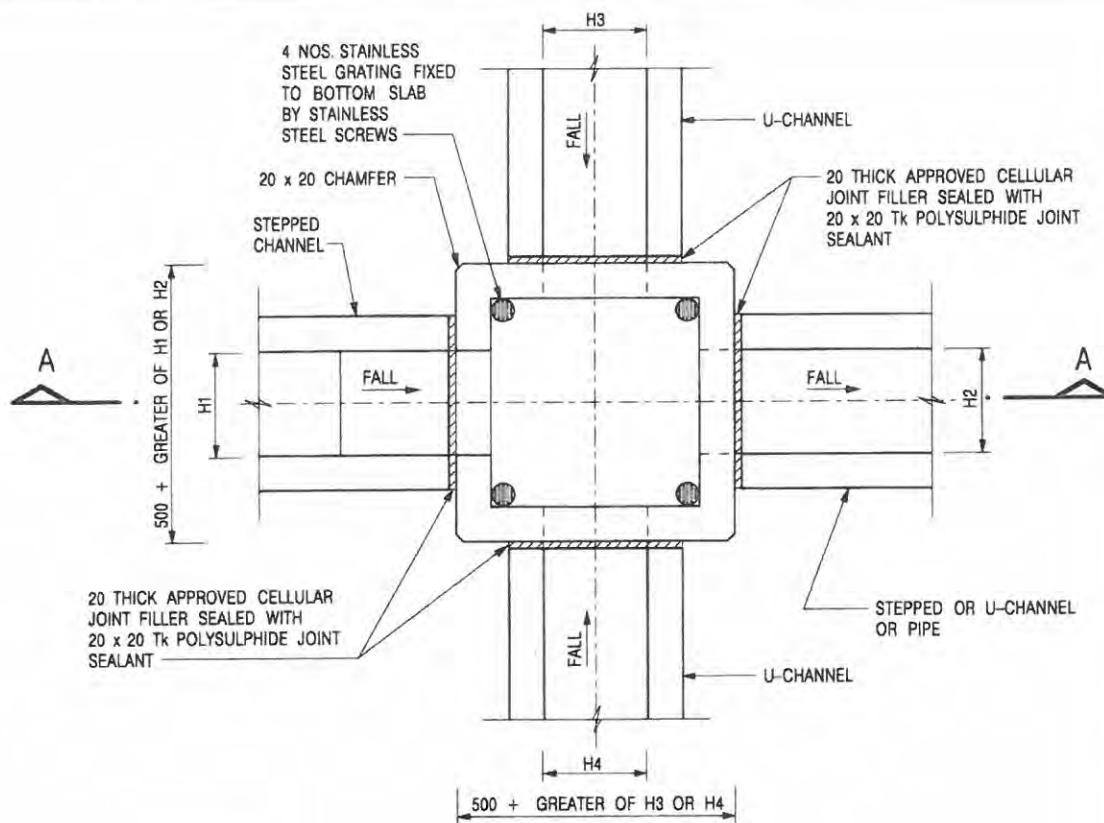
NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 5 FOR OTHER NOTES.

ALTERNATIVE TOP SECTION FOR
PRECAST CONCRETE COVERS / GRATINGS

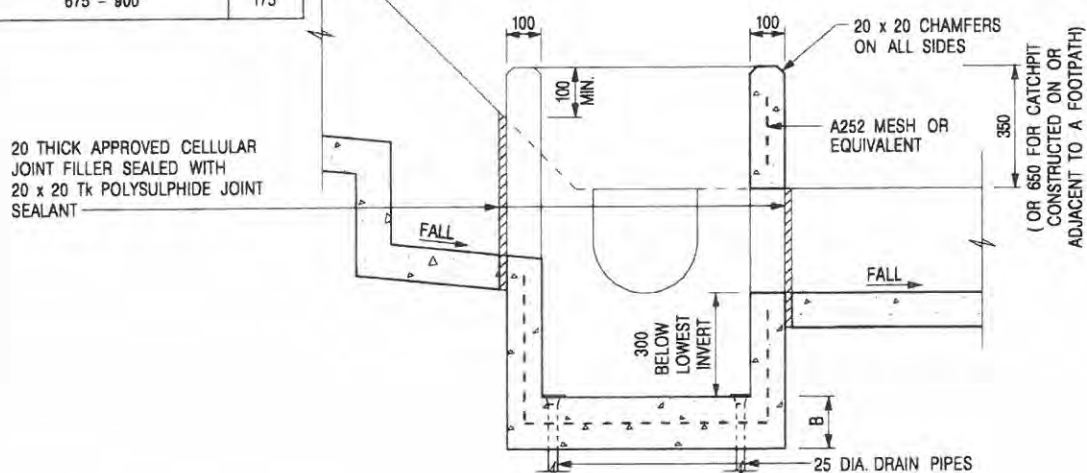
STANDARD CATCHPIT DETAILS
(SHEET 1 OF 5)

FORMER DRG. NO. C2405J.	Original Signed	03 2015
REF.	REVISION	SIGNATURE DATE
 CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT		
SCALE 1 : 20		DRAWING NO.
DATE JAN 1991		C2405 /1



PLAN

NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175




SECTION A - A

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 2 FOR OTHER NOTES.

CATCHPIT WITH TRAP
(SHEET 1 OF 2)

FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE DATE
 CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT		
SCALE 1 : 20	DRAWING NO.	
DATE JAN 1991	C2406 /1	

貴會檔號：TPB/A/NE-TK/783

致：城市規劃委員會

大埔汀角第 17 約及第 29 約多個地段
闢設臨時燒烤場 (為期三年)

本人為上述申請之代理人，日前接獲 貴處轉介數個政府部門對相關申請之意見，現首先交代由於申請範圍內之構築物仍有某些改動，故現再隨函付上最後確定之設施位置圖及構築物資料表以作修改及確認，懇請協助安排替換。

以下再就 貴會轉介相關政府部門對相關申請之意見作以下補充陳述：—

一．就運輸署之意見的回應：—

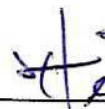
首先請參閱隨函付上之「泊車、上落客貨和行人通道建議」圖則，當中可顯示本場停車場之車輛停泊位置，一直沿用可停泊 8 部旅遊巴士或大型貨車(每個面積為 12 米乘 3 米=36 平方米)，同時亦可停泊 45 部私家車(每個面積為 5 米乘 2.5 米=12.5 平方米)，車場中間有足夠空間用作車輛上落客貨之用，圖中亦已顯示車輛之進出方向及行人通道路線，通道情況上絕對是安全及適當，其實完全與之前的規劃許可批准狀況相同，而本身連接汀角路之車輛出入口早於 2014 年履行先前的批准附帶條件時已被運輸署確認為已符合該署製定 TPDM 安全視野區之指引，有關部門可以查核資料確認。而由於本場之車位數目是十分充足，加上繁忙時候會特別遣派職員指揮車輛進出及停泊，故絕對不會有滯流倒塞汀角路之交通情況出現。至於村中通道之性質狀況、管理及維修方面，其實此十多二十年來附近一帶之持份者均互相已有協調共同保護及維修，故並不會有土地紛爭之情況發生。

二．就大埔地政處之意見的回應：—

大埔地政處視察所見之現存構築物早前於取得規劃許可後已有向地政總署申辦短期豁免書並由專責事務組一直處理中；由於原先擬申請之 2 號、3 號及 15 號構築物在最新一份修正申請之構築物表列中經已取消或移位更正，敬請參閱最新一份位置圖及臨時構築物資料表，而部門所提及在現場視察所見之帳廊本身是流動性質，絕對不是可固定擺放，在燒烤場內一般都是摺合起來隨意放置，故並不應列為構築物。最後說明燒烤場內之排污設施是用化糞池形式排走。

懇請明察，在此感謝 貴會對個案之協助及關注。祝安！

代理人：



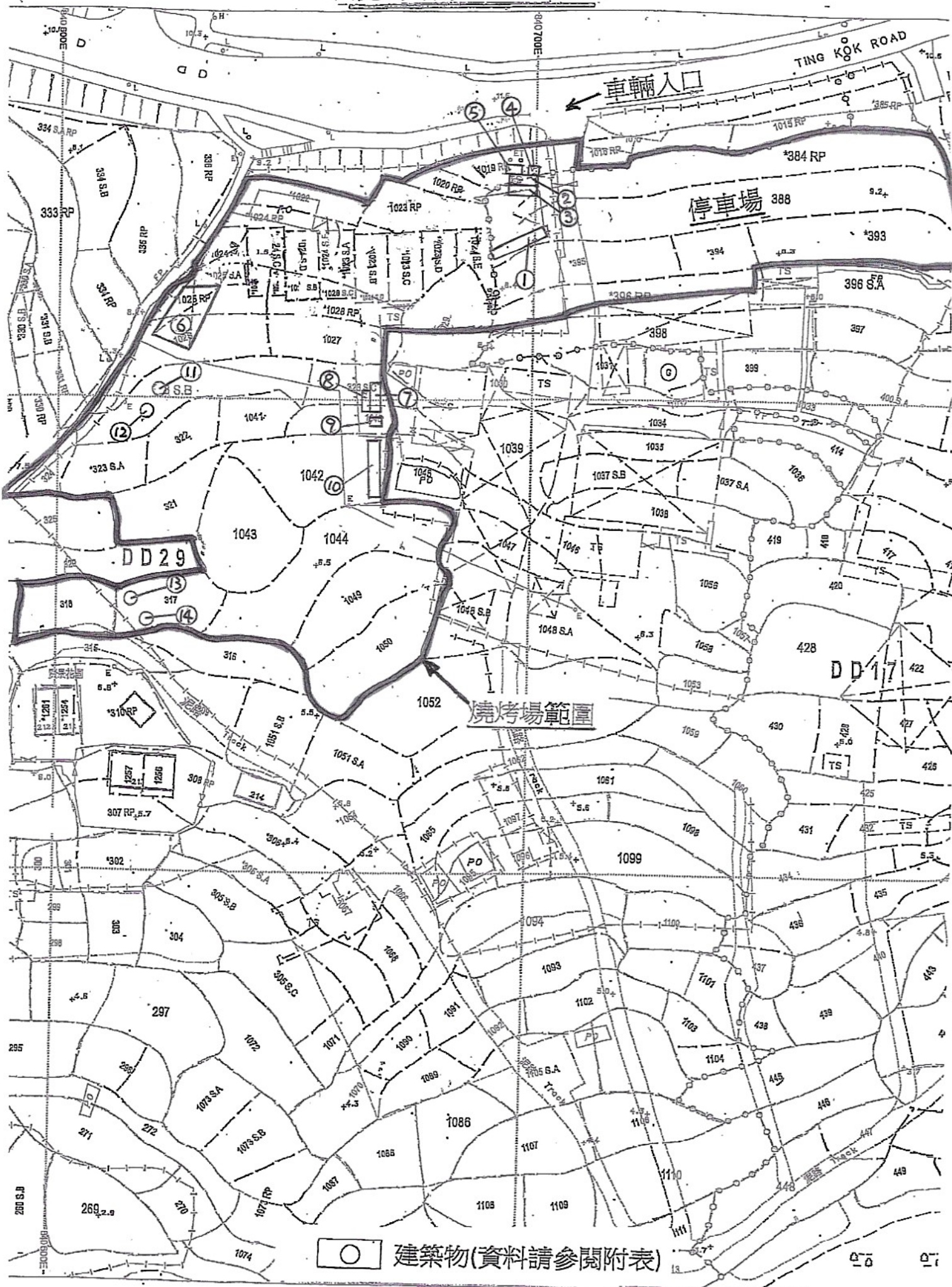
(許 軍 兒)

日期： 10 NOV 2023

聯絡地址：

聯絡電話：

燒烤場設施位置圖



嘉年華

臨時燒烤場建築物資料：

號數	用途	面積	高度	備註
1	接待處及寫字樓	$12.20 \times 2.44 = 29.77\text{m}^2$	2.90m	
2	雜物倉	$6.10 \times 2.44 = 14.88\text{m}^2$	2.90m	
3	燒烤用品存放區	$6.10 \times 2.44 = 14.88\text{m}^2$	2.90m	
4	電錶房	$1.70 \times 1.60 = 2.72\text{m}^2$	2.14m	
5	電錶房	$3.00 \times 1.80 = 5.40\text{m}^2$	2.14m	
6	廚房及蔭棚	87.50m^2	2.90m	
7	凍肉櫃	$6.10 \times 2.44 = 14.88\text{m}^2$	2.90m	
8	洗手間（女）	$4.20 \times 1.40 = 5.88\text{m}^2$	2.90m	
9	洗手間（殘障人士）	$2.30 \times 1.60 = 3.68\text{m}^2$	2.90m	
10	洗手間（男）	$12.20 \times 2.44 = 29.77\text{m}^2$	2.90m	
11	蔭棚	6.60m^2	2.90m	
12	蔭棚	6.60m^2	2.90m	
13	蔭棚	6.60m^2	2.90m	
14	蔭棚	6.60m^2	2.90m	
		建築物總面積： 235.76m^2		

備註：全部建築物均為一層高。

泊車、上落客貨和行人通道建議



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To: tpbpd/PLAND <tpbpd@pland.gov.hk>
Cc:
Bcc:
Subject: Fw: A/NE-TK/783
From: Aileen Ka Yan CHENG/PLAND/HKSARG - Wednesday 12/13/2023 02:23 PM

Dear TPB Secretariat,

Please find further information submitted for the subject application below.
Thank you.

Best Regards,
Aileen CHENG
TP/TP5, STN DPO
Tel: 2158 6018

----- Forwarded by Aileen Ka Yan CHENG/PLAND/HKSARG on 12/13/2023 02:23 PM -----

From: Victor Hui < >
To: akycheng@pland.gov.hk
Date: 12/13/2023 02:16 PM
Subject: A/NE-TK/783

鄭小姐：

現特此致函補充有關此燒烤場申請，用作燒烤區用途之範圍約30%，現場之燒烤爐數量為180個。

--

Best Regards,
Victor,Hui Kwan Yee
Tel:
Address:

Previous Applications

Approved Applications

Application No.	Use/Development	Date of Consideration
A/NE-TK/208	Proposed Temporary Barbecue Site and Car Park for a Period of 3 Years	16.6.2006 (revoked on 16.12.2006)
A/NE-TK/235	Temporary Barbecue Site and Car Park for a Period of 3 Years	27.7.2007 (approved for 2 years until 27.7.2009)
A/NE-TK/281	Renewal of Planning Approval for Temporary Barbecue Site and Car Park for a Period of 2 Years	24.7.2009
A/NE-TK/360	Renewal of Planning Approval for Temporary Barbecue Site and Car Park for a Period of 2 Years	17.6.2011
A/NE-TK/456	Renewal of Planning Approval for Temporary Barbecue Site and Car Park for a Period of 2 Years	19.7.2013
A/NE-TK/494	Temporary Barbecue Site and Car Park for a Period of 3 Years	25.4.2014 (approved for 2 years until 25.4.2016)
A/NE-TK/565	Temporary Barbecue Site and Car Park for a Period of 3 Years	20.11.2015 (approved for 2 years until 20.11.2015) (revoked on 20.11.2016)
A/NE-TK/625	Temporary Barbecue Site and Car Park for a Period of 3 Years	16.3.2018
A/NE-TK/698	Temporary Barbecue Site and Car Park for a Period of 3 Years	12.3.2021 (revoked on 12.8.2023)

**Similar Applications in the Vicinity of the Site
within/straddling the Same “AGR” Zone in the Past Five Years**

Approved Applications

Application No.	Use/Development	Date of Consideration
A/NE-TK/661 ¹	Temporary Barbecue Site and Car Park for a Period of 3 Years	1.2.2019 (revoked on 1.5.2021)
A/NE-TK/697	Temporary Barbecue Site for a Period of 3 Years	5.2.2021 (revoked on 5.7.2023)
A/NE-TK/704	Temporary Barbecue Site for a Period of 3 Years	28.5.2021 (revoked on 28.8.2023)
A/NE-TK/712 ¹	Temporary Barbecue Site and Car Park for a Period of 3 Years	24.12.2021
A/NE-TK/752	Proposed Temporary Barbecue Site and Caravan Holiday Camp with Ancillary Facilities for a Period of 3 Years and Filling of Land	28.10.2022

¹ Applications No. A/NE-TK/661 and 712 cover the same site.

Government Departments' General Comments

1. Land Administration

Comments of the District Lands Officer/Tai Po, Lands Department (DLO/TP, LandsD):

- the Site falls within 49 private lots with different ownership in D.D. 17 and 29 which are Old Schedule Agricultural Lots held under the Block Government Lease containing the restriction that no structures are allowed to be erected without the prior approval from the Government; and
- there is no guarantee to the grant of a right of way to the Site or approval of emergency vehicular access (EVA) thereto.

2. Traffic

Comment of the Commissioner for Transport (C for T):

- no in-principle objection to the application from traffic engineering viewpoint.

3. Landscape

Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD):

- no objection to the application from landscape planning perspective; and
- the number and footprint of structures under the current application have been reduced as compared with the latest previously approved application (No. A/NE-TK/698). A comparison of aerial photos taken in 2019 and 2022 shows no significant change in landscape character and resources. Temporary structures and barbecue areas are currently observed within the Site. According to the applicant, no tree felling will be involved. Further impact on landscape character and resources arising from the development is not anticipated.

4. Drainage

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD):

- the applicant should provide an updated catchment plan and a latest layout plan illustrating the land use of the Site to support the surface characteristics adopted in the drainage design calculations. If there is any change in design parameters in the drainage design calculations, a revised drainage proposal with updated drainage design calculations should be submitted; and
- should the application be approved, an approval condition on submission and

implementation of revised drainage proposal for the Site is recommended to ensure that it will not cause adverse drainage impact on the adjacent areas.

5. Fire Safety

Comment of the Director of Fire Services (D of FS):

- no in-principle objection to the application subject to fire service installations being provided to his satisfaction.

6. Food and Environmental Hygiene

Comment of the Director of Food and Environmental Hygiene (DFEH):

- no adverse comment on the application.

7. Other Departments

The following departments have no objection to/no adverse comment on the application:

- Director of Environmental Protection (DEP);
- Chief Highway Engineer/New Territories East, Highways Department (CHE/NTE, HyD);
- Chief Engineer/Construction, Water Supplies Department (CE/C, WSD);
- Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD);
- Head (Geotechnical Engineering Office) of Civil Engineering and Development Department (H(GEO), CEDD); and
- Project Manager (North), Civil Engineering and Development Department (PM(N), CEDD).

Recommended Advisory Clauses

- (a) should the applicant fail to comply with the approval conditions again resulting in the revocation of the planning permission, sympathetic consideration may not be given to any further application;
- (b) to note the comments of the District Lands Officer/Tai Po, Lands Department (DLO/TP, LandsD) that:
 - (i) our inspection on 1.8.2023 revealed that 14 nos. of temporary structures were found on the Site without prior approval from LandsD. According to the plan submitted by the applicant (**Drawing A-1**), temporary structures nos. 2 and 3 were not found on the Site; and a porch for barbecue use was detected on the Site straddling on Lots 1024 S.C, 1024 S.D, 1024 S.E, 1025 S.B and 1028 S.A all in D.D. 29 which is not depicted on the plan. A temporary structure for barbecue area with built-over area of 381.25m² was also found fixed on ground and constituted as a “structure” that would be in breach of lease conditions;
 - (ii) lease enforcement action was taken against the unauthorized structures erected on the lots concerned. Warning letters dated 1.12.2016 were registered in the Land Registry against the unauthorized structures detected on Lots 384 RP, 388, 395, 396 RP all in D.D. 17, and Lots 317, 323 S.A, 323 S.B, 323 S.C, 1019 RP, 1020 RP, 1022, 1023 S.A, 1023 S.B, 1023 S.C, 1023 S.D, 1023 S.E, 1023 S.G, 1023 RP, 1024 S.B, 1024 S.E, 1024 RP, 1025 S.A, 1025 RP, 1026, 1027, 1028 RP, 1029, 1040, 1042, 1049, 1050 all in D.D. 29;
 - (iii) should the Town Planning Board (the Board) approve the application, the lot owners are required to submit an application for Short Term Waiver (STW) to LandsD if they wish to erect structures on the Site while LandsD will continue to process STW applications already submitted. LandsD will consider the STW applications in accordance with the established procedures and guidelines and based on the structures as approved by the Board under the current planning application. However, there is no guarantee at this stage that the STW applications would be approved. If the STW applications are approved by LandsD acting in the capacity as landlord at its sole discretion, such approval will be subject to such terms and conditions as may be imposed by LandsD including the payment of waiver fee and administrative fee as considered appropriate;
 - (iv) the applicant will likely make use of the adjoining unleased/unallocated Government land as access from Ting Kok Road to the Site. As such, no trees thereon shall be interfered with unless prior approval is obtained from relevant Government departments. The maintenance and management responsibility of the said Government land and any other Government land leading to the Site should be sorted out with the relevant Government departments, prior to making use of them for access purpose. Further, neither occupation nor works of any kind thereon is allowed without the prior approval from LandsD. Moreover, access to the Site may also fall on adjoining private lots all in D.D. 17 and 29 (inside or outside the Site). The applicant should sort out the relevant issues with the lots owners concerned;

- (v) the applicant is required to clear any unauthorized structures on the Site immediately unless they are covered by valid approval. Otherwise, appropriate lease enforcement action will be taken in due course; and
 - (vi) it is the responsibility of the applicant to obtain prior approval from relevant departments in operating the barbecue site;
- (c) to note the comment of the Commissioner for Transport (C for T) that the village access is not under Transport Department's management. The land status, management and maintenance responsibilities of the village access should be clarified with the relevant lands and maintenance authorities accordingly in order to avoid potential land disputes;
- (d) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD) that:
- (i) while there are DSD's public stormwater drains in this area, the development should have its own stormwater collection and discharge system to cater for the runoff generated within the Site and overland flow from surrounding of the Site, e.g. surface channel of sufficient size along the perimeter of the Site; sufficient openings to be provided at the bottom of the boundary wall/fence to allow surface runoff to pass through the Site if any boundary wall/fence are to be erected. Any existing flow path affected should be re-provided. The development should neither obstruct overland flow nor adversely affect the existing natural streams, village drains, ditches and the adjacent areas. The applicant is required to maintain the drainage systems properly and rectify the systems if they are found to be inadequate or ineffective during operation. The applicant shall also be liable for and shall indemnify claims and demands arising out of damage or nuisance cause by failure of the systems; and
 - (ii) the applicant should note the following general comments/requirements:
 - (1) the existing u-channels proposed for discharge of the runoff from the Site are not maintained by DSD. Consent from the owner/maintenance party, current users and District Office/Tai Po (DO/TP) should be sought for the proposed drainage connections. Moreover, regular maintenance should be carried out by the lot owner/developer to avoid blockage of drain;
 - (2) the proposed drainage works, whether within or outside the project boundary, should be constructed and maintained by the applicant at his expense;
 - (3) the applicant is required to rectify/modify the drainage system if it is found to be inadequate and ineffective during operation. The applicant shall also be liable for and shall indemnify Government against claims and demands arising out of damage or nuisance caused by failure of the system;
 - (4) for works to be undertaken outside the project boundary, prior consent and agreement from DLO/TP, DO/TP and/or relevant parties should be sought;
 - (5) the applicant should take all precautionary measures to prevent any disturbance, damage and pollution from the development to any parts of

the existing drainage facilities in the vicinity of the development. In the event of any damage to the existing drainage facilities, the applicant would be held responsible for the cost of all necessary repair works, compensation and any other consequences arising therefrom; and

- (6) the limited desk-top checking by Government on the drainage proposal covers only the fundamental aspects of the drainage design which will by no means relieve his obligations to ensure that (i) the proposed drainage works will not cause any adverse drainage or environmental impacts in the vicinity, and (ii) the proposed drainage works and the downstream drainage systems have the adequate capacity and are in good conditions to receive the flows collected from this project and all upstream catchments;
- (e) to note the comments of the Director of Fire Services (D of FS) that:
- (i) the applicant should submit relevant layout plans incorporated with the proposed fire service installations (FSIs) for approval. The layout plans should be drawn to scale and depicted with dimensions and nature of occupancy, and the locations of where the proposed FSIs to be installed should be clearly marked on the layout plans. Licensing requirement would be formulated upon receipt of formal application via the licensing authority; and
 - (ii) if the proposed structure(s) is required to comply with the Building Ordinance (BO) (Cap. 123), detailed fire service requirements will be formulated upon receipt of formal submission of general building plans;
- (f) to note the comments of the Director of Food and Environmental Hygiene (DFEH) that:
- (i) no facilities managed by Food and Environmental Hygiene Department (FEHD) should be affected;
 - (ii) proper licence/permit issued by FEHD is required if there is any food business/catering service/activities regulated by the DFEH under the Public Health and Municipal Services Ordinance (Cap. 132) and other relevant legislation:
 - (1) under the Food Business Regulation, Cap. 132X, a food business licence is required for operation of the relevant type of food business listed in the Regulation. For any premises intended to be used for food business (e.g. a restaurant, a food factory, a fresh provision shop), a food business licence from the FEHD in accordance with the Public Health and Municipal Services Ordinance (Cap. 132) shall be obtained. The application for licence, if acceptable by the FEHD, will be referred to relevant government departments such as the Buildings Department, Fire Services Department and Planning Department for comment. If there is no objection from the departments concerned, a letter of requirements will be issued to the applicant for compliance and the licence will be issued upon compliance of all the requirements;
 - (2) under the existing licensing regime for food premises, there is no specific type of licence for private barbecue sites. Operators of barbecue sites may, however, apply for various types of food premises licences according to

their mode of business. Generally, there are three types of food business licence that the operator of an outdoor barbecue site may apply for under the Food Business Regulation (the Regulation):

- (a) if food is sold to customers for consumption on the premises, a restaurant licence should be obtained;
 - (b) if food is only prepared for sale for consumption off the premises, a food factory licence should be obtained; and
 - (c) if fresh, chilled or frozen beef, mutton, pork, reptiles (including live snake), fish (including live fish) and poultry is sold, a fresh provision shop licence should be obtained;
- (3) when a restaurant licensee/licence applicant wishes to use any outside seating accommodation (OSA) outside the restaurant premises for alfresco dining, he/she should take notice of the main licensing criteria for OSA, covering matters such as legal right to use the land concerned, planning, building safety, fire safety, and traffic requirements, etc. as well as to obtain approval from the DFEH before commencement. Restaurateurs operating OSA business without approval may be subject to prosecution pursuant to the Food Business Regulation (Cap. 132X). Repeated convictions may lead to suspension or cancellation of their licences;
- (4) in accordance with Section 4 of Food Business Regulation, Cap. 132X, the expression "food business" means, any trade or business for the purpose of which any person engages in the handling of food or food is sold by means of a vending machine. But it does not include any canteen in work place (other than a factory canteen referred to in section 31) for the use exclusively of the persons employed in the work place. As such, a staff canteen under exclusive use by the staff members of that work place does not require a food business licence from FEHD. However, if the said canteen provided foods to the outsiders with payment, a food business licence is required; and
- (5) the operation of the eating place must not cause any environmental nuisance to the surroundings. The refuse generated by the proposed barbecue site are regarded as trade refuse. The management or owner of the Site is responsible for its removal and disposal at their expenses. The operation of any business should not cause any obstruction or environmental nuisance in the vicinity;
- (iii) proper licence/permit issued by FEHD is required if related place of entertainment is involved:
- (1) any person who desires to keep or use any place of public entertainment for example a theatre and cinema or a place, building, erection or structure, whether temporary or permanent, on one occasion or more, capable of accommodating the public presenting or carrying on public entertainment within Places of Public entertainment (PPE) Ordinance (Cap. 172) and its subsidiary legislation, such as a concert, opera, ballet, stage performance or other musical, dramatic or theatrical entertainment, cinematograph or laser

projection display or an amusement ride and mechanical device which is designed for amusement, a Place of Public Entertainment Licence (or Temporary Place of Public Entertainment Licence) should be obtained from FEHD whatever the general public is admitted with or without payment; and

- (2) there should be no encroachment on the public place and no environmental nuisance should be generated to the surroundings. Its state should not be a nuisance or injurious or dangerous to health and surrounding environment. Also, for any waste generated from such activities/operation, the applicant should arrange disposal properly at their own expenses;
- (g) to note the comments of the Director of Environmental Protection (DEP) that:
 - (i) the applicant should follow the relevant mitigation measures and requirements in the “Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites”; **and**
 - (ii) ***if septic tank and soakaway system will be used in case of unavailability of public sewer, its design and construction shall follow the requirements of EPD's Practice Note for Professional Person (ProPECC) PN 1/23 "Drainage Plans subject to Comment by the Environmental Protection Department" and located at least 30m from any nearby watercourse. Percolation test requirement should be certified by an Authorized Person;***
- (h) to note the comments of the Chief Highway Engineer/New Territories East, Highways Department (CHE/NTE, HyD) that:
 - (i) the applicant should maintain the existing run-in/out up to the prevailing standard of HyD; and
 - (ii) adequate drainage measures should be provided to prevent surface water running from the Site to the nearby public roads and drains; and
- (i) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:
 - (i) the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulation 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
 - (ii) if the Site does not abut on a specified street of not less than 4.5m wide, its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at building plan submission stage;
 - (iii) if the existing structures (not being a New Territories Exempted House) are erected on leased land without approval of the Buildings Authority (BA), they are unauthorized building works (UBW) under the Buildings Ordinance (BO) and should not be designated for any proposed use under the planning application;
 - (iv) for UBW erected on leased land, enforcement action may be taken by the BD to

effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing buildings works or UBW on the Site under the BO;

- (v) before any new buildings works (including containers/open sheds as temporary buildings, demolition and land filling etc.) are to be carried out on the Site, prior approval and consent of the BA should be obtained, otherwise they are UBW under the BO. An Authorized Person (AP) should be appointed as the co-ordinator for the proposed building works in accordance with the BO;
- (vi) any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings subject to the control of Part VII of the B(P)R; and
- (vii) the applicant's attention is also drawn to the provision under Regulations 40 and 41 of the Building (Standards of Sanitary Fitments, Plumbing, Drainage Works and Latrines) Regulations (B(SSFPD&L)R) in respect of disposal of foul water and surface water respectively; and
- (viii) detailed checking under the BO will be carried about at building plan submission stage.

☐ Urgent ☐ Return receipt ☐ Sign ☐ Encrypt ☐ Mark Subject Restricted ☐ Expand personal&public groups



To: tpbpd@pland.gov.hk
Kevin Ka Wing LAU/PLAND/HKSARG@PLAND, Jeffrey Po Kit
Cc: WONG/PLAND/HKSARG@PLAND, Aileen Ka Yan CHENG/PLAND/HKSARG@PLAND, Tel
KY SO/HAD/HKSARG@HAD
Bcc:
Subject: A motion related to planning application no. A/NE-TK/779 passed on the Planning, Housing
and Works Committee under Tai Po District Council (TPDC) held 18 July 2023
From: Tiffany TW LO/HAD/HKSARG@HAD - Wednesday 07/19/2023 02:41 PM

History: This message has been replied to and forwarded.

Dear Sir / Madam,

At the meeting of Planning, Housing and Works Committee (PHWC) under Tai Po District Council (TPDC) on 18 July 2023, a motion of "大埔區議會規劃、房屋及工程委員會要求城市規劃委員會否決A/NE-TK/779 的申請，並撤銷A/NE-TK/678 的規劃許可。若日後收到現有關燒烤場的臨時許可續期，或新的申請時，規劃署必須事前在本委員會內報告。" has been passed and PHWC members under TPDC, and they decided to inform Town Planning Board of the matter. For your necessary action and information, please.

2. Should you need further information, please feel free to contact me at 3183 9434. Thank you.

Sincerely,
Tiffany LO
EO(DC)1
Tai Po District Council Secretariat
Tel.: 3183 9434

規 劃 署

沙田、大埔及北區規劃處
香港新界沙田上禾輦路一號
沙田政府合署
十三樓 1301-1314 室



Planning Department

Sha Tin, Tai Po & North District Planning Office
Rooms 1301-1314, 13/F,
Shatin Government Offices,
1 Sheung Wo Che Road, Sha Tin,
N.T., Hong Kong

來函檔號 Your Reference:
本署檔號 Our Reference: TPB/A/NE-TK/678&779
電話號碼 Tel. No.: 2158 6372
傳真機號碼 Fax No.: 2696 2377

郵遞及傳真 (2654 6624)

(共兩頁+附件)

大埔區議會秘書處
新界大埔鄉事會街 8 號
大埔綜合大樓 4 樓
(經辦人：盧天慧女士)

盧女士：

有關大埔區議會規劃、房屋及工程委員會於 2023 年 7 月 18 日通過的臨時動議「要求城市規劃委員會否決 A/NE-TK/779 的申請，並撤銷 A/NE-TK/678 的規劃許可。若日後收到現有關燒烤場的臨時許可續期，或新的申請時，規劃署必須事前在本委員會內報告」

貴處於 2023 年 7 月 19 日來函收悉。因應題述事宜，本署回覆如下：

本署備悉大埔區議會規劃、房屋及工程委員會對規劃申請編號 A/NE-TK/779（擬作臨時康體文娛場所、食肆、燒烤場及度假營連附屬設施（為期 3 年）及相關填土工程）提出的意見。該規劃申請正在處理中，暫定於本年 8 月 11 日提交城市規劃委員會（下稱「城規會」）轄下的鄉郊及新市鎮規劃小組委員會（下稱「小組委員會」）審議。本署在處理相關規劃申請時，會就擬議用途對周邊環境、生態、景觀、交通及基建設施等的影響諮詢相關政府部門，並將有關意見提交城規會一併考慮。城規會在考慮規劃申請時會因應每宗申請的個別情況及相關規劃因素作審批，包括規劃意向、發展性質及規模、與周邊土地用途的協調、對周邊地區造成的影響，以及相關部門及公眾意見（包括大埔區議會規劃、房屋及工程委員會在臨時動議提出的意見）等。

另外，小組委員會於 2020 年 11 月 20 日在有附帶條件下批准規劃申請編號 A/NE-TK/678 作擬議臨時康體文娛場所（休閒農場）連附屬設施及食肆（為期 5 年）及填土工程。城規會在批給規劃許可時，會視乎個別申請的實際情況及需要加入附帶條件。倘若申請人在規劃許可有效期內未能遵守所訂立的附帶條件，或於指明日期當日仍未履行有關要求，城規會批給的規劃許可即會停止生效及撤銷。根據本署紀錄，規劃申請編號 A/NE-TK/678 的規劃許可一共有 14 項附帶條件（見附件一）。本署人員曾於本年 7 月 14 日進行場地視察，發現申請地點的工程仍在進行中，故未能確定申請人未有遵守相關附帶條件(a)至(c)項。截止目前為止，規劃申請編號 A/NE-TK/678 的申請人已於期限前履行全部有關提交技術建議的附帶條件（即 (d)、(f)、(h)及(j)項），申請人仍在履行其餘有關落實技術建議的附帶條件（即 (e)、(g)、(i)及(k)項）。基於上述考慮，規劃申請編號 A/NE-TK/678 的規劃許可仍然有效。

就大埔區議會規劃、房屋及工程委員會要求本署報告有關燒烤場的臨時許可續期或新申請的事宜，根據《城市規劃條例》（下稱「條例」），城規會須於兩個月的法定期限內審議根據條例第 16 條提出的規劃申請。鑑於時間所限，本署未能就個別規劃申請逐一向大埔區議會規劃、房屋及工程委員會報告。然而，一如既往，在規劃申請的公眾諮詢展開當日，本署會以郵寄或電郵等方式，把申請資料的摘要送交各區議員及地區分區委員會參閱。同時，我們亦會定期把城規會曾處理／處理中的個案資料羅列在區議會會議文件中，並在會議上匯報申請個案的最新進度。

我們將繼續就區內規劃事務與貴處及大埔區議會規劃、房屋及工程委員會保持緊密溝通。如 貴處欲進一步查詢汀角地區規劃事宜，歡迎與本信代行人（電話：2158 6372）或鄭嘉欣女士（電話：2158 6018）聯絡。

規劃署
沙田、大埔及北區規劃專員

（黃保傑



代行）

2023 年 7 月 31 日

申請編號 A/NE-TK/678
規劃許可附帶條件

- (a) 如申請人所建議，申請地點的部分地方只可填土不超過 0.2 米深；
- (b) 如申請人所建議，在規劃許可有效期內，不得於晚上九時至上午九時在申請地點作業；
- (c) 在規劃許可有效期內的任何時間，不得在申請地點使用公共廣播系統、手提揚聲器或任何形式的擴音系統；
- (d) 在批給規劃許可之日起計六個月內(即在二零二一年五月二十日或之前)，提交經修訂的排水建議，而有關建議必須符合渠務署署長或城規會的要求；
- (e) 就上文(d)項條件而言，在批給規劃許可之日起計九個月內 (即在二零二一年八月二十日或之前)，落實經修訂的排水建議，而有關情況必須符合渠務署署長或城規會的要求；
- (f) 在批給規劃許可之日起計六個月內(即在二零二一年五月二十日或之前)，提交滅火水源及消防裝置建議，而有關建議必須符合消防處處長或城規會的要求；
- (g) 就上文(f)項條件而言，在批給規劃許可之日起計九個月內 (即在二零二一年八月二十日或之前)，設置滅火水源及消防裝置，而有關情況必須符合消防處處長或城規會的要求；
- (h) 在批給規劃許可之日起計六個月內(即在二零二一年五月二十日或之前)，提交車輛進出口通道建議，而有關建議必須符合路政署署長或城規會的要求；
- (i) 就上文(h)項條件而言，在批給規劃許可之日起計九個月內 (即在二零二一年八月二十日或之前)，落實車輛進出口通道建議，而有關建議必須符合路政署署長或城規會的要求；
- (j) 在批給規劃許可之日起計六個月內(即在二零二一年五月二十日或之前)，提交行人過路處建議，而有關建議必須符合運輸署署長或城規會的要求；
- (k) 就上文(j)項條件而言，在批給規劃許可之日起計九個月內 (即在二零二一年八月二十日或之前)，落實行人過路處建議，而有關情況必須符合運輸署署長或城規會的要求；
- (l) 倘在規劃許可有效期內沒有遵守上述規劃許可附帶條件(a)、(b)或(c)項，現時批給的許可即會停止生效，並會即時撤銷，不再另行通知；
- (m) 倘在指明日期當日仍未履行上述規劃許可附帶條件(d)、(e)、(f)、(g)、(h)、(i)、(j)或(k)項的任何一項，現時批給的規劃許可即會停止生效，並會於同日撤銷，不再另行通知；以及
- (n) 在這項規劃許可的有效期屆滿後，把申請地點恢復為美化市容地帶，而有關狀況必須符合規劃署署長或城規會的要求。

備註：申請人曾根據《城市規劃條例》第 16A 條，對上述規劃許可作出 B 類修訂。根據第 16A 條規劃申請編號 A/NE-TK/678-8，附帶條件(e)、(g)、(i)及(k)項的履行期限獲批准延長至 2023 年 8 月 20 日。

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A/NE-TK/783 BBQ

10/09/2023 04:56

From:

To: tpbpd <tpbpd@pland.gov.hk>

Cc: akykun <akykun@pland.gov.hk>

File Ref:

A/NE-TK/783

Various Lots in D.D. 17 and D.D. 29, Ting Kok Road, Tai Po

Site area: 9,888.6sq.m

Zoning: "Agriculture" and area shown as 'Road'

Applied use: BBQ Site / 53 Vehicle Parking

Dear TPB Members,

This operation has a long history of failure to fulfill conditions. 625 and 698 numerous extensions of time.

How can these operations continue to function while not fulfilling the conditions?

Members cannot evade their duty to ASK QUESTIONS. Why no enforcement action? Which government department is failing to fulfill its duties?

The board has recently approved changes that drastically reduce the participation of the public in the planning process on the excuse of streamlining the process while.

IT WOULD APPEAR THAT THE REAL MOTIVE IS TO HIDE WHAT IS OBVIOUSLY A PATTERN OF COLLUSION BETWEEN OPERATORS AND GOVERNMENT DEPTS THAT ALLOW OPERATIONS THAT FLAUNT THE REGULATIONS TO CONTINUE IN BUSINESS WITH THE ENDORSEMENT EVERY THREE YEARS FROM TPB MEMBERS.

TPB members are negligent in their duty to properly evaluate applications and their impact on the community.

Mary Mulvihill

From:

To: tpbpd <tpbpd@pland.gov.hk>

Date: Friday, 20 October 2017 1:51 AM CST

Subject: A/NE-TK/624 and 625 Ting Kok BBQ Sites

A/NE-TK/624 and 625

Various Lots in DD 17 and DD 29 and Adjoining Government Land, Ting Kok Village, Tai Po

Site area : 7,232.22m² Includes Government Land of about 89.38 + 9,888.6m²

Zoning : "Agriculture" and "Road

Proposed Development : BBQ Sites / 55 Car / 13 Coach Park

Dear TPB,

These overlapping applications will be discussed together. Moreover both have a history of non compliance with the conditions.

The sites under 624 had approval Application 427 that lapsed in April 2016 so one can assume that any activity carried out has been of an illegal nature.

625 under Application 565 was revoked. To closely monitor the operation of the barbecue site and to be in line with the previous and similar applications approved, a shorter approval period of two years instead of the applied three years and shorter compliance period of the approval conditions were recommended

As the applicant had failed to comply with conditions (e) & (f) satisfactorily by 20.11.2016, the planning permission for the subject application had already been revoked on the same date.

e) the submission of fire service installations and water supplies for fire fighting proposal within 3 months from the date of the planning approval to the satisfaction of the Director of Fire Services or of the TPB by 20.2.2016;

(f) in relation to condition (e) above, the implementation of fire service installations and water supplies for fire fighting within 6 months from the date of the planning approval to the satisfaction of the Director of Fire Services or of the TPB by 20.5.2016;

Moreover DAFC did not support the applications as the site had high potential for rehabilitation of agricultural activities.

It would appear that both operations are of a brownfield nature than genuine BBQ activities.

In view of the many issues and the dubious nature of the operations, TPB should reject both applications.

Mary Mulvihill