

2024年 8月 2 日

Appendix I of RNTPC
Paper No. A/SK-HC/360A

此文件在 收到・城市規劃委員會
只會在收到所有必要的資料及文件後才正式確認收到

The documents received on 2024 -08- 21
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-I
表格第 S16-I 號

**APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP. 131)**

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

Applicable to proposals not involving or not only involving:
適用於建議不涉及或不祇涉及:

- (i) **Construction of "New Territories Exempted House(s)";**
興建「新界豁免管制屋宇」;
- (ii) **Temporary use/development of land and/or building not exceeding 3 years in rural areas or Regulated Areas; and**
位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展;及
- (iii) **Renewal of permission for temporary use or development in rural areas or Regulated Areas**
位於鄉郊地區或受規管地區的臨時用途或發展的許可續期

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知,以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟,請瀏覽以下網址有關在指定的報章刊登通知:
https://www.tpb.gov.hk/tc/plan_application/apply.html

General Note and Annotation for the Form
填寫表格的一般指引及註解

"Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期,其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足,請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2401805

22/7

By courier

Form No. S16-I 表格第 S16-I 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/ SK-HC 1360
	Date Received 收到日期	2024-08-21

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會 (下稱「委員會」) 秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

CLP Power Hong Kong Limited

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Kum Shing (K.F) Construction Company Limited

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lot2 S.A(part) in D.D. 210 and adjacent Government Land in D.D.210 Near Hing Keng Shek Road, SAI KUNG
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 33 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Gross floor area 總樓面面積 sq.m 平方米 <input type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有) 30 sq.m 平方米 <input checked="" type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	S/SK-HC/11
(e) Land use zone(s) involved 涉及的土地用途地帶	Green Belt
(f) Current use(s) 現時用途	Concrete Footpath, grassland (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. “Current Land Owner” of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☐ is the sole “current land owner”^{#&} (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」^{#&} (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the “current land owners”^{#&} (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」^{#&} (請夾附業權證明文件)。
- ☒ is not a “current land owner”[#].
並不是「現行土地擁有人」[#]。

- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of “current land owner(s)”[#].
根據土地註冊處截至 2024 年 6 月 26 日的記錄，這宗申請共牽涉 1 名「現行土地擁有人」[#]。

(b) The applicant 申請人 –

- ☒ has obtained consent(s) of 1 “current land owner(s)”[#].
已取得 1 名「現行土地擁有人」[#]的同意。

Details of consent of “current land owner(s)”[#] obtained 取得「現行土地擁有人」[#]同意的詳情

No. of ‘Current Land Owner(s)’ 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)
1	Lot2 S.A(part) in D.D. 210, Near Hing Keng Shek Road, SAI KUNG	06/08/2024

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified "current land owner(s)"[#]
已通知 名「現行土地擁有人」[#]。

Details of the "current land owner(s)" [#] notified 已獲通知「現行土地擁有人」 [#] 的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on _____ (DD/MM/YYYY)^{#&}
於 _____ (日/月/年)向每一名「現行土地擁有人」[#]遞送要求同意書[&]

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)在指定報章就申請刊登一次通知[&]
- ☐ posted notice in a prominent position on or near application site/premises on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知[&]
- ☐ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會[&]

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別

- ☐ Type (i) Change of use within existing building or part thereof
第(i)類 更改現有建築物或其部分內的用途
- ☒ Type (ii) ~~Diversion of stream / excavation of land / filling of land / filling of pond~~ as required under Notes of Statutory Plan(s)
第(ii)類 根據法定圖則《註釋》內所要求的~~河道改道 / 挖土 / 填土 / 填塘~~工程
- ☒ Type (iii) Public utility installation / Utility installation for private project
第(iii)類 公用事業設施裝置/私人發展計劃的公用設施裝置
- ☐ Type (iv) Minor relaxation of stated development restriction(s) as provided under Notes of Statutory Plan(s)
第(iv)類 略為放寬於法定圖則《註釋》內列明的發展限制
- ☐ Type (v) Use / development other than (i) to (iii) above
第(v)類 上述的(i)至(iii)項以外的用途/發展

Note 1: May insert more than one 「✓」.

註 1：可在多於一個方格內加上「✓」號

Note 2: For Development involving columbarium use, please complete the table in the Appendix.

註 2：如發展涉及靈灰安置用途，請填妥於附件的表格。

(i) For Type (i) application 供第(i)類申請

(a) Total floor area involved 涉及的總樓面面積	sq.m 平方米		
(b) Proposed use(s)/development 擬議用途/發展	(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)		
(c) Number of storeys involved 涉及層數		Number of units involved 涉及單位數目	
(d) Proposed floor area 擬議樓面面積	Domestic part 住用部分		sq.m 平方米 <input type="checkbox"/> About 約
	Non-domestic part 非住用部分		sq.m 平方米 <input type="checkbox"/> About 約
	Total 總計		sq.m 平方米 <input type="checkbox"/> About 約
(e) Proposed uses of different floors (if applicable) 不同樓層的擬議用途(如適用) (Please use separate sheets if the space provided is insufficient) (如所提供的空間不足，請另頁說明)	Floor(s) 樓層	Current use(s) 現時用途	Proposed use(s) 擬議用途

(ii) For Type (ii) application 供第(ii)類申請

(a) Operation involved 涉及工程	<input type="checkbox"/> Diversion of stream 河道改道		
	<input type="checkbox"/> Filling of pond 填塘		
	Area of filling 填塘面積	sq.m 平方米	<input type="checkbox"/> About 約
	Depth of filling 填塘深度	m 米	<input type="checkbox"/> About 約
	<input type="checkbox"/> Filling of land 填土		
	Area of filling 填土面積	sq.m 平方米	<input type="checkbox"/> About 約
	Depth of filling 填土厚度	m 米	<input type="checkbox"/> About 約
	<input checked="" type="checkbox"/> Excavation of land 挖土		
	Area of excavation 挖土面積	33 sq.m 平方米	<input checked="" type="checkbox"/> About 約
	Depth of excavation 挖土深度	1.2-1.8 m 米	<input checked="" type="checkbox"/> About 約
(Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用圖則顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍))			
(b) Intended use/development 有意進行的用途/發展	public utility installation (underground cable, pole and stay) and associated excavation of land		

(iii) For Type (iii) application 供第(iii)類申請

(a) Nature and scale 性質及規模	<input checked="" type="checkbox"/> Public utility installation 公用事業設施裝置													
	<input type="checkbox"/> Utility installation for private project 私人發展計劃的公用設施裝置													
	Please specify the type and number of utility to be provided as well as the dimensions of each building/structure, where appropriate 請註明有關裝置的性質及數量, 包括每座建築物/構築物(倘有)的長度、高度和闊度													
	<table border="1"> <thead> <tr> <th>Name/type of installation 裝置名稱/種類</th> <th>Number of provision 數量</th> <th>Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)</th> </tr> </thead> <tbody> <tr> <td>Pole</td> <td>3</td> <td>1m(L)x1m(W)x7.2m(H)x1.8m(D) (item 3, 4, 5)</td> </tr> <tr> <td>Stay</td> <td>6</td> <td>1m(L) x 1m(W) x 1.2m(D) (item 6, 7, 8, 9, 10, 11)</td> </tr> <tr> <td>Underground Cable</td> <td>2</td> <td>15m(L) x 1m(W) x 1.2m(D) (item 1) 9m(L) x 1m(W) x 1.2m(D) (item 2)</td> </tr> </tbody> </table>	Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)	Pole	3	1m(L)x1m(W)x7.2m(H)x1.8m(D) (item 3, 4, 5)	Stay	6	1m(L) x 1m(W) x 1.2m(D) (item 6, 7, 8, 9, 10, 11)	Underground Cable	2	15m(L) x 1m(W) x 1.2m(D) (item 1) 9m(L) x 1m(W) x 1.2m(D) (item 2)	
	Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)											
Pole	3	1m(L)x1m(W)x7.2m(H)x1.8m(D) (item 3, 4, 5)												
Stay	6	1m(L) x 1m(W) x 1.2m(D) (item 6, 7, 8, 9, 10, 11)												
Underground Cable	2	15m(L) x 1m(W) x 1.2m(D) (item 1) 9m(L) x 1m(W) x 1.2m(D) (item 2)												
(Please illustrate on plan the layout of the installation 請用圖則顯示裝置的布局)														

(iv) For Type (iv) application 供第(iv)類申請

- (a) Please specify the proposed minor relaxation of stated development restriction(s) and **also fill in the proposed use/development and development particulars in part (v) below –**
請列明擬議略為放寬的發展限制並填妥於第(v)部分的擬議用途/發展及發展細節 –

- ☐ Plot ratio restriction 地積比率限制 From 由 to 至
- ☐ Gross floor area restriction 總樓面面積限制 From 由sq. m 平方米 to 至sq. m 平方米
- ☐ Site coverage restriction 上蓋面積限制 From 由% to 至%
- ☐ Building height restriction 建築物高度限制
From 由m 米 to 至 m 米
From 由 mPD 米 (主水平基準上) to 至mPD 米 (主水平基準上)
From 由 storeys 層 to 至 storeys 層
- ☐ Non-building area restriction 非建築用地限制 From 由m to 至 m
- ☐ Others (please specify) 其他 (請註明)

(v) For Type (v) application 供第(v)類申請

(a) Proposed use(s)/development
擬議用途/發展

(Please illustrate the details of the proposal on a layout plan 請用平面圖說明建議詳情)

(b) Development Schedule 發展細節表

- Proposed gross floor area (GFA) 擬議總樓面面積 sq.m 平方米 ☐About 約
- Proposed plot ratio 擬議地積比率 ☐About 約
- Proposed site coverage 擬議上蓋面積 % ☐About 約
- Proposed no. of blocks 擬議座數
- Proposed no. of storeys of each block 每座建築物的擬議層數 storeys 層
☐ include 包括 storeys of basements 層地庫
☐ exclude 不包括 storeys of basements 層地庫
- Proposed building height of each block 每座建築物的擬議高度 mPD 米(主水平基準上) ☐About 約
..... m 米 ☐About 約

☐ Domestic part 住用部分GFA 總樓面面積 sq. m 平方米 ☐ About 約

number of Units 單位數目

average unit size 單位平均面積sq. m 平方米 ☐ About 約

estimated number of residents 估計住客數目

☐ Non-domestic part 非住用部分

GFA 總樓面面積

☐ eating place 食肆 sq. m 平方米 ☐ About 約☐ hotel 酒店 sq. m 平方米 ☐ About 約

(please specify the number of rooms

請註明房間數目)

☐ office 辦公室 sq. m 平方米 ☐ About 約☐ shop and services 商店及服務行業 sq. m 平方米 ☐ About 約☐ Government, institution or community facilities (please specify the use(s) and concerned land
政府、機構或社區設施 area(s)/GFA(s) 請註明用途及有關的地面面積／總
樓面面積)

.....

.....

.....

☐ other(s) 其他 (please specify the use(s) and concerned land
area(s)/GFA(s) 請註明用途及有關的地面面積／總
樓面面積)

.....

.....

.....

☐ Open space 休憩用地 (please specify land area(s) 請註明地面面積)☐ private open space 私人休憩用地 sq. m 平方米 ☐ Not less than 不少於☐ public open space 公眾休憩用地 sq. m 平方米 ☐ Not less than 不少於

(c) Use(s) of different floors (if applicable) 各樓層的用途 (如適用)

[Block number] [座數]	[Floor(s)] [層數]	[Proposed use(s)] [擬議用途]
.....
.....
.....
.....
.....

(d) Proposed use(s) of uncovered area (if any) 露天地方 (倘有) 的擬議用途

.....

.....

.....

.....

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7. Anticipated Completion Time of the Development Proposal**擬議發展計劃的預計完成時間**

Anticipated completion time (in month and year) of the development proposal (by phase (if any)) (e.g. June 2023)

擬議發展計劃預期完成的年份及月份 (分期 (倘有)) (例: 2023 年 6 月)

(Separate anticipated completion times (in month and year) should be provided for the proposed public open space and Government, institution or community facilities (if any))

(申請人須就擬議的公眾休憩用地及政府、機構或社區設施 (倘有) 提供個別擬議完成的年份及月份)

Sept 2024

8. Vehicular Access Arrangement of the Development Proposal**擬議發展計劃的行車通道安排**

Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？	Yes 是 No 否	<input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) Hing Keng Shek Road <input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度) <input type="checkbox"/>
Any provision of parking space for the proposed use(s)? 是否有為擬議用途提供停車位？	Yes 是 No 否	<input type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示) Private Car Parking Spaces 私家車車位 _____ Motorcycle Parking Spaces 電單車車位 _____ Light Goods Vehicle Parking Spaces 輕型貨車泊車位 _____ Medium Goods Vehicle Parking Spaces 中型貨車泊車位 _____ Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 _____ Others (Please Specify) 其他 (請列明) _____ _____ _____
Any provision of loading/unloading space for the proposed use(s)? 是否有為擬議用途提供上落客貨車位？	Yes 是 No 否	<input type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示) Taxi Spaces 的士車位 _____ Coach Spaces 旅遊巴車位 _____ Light Goods Vehicle Spaces 輕型貨車車位 _____ Medium Goods Vehicle Spaces 中型貨車車位 _____ Heavy Goods Vehicle Spaces 重型貨車車位 _____ Others (Please Specify) 其他 (請列明) _____ _____ _____

9. Impacts of Development Proposal 擬議發展計劃的影響

If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures.

如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。

<p>Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?</p>	<p>Yes 是 No 否</p>	<p><input type="checkbox"/> Please provide details 請提供詳情</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p><input checked="" type="checkbox"/></p>																																				
<p>Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程? (Note: where Type (ii) application is the subject of application, please skip this section. 註：如申請涉及第(ii)類申請，請跳至下一條問題。)</p>	<p>Yes 是 No 否</p>	<p><input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地/池塘界線，以及河道改道、填塘、填土及/或挖土的細節及/或範圍)</p> <p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/></p>																																				
<p>Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?</p>	<p>On environment 對環境 On traffic 對交通 On water supply 對供水 On drainage 對排水 On slopes 對斜坡 Affected by slopes 受斜坡影響 Landscape Impact 構成景觀影響 Tree Felling 砍伐樹木 Visual Impact 構成視覺影響 Others (Please Specify) 其他 (請列明) grass felling</p>	<table border="0"> <tr> <td>Yes 會</td> <td><input type="checkbox"/></td> <td>No 不會</td> <td><input checked="" type="checkbox"/></td> </tr> <tr> <td>Yes 會</td> <td><input type="checkbox"/></td> <td>No 不會</td> <td><input checked="" type="checkbox"/></td> </tr> <tr> <td>Yes 會</td> <td><input type="checkbox"/></td> <td>No 不會</td> <td><input checked="" type="checkbox"/></td> </tr> <tr> <td>Yes 會</td> <td><input type="checkbox"/></td> <td>No 不會</td> <td><input checked="" type="checkbox"/></td> </tr> <tr> <td>Yes 會</td> <td><input type="checkbox"/></td> <td>No 不會</td> <td><input checked="" type="checkbox"/></td> </tr> <tr> <td>Yes 會</td> <td><input type="checkbox"/></td> <td>No 不會</td> <td><input checked="" type="checkbox"/></td> </tr> <tr> <td>Yes 會</td> <td><input type="checkbox"/></td> <td>No 不會</td> <td><input checked="" type="checkbox"/></td> </tr> <tr> <td>Yes 會</td> <td><input type="checkbox"/></td> <td>No 不會</td> <td><input checked="" type="checkbox"/></td> </tr> <tr> <td>Yes 會</td> <td><input type="checkbox"/></td> <td>No 不會</td> <td><input checked="" type="checkbox"/></td> </tr> </table> <p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>	Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>	Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>	Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>	Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>	Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>	Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>	Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>	Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>	Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>
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Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>																																			
Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>																																			

10. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

CLP has received an application for the provision of new electricity supply for DD210 2 S.C for agricultural purposes. The location is near Hing Keng Shek Road. To enhance the supply network to Hing Keng Shek Road, it is necessary to lay underground cables and install wood poles to connect to the existing electrical network.

Given that the proposed pole installation is located within the Green Belt Zone, there are no feasible alternatives for the proposed works other than installing new poles in this zone. The laying of new underground cables and the installation of poles in the area will have minimal impact on the existing landscape of the Green Belt area. There will be no visual impact after the completion of the pole erection works.

In conclusion, this method represents the best approach with the least environmental impact for this application.

.....

11. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion. 本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署



☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Chan Sun Yau

Manager

Name in Block Letters
姓名（請以正楷填寫）

Position (if applicable)
職位（如適用）

Professional Qualification(s) ☐ Member 會員 / ☐ Fellow of 資深會員

專業資格

☐ HKIP 香港規劃師學會 /

☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 /

☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 /

☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他



on behalf of
代表

Kum Shing (K.F.) Construction Company Limited 金城營造有限公司

☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

17/07/2024

..... (DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
- (b) facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

For Developments involving Columbarium Use, please also complete the following:
如發展涉及靈灰安置所用處，請另外填妥以下資料：

Ash interment capacity 骨灰安放容量[@]

Maximum number of sets of ashes that may be interred in the niches

在龕位內最多可安放骨灰的數量

Maximum number of sets of ashes that may be interred other than in niches

在非龕位的範圍內最多可安放骨灰的數量

Total number of niches 龕位總數

Total number of single niches

單人龕位總數

Number of single niches (sold and occupied)

單人龕位數目 (已售並佔用)

Number of single niches (sold but unoccupied)

單人龕位數目 (已售但未佔用)

Number of single niches (residual for sale)

單人龕位數目 (待售)

Total number of double niches

雙人龕位總數

Number of double niches (sold and fully occupied)

雙人龕位數目 (已售並全部佔用)

Number of double niches (sold and partially occupied)

雙人龕位數目 (已售並部分佔用)

Number of double niches (sold but unoccupied)

雙人龕位數目 (已售但未佔用)

Number of double niches (residual for sale)

雙人龕位數目 (待售)

Total no. of niches other than single or double niches (please specify type)

除單人及雙人龕位外的其他龕位總數 (請列明類別)

Number of niches (sold and fully occupied)

龕位數目 (已售並全部佔用)

Number of niches (sold and partially occupied)

龕位數目 (已售並部分佔用)

Number of niches (sold but unoccupied)

龕位數目 (已售但未佔用)

Number of niches (residual for sale)

龕位數目 (待售)

Proposed operating hours 擬議營運時間

[@] Ash interment capacity in relation to a columbarium means –

就靈灰安置所而言，骨灰安放容量指：

- the maximum number of containers of ashes that may be interred in each niche in the columbarium;
每個龕位內可安放的骨灰容器的最高數目；
- the maximum number of sets of ashes that may be interred other than in niches in any area in the columbarium; and
在該靈灰安置所並非龕位的範圍內，總共最多可安放多少份骨灰；以及
- the total number of sets of ashes that may be interred in the columbarium.
在該靈灰安置所內，總共最多可安放多少份骨灰。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)
(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置/地址	Lot2 S.A(part) in D.D. 210 and adjacent Government Land in D.D.210 Near Hing Keng Shek Road, SAI KUNG		
Site area 地盤面積	33	sq. m 平方米	<input checked="" type="checkbox"/> About 約
	(includes Government land of 包括政府土地	30	sq. m 平方米 <input checked="" type="checkbox"/> About 約)
Plan 圖則	S/SK-HC/11		
Zoning 地帶	Green Belt		
Applied use/ development 申請用途/發展	public utility installation (underground cable, pole and stay) and associated excavation of land		
(i) Gross floor area and/or plot ratio 總樓面面積及/或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用		
	Non-domestic 非住用		
	Composite 綜合用途		

(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	m 米 <input type="checkbox"/> (Not more than 不多於)
		mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Non-domestic 非住用	m 米 <input type="checkbox"/> (Not more than 不多於)
		mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Composite 綜合用途	m 米 <input type="checkbox"/> (Not more than 不多於)
		mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
(iv) Site coverage 上蓋面積	% <input type="checkbox"/> About 約	
(v) No. of units 單位數目		
(vi) Open space 休憩用地	Private 私人	sq.m 平方米 <input type="checkbox"/> Not less than 不少於
	Public 公眾	sq.m 平方米 <input type="checkbox"/> Not less than 不少於

(vii) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數 Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) <hr/> <hr/>	
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數 Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) <hr/> <hr/>	

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件

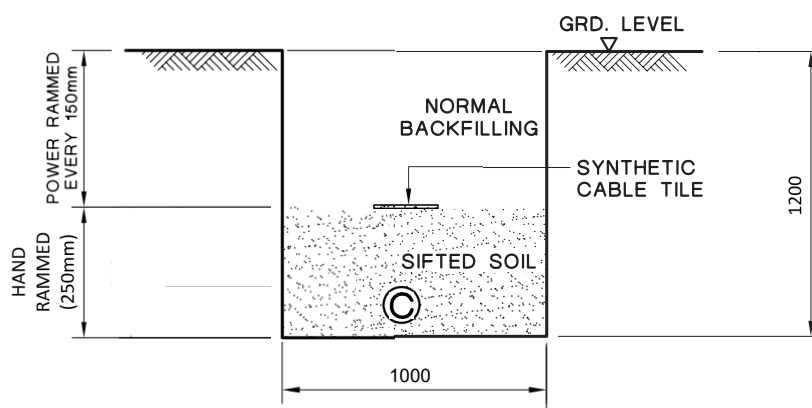
	<u>Chinese</u> 中文	<u>English</u> 英文
<u>Plans and Drawings 圖則及繪圖</u>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Excavation layout plan WESK2022-0692-01H		
<u>Reports 報告書</u>		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>
<hr/>		
<hr/>		

Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

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TYPICAL CABLE TRENCH FOR SINGLE CABLE

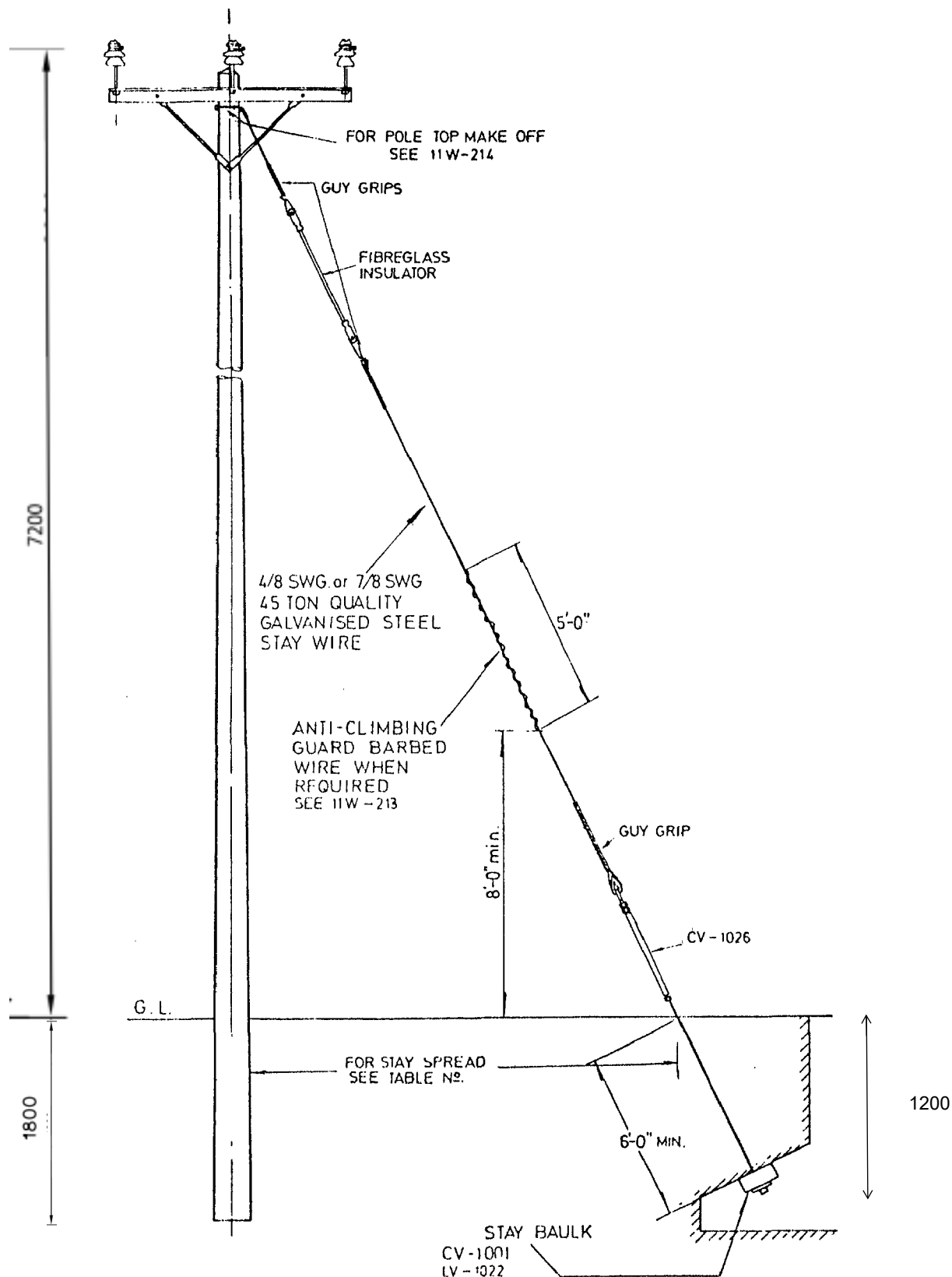
LEGEND :

Ⓒ CABLE

NOTES:

1. ALL SOIL BACKFILLING BENEATH CABLE TILES SHALL BE SIFTED THROUGH 12mm WIRE MESH.
2. ALL DIMENSIONS ARE IN mm.

C GENERAL REVISION				B GENERAL REVISION				A SYNTHETIC CABLE TILE SPECIFIED											
<div>CLP 中電</div>								REVS.	16-2-04	18-6-07	28-6-07								
									A	B	C	D	E	F	G	H	J	K	L
								INITIAL	C.Y.IP	W.B.LEE	Y.K.MAN								
								TITLE :											
DRAWN: S.C.T.								TYPICAL CABLE TRENCH Item 1, 2											
CHECKED: K. K. LEUNG																		APPROVED: W. B. LEE	
SCALE: 1 : 15								SHEET(S) IN SET: 1				PROJECT NO.				CONTRACT NO.			
A S S E T M A N A G E M E N T								DRG. NO. T G E N 2 5 5 0 0 D E 3 3 0 0 0 2 0 1 C A											



THIS DWG. SUPERSEDES THE DWG. NO. 11W-201 SHEET 1



REVS.	A	B	C	D	E	F	G	H	J	K	L
INITIAL											

TITLE :

OHL WOOD POLE SPECIFICATION GENERAL ARRANGEMENT OF STAYS Pole Item 3, 4, 5 / Stay Item 6, 7, 8, 9, 10, 11

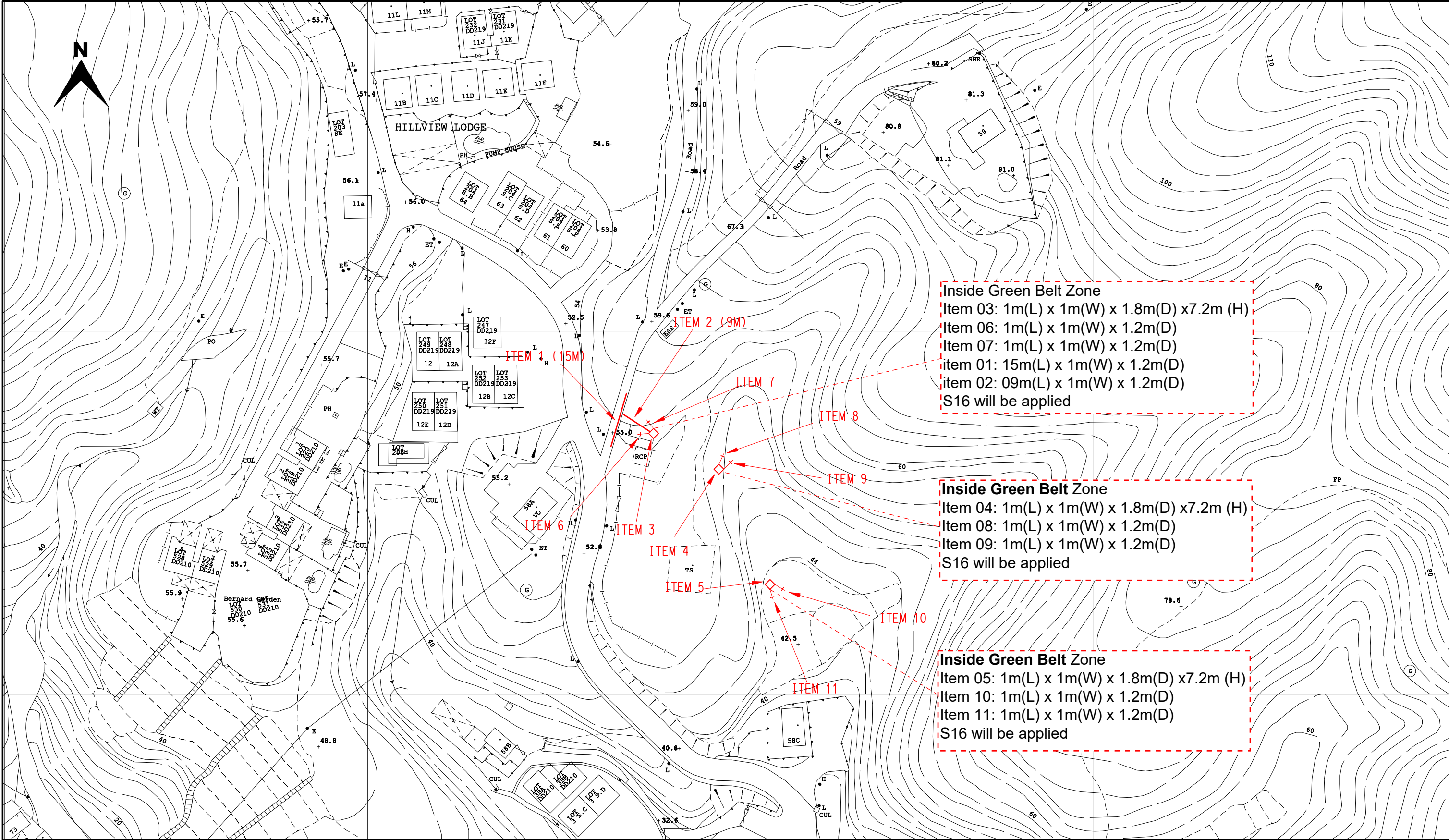
DRAWN: T.W.L. DATE: 6-2-03
CHECKED: W.M.CHANG APPROVED: W.M.CHANG
SCALE: N.T.S. SHEET(S) IN SET: 1

PROJECT NO.

CONTRACT NO.

ASSET MANAGEMENT

DRG. NO. T GEN 51220 DE 33 0136 01 - A



LEGEND :	
	PROPOSED TRENCH FOR LAYING / RECOVERING CABLE
	PROPOSED TRENCH FOR LAYING DUCTS
	PROPOSED CABLE THROUGH EXISTING DUCTS
	EXISTING PILLAR
	PROPOSED PILLAR 1.6M x 0.6M x 0.75M / CUTOUT BOX
	EXCAVATION FOR JOINING / REPAIRING / INSPECTING CABLE
	PROPOSED 3.6M(L) x 3.32M(W) x 2.7M(H) HV PILLAR
	EXISTING OVERHEAD LINE & POLE
	PROPOSED 11kV, L.V., OHL, OF STEEL / WOODEN POLE
	OVERHEAD LINE & POLE TO BE REMOVED
	PROPOSED TREE TRIMMING / CUTTING
	EXISTING POLE MOUNTED TRANSFORMER
	PROPOSED POLE MOUNTED TRANSFORMER
	PROPOSED STAY / STAY POLE

SCALE 1:1000		DRAWN :H.Y. WONG
DATE :17-03-2023		CHECKED : K.N. SZE
REGION :WE	O.C. : SK	E/O NO :

TITLE :LV CABLE LAYING, POLE & STAY ERECTION AT HING KENG SHEK NEAR HOUSE NO.58A SAI KUNG	
MAP NO : 07SE25A, 07SE25B	
PROJECT REF.: SK2022-0692	PLAN REF.:WESK2022-0692-01H

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy ☐Confidential

[REDACTED]

寄件者: [REDACTED]
寄件日期: 2024年11月25日星期一 18:25
收件者: tpbpd/PLAND
主旨: Fw: Clarifications requested - CLP project ref. SK2022-0692, Hing Keng Shek
(Planning Application No. A/SK-HC/360)

[REDACTED]

From: CHAN, Sam Sun Yau <[REDACTED]@kumshing.com.hk>
Sent: Monday, November 25, 2024 6:17 PM
To: [REDACTED]
Cc: Sze, Jeanne Kin Ning <[REDACTED]@clp.com.hk>
Subject: RE: Clarifications requested - CLP project ref. SK2022-0692, Hing Keng Shek (Planning Application No. A/SK-HC/360)

Dear all

We would like to confirm our previous responses to the items 1 to 6 (extracted below and highlighted in yellow) and 7 to 10 (reply on 25 Nov) are still valid for the planning application.

Best Regards

Sam Chan

Manager
Distribution Circuits
Kum Shing (K.F.) Construction Company Limited
Tel [REDACTED]
Kum Shing Group 金城營造集團

From: [REDACTED]
Sent: Monday, November 25, 2024 6:03 PM
To: CHAN, Sam Sun Yau <[REDACTED]@kumshing.com.hk>
Cc: Sze, Jeanne Kin Ning <[REDACTED]@clp.com.hk>
Subject: Re: Clarifications requested - CLP project ref. SK2022-0692, Hing Keng Shek (Planning Application No. A/SK-HC/360)

Dear Mr. Chan,

For formal submission/record, please also confirm whether your previous responses to the items 1 to 6 (extracted below and highlighted in yellow) are still valid for the planning application.

Responses from Kum Shing from email dated 18.10.2024:

1. The service location in the submitted cable drawing is indicated as "DD 210 Lot 2 SC" (as indicated in blue dashed lines). Upon checking, it appears the service location covers a total of 6 different Lots (i.e. Lot 2 S.A., S.B., S.C, S.D, S.E and RP in DD210) as indicated in the red dotted line below. Please clarify the extent of the service location and rectify the lot numbers on the drawing as appropriate.

The electricity supply is served to 6 different lots. These are Lot 2 S.A., S.B., S.C, S.D, S.E and RP in DD210.

2. It is noted from your preceding email that future electricity supply would be used for lighting, irrigation, weeding and water heater. Please further justify the necessity for electricity supply provision by installing new poles and underground cables instead of using other power supply alternatives (e.g. on-site / portable power generating equipment).

Power supply from CLP underground cable is stable, clean, and no pollutant to surrounding environment. Other means like solar panel cannot generate the power at rainy day and nighttime. On the other hand, power generation using mobile generator will generate heat, exhausted gas and noise. It may have an environment impact to surrounding. As part of stated agricultural equipment, a non-stop and stable electricity for CCTV system is necessary for security and property protection.

3. Please specify the nature (e.g. crop growing, livestock rearing) and operation mode of agricultural activities at the service location and whether the premises is currently in operation.

The nature of agricultural activity is crop growing . The operation mode of the farm is for self-consumption/family enjoyment and is not open to public.

4. Please clarify the structures within the service location and elaborate their associated uses.

There is no structural building within the service location

5. Please clarify whether the trenches for underground cables will be backfilled upon completion of the installation works.

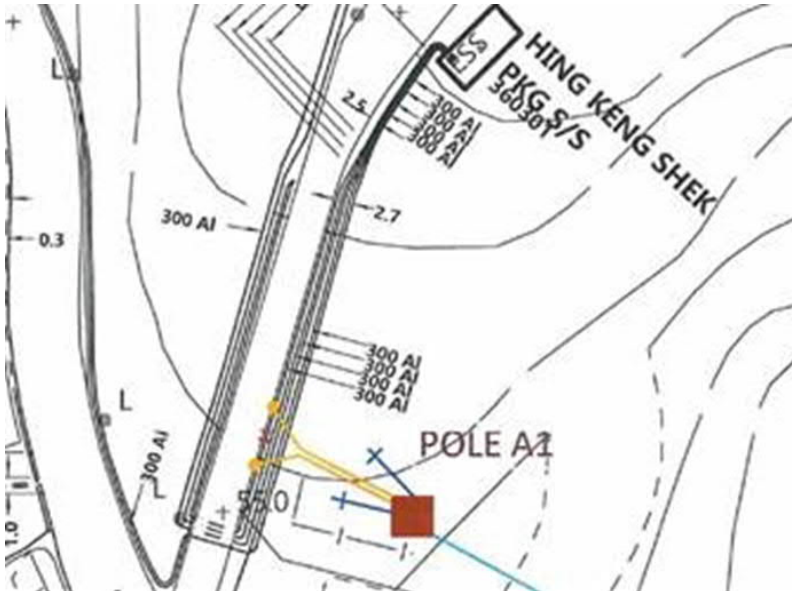
Sites will be backfilled after upon completion of the installation works.

6. Please clarify the electricity supply routing to existing power network and whether the alignment connecting to the ESS are existing cables.

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According to the drawing below. The black line represents the existing undergrounding power cable. The proposed work is

- a) Trench excavation to lay new underground cables (yellow line)
- b) Carry on the underground cable jointing (yellow spot)
- c) Backfill after upon completion of the installation works.



Thank you.

[Redacted signature block]

From: CHAN, Sam Sun Yau <[Redacted]@kumshing.com.hk>

Sent: Monday, November 25, 2024 5:40 PM

To: [Redacted]

Cc: Sze, Jeanne Kin Ning <[Redacted]@clp.com.hk>

Subject: FW: Clarifications requested - CLP project ref. SK2022-0692, Hing Keng Shek (Planning Application No. A/SK-HC/360)

Dear all

Email 2

Date Monday, November 25, 2024 10:24 AM

provide further information for clarifications on the following in items 7 to 10 below:

7. To Kumshing: Please confirm the following uses of electricity as stated in your separate email of 6.9.2024 (4:21pm) are applicable to the current planning application:

Kum Shing reply

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Current uses of electricity:

a)Lighting

The farm is located on a hillside and lacks lighting. Whenever we work until dusk/night, it is pitch dark and lighting is extremely needed, otherwise work accidents are prone to occur.

b) Irrigation

The farmland is on a higher hillside, and the water source is in a lower mountain stream. Irrigation requires water to be pumped from the lower mountain stream to the farm for irrigation in different corners to ensure that the crops can survive.

c)Weeding

There are numerous trees/weeds inside and outside the farm, which are growing rapidly. In order to protect the environment and not use herbicides to damage the soil quality, it is necessary to use electric machinery to cut it off from time to time, so Yiden equipment is extremely needed;

d)Water heater

Farmers and staff working in hot weather need to replenish their bodies with water. Without electricity supply, they cannot drink boiled water. If you drink rainwater from mountain streams, bacteria may enter your body and cause permanent harm to your body.

e)CCTV

As part of stated agricultural equipment, a non-stop and stable electricity for CCTV system is necessary for security and property protection.

8. To Kumshing:

Please clarify and update the drawing:

- (1) The indication of lot number on the drawing below is inaccurate. Please rectify the lot numbers (from “DD210 Lot 2 SC” to “Lot 2 S.A., S.B., S.C, S.D, S.E and RP in DD210” on the drawing as appropriate.
- (2) The “customer’s cable duct” and the meter box illustrated below are not included in the planning application boundary submitted by CLP. Please clarify.

Kum Shing reply

- (1)The update cable drawing with lot numbers are attached
- (2)The “customer’s cable duct” and the meter box illustrated are not included in this planning application.

9. To Kumshing: Please clarify whether the trenches for underground cables will be backfilled upon completion of the installation works

Kum Shing reply

Sites will be backfilled after upon completion of the installation works.

10. To Kumshing: Please re-attach the tree survey for formal submission.

Kum Shing reply

tree survey report is attached for formal submission.

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy ☐Confidential

Best Regards

Sam Chan

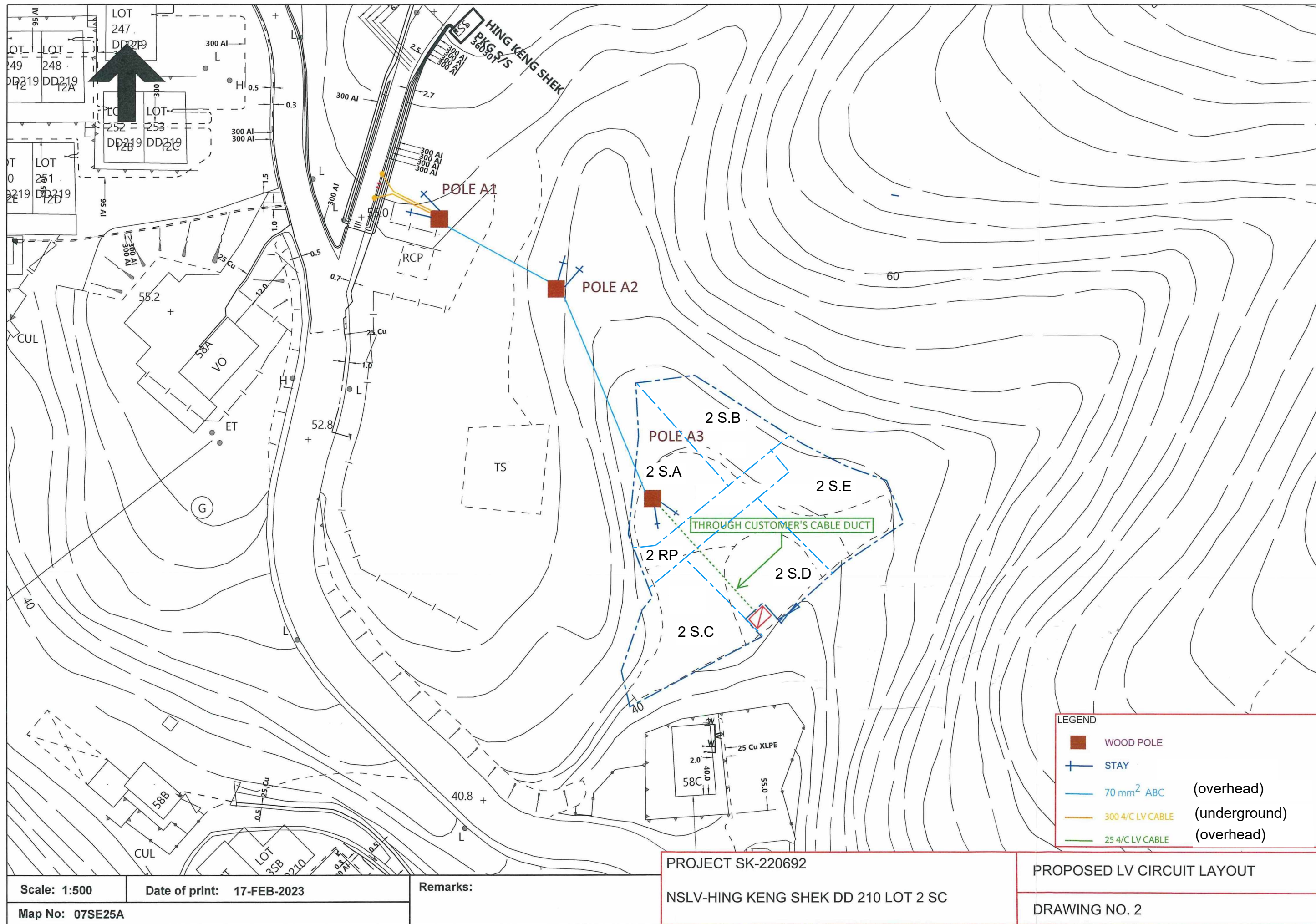
Manager

Distribution Circuits

Kum Shing (K.F.) Construction Company Limited

Tel [REDACTED]

Kum Shing Group 金城營造集團





MELOFIELD
NURSERY & LANDSCAPE CONTRACTOR LTD
經緯園藝有限公司

CLP Outline Agreement No. 4600009419

Tree Treatment Report
at Hing Keng Shek near House No. 58A, Sai Kung

CLP Outline Agreement No. 4600009419

Tree Treatment Report at Hing Keng Shek near House No. 58A, Sai Kung

(Revision No.: 0)

Prepared by Melofield Nursery & Landscape Contractor Ltd.



Client:	CLP
Prepared by:	HO Sik Yan (Registered Arborist [REDACTED], under The Registration Scheme for Tree Management Personnel, Development Bureau)
Date of Survey:	2 October 2024



Content

1. Introduction

2. Tree Survey Methodology

3. Tree Survey Findings

4. Recommended Tree Treatments

5. Summary

Appendix A – Tree Location Plan

Appendix B - Tree Assessment Schedule

Appendix C - Photographic Record of Existing Trees



1. Introduction

This tree treatment report is prepared under the Contract, CLP Outline Agreement No. 4600009419.

Melofield Nursery & Landscape Contractor Ltd. is commissioned to carry out a tree survey for LV cable laying, pole & stay erection at Hing Keng Shek near House No. 58A, Sai Kung (SK 2022-0692). The survey site is lying along an edge of vegetative slope adjacent to a settlement in rural area.

A field inspection was carried out on 2 October 2024 by Mr. HO Sik Yan, Registered Arborist (TM429739). A thorough visual inspection of the above-ground portion of the entire tree was conducted from various vantage points on the ground immediately adjacent to and at a distance from the tree. This tree treatment report includes assessment of the form, health and structural conditions of surveyed trees and provides recommendations on tree treatments.



2. Tree Survey Methodology

In accordance with the Technical Circular (Works) No. 4/2020 promulgated by Development Bureau, a plant is considered as a tree if its trunk diameter measures 95mm or more at a height of 1.3m above the ground level. All existing trees within the site and adjoining the site boundary will be surveyed and identified with the following information recorded:

- (A) Tree Identity Number: Number individual trees, label on site and denote correspondingly on the tree survey plan;
- (B) Tree Species: Botanical (Scientific) and Chinese names of trees surveyed;
- (C) Tree Size (Measurement):
 - (i) Overall Height: Height measured from ground level to the top branch;
 - (ii) Trunk diameter (DBH): Diameter at Breast Height, Girth of the main trunk measured at 1.3m above ground level;
 - (iii) Crown Spread: Average diameter of the foliage canopy;
- (D) Form:
 - (i) Good: Well-balanced crown and straight strong trunk;
 - (ii) Average: Slightly unbalanced crown and non-straight trunk;
 - (iii) Poor: Misshapen or awkwardly-forked trunk and / or unbalanced crown;
- (E) Health Condition:
 - (i) Good: Sound and healthy trees;
 - (ii) Average: Trees which are with few or no visible defects or health problem
 - (iii) Poor: Decays and / or cavities in the main trunk and / or crown die back, severely infected with disease.



(F) Structural Condition –

- (i) Good: Without any major defect or disease, structurally sound and healthy;
- (ii) Average: With few visual defects or health problems, but not critical;
- (iii) Poor: With many visible defects or health problems, or with critical structural defects such as significantly leaning trunk, bent trunk or limbs, rot, cavities in the main trunk, insect or fungi attack, lack of vigor and crown die back, etc.

(G) Amenity Value (according to form, size, age, condition and situation of the tree):

- (i) High: Specimen of rare trees to be retained if at all possible or good form and good health.
- (ii) Medium: Trees which individually or collectively make a useful but not vital contribution to the local environment or fair form and fair health / fair form and good health / good form and fair health.
- (iii) Low: Dead, dangerous and unhealthy trees or trees of generally poor form / shape or poor form and fair health / fair form and poor health.

(G) Suitability for Transplanting

- (i) High
- (ii) Medium
- (iii) Low

(I) Remarks: Supplementary notes towards the assessment on each tree

3. Tree Survey Findings

A joint site inspection with a representative of CLP and tree survey were carried out on 2 October 2024 to identify existing trees near the proposed LV cable laying, pole & stay erection.

There were 8 existing trees and 5 different tree species recorded in this tree survey. They were either common native or ornamental tree species.

No Trees of Particular Interest (TPI), Old and Valuable Trees (OVT), stonewall trees nor rare and precious species (as listed under Rare and Precious Plants in Hong Kong, and Hong Kong Herbarium of AFCD) were recorded in this survey.

The health conditions of all recorded trees were rated average, but their form and structural conditions rated poor to average.

Details of the 8 recorded trees are enclosed at Appendices below:

- Appendix A** Tree Location Plan;
- Appendix B** Tree Assessment Schedule;
- Appendix C** Photographic Records of Existing Trees.

The table below summaries the abundance of different tree species in this tree survey.

Table 1 - Summary of the Recorded Tree Species

Scientific Name	Chinese Name	Qty. of trees
<i>Archontophoenix alexandrae</i>	假檳榔	2
<i>Ficus hispida</i>	對葉榕	2
<i>Macaranga tanarius</i> var. <i>tomentosa</i>	血桐	1
<i>Machilus chekiangensis</i>	浙江潤楠	1
<i>Mallotus paniculatus</i>	白楸	1
<i>Manilkara zapota</i>	人心果	1

Total of Recorded Trees: 8



4. Recommended Tree Treatments

All 8 nos. of existing trees are recommended to be retained on-site.

However, 4 retained trees, namely T1, T5, T6 and T8, are in poor form and/or structural conditions, and have some branches close to the future overhead line. As for better tree growth and also to eliminate the conflict between the trees and the future overhead line, preventative crown pruning therefore is recommended to these 4 retained trees.

Please see the photographic records of T1, T5, T6 and T8 in Appendix C for the reference of recommended pruning extent.



The table below summaries the recommended preventative crown pruning.

Table 2 - Preventative Crown Pruning Recommended to Retained Trees

Tree No. (Tree Species)	Observations	Preventative Crown Pruning Recommended
T1 (<i>Machilus chekiangensis</i>)	<ul style="list-style-type: none"> - Imbalanced crown; - Climbers on crown; - A dead branch and a dead stub will be close to and protrude over the future overhead line. 	<ul style="list-style-type: none"> - Crown cleaning as for better tree growth and also to eliminate the conflict between the trees and the future overhead line. Removing the dead branch and the dead stub, and also climbers.
T5 (<i>Ficus hispida</i>)	<ul style="list-style-type: none"> - Slope tree with an imbalanced crown; - Some branches will be close to the future overhead line. 	<ul style="list-style-type: none"> - Crown reduction as for better tree growth and also to eliminate the conflict between the trees and the future overhead line. Shortening over-extended, drooping branches.
T6 (<i>Macaranga tanarius var. tomentosa</i>)	<ul style="list-style-type: none"> - Leaning slope tree; - Some branches will be close to the future overhead line. 	<ul style="list-style-type: none"> - Crown reduction as for better tree growth and also to eliminate the conflict between the trees and the future overhead line. Shortening over-extended branches.
T8 (<i>Mallotus paniculatus</i>)	<ul style="list-style-type: none"> - A slightly leaning slope tree with a slightly imbalanced crown; - Some branches will be close to the future overhead line. 	<ul style="list-style-type: none"> - Crown reduction as for better tree growth and also to eliminate the conflict between the trees and the future overhead line. Shortening over-extended, drooping branches.



5. Summary

There were 8 existing trees and 5 different tree species recorded in this tree treatment report. All 8 nos. of existing trees are recommended to be retained on-site.

Among those retained trees, preventative crown pruning is recommended to 4 trees, T1, T5, T6 and T8. By carrying out the recommended pruning, those trees would be preserved and their form and structural conditions would be enhanced. Meanwhile, the proposed LV cable laying, pole & stay erection becomes feasible for the benefit of the public.

It is confirmed that, No Trees of Particular Interest (TPI), Old and Valuable Trees (OVT), stonewall trees, and rare and precious species were recorded in this survey and would be interfered by the proposed LV cable laying, pole & stay erection.



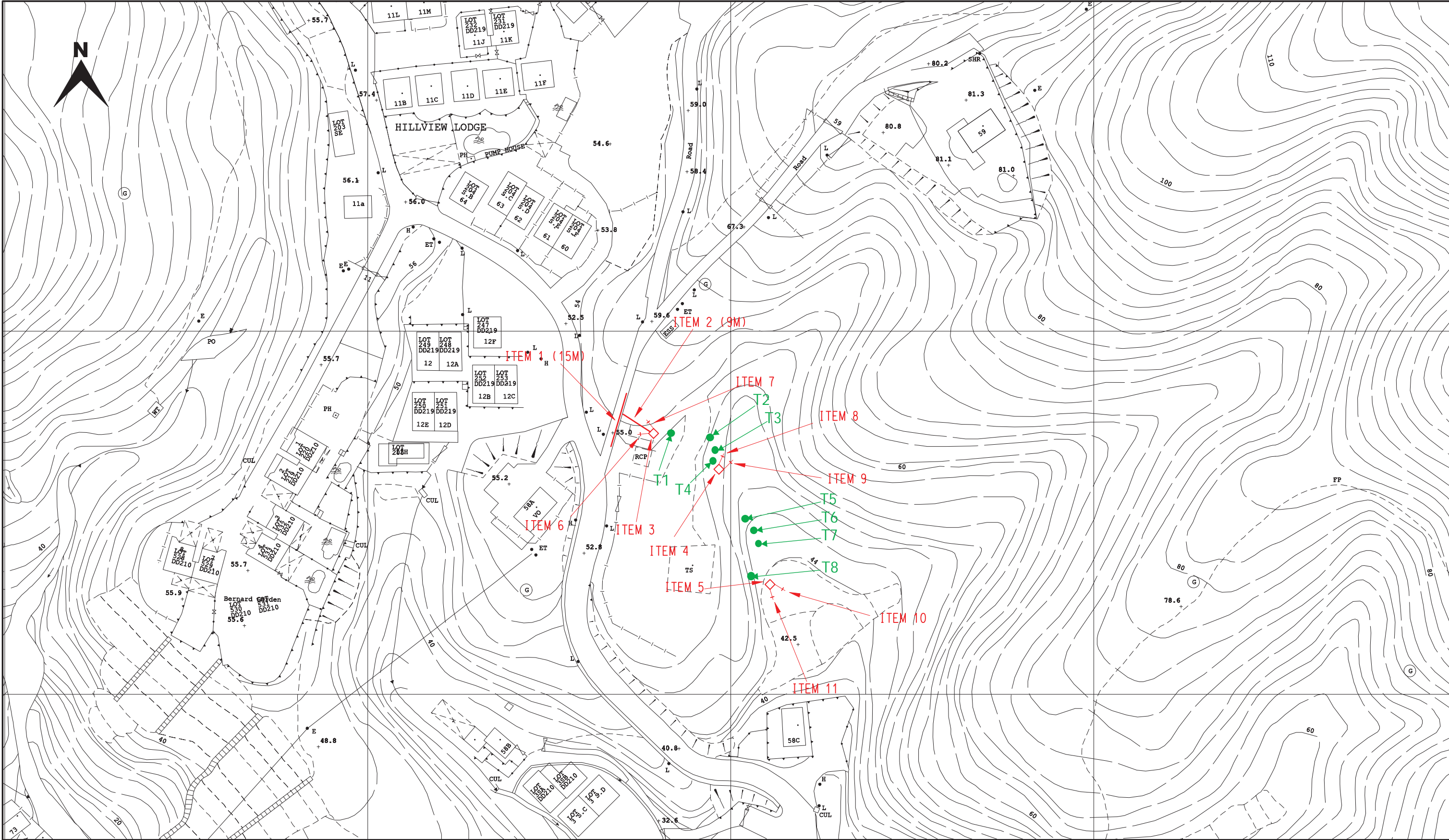
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CLP Outline Agreement No. 4600009419

Tree Treatment Report
at Hing Keng Shek near House No. 58A, Sai Kung

APPENDIX A

TREE LOCATION PLAN



<div>LEGEND :</div> <div><div><div><div></div></div><div>PROPOSED TRENCH FOR LAYING / RECOVERING CABLE</div></div><div><div><div></div></div><div>PROPOSED TRENCH FOR LAYING DUCTS</div></div><div><div><div></div></div><div>PROPOSED CABLE THROUGH EXISTING DUCTS</div></div><div><div><div></div></div><div>EXISTING PILLAR</div></div><div><div><div></div></div><div>PROPOSED PILLAR 1.6M x 0.6M x 0.75M / CUTOUT BOX</div></div><div><div><div></div></div><div>EXCAVATION FOR JOINING / REPAIRING / INSPECTING CABLE</div></div><div><div><div></div></div><div>PROPOSED 3.6M(L) x 3.32M(W) x 2.7M(H) HV PILLAR</div></div></div> <div><div><div><div></div></div><div>RECORDED TREE</div></div><div><div><div></div></div><div>EXISTING OVERHEAD LINE & POLE</div></div><div><div><div></div></div><div>PROPOSED 11kV, L.V., OHL, OF STEEL / WOODEN POLE</div></div><div><div><div></div></div><div>OVERHEAD LINE & POLE TO BE REMOVED</div></div><div><div><div></div></div><div>EXISTING POLE MOUNTED TRANSFORMER</div></div><div><div><div></div></div><div>PROPOSED POLE MOUNTED TRANSFORMER</div></div><div><div><div></div></div><div>PROPOSED STAY / STAY POLE</div></div></div>			<div>PLAN TITLE: TREE LOCATION PLAN (FOR TREE IDENTIFICATION ONLY)</div>			<div>TITLE :LV CABLE LAYING, POLE & STAY ERECTION AT HING KENG SHEK NEAR HOUSE NO.58A SAI KUNG</div>			
<div>SCALE 1:1000</div>			<div>DRAWN : MELOFIELD</div>			<div>MAP NO : 07SE25A, 07SE25B</div>			
<div>DATE : 02-10-2024</div>			<div>CHECKED :</div>						
<div>REGION :WE</div>		<div>O.C. : SK</div>		<div>E/O NO :</div>		<div>PROJECT REF.: SK2022-0692</div>		<div>PLAN REF.:WESK2022-0692-01H</div>	



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CLP Outline Agreement No. 4600009419

Tree Treatment Report
at Hing Keng Shek near House No. 58A, Sai Kung

APPENDIX B

TREE ASSESSMENT SCHEDULE

CLP Outline Agreement No. 4600009419
Task Title: Tree Treatment Report at Hing Keng Shek near House No. 58A, Sai Kung
Date of Tree Survey and Assessment: 2th Oct 2024
Surveyed by HO Sik Yan (Registered Arborist TM429739)

Tree Assessment Schedule

Tree No.	Species		Measurements			Amenity Value	Form	Health condition	Structural condition	Suitability for transplanting		Conservation Status (Yes/No)	Recommendation	Justifications	Maintenance department to provide comments on TPRP		Remarks
	Scientific name	Chinese Name	Height (m)	DBH (mm)	Crown Spread (m)	(High/Medium/Low)	(Good/Average/Poor)			(High/Medium/Low)	Remarks		(Retain/Retain & Prune Transplant/Remove)		Before	After	
T1	<i>Machilus chekiangensis</i>	浙江潤楠	12	487	8	L	P	A	P	L	-	N	Retain & Prune	-	AFCD	AFCD	Two trunks; imbalanced crown; co-dominant branches with included bark; dead branches; climbers. A dead branch and a dead stub will be close to and protrude over the future overhead line. Crown cleaning is recommended.
T2	<i>Manilkara zapota</i>	人心果	3	130	2.5	M	A	A	A	L	-	N	Retain	-	AFCD	AFCD	Two trunks; leaning; low branching; imbalanced crown minor trunk wounds; on sloping ground
T3	<i>Archontophoenix alexandrae</i>	假檳榔	3	140	2.5	M	A	A	A	M	-	N	Retain	-	AFCD	AFCD	On sloping ground.
T4	<i>Archontophoenix alexandrae</i>	假檳榔	2.5	99	2	M	A	A	A	M	-	N	Retain	-	AFCD	AFCD	On sloping ground.
T5	<i>Ficus hispida</i>	對葉榕	5	279	7	L	P	A	P	L	-	N	Retain & Prune	-	AFCD	AFCD	Three trunks; leaning; low branching; imbalanced crown; on sloping ground. Imbalanced crown with over-extended, drooping branches will be close to the future overhead line. Crown reduction is recommended to shorten over-extended, drooping branches.
T6	<i>Macaranga tanarius</i> var. <i>tomentosa</i>	血桐	6	192	4	L	P	A	P	L	-	N	Retain & Prune	-	AFCD	AFCD	Two trunks; leaning; on sloping ground. Crown spread of this leaning slope tree will be close to the future overhead line. Crown reduction is recommended to shorten over-extended branches.
T7	<i>Ficus hispida</i>	對葉榕	4	120	4	M	A	A	A	L	-	N	Retain	-	AFCD	AFCD	Slightly leaning; low branching; on sloping ground.
T8	<i>Mallotus paniculatus</i>	白楸	6.5	190	5	L	P	A	A	L	-	N	Retain & Prune	-	AFCD	AFCD	Slightly leaning; slightly imbalanced crown; on sloping ground. Imbalanced crown with over-extended, drooping branches will be close to the future overhead line. Crown reduction is recommended to shorten over-extended, drooping branches.

Remarks:

Key to Suitability for Transplanting

- Trees of low amenity value
- Trees with poor form/health/structural condition.
- Irrecoverable form after transplanting (e.g. transplanting requires substantial crown and root pruning);
- Low chance of survival upon transplanting (species with low ability to tolerate transplant; senescent tree with low post-transplantation survival rate; etc)
- Undesirable species (e.g. *Leucaena leucocephala* which is an invasive, exotic and self-seeding tree);
- Dead tree
- Trees grown under poor conditions which have limited the formation of proper root ball necessary for transplanting (e.g. steep slope, close to utilities, close to other trees).

Key to Justifications

- Tree is in direct conflict with the proposed works.
- Preparation of intact and sufficient-sized root ball is not practical due to the topography (e.g. steep slope, shallow substratum, nearby structures)
- Weedy species without special ecological significance or species creating maintenance problems.
- Tree with poor health and/or form and/or structural condition for transplantation.
- Lack of access for transplantation machinery or vehicle.
- Species of low post-transplantation survival rate.
- Tree has structural problem and may create hazard to the public during root ball preparation and/or after transplantation, and auxiliary support will not be practical.
- Senescent tree with low post-transplantation survival rate
- A dead tree with low post-transplantation survival rate



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CLP Outline Agreement No. 4600009419

Tree Treatment Report
at Hing Keng Shek near House No. 58A, Sai Kung

APPENDIX C

PHOTOGRAPHIC RECORD OF EXISTING TREES



T1 Tree tag



T1 Whole view



T1 Trunk view



T1 Branch conditions.



T1 Crown with dense vine coverage



T1 A dead branch and a dead stub will be close to and protrude over the future overhead line



T1 Crown cleaning to remove the dead branch and the dead stub, as indicated by the proposed cutlines



T1 Trunk base



T2 Tree tag



T2 Whole view



T2 Crown view



T2 Trunk base



T3 Tree tag



T3 Whole view



T3 Crown view



T3 Trunk view



T3 Trunk base

EMPTY

EMPTY

EMPTY



T4 Tree tag



T4 Whole view



T4 Crown view



T4 Trunk base



T5 Tree tag.



T5 Whole view



T5 Imbalanced crown. It is recommended to shortern over-extended, drooping branches.



T5 Crown reduction, as indicated by the proposed cutline, is recommended to shortern over-extended, drooping branches.



T5 View of inner crown and trunk



T5 Trunk base

EMPTY

EMPTY



T6 Tree tag



T6 Whole view



T6 Crown view



T6 Crown reduction, as indicated by the proposed cutline, is recommended to shorten over-extended branches



T6 Trunk view



T6 Trunk base

EMPTY

EMPTY



T7 Tree tag



T7 Whole view



T7 Trunk and branch conditions



T7 Trunk base



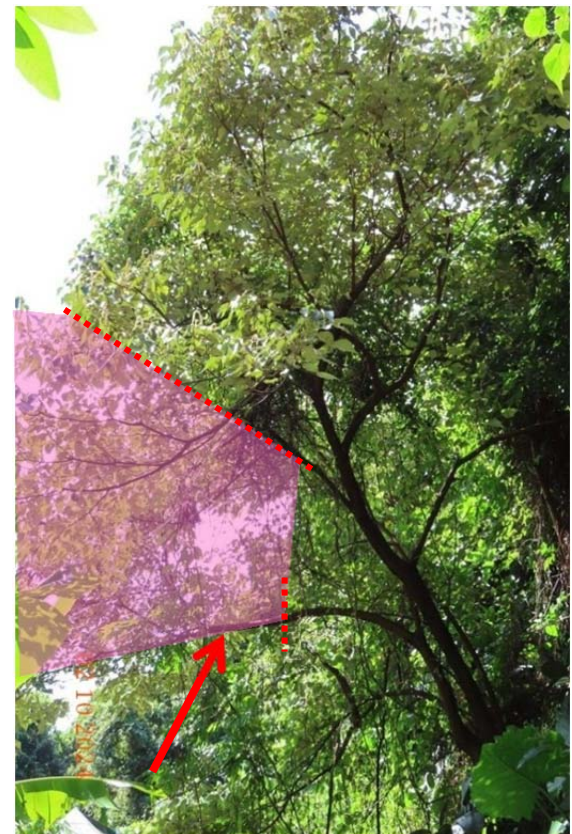
T8 Tree tag



T8 Whole view



T8 Slightly imbalanced crown. It is recommended to shorten some over-extended, drooping branches.



T8 Crown reduction, as indicated by the proposed cutlines, is recommended to shorten over-extended, drooping branches.



T8 Trunk view



T8 Trunk base

EMPTY

EMPTY

Relevant Extract of Town Planning Board Guidelines for
Application for Development within Green Belt Zone
under Section 16 of the Town Planning Ordinance
(TPB PG-No. 10)

The relevant assessment criteria are as follows:

- (a) there is a general presumption against development (other than redevelopment) in a “Green Belt” (“GB”) zone. In general the Town Planning Board will only be prepared to approve applications for development in the context of requests to re-zone to an appropriate use;
- (b) an application for new development in a “GB” zone will only be considered in exceptional circumstances and must be justified with very strong planning grounds. The scale and intensity of the proposed development including the plot ratio, site coverage and building height should be compatible with the character of surrounding areas;
- (c) applications for government/institution/community uses and public utility installations must demonstrate that the proposed development is essential and that no alternative sites are available;
- (d) the design and layout of any proposed development should be compatible with the surrounding areas. The development should not involve extensive clearance of existing natural vegetation, affect the existing natural landscape, or cause any adverse visual impact on the surrounding environment;
- (e) the proposed development should not overstrain the capacity of existing and planned infrastructure such as sewerage, road and water supply. It should not adversely affect drainage or aggravate flooding in the area;
- (f) the proposed development should not be susceptible to adverse environmental effects from pollution sources nearby such as traffic noise, unless adequate mitigating measures are provided, and it should not itself be the source of pollution; and
- (g) any proposed development on a slope or hillside should not adversely affect slope stability.

Government Departments' General Comments

1. Land Administration

Comments of the District Lands Officer/Sai Kung, Lands Department:

- (a) no objection to the application;
- (b) the applicant submitted an Excavation Permit (EP) application for the purpose of Low Voltage cable laying, poles and stays erection in March 2023. The EP was issued for the excavation works on the Government Land vide a letter dated 8.11.2023. In August 2024, CLP further submitted an Extension of EP application for the aforesaid excavation works. The Extension of EP was issued vide a letter dated 3.9.2024;
- (c) Lot No. 2 S.A in D.D. 210 is an Old Schedule Agricultural Lot and erection of Structures thereon without prior approval is in breach of the Second Covenant of the Block Government Lease government the lot. His office has no comment on the proposed pole erection on the concerned lot to be served with electricity supply; and
- (d) the application will not clash with any existing/planned projects/developments. The section of the proposed underground cable along Hing Keng Shek Road falls within the village 'environs' of Hing Keng Shek and would affect LandsD's Control Site No. ER-CS-226, which is a fenced-off government site to prevent unlawful occupation.

2. Traffic

- (a) Comments of the Commissioner for Transport:
 - no objection to the application; and
 - the access road leading to the Site is not under the management of Transport Department.
- (b) Comments of the Chief Highway Engineer/New Territories East, Highways Department:
 - no objection to the application from highway maintenance point of view; and
 - the access road leading to the Site is outside the maintenance jurisdiction of the Highways Department.

3. Nature Conservation

Comments of the Director of Agriculture Fisheries and Conservation:

no comment on the application in view that the scale of the proposed utility installation is minor and only common plant species were identified in the application sites (the Sites) from his site inspection.

4. **Environment**

Comments of the Director of Environmental Protection:

no objection to the application in view of the small scale and nature of the proposed development with excavation of land, which will unlikely cause major pollution.

5. **Drainage**

Comments of the Chief Engineer/Mainland South, Drainage Services Department:

- (a) no in-principle objection to the proposed public utilities installation and associated excavation of land from drainage viewpoint;
- (b) his office does not have any flooding complaint/case reported in the vicinity of the Sites. As there is no drainage record plan for the concerned area proposed to be served with electricity, his office could only provide observations based on preliminary desktop study as follows:
 - (i) according to the topographical information revealed in the base map, it is noted that the concerned area is situated at local low-lying areas, surrounded by natural slopes at northern, eastern and western sides. When there is an inclement weather, it is envisaged that a large amount of surface runoff received from these natural slopes might run all the way down to the concerned area, causing flooding;
 - (ii) based on the site photos, no drainage channel is identified within the concerned area. Hence, it is doubtful if sufficient drainage measures have been implemented to deal with such a large amount of surface runoff received from the concerned site and its upstream catchments;
 - (iii) however, his office could not ascertain whether there are drainage mitigation measures being implemented surrounding the concerned site or some underground drainage system has been installed underneath the site to deal with the surface runoff during the inclement weather; and
 - (iv) therefore, his office could not conclude that whether there is potential flooding risks to surrounding area and whether such activities are considered acceptable or not from drainage perspective.

6. **Landscape**

Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department:

- (a) no comment to the application from landscape planning perspective;
- (b) it is noted that eight nos. of existing trees were identified in adjacent to the Sites.

All existing trees are proposed to be retained, while four nos. (i.e. Tree No. T1, T5, T6 and T8) are recommended for pruning due to potential conflicts with the proposed overhead line; and

- (c) since the proposed development is considered not incompatible with the surrounding landscape character, and the affected trees are common hillside species, significant landscape impact is not anticipated.

7. Fire Safety

Comments of the Director of Fire Services:

- (a) no specific comment on the application; and
- (b) other comments are included in the advisory clauses at **Appendix IV**.

8. Other Departments

The following government departments have no objection to or no comment on the application:

- (a) Chief Engineer/Construction, Water Supplies Department;
- (b) Director of Electrical and Mechanical Services;
- (c) Head of Geotechnical Engineering Office, Civil Engineering and Development Department;
- (d) District Officer/Sai Kung, Home Affairs Department (HAD); and
- (e) Chief Engineer (Works), HAD.

Recommend Advisory Clauses

- (a) to note the comments of the Chief Town Planner/Urban Design and Landscape, Planning Department that approval of the application does not imply approval of tree works such as pruning, transplanting and/or felling under lease. The applicant should approach relevant authority/government department(s) direct to obtain necessary approval on tree works, where appropriate; and
- (b) to note the comments of the Director of Fire Services that for the excavation of land, the following requirements shall be observed throughout the works period:
 - (i) a thoroughfare of not less than 3.5m in width shall be maintained for safe passage of fire appliances through all access/road intended for emergency vehicles;
 - (ii) adequate space (not less than 6m(W) x 20m(L)) shall be provided at the major façade of each affected building for free operation of Fire Services appliances. If such requirement cannot be met, the works shall be carried out by sections of not more than 20m in length;
 - (iii) temporary covers over road opening for vehicular traffic shall be capable of withstanding a 30-tonne fire appliance; and
 - (iv) any excavation/construction works should under no circumstances cause obstruction to the nearby fire hydrants and ground valves. Should any relocation/blanking-off of fire hydrants be necessary, prior consent from Fire Services Department has to be sought.

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy

From: [REDACTED]
Sent: 2024-09-19 星期四 02:31:52
To: tpbpd/PLAND <tpbpd@pland.gov.hk>
Subject: A/SK-HC/360 dd 210 Hing Keng Shek GB CLP

Dear TPB Members,

352 withdrawn, back with a slighter larger footprint of 33sw.mts.

CLP states that the intention is to supply power for agriculture purposes.

However there is no application for such activity on the adjacent GB.

Previous objections relevant and upheld. There is no justification for approval.

Mary Mulvihill

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
Date: Wednesday, 24 April 2024 2:25 AM HKT
Subject: A/SK-HC/352 dd 210 Hing Keng Shek GB CLP

A/SK-HC/352 CLP

Government Land in D.D. 210, Hing Keng Shek, Sai Kung

Site area: About 30sq.m

Zoning: "Green Belt"

Applied development: Underground Cables, Poles and Stays) and Associated Excavation of Land

Dear TPB Members,

Strong Objections, GB zoning, government land and no record of approval for development.

This does not appear to be related to the RCP so there is no public benefit involved.

Application should be rejected to deter incursion into GB for destroy to build activities.

Mary Mulvihill

From: [REDACTED]
Sent: 2024-12-26 星期四 03:07:18
To: tpbpd/PLAND <tpbpd@pland.gov.hk>
Subject: Re: A/SK-HC/360 dd 210 Hing Keng Shek GB CLP

Dear TPB Members,

The justifications provided are ridiculous, in particular:

d)Water heater Farmers and staff working in hot weather need to replenish their bodies with water. Without electricity supply, they cannot drink boiled water. If you drink rainwater from mountain streams, bacteria may enter your body and cause permanent harm to your body.

So the entire country side should be littered with water heaters in order to cater for the numerous activities / visitors? The other justifications are equally dodgy.

Mary Mulvihill

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
Date: Thursday, 19 September 2024 2:31 AM HKT
Subject: A/SK-HC/360 dd 210 Hing Keng Shek GB CLP

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