

Form No. S16-I
表格第 S16-I 號

APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP.131)

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

2022年 9月 6日

Applicable to proposals not involving or not only involving
適用於建議不涉及或不祇涉及：

- (i) Construction of "New Territories Exempted House(s)"
興建「新界豁免管制屋宇」；
- (ii) Temporary use/development of land and/or building
rural areas; and
位於鄉郊地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展；及
- (iii) Renewal of permission for temporary use or development in rural areas
位於鄉郊地區的臨時用途或發展的許可續期

此文件在 收到 城市規劃委員會
只會在收到所有必要的資料及文件後才正式確認收到
申請的日期。

- 6 SEP 2022

This document is received on
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.info.gov.hk/tpb/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.info.gov.hk/tpb/tc/plan_application/apply.html

General Note and Annotation for the Form
填寫表格的一般指引及註解

"Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/SK-HH/80
	Date Received 收到日期	- 6 SEP 2022

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.info.gov.hk/tpb/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.info.gov.hk/tpb/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Royal Hong Kong Yacht Club

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☐ Organisation 機構)

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	DD212 Lot 341, Sai Kung, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	☒ Site area 地盤面積 5800 sq.m 平方米 ☒ About 約 ☒ Gross floor area 總樓面面積 178 (not more than) sq.m 平方米 ☐ About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	Nil sq.m 平方米 ☐ About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Hebe Haven Outline Zoning Plan (OZP) No. S/SK-HH/8
(e) Land use zone(s) involved 涉及的土地用途地帶	"Recreation"
(f) Current use(s) 現時用途	"Marina" (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 -

- ☒ is the sole "current land owner" (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」 (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners" (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」 (請夾附業權證明文件)。
- ☐ is not a "current land owner".
並不是「現行土地擁有人」。
- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at 4/8/2022 (DD/MM/YYYY), this application involves a total of 1 "current land owner(s)".
根據土地註冊處截至 2022 年 8 月 4 日的記錄，這宗申請共牽涉 1 名「現行土地擁有人」。

(b) The applicant 申請人 -

- ☐ has obtained consent(s) of "current land owner(s)".
已取得 1 名「現行土地擁有人」的同意。

Details of consent of "current land owner(s)" obtained 取得「現行土地擁有人」同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified "current land owner(s)"#
已通知 名「現行土地擁有人」#。

Details of the "current land owner(s)"# notified 已獲通知「現行土地擁有人」#的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on _____ (DD/MM/YYYY)#&
於 _____ (日/月/年)向每一名「現行土地擁有人」#郵遞要求同意書&

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on _____ (DD/MM/YYYY)&
於 _____ (日/月/年)在指定報章就申請刊登一次通知&
- ☐ posted notice in a prominent position on or near application site/premises on _____ (DD/MM/YYYY)&
於 _____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知&
- ☐ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on _____ (DD/MM/YYYY)&
於 _____ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會&

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別

- ☐ Type (i) Change of use within existing building or part thereof
第(i)類 更改現有建築物或其部分內的用途
- ☐ Type (ii) Diversion of stream / excavation of land / filling of land / filling of pond as required under Notes of Statutory Plan(s)
第(ii)類 根據法定圖則《註釋》內所要求的河道改道／挖土／填土／填塘工程
- ☐ Type (iii) Public utility installation / Utility installation for private project
第(iii)類 公用事業設施裝置/私人發展計劃的公用設施裝置
- ☐ Type (iv) Minor relaxation of stated development restriction(s) as provided under Notes of Statutory Plan(s)
第(iv)類 略為放寬於法定圖則《註釋》內列明的發展限制
- ☒ Type (v) Use / development other than (i) to (iii) above
第(v)類 上述的(i)至(iii)項以外的用途／發展

Note 1: May insert more than one 「✓」.

註 1：可在多於一個方格內加上「✓」號

Note 2: For Development involving columbarium use, please complete the table in the Appendix.

註 2：如發展涉及靈灰安置所用途，請填妥於附件的表格。

(i) For Type (i) application 供第(i)類申請

(a) Total floor area involved 涉及的總樓面面積	sq.m 平方米		
(b) Proposed use(s)/development 擬議用途/發展	(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)		
(c) Number of storeys involved 涉及層數		Number of units involved 涉及單位數目	
(d) Proposed floor area 擬議樓面面積	Domestic part 住用部分		sq.m 平方米 ☐ About 約
	Non-domestic part 非住用部分		sq.m 平方米 ☐ About 約
	Total 總計		sq.m 平方米 ☐ About 約
(e) Proposed uses of different floors (if applicable) 不同樓層的擬議用途(如適用) (Please use separate sheets if the space provided is insufficient) (如所提供的空間不足，請另頁說明)	Floor(s) 樓層	Current use(s) 現時用途	Proposed use(s) 擬議用途

(ii) For Type (ii) application 供第(ii)類申請

(a) Operation involved 涉及工程	☐ Diversion of stream 河道改道	
	☐ Filling of pond 填塘	
	Area of filling 填塘面積 sq.m 平方米	☐ About 約
	Depth of filling 填塘深度 m 米	☐ About 約
	☐ Filling of land 填土	
	Area of filling 填土面積 sq.m 平方米	☐ About 約
	Depth of filling 填土厚度 m 米	☐ About 約
	☐ Excavation of land 挖土	
	Area of excavation 挖土面積 sq.m 平方米	☐ About 約
	Depth of excavation 挖土深度 m 米	☐ About 約
	(Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用圖則顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍))	
(b) Intended use/development 有意進行的用途/發展		

(iii) For Type (iii) application 供第(iii)類申請

(a) Nature and scale 性質及規模	☐ Public utility installation 公用事業設施裝置											
	☐ Utility installation for private project 私人發展計劃的公用設施裝置											
	Please specify the type and number of utility to be provided as well as the dimensions of each building/structure, where appropriate 請註明有關裝置的性質及數量, 包括每座建築物/構築物(倘有)的長度、高度和闊度											
	<table border="1"> <thead> <tr> <th>Name/type of installation 裝置名稱/種類</th> <th>Number of provision 數量</th> <th>Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)								
Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)										
(Please illustrate on plan the layout of the installation 請用圖則顯示裝置的布局)												

(iv) For Type (iv) application 供第(iv)類申請

- (a) Please specify the proposed minor relaxation of stated development restriction(s) and **also fill in the proposed use/development and development particulars in part (v) below** –
請列明擬議略為放寬的發展限制並填妥於第(v)部分的擬議用途/發展及發展細節 –

- ☐ Plot ratio restriction 地積比率限制 From 由 to 至
- ☐ Gross floor area restriction 總樓面面積限制 From 由sq. m 平方米 to 至sq. m 平方米
- ☐ Site coverage restriction 上蓋面積限制 From 由% to 至%
- ☐ Building height restriction 建築物高度限制
From 由m 米 to 至 m 米
From 由 mPD 米 (主水平基準上) to 至mPD 米 (主水平基準上)
From 由 storeys 層 to 至 storeys 層
- ☐ Non-building area restriction 非建築用地限制 From 由m to 至 m
- ☐ Others (please specify) 其他 (請註明)

(v) For Type (v) application 供第(v)類申請

(a) Proposed use(s)/development
擬議用途/發展

Proposed Ancillary Guard House and Refuse Collection Point,
Ancillary Storage Facilities and Staff Office, Additional Toilets and Modification
to the Kitchen for Existing Yacht Club "Marina" Use

(Please illustrate the details of the proposal on a layout plan 請用平面圖說明建議詳情)

(b) Development Schedule 發展細節表

Proposed gross floor area (GFA) 擬議總樓面面積 178 (not more than) sq.m 平方米 ☐ About 約

Proposed plot ratio 擬議地積比率 0.031 ☐ About 約

Proposed site coverage 擬議上蓋面積 3.1 % ☒ About 約

Proposed no. of blocks 擬議座數 3

Proposed no. of storeys of each block 每座建築物的擬議層數 All 1 storeys 層
☐ include 包括 storeys of basements 層地庫
☐ exclude 不包括 storeys of basements 層地庫

Proposed building height of each block 每座建築物的擬議高度 mPD 米(主水平基準上) ☐ About 約

Guard House: 3.2m 3.2 m 米 ☐ About 約

Office and Storage Buildings 1 and 2: 3.2m

☐ Domestic part 住用部分 GFA 總樓面面積 sq. m 平方米 ☐ About 約 number of Units 單位數目 average unit size 單位平均面積sq. m 平方米 ☐ About 約 estimated number of residents 估計住客數目		☐ Non-domestic part 非住用部分 <u>GFA 總樓面面積</u> ☐ eating place 食肆 sq. m 平方米 ☐ About 約 ☐ hotel 酒店 sq. m 平方米 ☐ About 約 (please specify the number of rooms 請註明房間數目) ☐ office 辦公室 sq. m 平方米 ☐ About 約 ☐ shop and services 商店及服務行業 sq. m 平方米 ☐ About 約 ☐ Government, institution or community facilities (please specify the use(s) and concerned land 政府、機構或社區設施 area(s)/GFA(s) 請註明用途及有關的地面面積／總 樓面面積) ☒ other(s) 其他 (please specify the use(s) and concerned land area(s)/GFA(s) 請註明用途及有關的地面面積／總 樓面面積) Proposed Ancillary Guard House and Refuse Collection Point, Ancillary Storage Facilities and Staff Office, Additional Toilets and Modification to the Kitchen for Existing Existing Yacht Club "Marina" Use. ☐ Open space 休憩用地 (please specify land area(s) 請註明地面面積) ☐ private open space 私人休憩用地 sq. m 平方米 ☐ Not less than 不少於 ☐ public open space 公眾休憩用地 sq. m 平方米 ☐ Not less than 不少於
(c) Use(s) of different floors (if applicable) 各樓層的用途 (如適用)		
[Block number] [座數]	[Floor(s)] [層數]	[Proposed use(s)] [擬議用途]
1	1 storey (GF)	Ancillary Staff Office with Storage Facilities
2	1 storey (GF)	Ancillary Storage Facilities
.....		
.....		
.....		
(d) Proposed use(s) of uncovered area (if any) 露天地方 (倘有) 的擬議用途		

7. Anticipated Completion Time of the Development Proposal**擬議發展計劃的預計完成時間**

Anticipated completion time (in month and year) of the development proposal (by phase (if any)) (e.g. June 2023)

擬議發展計劃預期完成的年份及月份 (分期 (倘有)) (例: 2023 年 6 月)

(Separate anticipated completion times (in month and year) should be provided for the proposed public open space and Government, institution or community facilities (if any))

(申請人須就擬議的公眾休憩用地及政府、機構或社區設施 (倘有) 提供個別擬議完成的年份及月份)

May 2024

8. Vehicular Access Arrangement of the Development Proposal**擬議發展計劃的行車通道安排**

Any vehicular access to the site/subject building? 是否有車路通往地盤/有關建築物?	Yes 是 No 否	☒ There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) ☐ There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示, 並註明車路的闊度) ☐
Any provision of parking space for the proposed use(s)? 是否有為擬議用途提供停車位?	Yes 是 No 否	☒ (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示) Private Car Parking Spaces 私家車車位 75 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) ☐
Any provision of loading/unloading space for the proposed use(s)? 是否有為擬議用途提供上落客貨車位?	Yes 是 No 否	☐ (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示) Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) ☒

9. Impacts of Development Proposal 擬議發展計劃的影響

If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures.

如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。

Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?	Yes 是 ☒ No 否 ☐	☒ Please provide details 請提供詳情 Please refer to the Planning Statement as part of the planning submission.....																													
Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程? (Note: where Type (ii) application is the subject of application, please skip this section. 註：如申請涉及第(ii)類申請，請跳至下一條問題。)	Yes 是 ☒ No 否 ☐	(Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及/或範圍) ☐ Diversion of stream 河道改道 ☐ Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 ☐ About 約 Depth of filling 填塘深度 m 米 ☐ About 約 ☐ Filling of land 填土 Area of filling 填土面積 sq.m 平方米 ☐ About 約 Depth of filling 填土厚度 m 米 ☐ About 約 ☒ Excavation of land 挖土 Area of excavation 挖土面積 50 sq.m 平方米 ☒ About 約 Depth of excavation 挖土深度 0.3 m 米 ☒ About 約																													
Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?	<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 ☐</td> <td>No 不會 ☒</td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 ☐</td> <td>No 不會 ☒</td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 ☐</td> <td>No 不會 ☒</td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 ☐</td> <td>No 不會 ☒</td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 ☐</td> <td>No 不會 ☒</td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 ☐</td> <td>No 不會 ☒</td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 ☐</td> <td>No 不會 ☒</td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 ☐</td> <td>No 不會 ☒</td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 ☐</td> <td>No 不會 ☒</td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 ☐</td> <td>No 不會 ☐</td> </tr> </table> Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可) 	On environment 對環境	Yes 會 ☐	No 不會 ☒	On traffic 對交通	Yes 會 ☐	No 不會 ☒	On water supply 對供水	Yes 會 ☐	No 不會 ☒	On drainage 對排水	Yes 會 ☐	No 不會 ☒	On slopes 對斜坡	Yes 會 ☐	No 不會 ☒	Affected by slopes 受斜坡影響	Yes 會 ☐	No 不會 ☒	Landscape Impact 構成景觀影響	Yes 會 ☐	No 不會 ☒	Tree Felling 砍伐樹木	Yes 會 ☐	No 不會 ☒	Visual Impact 構成視覺影響	Yes 會 ☐	No 不會 ☒	Others (Please Specify) 其他 (請列明)	Yes 會 ☐	No 不會 ☐
On environment 對環境	Yes 會 ☐	No 不會 ☒																													
On traffic 對交通	Yes 會 ☐	No 不會 ☒																													
On water supply 對供水	Yes 會 ☐	No 不會 ☒																													
On drainage 對排水	Yes 會 ☐	No 不會 ☒																													
On slopes 對斜坡	Yes 會 ☐	No 不會 ☒																													
Affected by slopes 受斜坡影響	Yes 會 ☐	No 不會 ☒																													
Landscape Impact 構成景觀影響	Yes 會 ☐	No 不會 ☒																													
Tree Felling 砍伐樹木	Yes 會 ☐	No 不會 ☒																													
Visual Impact 構成視覺影響	Yes 會 ☐	No 不會 ☒																													
Others (Please Specify) 其他 (請列明)	Yes 會 ☐	No 不會 ☐																													

10. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

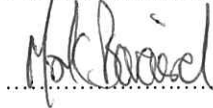
Please kindly refer to the Planning Statement as part of the planning submission.

11. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion. 本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署



MARK BOVAIRD

Name in Block Letters
姓名（請以正楷填寫）

☒ Applicant 申請人 / ☐ Authorised Agent 獲授權代理人

General Manager

Position (if applicable)
職位（如適用）

Professional Qualification(s)
專業資格

☐ Member 會員 / ☐ Fellow of 資深會員

☐ HKIP 香港規劃師學會 /

☐ HKIS 香港測量師學會 /

☐ HKILA 香港園境師學會 /

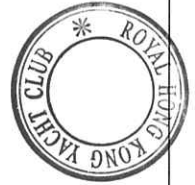
☐ RPP 註冊專業規劃師

Others 其他

☐ HKIA 香港建築師學會 /

☐ HKIE 香港工程師學會 /

☐ HKIUD 香港城市設計學會



on behalf of
代表

Royal Hong Kong Yacht Club

☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

- 5 AUG 2022

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

(a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and

處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.

方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

For Developments involving Columbarium Use, please also complete the following:
如發展涉及靈灰安置所用途，請另外填妥以下資料：

Ash interment capacity 骨灰安放容量[@]

Maximum number of sets of ashes that may be interred in the niches

在龕位內最多可安放骨灰的數量

Maximum number of sets of ashes that may be interred other than in niches

在非龕位的範圍內最多可安放骨灰的數量

Total number of niches 龕位總數

Total number of single niches

單人龕位總數

Number of single niches (sold and occupied)

單人龕位數目 (已售並佔用)

Number of single niches (sold but unoccupied)

單人龕位數目 (已售但未佔用)

Number of single niches (residual for sale)

單人龕位數目 (待售)

Total number of double niches

雙人龕位總數

Number of double niches (sold and fully occupied)

雙人龕位數目 (已售並全部佔用)

Number of double niches (sold and partially occupied)

雙人龕位數目 (已售並部分佔用)

Number of double niches (sold but unoccupied)

雙人龕位數目 (已售但未佔用)

Number of double niches (residual for sale)

雙人龕位數目 (待售)

Total no. of niches other than single or double niches (please specify type)

除單人及雙人龕位外的其他龕位總數 (請列明類別)

Number of niches (sold and fully occupied)

龕位數目 (已售並全部佔用)

Number of niches (sold and partially occupied)

龕位數目 (已售並部分佔用)

Number of niches (sold but unoccupied)

龕位數目 (已售但未佔用)

Number of niches (residual for sale)

龕位數目 (待售)

Proposed operating hours 擬議營運時間

[@] Ash interment capacity in relation to a columbarium means –

就靈灰安置所而言，骨灰安放容量指：

- the maximum number of containers of ashes that may be interred in each niche in the columbarium;
每個龕位內可安放的骨灰容器的最高數目；
- the maximum number of sets of ashes that may be interred other than in niches in any area in the columbarium; and
在該靈灰安置所並非龕位的範圍內，總共最多可安放多少份骨灰；以及
- the total number of sets of ashes that may be interred in the columbarium.
在該骨灰安置所內，總共最多可安放多少份骨灰。

Gist of Application 申請摘要			
(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.) (請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)			
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置/地址	DD212 Lot 341, Sai Kung, New Territories		
Site area 地盤面積	5800	sq. m 平方米	☐ About 約
	(includes Government land of 包括政府土地	sq. m 平方米	☐ About 約)
Plan 圖則	Approved Hebe Haven Outline Zoning Plan (OZP) No. S/SK-HH/8		
Zoning 地帶	"Recreation"		
Applied use/ development 申請用途/發展	Proposed Ancillary Guard House and Refuse Collection Point, Ancillary Storage Facilities and Staff Office, Additional Toilets and Modification to the Kitchen for Existing Yacht Club "Marina" Use		
(i) Gross floor area and/or plot ratio 總樓面面積及/或 地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	☐ About 約 ☐ Not more than 不多於	☐ About 約 ☐ Not more than 不多於
	Non-domestic 非住用	178 (not more than) ☐ About 約 ☐ Not more than 不多於	0.031 ☐ About 約 ☐ Not more than 不多於
(ii) No. of block 幢數	Domestic 住用		
	Non-domestic 非住用	3	
	Composite 綜合用途		

(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用		m 米 ☐ (Not more than 不多於)
			mPD 米(主水平基準上) ☐ (Not more than 不多於)
			Storeys(s) 層 ☐ (Not more than 不多於) ☐ Include 包括 ☐ Exclude 不包括 ☐ Carport 停車間 ☐ Basement 地庫 ☐ Refuge Floor 防火層 ☐ Podium 平台)
	Non-domestic 非住用		3.2 m 米 ☒ (Not more than 不多於)
			mPD 米(主水平基準上) ☐ (Not more than 不多於)
			All 1 Storeys(s) 層 ☐ (Not more than 不多於) ☐ Include 包括 ☐ Exclude 不包括 ☐ Carport 停車間 ☐ Basement 地庫 ☐ Refuge Floor 防火層 ☐ Podium 平台)
	Composite 綜合用途		m 米 ☐ (Not more than 不多於)
			mPD 米(主水平基準上) ☐ (Not more than 不多於)
			Storeys(s) 層 ☐ (Not more than 不多於) ☐ Include 包括 ☐ Exclude 不包括 ☐ Carport 停車間 ☐ Basement 地庫 ☐ Refuge Floor 防火層 ☐ Podium 平台)
(iv) Site coverage 上蓋面積	3.1 (not more than)		% ☒ About 約
(v) No. of units 單位數目			
(vi) Open space 休憩用地	Private 私人	sq.m 平方米 ☐ Not less than 不少於	
	Public 公眾	sq.m 平方米 ☐ Not less than 不少於	

(vii) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數	75
	Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____	75
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數	
	Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____ _____	

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件

	Chinese 中文	English 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	☐	☒
Block plan(s) 樓宇位置圖	☐	☐
Floor plan(s) 樓宇平面圖	☐	☒
Sectional plan(s) 截視圖	☐	☒
Elevation(s) 立視圖	☐	☐
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	☐	☐
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	☐	☐
Others (please specify) 其他 (請註明)	☐	☐
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	☐	☒
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	☐	☐
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	☐	☐
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	☐	☐
Visual impact assessment 視覺影響評估	☐	☐
Landscape impact assessment 景觀影響評估	☐	☐
Tree Survey 樹木調查	☐	☐
Geotechnical impact assessment 土力影響評估	☐	☐
Drainage impact assessment 排水影響評估	☐	☐
Sewerage impact assessment 排污影響評估	☐	☐
Risk Assessment 風險評估	☐	☐
Others (please specify) 其他 (請註明)	☐	☐
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

Section 16 Application

Proposed Ancillary Guard House and Refuse Collection Point, Ancillary Storage Facilities and Staff Office, Additional Toilets and Modification to the Kitchen for Existing Yacht Club “Marina” Use.

Royal Hong Kong Yacht Club at Shelter Cove, Sai Kung
DD 212 Lot 341

August 2022

Executive Summary

- S.1 This Section 16 (S16) planning application seeks permission from the Town Planning Board (TPB) for approval of structures incidental to the existing Yacht Club operations. The application site is located under the Hebe Haven Outline Zoning Plan (OZP) No. S/SK-HH/8. The site is zoned “Recreation” and the Yacht Club with its existing use classified as “Marina” under Column 2. However, any new development related to Marina use requires permission from the Town Planning Board. The proposal is for structures defined as Ancillary Guard House and Refuse Collection Point, Ancillary Storage Facilities and Staff Office, Additional Toilets and Modification to the Kitchen for the existing Yacht Club “Marina” use.
- S.2 The Royal Hong Kong Yacht Club facilities at Shelter Cove have been in existence since before the first statutory plan was prepared in 1990, and some of the facilities are quite old and inadequate for the existing use. Furthermore, under the new lease being prepared, the Yacht Club facilities will be open to sharing with other eligible groups and by non-members. The proposed structures will better accommodate these recreational activities, and improve upon the existing dated facilities.
- S.3 The proposed minor structures are considered compatible to the surrounding environment and technically feasible. The TPB is invited to approve this S16 planning application so that the community can benefit from the improved ancillary facilities.

行政摘要

- S.1 申請人按城市規劃條例第 16 條向城市規劃委員會(下稱『城規會』)提交申請。本申請旨在代表香港遊艇會要求核准有關擬議發展: 附屬保安室和垃圾收集站, 附屬存放空間和職員辦公室, 及加建廁所和改動廚房到現時『遊艇停泊處』用途的申請。申請地點位於白沙灣區計劃大綱核准圖編號 S/SK-HH/8, 被劃為『康樂』用地。根據大綱圖, 『遊艇停泊處』屬於第二欄用途, 任何有關遊艇停泊用途均須向城市規劃委員會申請。
- S.2 『遊艇會花園』自 1990 年第一份計劃大綱核准圖制定之前就已存在, 基於其悠久歷史, 部分設施已相當陳舊, 不足以滿足現時用途。此外, 根據正在擬備中的新地契, 遊艇會必須將設施開放給符合條件的團體和非會員共享。因此, 擬議發展可為新地契條件提供更好的配套, 同時改善現有舊設施。
- S.3 擬議的小型建築物與毗鄰環境融合, 亦符合各項可行性要求。基於以上原因, 申請人懇請城規會核准有關申請, 讓提升的設施及服務能裨益社區大眾。

註: 內容如有差異, 應以英文版本為準

1. Introduction

- 1.1 The Royal Hong Kong Yacht Club facilities at Shelter Cove have been in existence since before the first statutory plan was prepared in 1990 and is therefore regarded as an “existing use”. Some of the existing facilities are quite old and inadequate for the existing use. However, under the current zoning of “Recreation”, any new buildings require planning permission. This application is for minor practical structures relating to better accommodating the existing operations of the Yacht Club.

2. Land Administration

- 2.1 The existing lease has a maximum permitted development of 500sqm and a maximum building height restriction of 6.65m above the mean formation level of the land on which the building or structure stands or such height as may be approved by the Director. The lease is being replaced by a new lease which is currently under preparation by the District Lands Office and is understood to include similar development controls. During the process of preparing the new lease, a site inspection identified some storage containers and the guard house as new structures, and not “existing structures” before 1990. They have been removed from the site as requested. The main purpose of this application is to obtain planning approval for structures to carry out the functions incidental to the existing Yacht Club operations.
- 2.2 Under the new lease the Yacht Club facilities will be open to sharing with other eligible groups and by non-members. The proposed structures will better accommodate these activities.

3. Building Plan Submission

- 3.1 On the 26 April 2022 a submission was made to the Buildings Department for approval of temporary storage facilities and staff offices to replace the previous facilities which have been removed. On 27 May 2022, DPO/SK&Is advised the Authorised Person and Buildings Department that the proposal could not be approved as planning permission had not been obtained. This application is in direct response to that advice.

4. Planning Context

- 4.1 The application site is shown on **Figure 1** which is an extract from the approved Hebe Haven Outline Zoning Plan (OZP) No. S/SK-HH/8. The site is zoned “Recreation” and the Yacht Club with its existing use classified as “Marina” under Column 2. However, any new development related to Marina use requires permission from the Town Planning Board. As such, any structure which is not an existing structure related to the existing Yacht Club use requires planning approval.
- 4.2 Under the Notes for the “Recreation” zone, there are no restrictions on building height, site coverage or plot ratio for marina related facilities. However, there are restrictions on residential development with the limit of a maximum plot ratio of 0.2 and maximum building height of 2 storeys (6m). “New Territories Exempted House” is not subject to this restriction on residential development. Therefore, there are no such restrictions relevant to the facilities proposed in this application.

- 4.3 There is no provision under the Notes to the Recreation zone for temporary uses of the nature proposed, so this application is for permanent use and buildings. These new facilities will replace the previous storage and office use which were not approved nor existing structures.

5. Proposal

- 5.1 The application is for an Ancillary Guard House and Refuse Collection Point, Ancillary Storage Facilities and Staff Office, Additional Toilets and Modification to the Kitchen for the existing Yacht Club. The proposal is shown on **Figure 2** the Master layout Plan (MLP) which indicates the location of the existing and proposed facilities on the site. **Figures 3, 4, 5 and 6** indicate the proposed facilities.

Building 1: Ancillary Staff Office and Storage

- 5.2 Staff are employed to manage the operation of the marine facilities, such as the crane which lifts the sailing boats into and out of the water. They are also responsible for essential management and maintenance of the boat storage facilities both on the land and the water. Training programs are operated from the site and these are managed by coaches and training officers who also need a small office space to operate from. There is currently no office facility on the site to provide for these essential support services.

The proposed ancillary office space with a small storage space is a building of 1 storey of approximately 60.8sqm and located at the north of the existing electric sub-station. The proposed location can be seen in **Photo 1 and 2**.

Building 2: Ancillary Storage

- 5.3 There is a need for ancillary storage facilities for the operation of the Yacht Club facilities. These will be used for the storage of small boats, sails, safety equipment, race management equipment such as buoys, paddles and oars. Also, there is a need to store replacement and maintenance material related to the pontoons, marine berths and boat storage equipment.

The proposed ancillary storage space of 1 storey, is approximately 105.9sqm floor area and located at southeast of the existing electric sub-station. The proposed location can be seen in **Photo 1**.

Ancillary Refuse Collection Point

- 5.4 The existing refuse collection point (RCP) is barricaded with yellow plastic barriers to help prevent wild boars from ravaging the collected refuse. It is proposed that an ancillary RCP of 1 storey to be built providing a sustainable solution to good management of the refuse. The structure will be a roofed-over store room with two permanent openings on two sides. It is approximately 8.2sqm, and located southeast to the existing electricity sub-station between the ancillary storage space. The proposed location can be seen in **Photo 1**.

Ancillary Guard House

- 5.5 The previous guard house was considered not an existing structure. The proposed guard house is located at the entry barrier to the car park and is where the security staff are based and it is an essential operational facility

The proposed guard house of 1 storey has an area of approximately 2.25sqm.

Additional Toilets and Modification to the Kitchen

- 5.6 At present the only toilets located on the site are within the male and female changing rooms. The changing rooms, only providing 2 urinals and 2 flush toilets for the Male Toilet, and 2 flush female toilets. They are heavily used and it is often inappropriate for people using the eating facilities to use the toilet facilities in the crowded changing rooms. The changing rooms are also located some distance from the eating area. It is therefore proposed to add three additional toilets near the eating area.
- 5.7 The kitchen area is quite small and some facilities such as freezers and serving areas are located outside the kitchen. It is proposed to revise the layout of the existing kitchen so that some of the external space is included within the walls of the kitchen. This will provide a much more efficient and safer arrangement. See **Photos 3 and 4** for the existing situation.
- 5.8 All of the space for the kitchen alterations and the toilets are within the area approved in town planning application No. A/SK-HH/19 on 14 May 1999, as canopy and structure related to the kitchen and eating area. Subsequently, this canopy has been approved by Buildings Department, has been built and all of the floor area involved have been included in the GFA calculations.
- 5.9 The total area involved for the proposed additional and modification of the toilet and kitchen are 5.3sqm and 9.59sqm respectively. However, as this is only involving alterations to the approved GFA, the changes are only in the function, and there is no change to the total GFA.
- 5.10 These changes to the toilets and kitchen are minor improvements to serve the existing use. As such, there will not be any increase in sewage generation and the existing septic tank system will be able to handle the amount generated.

6. Development Schedule

- 6.1 **Table 1** summarises the development criteria for the proposal.

Table 1: Development Schedule

	Existing (approved under No. A/SK-HH/19)	Proposed	Difference	Remarks
GFA (SQM)	322.54 (not more than)	500 (not more than)	+177.46	Additional GFA for office, storage, refuse

				collection point, and guard house,
Site Coverage	6.77% (not more than)	9.82%(not more than)	+3.1%	Additional site coverage for office, storage, refuse collection point, guard house
Building Height	1 storey	1 storey Building 1 & 2: 3.2m Guard House: 3.2m (not more than)	Nil	n/a
Site Area	5800	5800	Nil	n/a

7. Car Parking and Emergency Vehicular Access

- 7.1 As required by the lease, 75 car parking spaces need to be provided at the Yacht Club. To incorporate the proposed ancillary buildings whilst meeting the fire safety requirements for Emergency Vehicular Access (EVA), some car parking spaces will be relocated. The approved car parking layout has been slightly modified but provision of 75 spaces as required by the lease will remain unchanged. The proposed EVA is marked on the Master Layout Plan.

8. Planning Assessment

- 8.1 The proposals do not increase the operations of the existing facilities. They are provided as ancillary and directly related facilities to better serve the current operations. As such, the proposal will not have traffic, sewage, water supply, and environmental impacts. The proposal also has no impact on landscaping as the new buildings are located within the extent of the current hard paved area adjacent to boat storage and parking, or within the current approved eating and kitchen area. Also, the existing car parking and boat storage areas remain largely unchanged. The proposed facilities are within the total GFA of 500sqm permitted under the lease.

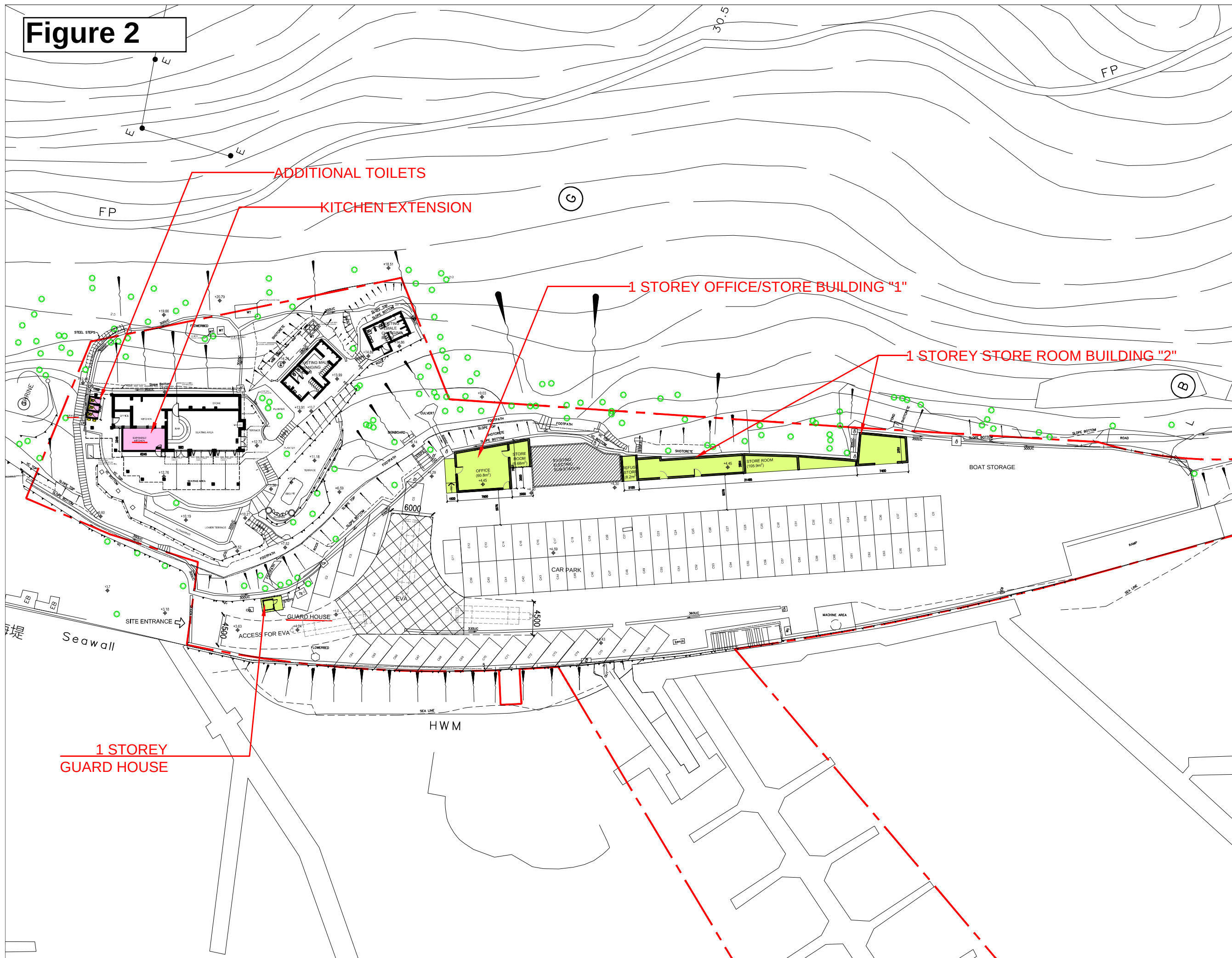
9. Conclusion

This S16 planning application is for minor improvements to facilities directly related to, and ancillary to the existing operation of the Yacht Club at Shelter Cove. Approval from the Town Planning Board would be appreciated.

Figure 1 Extract from the Hebe Haven OZP indicating the location of the Application Site



Figure 2



NOTES:

DO NOT SCALE DRAWINGS.

ALL DIMENSIONS MUST BE VERIFIED AT THE WORK BY THE CONTRACTOR.

ALL PRINTS, SPECIFICATIONS AND THEIR COPYRIGHT ARE THE PROPERTY OF THE ARCHITECTS AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.

REVISION		
NO	DATE	DESCRIPTION

ARCHITECT

STUDIO | R&A

18/F | Xiu Hua Commercial Building
211-213 Jaffe Road | Wan Chai | HK
Tel: 3583-2000 | Fax: 8143-1130
Email: mail@studioarca.com

STUDIO | RAYMOND CHAU |
ARCHITECTURE | LIMITED

PROJECT NAME

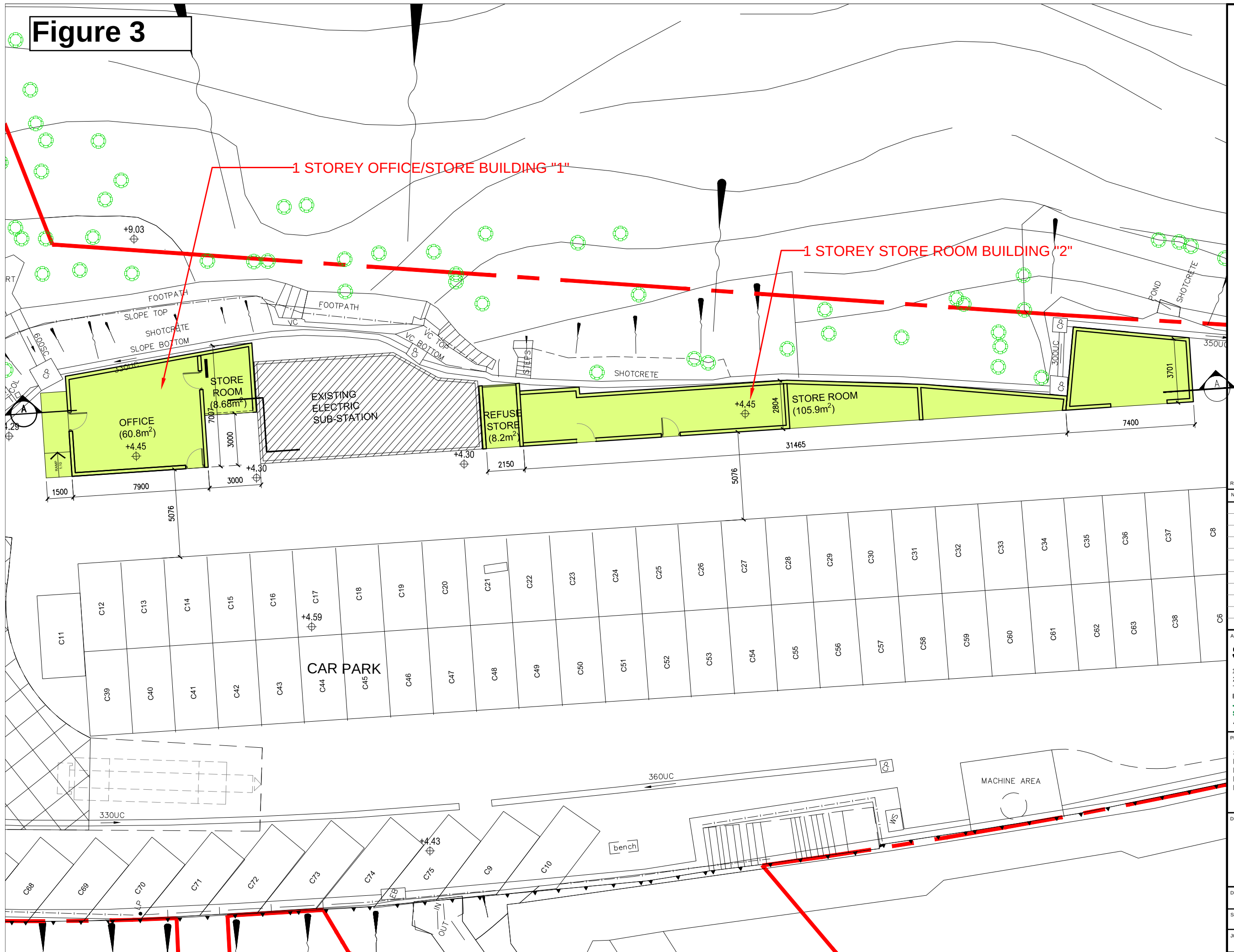
SHELTER COVE
ROYAL HONG KONG YACHT CLUB
D.D. 212, LOT 341, SAI KUNG,
NEW TERRITORIES,
HONG KONG

DRAWING TITLE

MASTER LAYOUT PLAN

DRAWN BY	JK	CHECKED BY	RC
SCALE	1:500	DATE	2022.08.04
JOB No.	2161	DRAWING No.	A-01

Figure 3



NOTES:

DO NOT SCALE DRAWINGS.

ALL DIMENSIONS MUST BE VERIFIED AT THE WORK BY THE CONTRACTOR.

ALL PRINTS, SPECIFICATIONS AND THEIR COPYRIGHT ARE THE PROPERTY OF THE ARCHITECTS AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.

REVISION		
NO	DATE	DESCRIPTION

ARCHITECT

STUDIO | R&A

18/F | Xiu Hua Commercial Building
211-213 Jaffe Road | Wan Chai | HK
Tel: 3583-2000 | Fax: 8143-1130
Email: mail@studiorca.com

**STUDIO | RAYMOND CHAU |
ARCHITECTURE | LIMITED**

PROJECT NAME

SHELTER COVE
ROYAL HONG KONG YACHT CLUB
D.D. 212, LOT 341, SAI KUNG,
NEW TERRITORIES,
HONG KONG

DRAWING TITLE

OFFICE / STORAGE
BUILDING

DRAWN BY	JK	CHECKED BY	RC
SCALE	1:200	DATE	2022.08.04
JOB No.	2161	DRAWING No.	A-02

Figure 4



1

SECTION "A-A"

--

SCALE 1:250

NOTES:

DO NOT SCALE DRAWINGS.

ALL DIMENSIONS MUST BE VERIFIED AT THE WORK BY THE CONTRACTOR.

ALL PRINTS, SPECIFICATIONS AND THEIR COPYRIGHT ARE THE PROPERTY OF THE ARCHITECTS AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.

REVISION		
NO	DATE	DESCRIPTION

ARCHITECT

STUDIO | RCM

18/F | Xiu Hua Commercial Building
211-213 Jaffe Road | Wan Chai | HK
Tel: 3583-2000 | Fax: 8143-1130
Email: mail@studiorcm.com

STUDIO | RAYMOND CHAU |

ARCHITECTURE | LIMITED

PROJECT NAME

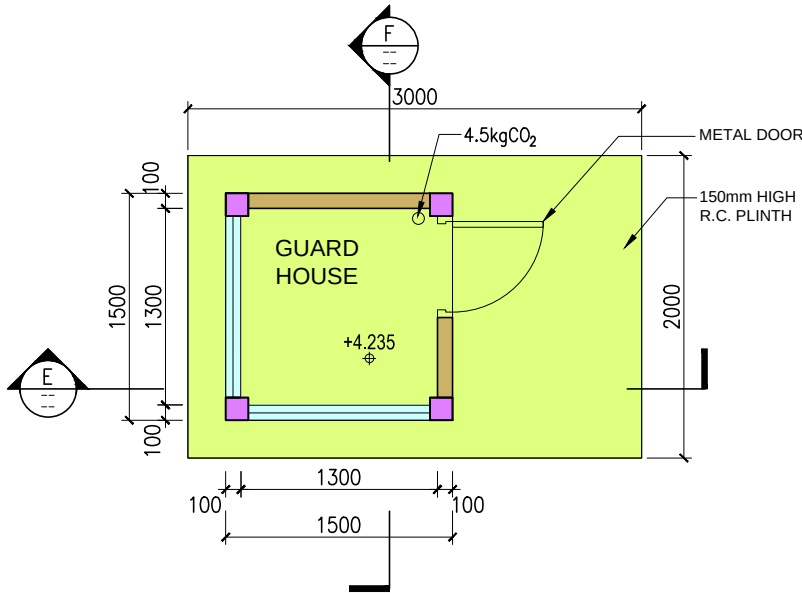
SHELTER COVE
ROYAL HONG KONG YACHT CLUB
D.D. 212, LOT 341, SAI KUNG,
NEW TERRITORIES,
HONG KONG

DRAWING TITLE

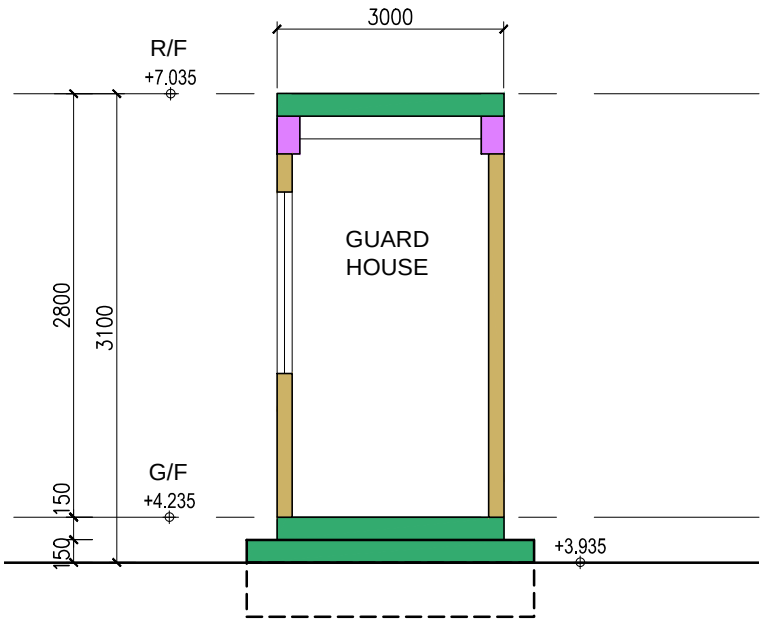
OFFICE & STORE ROOM
SECTION

DRAWN BY	JK	CHECKED BY	RC
SCALE	1:250	DATE	2022.08.04
JOB No.	2161	DRAWING No.	A-03

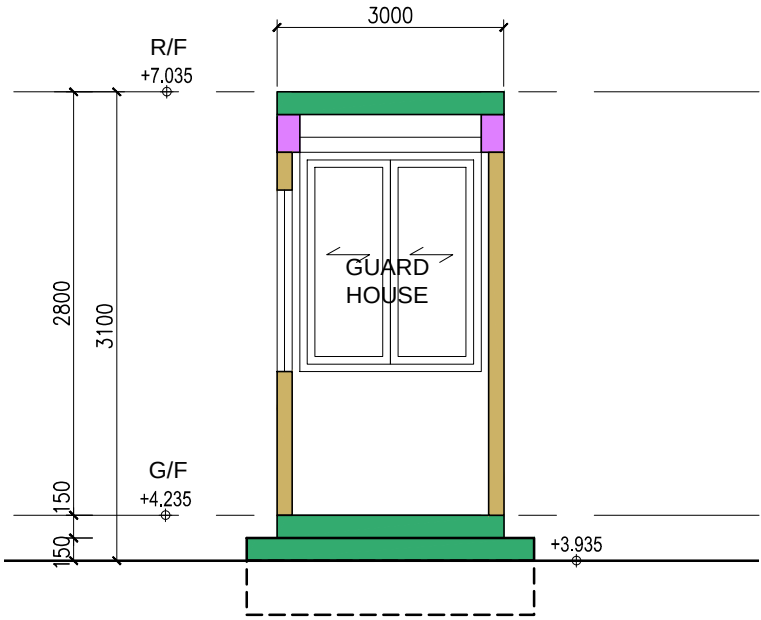
Figure 5



1 GROUND FLOOR PLAN (GUARD HOUSE)
SCALE 1:50



2 SECTION "E-E"
SCALE 1:100



3 SECTION "F-F"
SCALE 1:50

NOTES:
DO NOT SCALE DRAWINGS.
ALL DIMENSIONS MUST BE VERIFIED AT THE WORK BY THE CONTRACTOR.
ALL PRINTS, SPECIFICATIONS AND THEIR COPYRIGHT ARE THE PROPERTY OF THE ARCHITECTS AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.

REVISION		
NO	DATE	DESCRIPTION

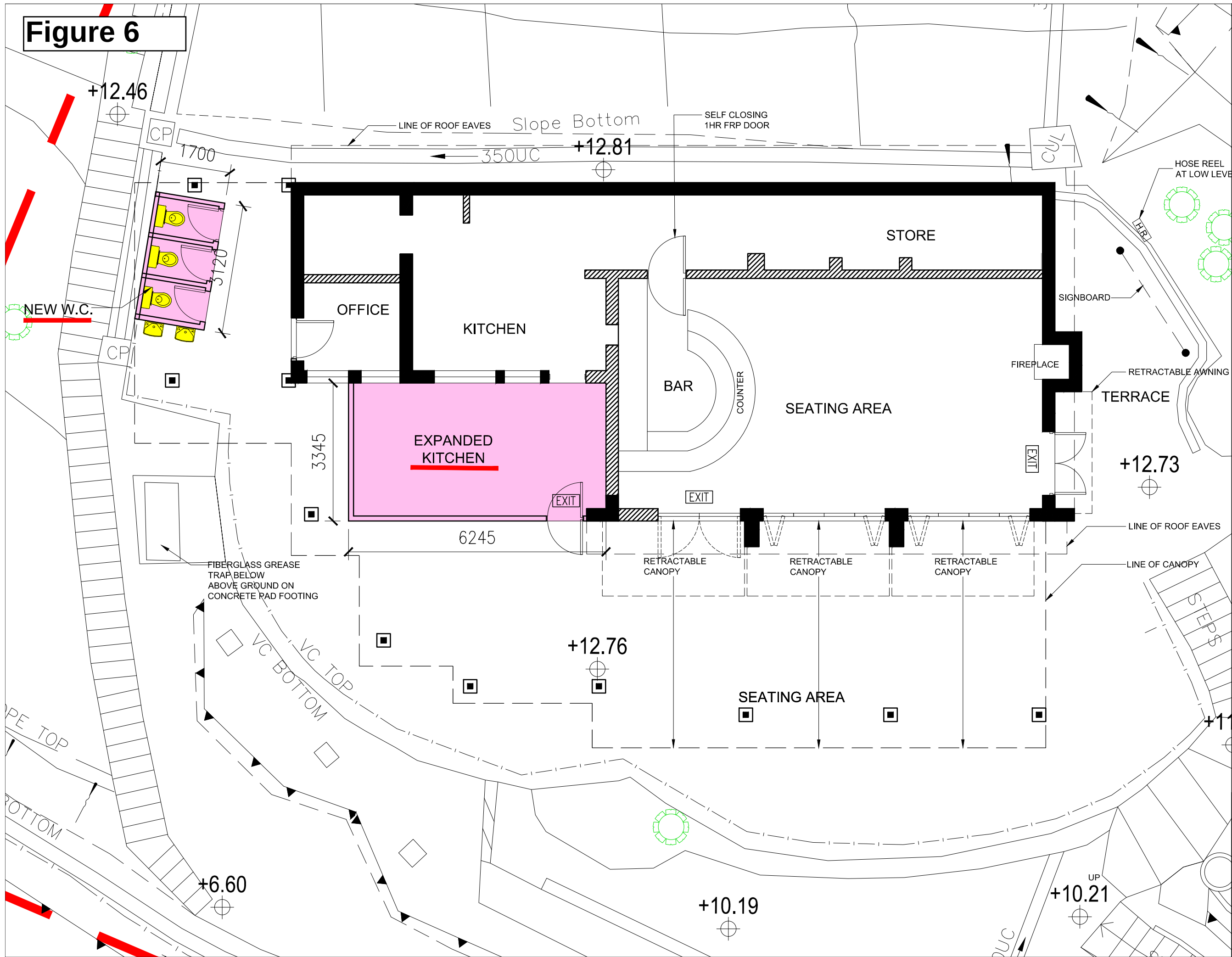
ARCHITECT
STUDIO | R&A
18/F | Xiu Hua Commercial Building
211-213 Jaffe Road | Wan Chai | HK
Tel: 3583-2000 | Fax: 8143-1130
Email: mail@studio RCA .com
STUDIO | RAYMOND CHAU |
ARCHITECTURE | LIMITED

PROJECT NAME
SHELTER COVE
ROYAL HONG KONG YACHT CLUB
D.D. 212, LOT 341, SAI KUNG,
NEW TERRITORIES,
HONG KONG

DRAWING TITLE
GUARD HOUSE
PLAN & SECTIONS

DRAWN BY	JK	CHECKED BY	RC
SCALE	1:500	DATE	2022.08.04
JOB No.	2161	DRAWING No.	A-04

Figure 6



NOTES:
DO NOT SCALE DRAWINGS.
ALL DIMENSIONS MUST BE VERIFIED AT THE WORK BY THE CONTRACTOR.
ALL PRINTS, SPECIFICATIONS AND THEIR COPYRIGHT ARE THE PROPERTY OF THE ARCHITECTS AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.

REVISION		
NO	DATE	DESCRIPTION

ARCHITECT
STUDIO | R&A
18/F | Xiu Hua Commercial Building
211-213 Jaffe Road | Wan Chai | HK
Tel: 3583-2000 | Fax: 8143-1130
Email: mail@studiorca.com

STUDIO | RAYMOND CHAU |
ARCHITECTURE | LIMITED

PROJECT NAME
SHELTER COVE
ROYAL HONG KONG YACHT CLUB
D.D. 212, LOT 341, SAI KUNG,
NEW TERRITORIES,
HONG KONG

DRAWING TITLE
EXPANDED KITCHEN &
ADDITIONAL TOILETS

DRAWN BY	JK	CHECKED BY	RC
SCALE	1:100	DATE	2022.08.04
JOB No.	2161	DRAWING No.	A-05



Photo 1: Location of the both the proposed 1 storey buildings for ancillary use. The staff office is on the left of the existing electric sub-station (structure painted white in the centre), and refuse collection point and storage facilities on the right.

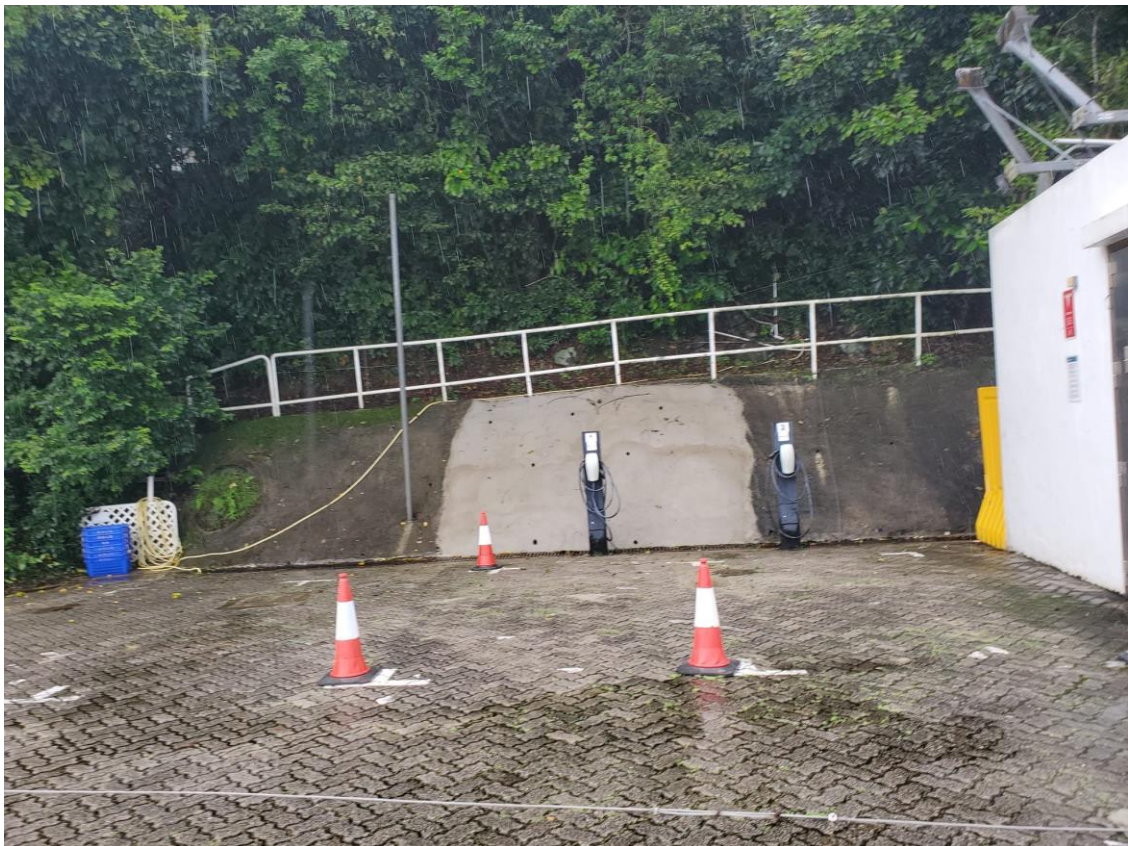


Photo 2: Location of the proposed staff office.

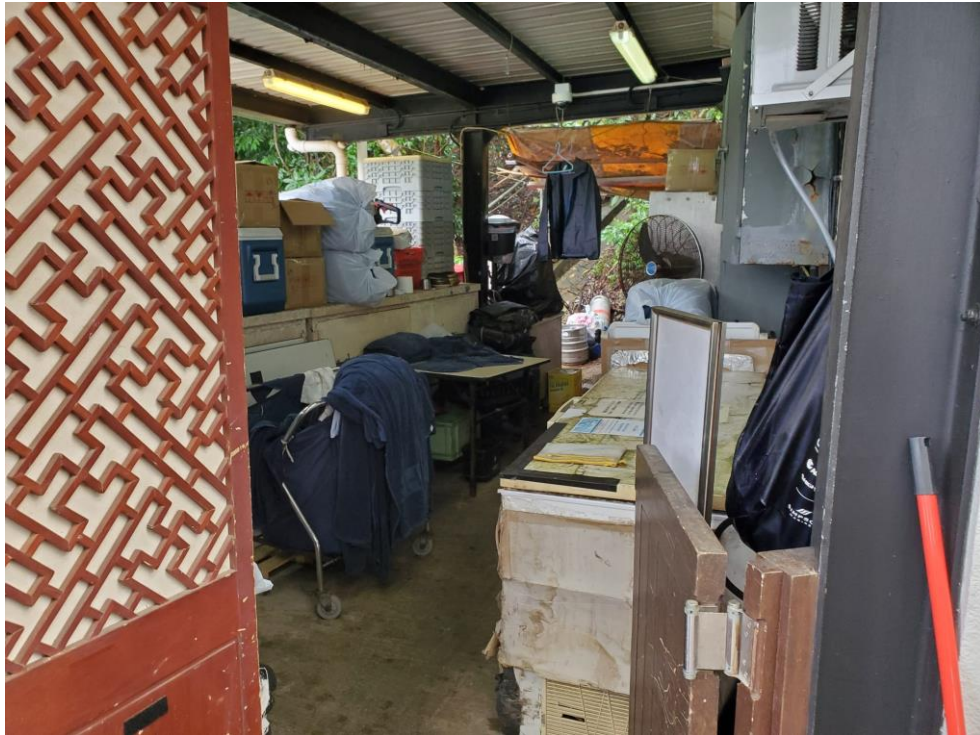


Photo 3: Existing situation outside of the kitchen, where freezers and other ancillary facilities are located.



Photo 4: Existing situation outside of the kitchen, where the serving area is partly occupied as storage space.



23 August 2022

The Secretary,
Town Planning Board,
15/F, North Point Government Offices,
333 Java Road, North Point,
Hong Kong

By Hand

Dear Sir,

Section 16 Planning Application

Proposed Ancillary Guard House and Refuse Collection Point, Ancillary Storage Facilities and Staff Office, Additional Toilets and Modification to the Kitchen for Existing Yacht Club "Marina" Use

Clarification Letter

Referring to the submission made on 5 August 2022 for the above captioned application, I hereby submit some clarifications.

Please see the enclosed Attachment 1, a plan indicating the extent of excavation. This is to supplement the information regarding excavation of land in the Application Form.

Furthermore, Attachment 2 is to replace Figure 1 of the submitted Planning Statement, where the Application Site boundary has been corrected.

If you have any questions regarding this application, please contact Ms Polly Lee at the number below.

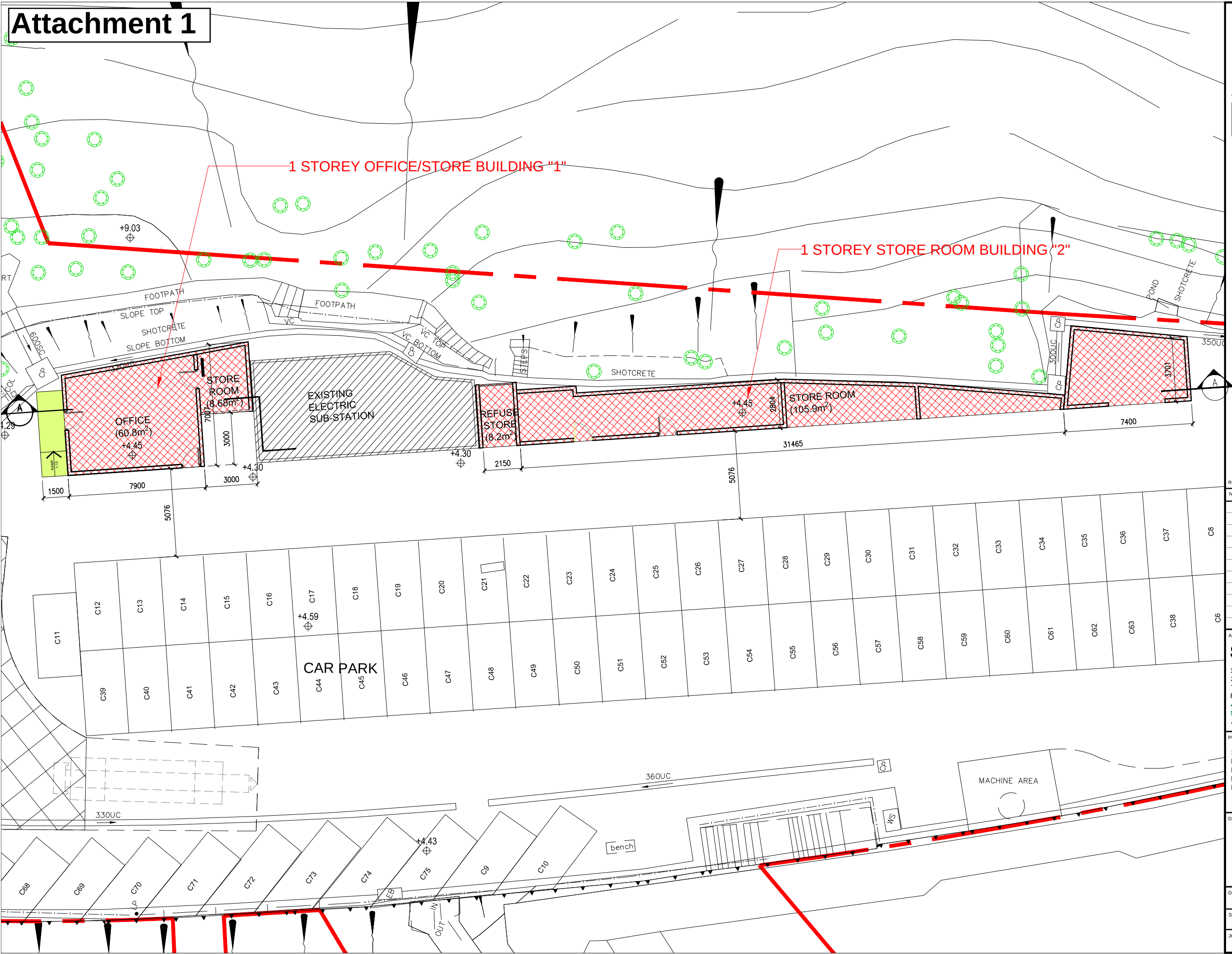
Yours faithfully,

Mark Bovaird
General Manager
Royal Hong Kong Yacht Club

MB/pl
encs



Attachment 1



NOTES:
DO NOT SCALE DRAWINGS.
ALL DIMENSIONS MUST BE VERIFIED AT THE WORK BY THE CONTRACTOR.
ALL PRINTS, SPECIFICATIONS AND THEIR COPYRIGHT ARE THE PROPERTY OF THE ARCHITECTS AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.

LEGEND

EXTENT OF EXCAVATION

REVISION		
NO	DATE	DESCRIPTION

ARCHITECT
STUDIO | R&A
18/F | Xiu Hua Commercial Building
211-213 Jaffe Road | Wan Chai | HK
Tel: 3583-2000 | Fax: 8143-1130
Email: mail@studiorca.com
STUDIO | RAYMOND CHAU |
ARCHITECTURE | LIMITED

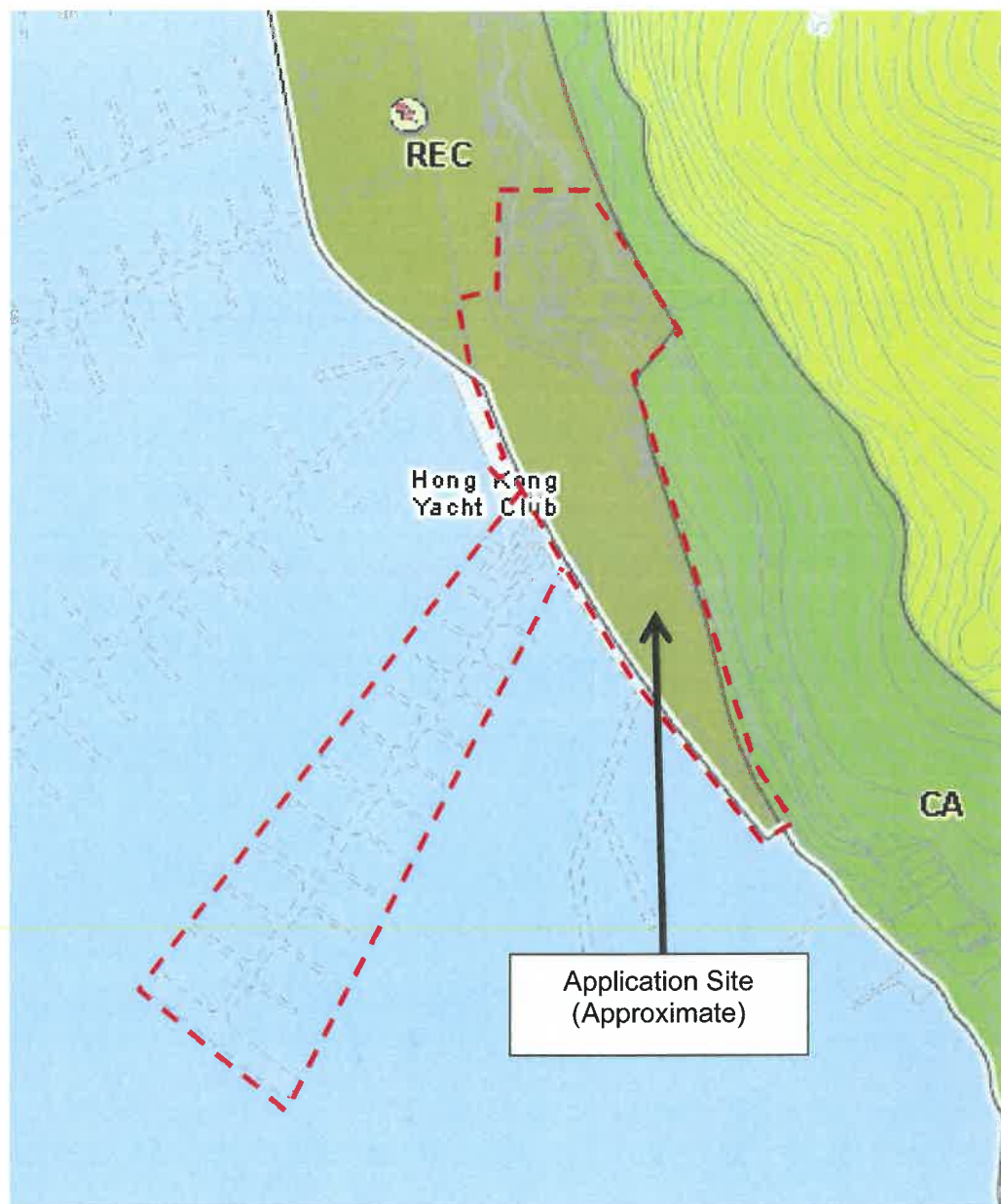
PROJECT NAME
SHELTER COVE
ROYAL HONG KONG YACHT CLUB
D.D. 212, LOT 341, SAI KUNG,
NEW TERRITORIES,
HONG KONG

DRAWING TITLE
OFFICE / STORAGE
BUILDING

DRAWN BY	JK	CHECKED BY	RC
SCALE	1:200	DATE	2022.08.04
JOB No.	2161	DRAWING No.	A-02

Attachment 2

Figure 1 Extract from the Hebe Haven OZP indicating the location of the Application Site





30 August 2022

The Secretary,
Town Planning Board,
15/F, North Point Government Offices,
333 Java Road, North Point,
Hong Kong

By Hand

Dear Sir,

Section 16 Planning Application

Proposed Ancillary Guard House and Refuse Collection Point, Ancillary Storage Facilities and Staff Office, Additional Toilets and Modification to the Kitchen for Existing Yacht Club "Marina" Use

Clarification Letter 2

Referring to the submission made on 23 August 2022 for the above captioned application, I hereby submit a second clarification.

Please see the enclosed Attachment 1, a replacement for Table 1: Development Schedule of the Planning Statement submitted on 5 August 2022. This is to clarify that the proposed Gross Floor Area and Site Coverage of this Section 16 Planning Application is 178sqm (not more than) and 3.1% (not more than) respectively.

If you have any questions regarding this application, please contact Ms Polly Lee at the number below.

Yours faithfully,

Mark Bovaird
General Manager
Royal Hong Kong Yacht Club

MB/pl
enc

ROYAL HONG KONG YACHT CLUB 香港遊艇會

KELLETT ISLAND, HONG KONG TEL: (852) 2832 2817 FAX: (852) 2239 0329



Section 16 Planning Application

Proposed Ancillary Guard House and Refuse Collection Point, Ancillary Storage Facilities and Staff Office, Additional Toilets and Modification to the Kitchen for Existing Yacht Club "Marina" Use

Clarification 2 - Attachment 1

Table 1: Development Schedule

	Existing (approved under No. A/SK-HH/19)	Proposed	Remarks
GFA (SQM)	322.54 (not more than)	+178 (not more than)	Additional GFA for office, storage, refuse collection point, and guard house,
Site Coverage	6.77% (not more than)	+3.1%(not more than)	Additional site coverage for office, storage, refuse collection point, guard house
Building Height	1 storey	1 storey Building 1 & 2: 3.2m Guard House: 3.2m (not more than)	n/a
Site Area	5800	5800	n/a



Your Reference A/SK-HH/80

The Secretary
Town Planning Board
15/F, North Point Government Offices
333 Java Road, North Point
Hong Kong

11 November 2022

By Email

Dear Sir,

Section 16 Planning Application

**Proposed Ancillary Guard House and Refuse Collection Point, Ancillary Storage Facilities and Staff Office, Additional Toilets and Modification to the Kitchen for Existing Yacht Club “Marina” Use
Application No. A/SK-HH/80**

I refer to the email from the District Planning Officer / Sai Kung and Islands dated the 6 October 2022 which contained comments from the District Lands Officer / Sai Kung (DLO). Our responses to the comments are contained below using the same numbering as that used by the DLO.

2. We note the terms of the lease as outlined in the comments and would like to confirm that the figure for the building height restriction as stated in paragraph 2.1 of the Planning Statement is a typo and should be 3.65m instead of 6.65m.
3. In paragraph 3 the DLO comments on the figures for the GFA and the Site Coverage:-
 - (i) The proposed GFA has been rounded up and the total of existing and proposed GFA slightly exceeds the maximum permitted under the lease of 500sm. Using more precise figures to two decimal points the total is 499.69sm within the maximum permitted of 500sm.
Total 499.69 sm (322.54sm existing + 177.15sm proposed >500sm)
 - (ii) The Site Coverage slightly exceeds to 9% permitted under the lease. This is because the existing Electricity Transformer Room is quite large (69.984sm) and does not count for GFA. It does count for Site Coverage and is approximately 1.207% of the total Site Coverage. Given the 1 storey height restriction, it is impossible to build the remaining permitted GFA of 177.15sm without slightly exceeding the site coverage restriction by 0.822%.

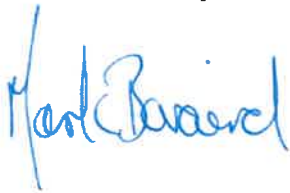
... / Page 2



Town Planning Board
11 November 2022

4. The DLO separately wrote to the applicant on the 29 September 2022, after the application was submitted, to advise that some structures were considered to be unauthorised building works. The identified structures have now been removed and the DLO was advised of this by the applicant by letter on the 27 October 2022. As the structures have now been removed it would appear to be possible for the DLO to support this application.
5. The DLO advised that if the application is approved by the TPB, then the applicant should apply to the DLO for a lease modification once the lease has been renewed. The only matter which is apparent is the slight exceedance of the site coverage because of the site coverage of the Electricity Transformer Room. At an appropriate time the applicant would approach the DLO with a request to increase the permitted site coverage in the lease by 1% to 10%. It is noted that there is no site coverage restriction in the Notes to the "Recreation" zone under the Outline Zoning Plan.

Yours faithfully



Mark Bovaird
General Manager
Royal Hong Kong Yacht Club

cc. DPO/SK&I Attention: Mr Roy Tsang (by email: rctsang@pland.gov.hk)



Your Ref: A/SK-HH/80

6 December 2022

The Secretary
Town Planning Board
15/F, North Point Government Offices
333 Java Road, North Point
Hong Kong



By Hand

Dear Sir,

Section 16 Planning Application

**Proposed Ancillary Guard House and Refuse Collection Point,
Ancillary Storage Facilities and Staff Office, Additional Toilets and Modification
to the Kitchen for Application No. A/SK-HH/80**

Further Information 2

On the 11 November 2022 we submitted a letter to the Town Planning Board responding to comments on our application from the District Lands Office.

On the 30 September 2022 the District Planning Officer / Sai Kung and Islands forwarded to us comments made by the Environmental Protection Department and the Geotechnical Engineering Office, Civil Engineering and Development Department. Technical responses have been prepared in response to the comments from these departments and these are attached to this letter.

Details of the attachments are :

1. Attachment 1 - Sewerage Impact Assessment Report
2. Attachment 2 – Geotechnical Planning Review Report

The technical information provided does not result in any change to the content of the application but clarifies the points requested by the departments. In term of TPB Guideline No. 32A it is considered that the Further Information provided is suitable for acceptance by the Board.

All of the comments from the departments have now been sufficiently addressed and we have no further information to submit. I would be grateful if you could provide us with the date on which the application will be considered by the Board. Four hard copies of the reports are attached and one soft copy will be provided after instructions for uploading procedures are given by the Board.

... / Page 2



Page 2

The Secretary
Town Planning Board
6 December 2022

Should you have any questions regarding this submission, please contact Ms Polly Lee at 2239 0301.

Yours faithfully,

A handwritten signature in black ink, appearing to read 'Mark Bovaird', written over a light blue horizontal line.

Mark Bovaird
General Manager
Royal Hong Kong Yacht Club

Enc

c.c.: District Planning Office / Sai Kung and Islands
Attention: Mr Roy Tsang (Email: rctsang@pland.gov.hk)

Attachment 1

Sewerage Impact Assessment Report



**Section 16 Application for Proposed “Marina (with
Ancillary Guard House and Refuse Collection
Point, Ancillary Storage Facilities and Staff Office,
Additional Toilets and Modification to the
Kitchen)” at Lot 341 (Part) in D.D. 212,
Che Keng Tuk, Sai Kung, New Territories**

Sewerage Impact Assessment Report

Prepared by Skyline Consultants Ltd

Name: Willie Wong

Date: 30 November 2022

Report Ref.: P121R031-01 (Ver. 1)

Table of Contents

1	Introduction	1
2	Site Description.....	2
2.1	Site Location.....	2
2.2	Proposed Development Scheme	2
2.3	Existing Sewerage	2
3	Sewerage Impact	3
3.1	Sewage Generation	3
3.2	Proposed Sewage Treatment Facility	4
4	Recommendations and Conclusion	6

List of Figures

Figure 2-1	Site Location
Figure 2-2	Location of the Existing Septic Tank
Figure 3-1	Location of the Proposed Septic Tank and Soakaway System

List of Tables

Table 3-1	Estimation of Maximum Population of the Proposed Development
Table 3-2	Adopted Unit Flow Factors
Table 3-3	Minimum Clearance Requirements for Soakaway Systems

List of Annexes

Annex A	Development Plans
Annex B	Drainage Layout and Drainage Details of the Existing Development
Annex C	Calculations of Sewage Generation
Annex D	Capacity of the Existing Septic Tank

1 Introduction

- 1.1.1.1 The Applicant intends to develop ancillary facilities for the existing Royal Hong Kong Yacht Club (“the proposed development”) at Lot 341 (Part) in D.D. 212, Che Keng Tuk, Sai Kung, New Territories (the Site).
- 1.1.1.2 According to the Approved Hebe Haven Outline Zoning Plan (“OZP”) No. S/SK-HH/8, the Site currently falls within land-use zoning, namely “Recreation” (“REC”). A planning permission for the proposed ancillary facilities in the existing marina is required on application to the Town Planning Board (“TPB”) under Section 16 of the Town Planning Ordinance.
- 1.1.1.3 Owing to the anticipated change in sewage generation arising from the proposed facilities, Skyline Consultants Limited (Skyline) has been commissioned to conduct a Sewerage Impact Assessment (SIA) to facilitate the consideration of this Section 16 planning application.
- 1.1.1.4 The objectives of this SIA are to assess the potential sewerage impact arising from the proposed development and recommend the mitigation measures, if necessary, to alleviate the impacts.

2 Site Description

2.1 Site Location

- 2.1.1.1 The Site is located adjacent to Tsiu Hang Hau, Sai Kung and southeast of Che Keng Tuk Road. To the north of the Site is Hong Kong Marina. There are some village houses of Sai Kung Yacht Club Villa located to the further north of the Site. The Site is connected to Hiram’s Highway via Che Keng Tuk Road.
- 2.1.1.2 Currently, the Site is operated by Royal Hong Kong Yacht Club. It covers a total land of 5,800 m². **Figure 2-1** shows the Site location and its surrounding areas.

2.2 Proposed Development Scheme

- 2.2.1.1 The proposed ancillary facilities in the existing marina will include ancillary guard house, ancillary storage facilities and staff office, additional toilets and modification to the kitchen.
- 2.2.1.2 The schematic layout plans are shown in **Annex A**.

2.3 Existing Sewerage

- 2.3.1.1 According to the drainage records reviewed from the Drainage Services Department (DSD), there is no public sewerage connection available in the vicinity.
- 2.3.1.2 According to the drainage layout plan of the existing development, sewage generated from the Site is currently collected and treated by the existing septic tank with soakaway system. **Figure 2-2** shows the location of the existing septic tank.
- 2.3.1.3 The drainage layout plan and the drainage details of the existing development are shown in **Annex B**.

3 Sewerage Impact

3.1 Sewage Generation

- 3.1.1.1 Sewage generation from the proposed development will be mainly from the kitchen and toilets. The sewage generated by the guests will be the water for flushing and washing hands.
- 3.1.1.2 Based on the information provided by the operator, the estimated maximum number of guests and staffs of the proposed development are stipulated and summarised in **Table 3-1**.

Table 3-1 Estimation of Maximum Population of the Proposed Development

Type of People	Maximum Number of People per Day	
	Week-end / holiday periods	Normal week-day periods
Guest	150	50
Staff for property management	6	4
Staff for eating place	10	3

- 3.1.1.3 For the estimation of sewage generations from the proposed development, the planning unit flow factors as recommended in “*Guidelines for Estimating Sewage Flows for Sewage Infrastructure Planning*” (hereafter as “GESF”) published by Environmental Protection Department (EPD) and “*Wastewater Engineering Treatment and Reuse (Fourth Edition)*” have been adopted. The adopted unit flow factors have been summarised in **Table 3-2**.

Table 3-2 Adopted Unit Flow Factors

Type of People	Unit Flow Factors (m ³ /day)	Reference
Guest for day camp	0.015	Table 3-4 of “Wastewater Engineering Treatment and Reuse (Fourth Edition)”
Staff for property management	0.280	Commercial Employee + Commercial Activities (General-territorial average) in GESF
Staff for eating place	1.580	Commercial Employee + Commercial Activities (J10 - Restaurants & Hotels) in GESF

- 3.1.1.4 The sewage generation from the proposed development includes the flow contributions from guests, staffs and operation of the eating place. The detailed calculations of sewage generation have been provided in **Annex C** for reference.

- 3.1.1.5 According to the sewage generation presented in **Annex C**, the estimated daily flow of the proposed development will be approximately 19.7 m³/day and 6.6 m³/day during week-end / holiday periods and normal week-day periods, respectively.

3.2 Proposed Sewage Treatment Facility

- 3.2.1.1 According to the drainage details of the existing development are shown in **Annex B**, capacity of the existing Septic Tank System (STS) have been estimated and provided in **Annex D**. The estimated capacity of the existing STS is about 14.4 m³.
- 3.2.1.2 As the estimated daily flow of the proposed development will be approximately 19.7 m³/day during week-end / holiday periods, a larger STS with a capacity of minimum 20 m³ is proposed to be constructed and replaced the existing STS. The design of the proposed STS will be in accordance with the design requirements as specified in "Drainage Plans Subject to Comment by the Environmental Protection Department (ProPECC PN 5/93)". The minimum clearance requirements for a soakaway system are shown in **Table 3-3**.

Table 3-3 Minimum Clearance Requirements for Soakaway Systems

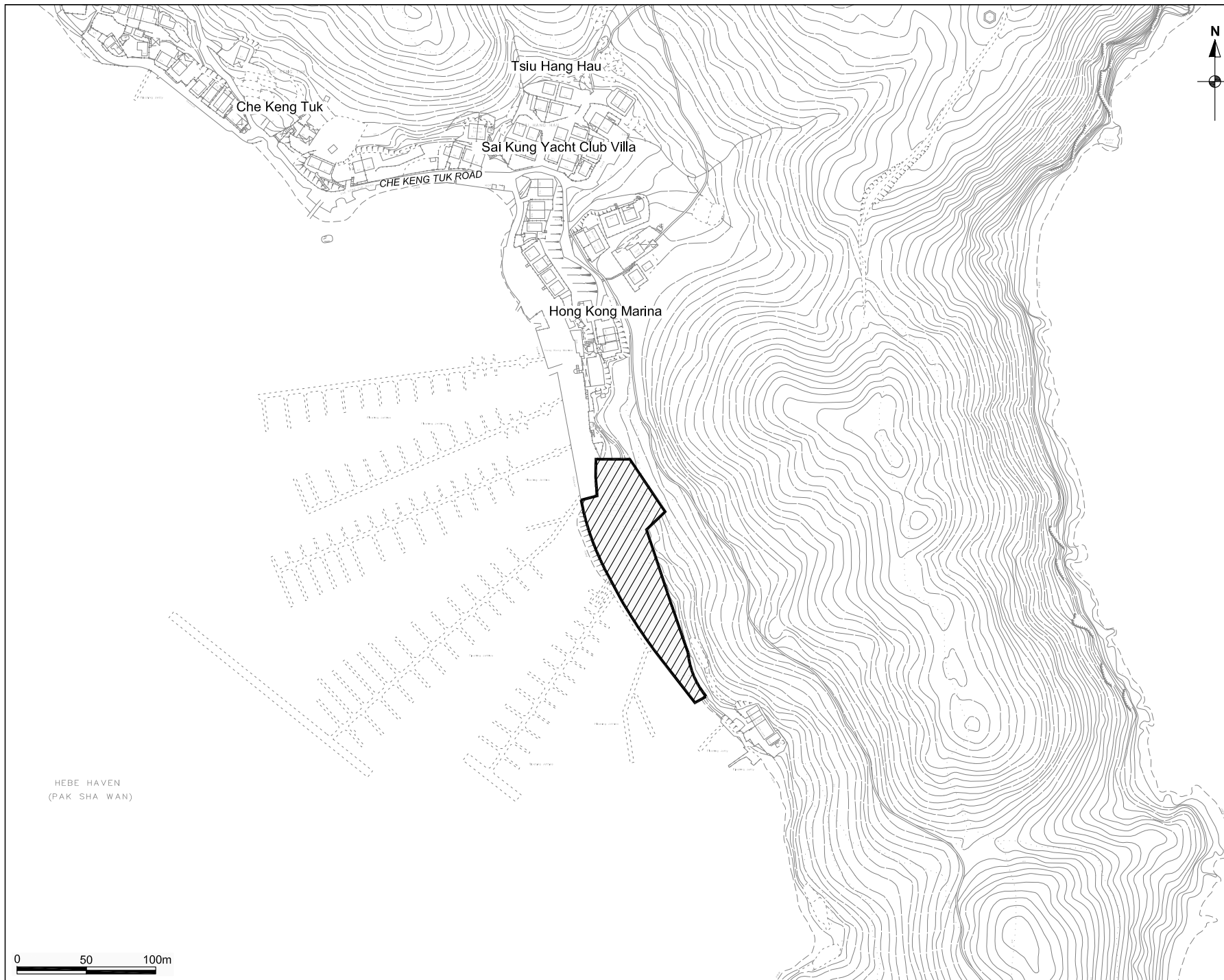
Type	Distance from Soakaway System (m)	Remarks
Building	3	--
Retaining Walls	6	--
Wells	50	--
Stream where the bed is lower than invert of soakaway system	15 (30)	Should the water from the stream or pool is used or likely to be used for drinking or domestic purposes, the distance (30) will be adopted.
Pools	7.5 (30)	
Cuts of Embankments	30	--
Paths	1.5	--
Beaches	100	From boundaries of gazette beaches or bathing beach subzones of water control zone
	30	From H.W.M. and from nearest watercourses for other cases
Ground Water Table	0.6	Below invert

- 3.2.1.3 According to site observations in November 2022, no well, stream, course, pool, cut of embankment, and beach were identified. As there are existing buildings in the Site, the soakaway pit should be located at least 3m and 6m away from the buildings and retaining walls, respectively. **Figure 3-1** shows the proposed location of the septic tank and soakaway system.
- 3.2.1.4 As the Site is not served by public sewer and the use of STS is considered the most suitable option for sewage disposal, and therefore there will be no adverse sewerage impact arising from the proposed development.

4 Recommendations and Conclusion

- 4.1.1.1 A Sewerage Impact Assessment (SIA) has been conducted to evaluate the potential impacts due to the operation of the proposed development.
- 4.1.1.2 The assessment findings demonstrated that the estimated daily flow from the proposed development will be approximately 19.7 m³/day and 6.6 m³/day during week-end / holiday periods and normal week-day periods, respectively. A larger Septic Tank System (STS) with a capacity of minimum 20 m³ is proposed. The proposed STS will be properly sited, designed, constructed, used, desludged and repaired in accordance with the “*Guidance Notes on Discharges from Village Houses*” and “*Drainage Plans subject to Comment by the Environmental Protection Department (ProPECC PN 5/93)*” published by EPD to ensure the liquid sewage generated from the proposed development can be soaked into the surrounding soil. The related solid waste (i.e., sludge and scum) can be screened off and then collected by the waste collector.
- 4.1.1.3 To be prudent, the following precautions should be aware when planning a proposed STS:
- do not locate your STS near streams, wells, retaining walls, etc., or beneath your house;
 - locate your STS in an open space with easy access for desludging; and
 - carry out a soil percolation test before deciding to construct a STS.
- 4.1.1.4 The project proponent will be responsible for the design and construction of the proposed STS which will be further discussed with EPD. The detailed arrangement of the proposed works will be further investigated at the detailed building design stage of the project.
- 4.1.1.5 The operator should implement good house keeping practices to ensure that the continuous operation of the proposed STS. These should include:
- inspect and measure of the sludge depth of treatment components once every 6 months;
 - inspect the STS immediately when flooding, overflow or odour become noticeable;
 - clean and flush of screens and other sewage handling equipment regularly,
 - tank to be desludged every 6 months; and
 - maintain the STS when there is defeat found after inspection.
- 4.1.1.6 With the above design considerations and implementation of maintenance requirements, it is concluded that there will be no adverse sewerage impact arising from the proposed development.

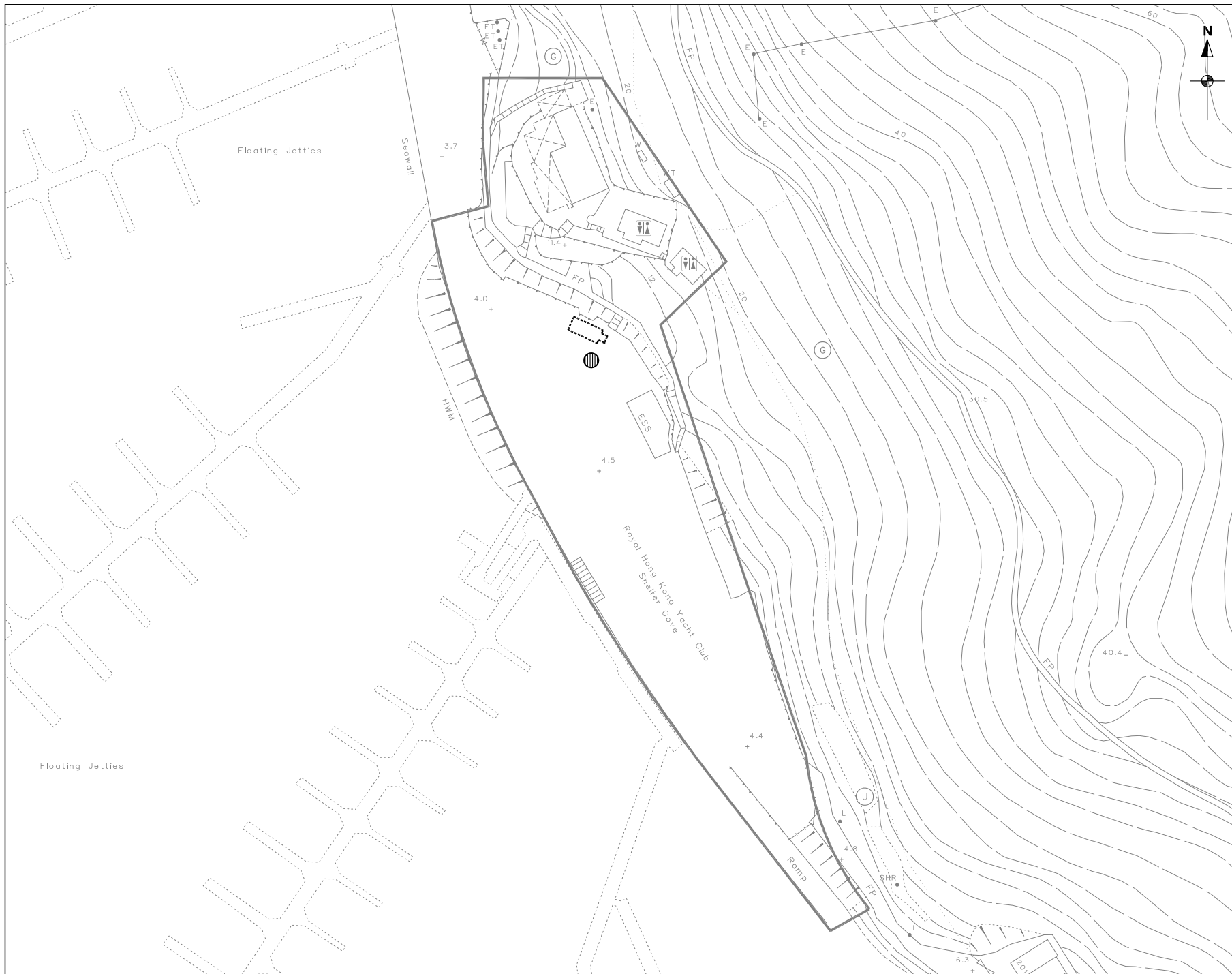
Figures



PROJECT NO : P121R_031
PROJECT TITLE : Section 16 Application for Proposed "Marina (with Ancillary Guard House and Refuse Collection Point, Ancillary Storage Facilities and Staff Office, Additional Toilets and Modification to the Kitchen)" at Lot 341 (Part) in D.D. 212, Che Keng Tuk, Sai Kung, New Territories Sewerage Impact Assessment
FIGURE TITLE : Site Location
LEGEND : Subject Site
FIGURE NO : 2 - 1
DATE : 2022-11-29
CONSULTANT : Skyline Consultants Ltd



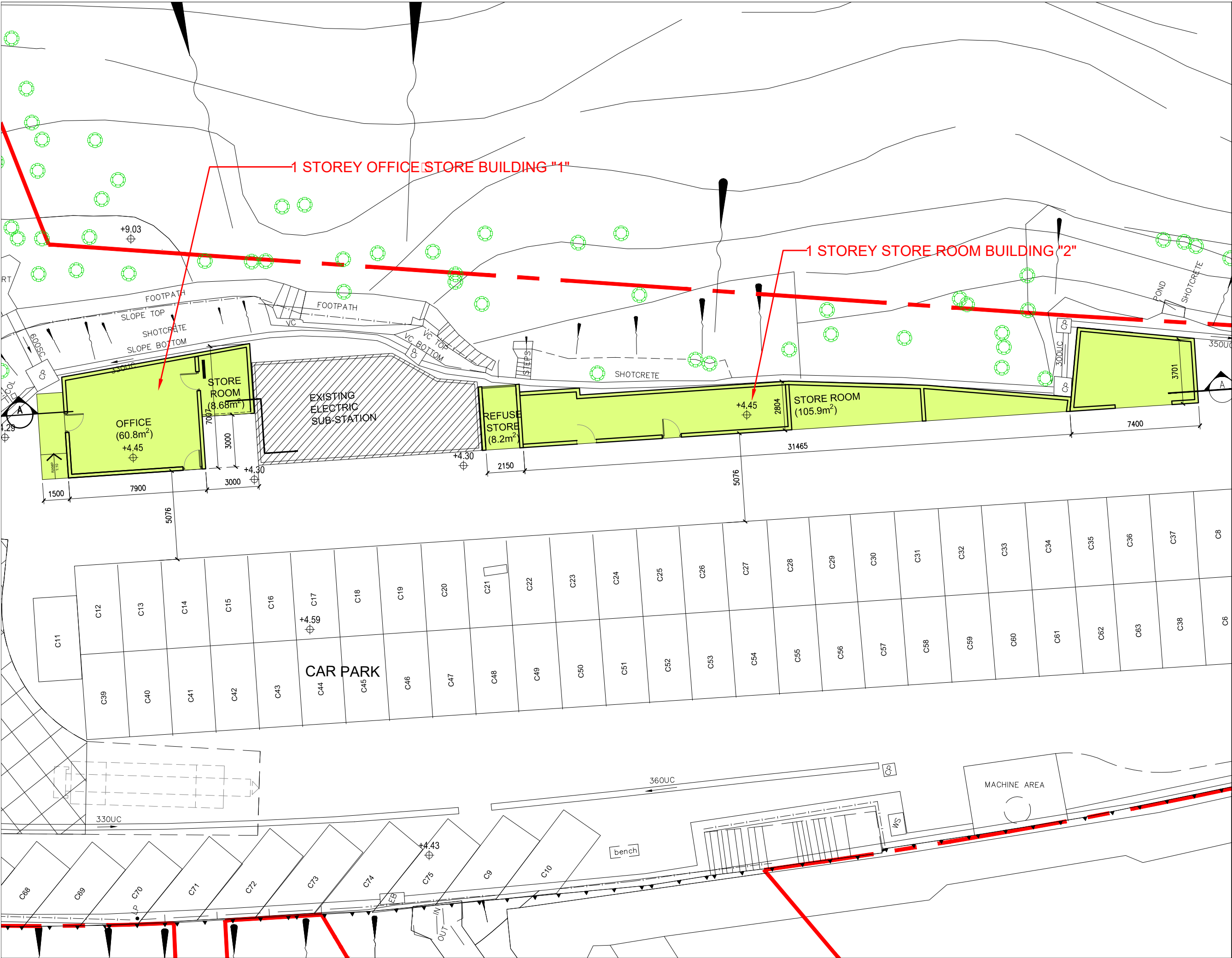
PROJECT NO : P121R_031
PROJECT TITLE : Section 16 Application for Proposed "Marina (with Ancillary Guard House and Refuse Collection Point, Ancillary Storage Facilities and Staff Office, Additional Toilets and Modification to the Kitchen)" at Lot 341 (Part) in D.D. 212, Che Keng Tuk, Sai Kung, New Territories Sewerage Impact Assessment
FIGURE TITLE : Location of the Existing Septic Tank
LEGEND : Subject Site Septic Tank
FIGURE NO : 2 - 2
DATE : 2022-11-18
CONSULTANT : Skyline Consultants Ltd



PROJECT NO : P121R_031
PROJECT TITLE : Section 16 Application for Proposed "Marina (with Ancillary Guard House and Refuse Collection Point, Ancillary Storage Facilities and Staff Office, Additional Toilets and Modification to the Kitchen)" at Lot 341 (Part) in D.D. 212, Che Keng Tuk, Sai Kung, New Territories Sewerage Impact Assessment
FIGURE TITLE : Location of the Proposed Septic Tank and Soakaway System
LEGEND : Subject Site Septic Tank Soakway Pit
FIGURE NO : 3 - 1
DATE : 2022-11-29
CONSULTANT : Skyline Consultants Ltd

Annex A

Development Plans



NOTES:

DO NOT SCALE DRAWINGS.

ALL DIMENSIONS MUST BE VERIFIED AT THE WORK BY THE CONTRACTOR.

ALL PRINTS, SPECIFICATIONS AND THEIR COPYRIGHT ARE THE PROPERTY OF THE ARCHITECTS AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.

REVISION		
NO	DATE	DESCRIPTION

ARCHITECT

STUDIO | R&A

100F 00X00 H00 C0000 Cr0000 B00000
2111213 J0000 Ro00d 0W000 C0000HK
T00 300302000 0F00: 014301130
E 0 000: 0 0000 0000d 00r00.000

**STUDIO | RAYMOND CHAU |
ARCHITECTURE | LIMITED**

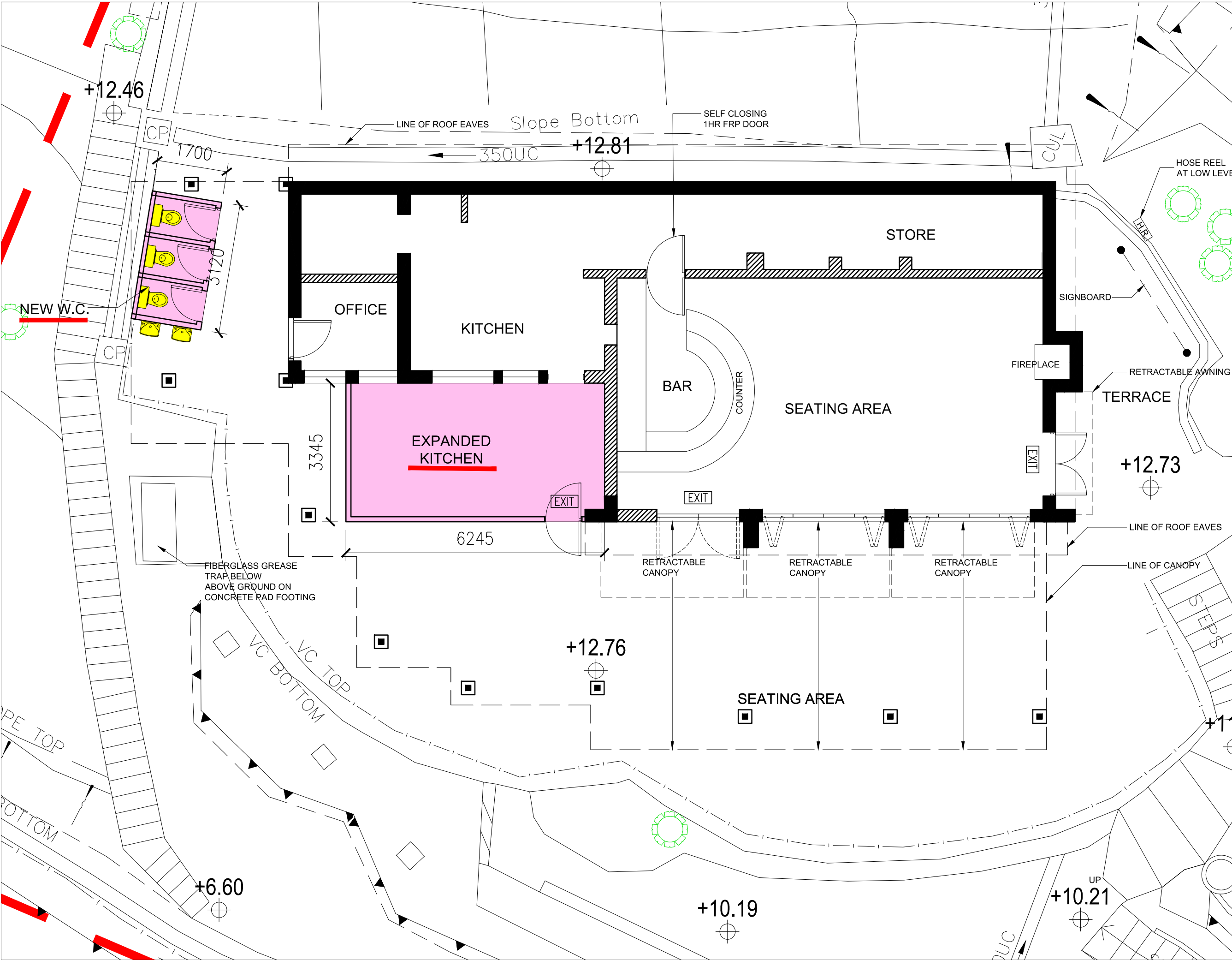
PROJECT NAME

SHELTER COVE
ROYAL HONG KONG YACHT CLUB
D.D. 212, LOT 341, SAI KUNG,
NEW TERRITORIES,
HONG KONG

DRAWING TITLE

OFFICE / STORAGE
BUILDING

DRAWN BY	JK	CHECKED BY	RC
SCALE	1:200	DATE	2022.08.04
JOB No.	2161	DRAWING No.	A-02



NOTES:

DO NOT SCALE DRAWINGS.

ALL DIMENSIONS MUST BE VERIFIED AT THE WORK BY THE CONTRACTOR.

ALL PRINTS, SPECIFICATIONS AND THEIR COPYRIGHT ARE THE PROPERTY OF THE ARCHITECTS AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.

REVISION		
NO	DATE	DESCRIPTION

ARCHITECT

STUDIO | R&A

100F 00X00 H00 C000 C000B00000
211/213 J000 R00d 0W00 C0000HK
T00 300302000 0F00: 014301130
E 0 000: 0 0000 000d 00r00 .000

STUDIO | RAYMOND CHAU |
ARCHITECTURE | LIMITED

PROJECT NAME

SHELTER COVE
ROYAL HONG KONG YACHT CLUB
D.D. 212, LOT 341, SAI KUNG,
NEW TERRITORIES,
HONG KONG

DRAWING TITLE

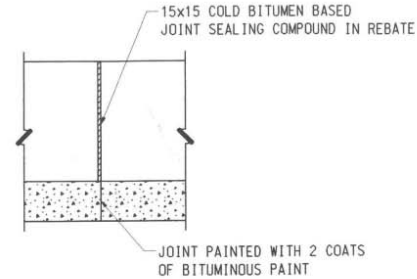
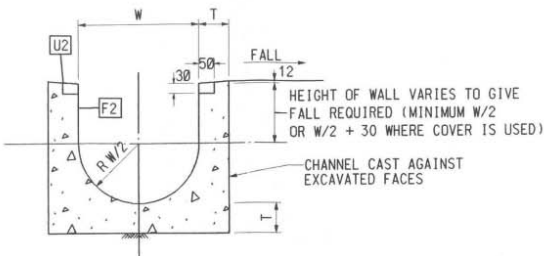
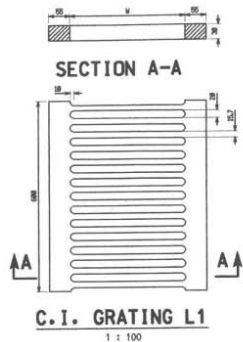
EXPANDED KITCHEN &
ADDITIONAL TOILETS

DRAWN BY	JK	CHECKED BY	RC
SCALE	1:100	DATE	2022.08.04
JOB No.	2161	DRAWING No.	A-05

Annex B

Drainage Layout and Drainage Details of the Existing Development

845800mE

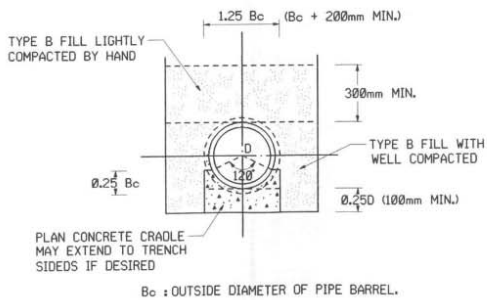


DETAIL OF U-CHANNEL
N.T.S.
* FOR COVER CHANNEL ONLY

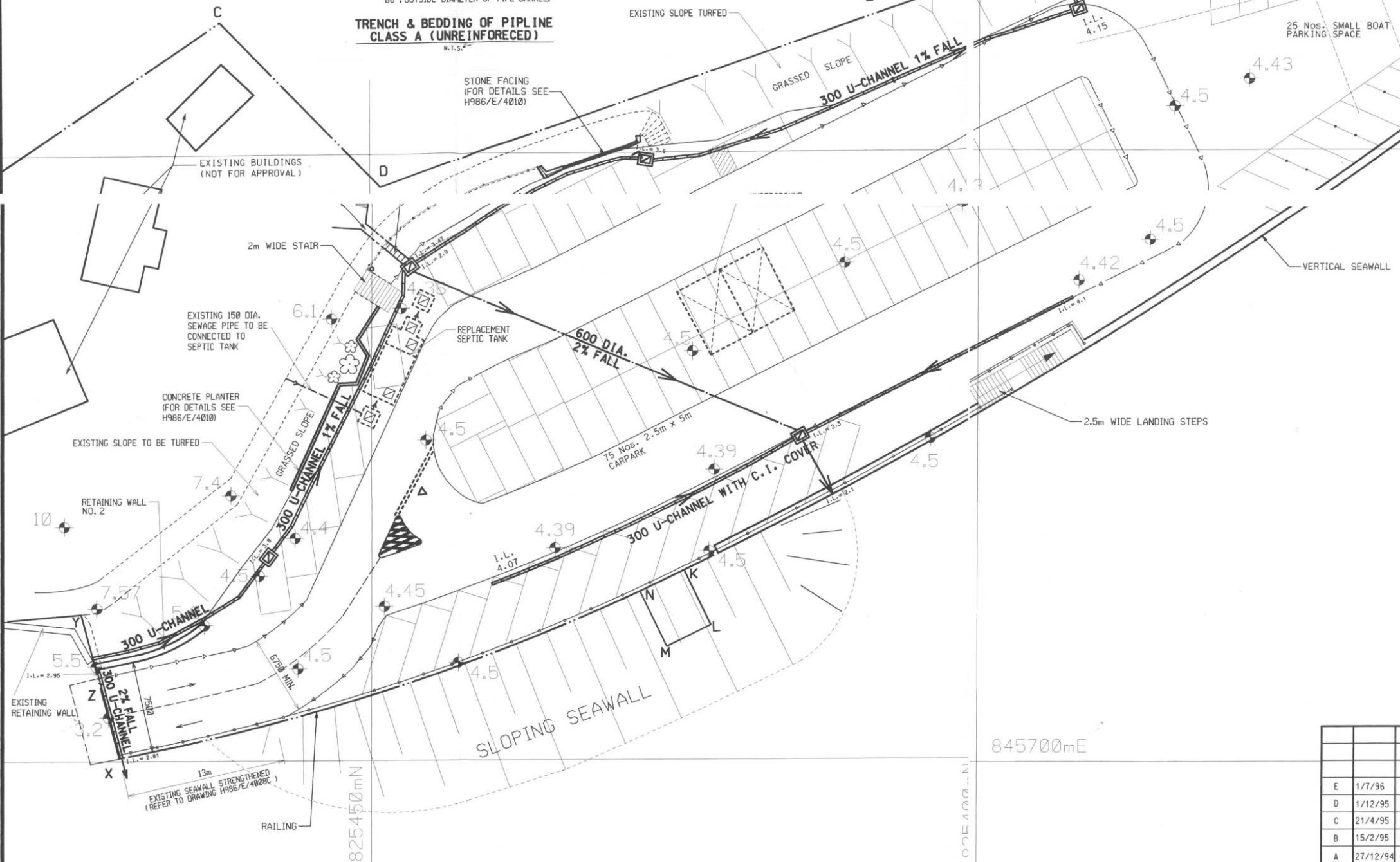
U-CHANNEL JOINT DETAIL
N.T.S.

DIMENSIONS OF U-CHANNEL

W	T
300	150
225	150



TRENCH & BEDDING OF PIPELINE
CLASS A (UNREINFORCED)
N.T.S.



NOTES:

1. THIS DRAWING TO BE READ IN CONJUNCTION WITH DRG.No. H986/E/4007.
2. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED.
3. ALL LEVELS ARE IN METRES AND REFER TO PRINCIPAL DATUM (PD).
4. COORDINATES ARE RELATED TO HONG KONG METRIC GRID (1980).
5. CONCRETE TO BE GRADE 30/20 DESIGN MIX.
6. CONCRETE COVER TO OUTER REINFORCEMENT TO BE 50mm.
7. U-CHANNEL JOINTS TO BE AT 5000mm C/C.
8. CAST IRON GRATING SHALL BE FABRICATED IN LENGTH AND SHAPE TO SUIT SITE CONDITIONS.

9. LEGEND:-

	CATCH PIT WITH SAND TRAP		SLOPING RUBBLEMOUND SEAWALL
	MANHOLE		EXISTING SLOPE
	OUTFALL		U-CHANNEL
	EXISTING FOOTPATH		300 Ø PIPE
	U-CHANNEL WITH COVER		SPOT LEVELS
	12 CONTOUR		
	FOR APPROVAL		

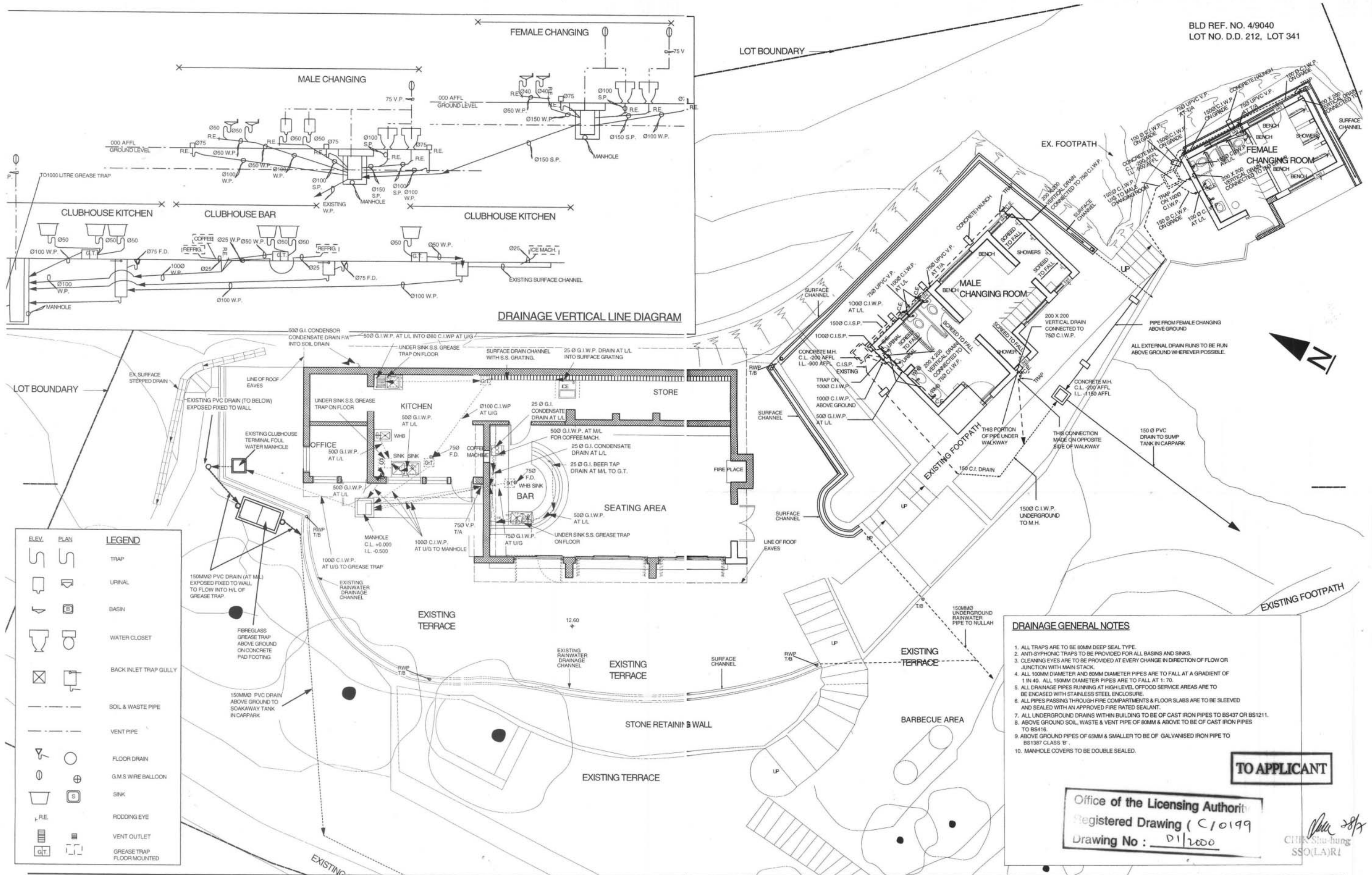


LEIGHTON CONTRACTORS (ASIA) LTD.

ROYAL HONG KONG YACHT CLUB

DRAINAGE LAYOUT PLAN

INDEX	DATE	REVISION	DRAWN BY	DESIGNED BY	CHECKED BY	SCALE	DATE	DRAWING NO.
E	1/7/96	CONCRETE BUTTRESS REVISED.	H. LAM	M. Y. CHENG	S. P. TONG	1:200	22/7/1994	H986/E/4005E
D	1/12/95	AMENDMENTS TO SUIT SITE CONDITIONS						
C	21/4/95	GENERAL REVISION						
B	15/2/95	GENERAL REVISION						
A	27/12/94	GENERAL REVISION						



W & C Ltd.

Wilkinson & Cilley Limited

Architects and Interior Designers
Graphic Designers and Planners

A.P. TELEPHONE NUMBER: 2866-6136
A.P. FACSIMILE NUMBER: 2865-2737

Project
THE ROYAL HONG KONG YACHT CLUB
SHELTER COVE, HEBE HAVEN
D.D. 212, LOT 341, SAI KUNG, N.T.

Drawn by C.D.A.
Checked by D. CILLEY
Date 09 MARCH 1999
Scale 1:200

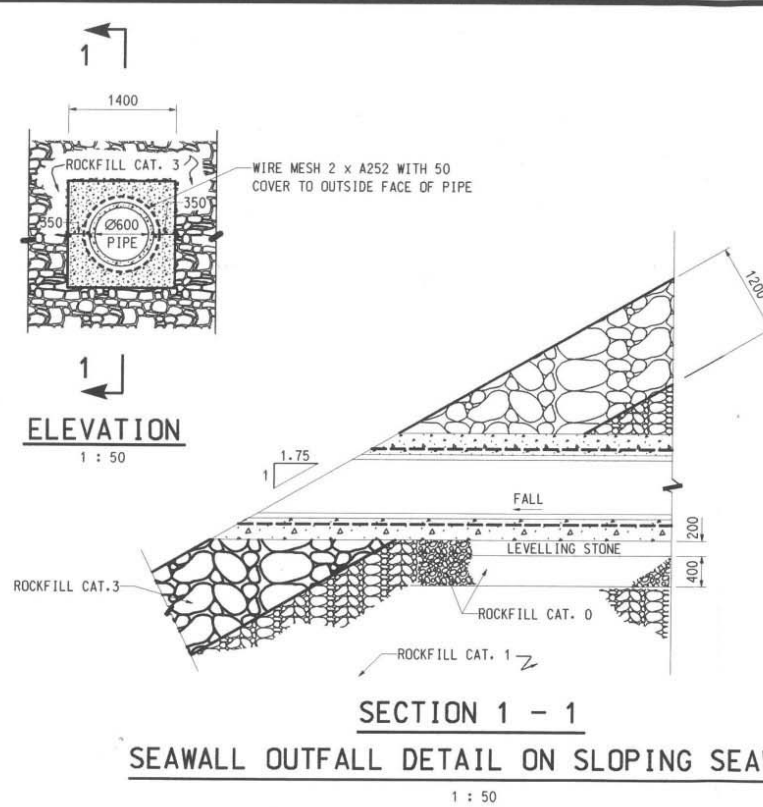
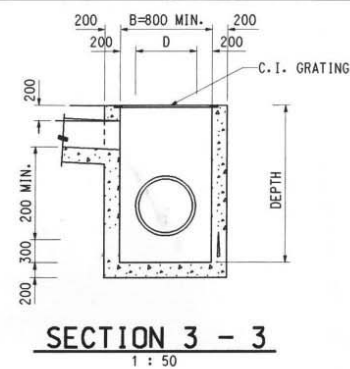
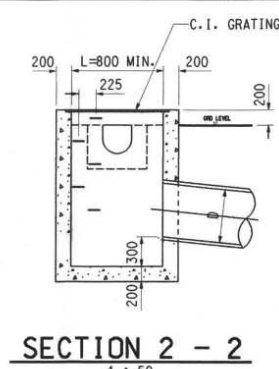
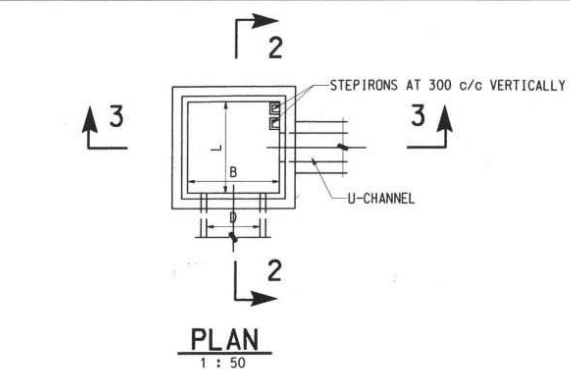
Drawing Title
EXISTING CLUB BUILDINGS
DRAINAGE PLAN

Project No. 1036
Cad File No. 1036/ODR_01

Sheet
HAD-ODR-01 07 JUN 2000

Dwg. No. 1036-ODR-01
Rev.

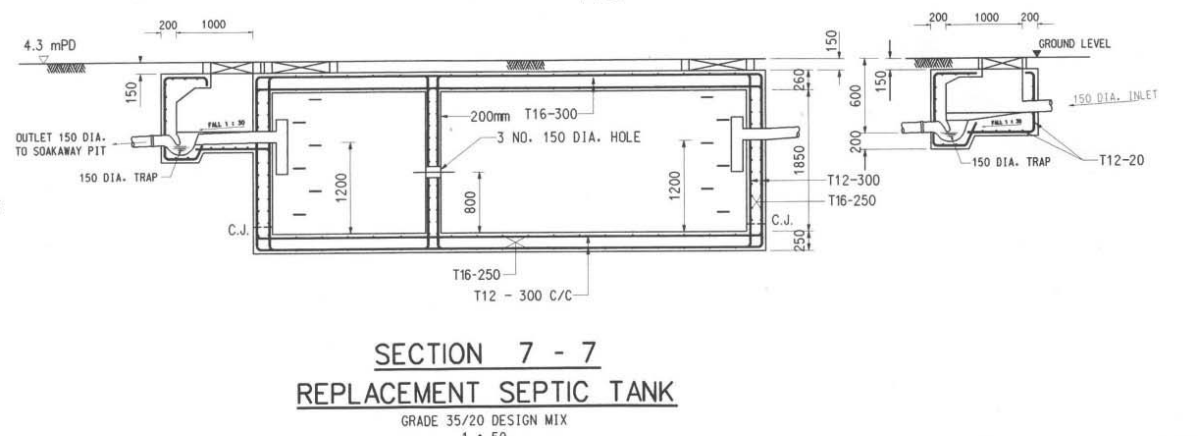
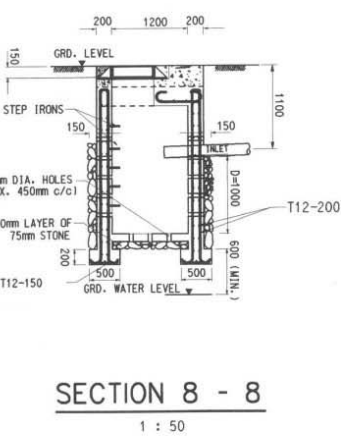
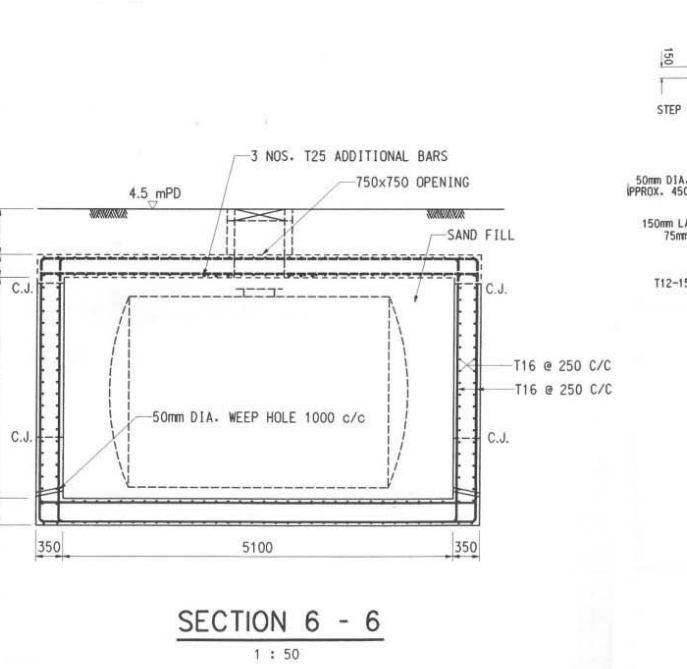
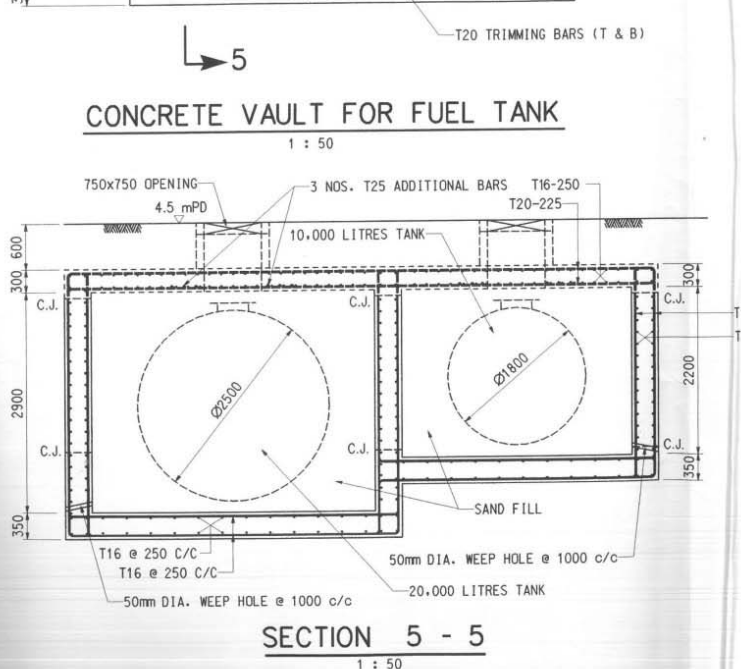
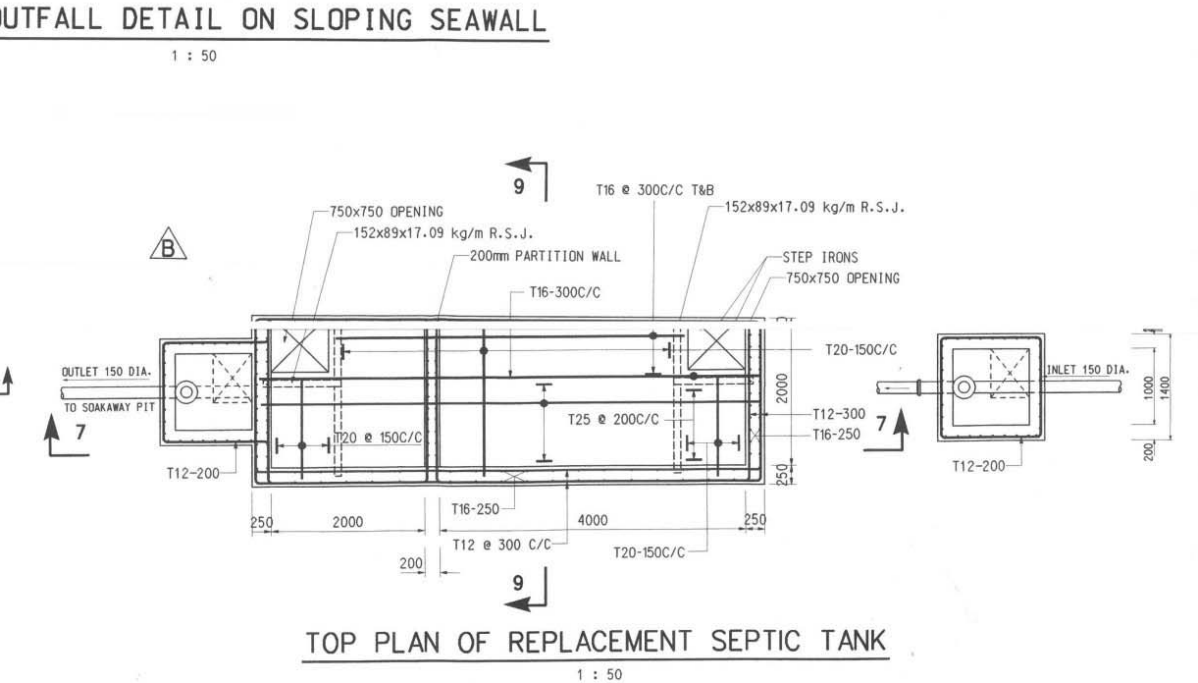
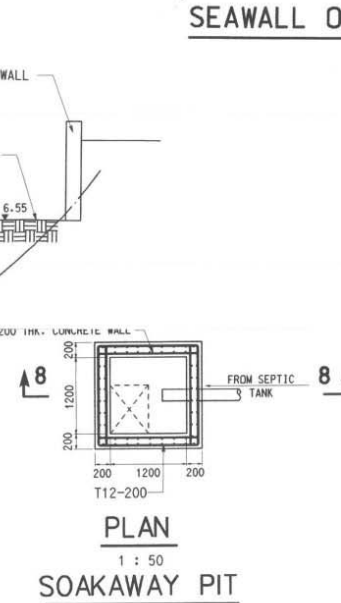
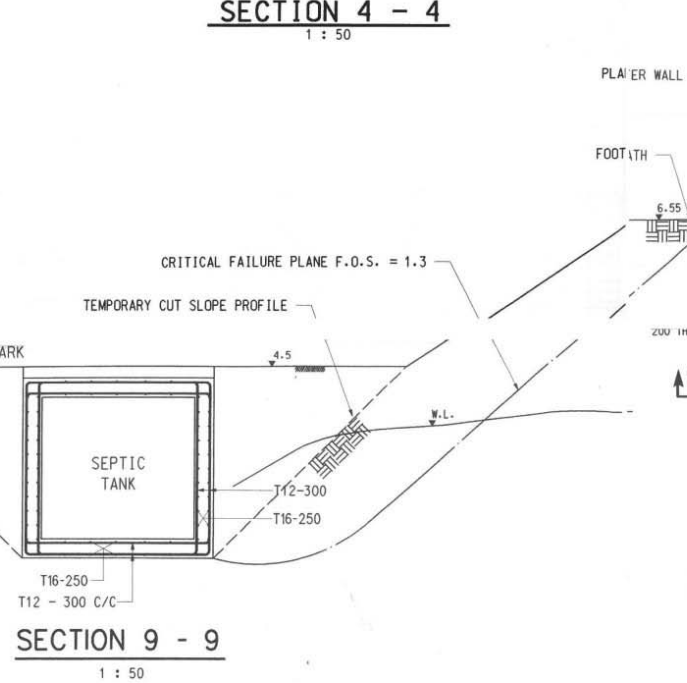
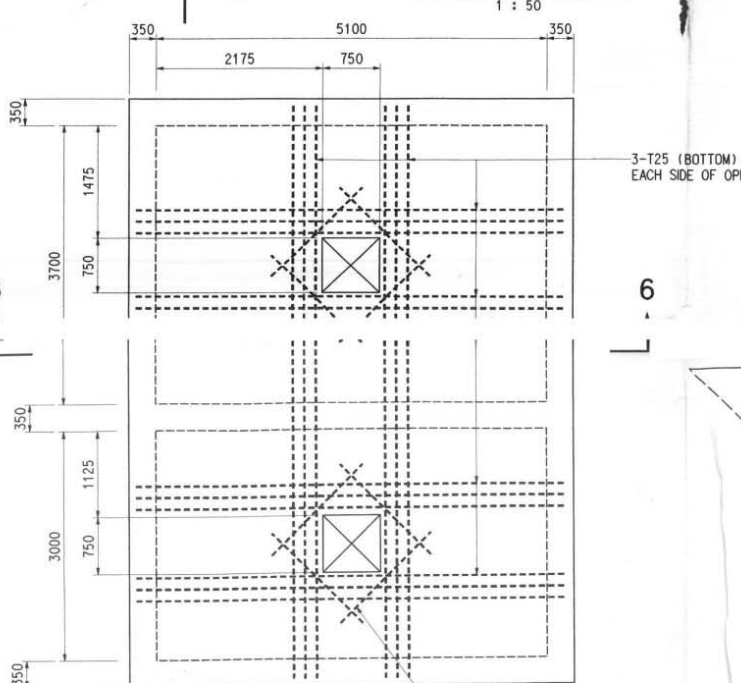
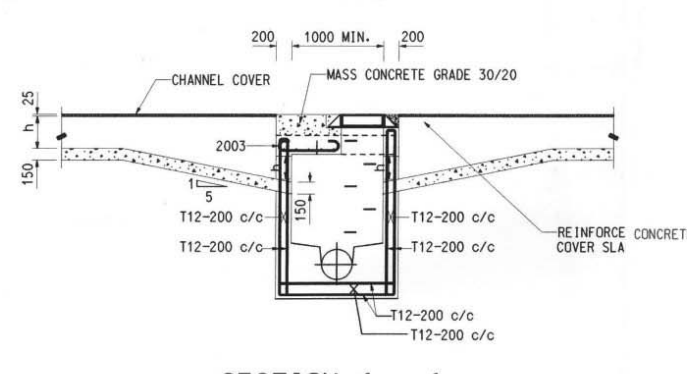
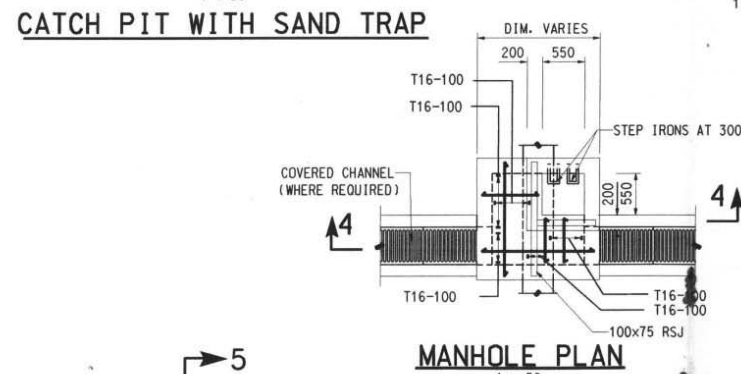
SCALE



NOTES :

- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH DRAWING NO. H986/E/4005B.
- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE SHOWN.
- CONCRETE FINISHES SHOWN THUS : [Symbol]
- REINFORCEMENT SHALL BE COMPLY WITH BS 4449.
- CONCRETE TO BE GRADE 30/20 DESIGNED MIXED, UNLESS OTHERWISE SHOWN.
- CONCRETE COVER TO OUTER REINFORCEMENT SHOULD BE 40 mm.
- CONTRACTOR SHOULD PROPOSE THE TYPES OF STEP IRON FOR USE FOR THE ENGINEER'S APPROVAL.
- STEP IRONS SHOULD BE INSTALLED IN THE CATCHPIT IN EXCESS OF 1000 mm DEEP.
- FOR PIPE TRENCH AND BEDDING DETAIL (CLASS A UNREINFORCED), REFER TO DRAINAGE SERVICE DEPARTMENT STANDARD DRAWINGS OF DRAWING NO. DS 1048.
- U-CHANNEL JOINTS AT 5000 mm c/c.
- DIAMETER OF GASKET TO COMPLY WITH PIPE MANUFACTURER SPECIFICATIONS AND BE UNDER SUFFICIENT COMPRESSION TO PROPERLY RETAIN CAULKING AGAINST PRESSURE.
- VENTILATION PIPE FOR THE REPLACEMENT SEPTIC TANK SHALL BE PROVIDED AS REQUIRED.

FOR APPROVAL



			LEIGHTON CONTRACTORS (ASIA) LTD.									
			ROYAL HONG KONG YACHT CLUB									
			DRAINAGE DETAILS									
D	1/12/95	DETAILS OF CONCRETE VAULT REVISED.	DRAWN BY	DESIGNED BY	CHECKED BY	SCALE	DATE	DRAWING NO.				
C	27/4/95	BAR SIZE REVISED	H. LAM	M. Y. CHENG	S. P. TONG	AS SHOWN	22/7/1994	H986/E/4007D				
B	15/2/95	SEWAGE TANK DELETED. FUEL TANK REVISED AND SEPTIC TANK ADDED.										
A	27/12/94	SEWAGE TANK AND FUEL TANK R.C. SHELL ADDED										
REVISION	DATE	DESCRIPTION										



LEIGHTON CONTRACTORS (ASIA) LTD.

ROYAL HONG KONG YACHT CLUB

DRAINAGE DETAILS

DRAWN BY	DESIGNED BY	CHECKED BY	SCALE	DATE	DRAWING NO.
H. LAM	M. Y. CHENG	S. P. TONG	AS SHOWN	22/7/1994	H986/E/4007D

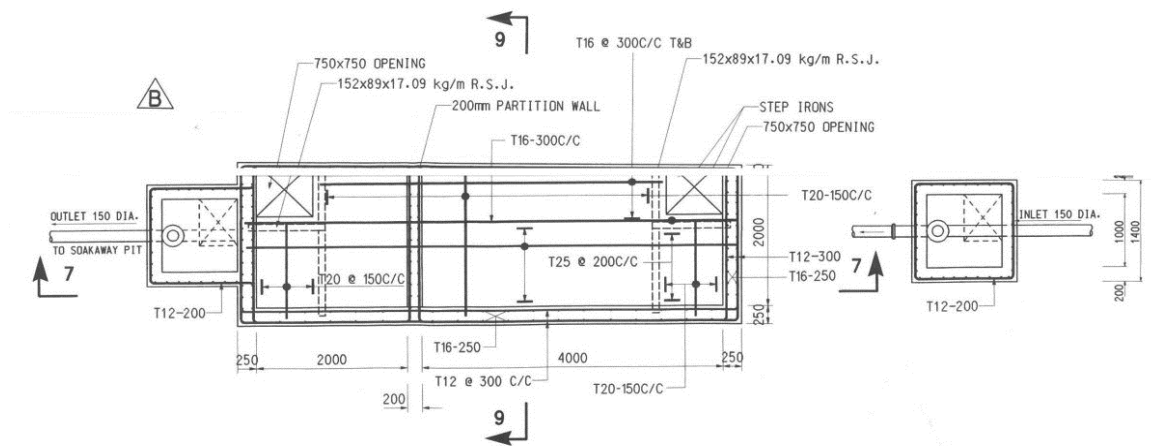
Annex C

Calculations of Sewage Generation

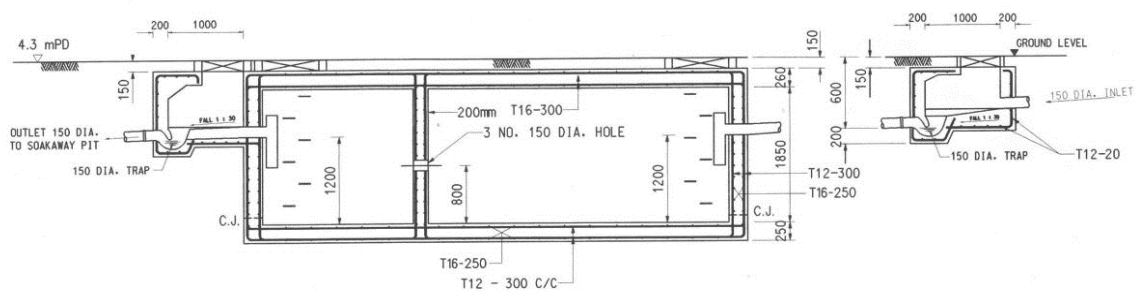
1 <u>Estimation of Sewage Flow from the Proposed Development (Week-end / Holiday Periods)</u>	<u>Notes</u>
a) <u>Generation from guests</u> Max. number of guests per day 150 persons Unit flow 0.015 m³/person/day Estimated daily flow <u>2.3</u> m³/day	Provided by the Operator Refer to the unit flow factor for "Visitor" of Table 3-4 of "Wastewater Engineering Treatment and Reuse (Fourth Edition)" published by Metcalf & Eddy Inc.
b) <u>Generation from employees activities for property management</u> Total number of employees 6 persons Unit flow 0.280 m³/person/day Estimated daily flow <u>1.7</u> m³/day	Provided by the Operator Refer to the planning unit flow factor for "Commercial Employee" + "Commercial Activities: General-territorial average" in Table T-2 of GESF ^(a).
c) <u>Generation from employees activities for eating place</u> Total number of employees 10 persons Unit flow 1.580 m³/person/day Estimated daily flow <u>15.8</u> m³/day Total estimated daily flow <u><u>19.7</u></u> m³/day	Provided by the Operator Refer to the planning unit flow factor for "Commercial Employee" + "Commercial Activities J10 - Restaurants & Hotels" in Table T-2 of GESF ^(a).
2 <u>Estimation of Sewage Flow from the Proposed Development (Normal Week-day Periods)</u>	<u>Notes</u>
a) <u>Generation from guests</u> Max. number of guests per day 50 persons Unit flow 0.015 m³/person/day Estimated daily flow <u>0.8</u> m³/day	Provided by the Operator Refer to the unit flow factor for "Visitor" of Table 3-4 of "Wastewater Engineering Treatment and Reuse (Fourth Edition)" published by Metcalf & Eddy Inc.
b) <u>Generation from employees activities for property management</u> Total number of employees 4 persons Unit flow 0.280 m³/person/day Estimated daily flow <u>1.1</u> m³/day	Provided by the Operator Refer to the planning unit flow factor for "Commercial Employee" + "Commercial Activities: General-territorial average" in Table T-2 of GESF ^(a).
c) <u>Generation from employees activities for eating place</u> Total number of employees 3 persons Unit flow 1.580 m³/person/day Estimated daily flow <u>4.7</u> m³/day Total estimated daily flow <u><u>6.6</u></u> m³/day	Provided by the Operator Refer to the planning unit flow factor for "Commercial Employee" + "Commercial Activities J10 - Restaurants & Hotels" in Table T-2 of GESF ^(a).
<u>Note:</u> (a) GESF - "Guidelines for Estimating Sewage Flows for Sewage Infrastructure Planning" published by Environmental Protection Department (EPD).	

Annex D

Capacity of the Existing Septic Tank



TOP PLAN OF THE EXISTING SEPTIC TANK



SECTION PLAN OF THE EXISTING SEPTIC

Effective Dimension of the Existing Septic Tank:

L	=	6.2 m
t	=	0.2 m
B	=	2 m
D	=	1.2 m

$$\text{Capacity, } C = (L - t) \times B \times D$$

$$\underline{14.4 \text{ m}^3} < 19.7 \text{ m}^3/\text{day}$$

Max. sewage flow from the proposed development

Attachment 2

Geotechnical Planning Review Report

**Section 16 Application for
Proposed “Marina (with Ancillary Guard House and Refuse Collection Point,
Ancillary Storage Facilities and Staff Office, Additional Toilets and
Modification to the Kitchen” at
Royal Hong Kong Yacht Club at Shelter Cove,
Sai Kung, New Territories**

GEOTECHNICAL PLANNING REVIEW REPORT

November 2022

Project No.: J2214/01

HUNG CHI CONSULTANTS LIMITED

No Part of this document may be reproduced or transmitted, in any form or by any means electronic, mechanical, photographic, recording or otherwise, or stored in a retrieval system of any nature without the written permission of SWAL Asia Ltd. Application for which shall be made to Hung Chi Consultants Limited, 2/F., Eton Tower, 8 Hysan Avenue, Causeway Bay, Hong Kong.

CONTENTS

- 1. INTRODUCTION**
- 2. SITE RECONNAISSANCE**
- 3. DESKTOP STUDY AND BACKGROUND INFORMATION SEARCH**
- 4. GEOLOGY OF THE SUBJECT SITE**
- 5. PROPOSED SITE FORMATION WORKS**
- 6. PROPOSED FOUNDATION TYPES**
- 7. CONCLUSION AND RECOMMENDATIONS**
- 8. REFERENCES**

FIGURES

- | | |
|-----------------|---|
| FIGURE 1 | LOCATION PLAN OF THE SUBJECT SITE |
| FIGURE 2 | LOT PLAN OF THE SUBJECT SITE |
| FIGURE 3 | PROPOSED MASTER LAYOUT PLAN |
| FIGURE 4 | OFFICE/STORAGE BUILDING |
| FIGURE 5 | OFFICE/STORAGE BUILDING SECTION |
| FIGURE 6 | GURAD HOUSE PLAN & SECTIONS |
| FIGURE 7 | EXPANED KITCHEN & ADDITIONAL TOILETS |

APPENDICES

- | | |
|-------------------|--|
| APPENDIX A | PHOTOGRAPHIC RECORDS |
| APPENDIX B | RETRIEVED SLOPE AND WALL RECORDS |
| APPENDIX C | RETRIEVED SLOPE MAINTENANCE RESPONSIBILITY REPORTS |
| APPENDIX D | RETRIVED RECORD PLANS FOR FEATURE 8SW-C/C121 BEHIND EXISTING CLUB HOUSE BUILDING |
| APPENDIX E | RETRIVED RECORD PLANS FOR EXISTING RETAINING WALL AND CANOPY IN FRONT OF EXISTING CLUB HOUSE BUILDING |
| APPENDIX F | BD LETTER DATD 29 JUNE 2016 FOR SLOPE REMEDIAL WORKS AT ROYAL HONG KONG YACHT CLUB |
| APPENDIX G | PAST LANDSLIDES RECORD PLAN |
| APPENDIX H | GEOLOGICAL SURVEY MAP OF THE SUBJECT SITE |
| APPENDIX I | RETRIEVED GROUND INVESTIGATION RECORDS |
| APPENDIX J | PROPOSED SITE FORMATION PLAN AND SECTIONS |

1. INTRODUCTION

- 1.1 The application site is located in Lot 341 in D.D. 212 (hereinafter called the “Subject Site”) at Royal Hong Kong Yacht Club at Shelter Cove, Sai Kung, New Territories. The Location Plan and Lot Plan of the Subject Site are shown in **Figure 1** and **Figure 2** respectively.
- 1.2 The Subject Site is currently zoned as zoned “Recreation” and the Yacht Club with its existing use classified as “Marina” under Column 2 under the approved Hebe Haven Outline Zoning Plan (OZP) No. S/SK-HH/8. However, any new development related to Marina use requires permission from the Town Planning Board. As such, any structure which is not an existing structure related to the existing Yacht Club use requires planning approval.
- 1.3 Hung Chi Consultants Limited has been commissioned as the project geotechnical engineer to conduct the Geotechnical Planning Review Report (“**GPRR**”) for the Subject Site under Section 16 of the Town Planning Ordinance.
- 1.4 A set of the proposed Master Layout Plan including the 1-storey Office/Storage Building Plan & Section, 1-storey Guard House Plan & Section and 1-storey Expanded Kitchen & Additional Toilets have shown in **Figure 3 to 7**; and all existing slopes and retaining walls within and adjacent to the Subject Site remain unchanged.
- 1.5 This GPRR is prepared to address the potential geotechnical concerns of the Subject Site and the existing slopes and walls within and adjoining to the Subject Site.

2. SITE RECONNAISSANCE

- 2.1 The Subject Site is bounded by the existing natural slope from the north to the south boundary; and the open sea along the western boundary.
- 2.2 Within the Subject Site, the registered Feature No. 8SW-C/C121 is located behind the existing 1-storey Club House building and the unregistered 2.5m high mass concrete retaining wall in front of the Club House. Feature No. 8SW-C/C243 is located behind proposed 1-storey Building “2”. The unregistered slopes are located behind the proposed 1-storey Building “1” and Building “2”.
- 2.3 The Subject Site is situated with levels ranged from +4.5mPD to +12.75mPD. The 1-storey Club House Building is situated at level of about +12.75mPD and the proposed Buildings “1” and “2” are situated at levels of about +4.5mPD respectively.
- 2.4 From the north-east to south-east of the existing Club House, there is the registered Feature no. 8SW-C/C121 in gradient of 35° and in height of 5m max. At the south, there is the unregistered slope in gradient of 35° and in height of 1.2m max. In front of the Club House, there is the flat platform at +12.7mPD approximately retained by an unregistered masonry wall in height of 2.5m max.
- 2.5 Behind the proposed 1-storey Building “1”, there is the unregistered slope with shotcrete surface in gradient of about 40° and in height of 2.4m max. Behind the slope crest it is about 1m wide with footpath. Beyond the footpath, it is the natural slope with heavy vegetation and mature trees in gradient of about 21°. At the south of the proposed building, there is the existing electric sub-station. At the west, it is the open-space parking and the existing seawall is located about 26m from the proposed building “1”.
- 2.6 Behind the proposed 1-storey Building “2”, there is a portion of the registered Feature no. 8SW-C/C243 in gradient of 23° and in height of 3.2m max.; and a portion of the unregistered slope with shotcrete surface in gradient of 40° and in height of 4.3m max. Behind the slope crest it is the natural slope with heavy vegetation and mature trees in gradient of about 21°. At the north of the proposed building, there is the existing electric sub-station. At the west, it is the open-space parking and the existing seawall is located about 25.5m from the proposed building “2”.
- 2.7 Beyond the site entrance, there is the unregistered retaining wall with the vegetated slope. The height of retaining wall is varying from about 4.4m to 0.5m and the slope height is varying from about 2.5m to 3m. Behind the proposed Guard House, about 0.9m high retaining wall with about 34° slope in height of about 2.7m is situated.

- 2.8 No sign of seepage or distress has been identified during the site inspections.
- 2.9 Photos of the existing slopes and retaining walls adjacent to the proposed structures are shown in **Appendix A**.
- 2.9.1 Plate Nos. 1 to 2 shown existing Feature No. 8SW-C/R46.
- 2.9.2 Plate Nos. 3 to 4 shown existing unregistered retaining wall with vegetated slope at the Site Entrance and the proposed Guard House.
- 2.9.3 Plate Nos. 5 to 6 shown existing Feature No. 8SW-C/R121 behind the Club House Building.
- 2.9.4 Plate Nos. 7 and 8 shown existing unregistered mass concrete wall in front of the Club House Building.
- 2.9.5 Plate Nos 8 and 10 shown the location of proposed Kitchen Extension
- 2.9.6 Plate Nos. 11 and 12 shown the location of proposed Additional Toilet
- 2.9.7 Plates Nos. 13 and 14 shown existing unregistered slope behind proposed Building "1".
- 2.9.8 Plates Nos. 15 to 20 shown Feature No. 8SW-C/C243 and unregistered slope behind the proposed refuse room and Building "2".

3. DESKTOP STUDY AND BACKGROUND INFORMATION SEARCH

- 3.1 In accordance with the information from the Geotechnical Information Infrastructure (GINFO) maintained by the Geotechnical Engineering Office (GEO) of Civil Engineering & Development Department (CEDD) and Slope Maintenance Responsibility Information System maintained by Lands Department (SMRIS), the registered Slope Features 8SW-C/C121 and 8SW-C/C243 is within the Subject Site; and the Wall Feature 8SW-C/R46 adjacent to the entrance of Subject Site is located.
- 3.2 The retrieved slope and wall records and slope maintenance responsibility report from both departments are annexed in **Appendices B and C**, respectively. It was noted that maintenance party for Feature 8SW-C/R46 Sub-division No. (SD) 2 is the owner of Lot 314 in DD212.
- 3.3 Having reviewed the past records, the site formation for Feature No. 8SW-C/C121 where is behind the existing club house building was approved in June 2000 by the Buildings Department and the site formation works were completed in November 2000. The retrieved BD approval letter and the record plans are annexed in **Appendix D**.
- 3.4 The existing canopy and the retaining wall in front of the existing club house building were approved under A&A Works in June 2000 by the Buildings Department and the A&A works were completed in May 2003. The retrieved BD approval letter and the record plans of the A&A Works are annexed in **Appendix E**.
- 3.5 Based on the records provided by the Client, it was recorded that the DH Orders under BD file DH/0053/10/NT for Feature 8SW-C/R46 had been served and the remedial works such as installation of 3 rows soil nails with the skin wall had been completed in 2018. Then, the BD discharged the Order in 2018. The BD letter dated 29 June 2016 for approval of proposed slope remedial works for 8SW-C/R47, C117, CR118, R46(SD 1&2) is annexed in **Appendix F**.
- 3.6 Having searched the past landslide records from the Slope Information System, it is no landslide incident occurred in the existing slopes behind the Subject Site. The retrieved record from the SIS is shown in **Appendix G**.

4. GEOLOGY OF THE SUBJECT SITE

- 4.1 According to Sheet No. 8 (Sai Kung) of 1:20000 scale HGM 20 series Hong Kong Geological Survey Map, the solid geology of the Subject Site is underlain by dominantly undivided fine ash vitric tuff of Tai Mo Shan Formation. Part print of the map is enclosed in **Appendix H**.
- 4.2 Having reviewed the previous ground investigation records from GINFO and the available information from the Client, 2 nos. borehole records for Feature 8SW-C/C121 were retrieved and presented in **Appendix I**.
- 4.3 Based on the available GI records, it is inferred that the Subject Site consists of Fill and the Completely Decomposed Tuff.

5. PROPOSED SITE FORMATION

- 5.1 According to the Master Layout Plan of the proposed development, new development items include a 1-storey Office and Store Building “1”, a 1-storey Store Room Building “2”, a 1-storey Guard House, additional 1-storey toilet, and a 1-storey Kitchen Extension.
- 5.2 Based on the record plans for the existing slope (Feature No. 8SW-C/C121) behind the existing club house building and the existing mass concrete retaining wall in front of the club house, the stability of existing slope and mass concrete retaining wall should be satisfied the safety standards listed out in Geotechnical Manual for Slopes and Geoguide 1 (i.e. (a) Factor of Safety (FOS) for the Slope Stability to be greater than 1.4 and (b) FOS for Retaining Wall against Overturning and Sliding to be greater than 2.0 and 1.5). Significant site formation works will not be required for the additional 1-storey toilet and the 1-storey Kitchen Extension adjacent to the club house building provided that the foundation load of the proposed Toilet and Kitchen Extension should not affect and be affected by the existing slopes and retaining walls.
- 5.3 Behind the proposed 1-storey Office and Store Building “1”, there is the unregistered 40° slope with the shotcrete surface in height of about 2.4m and the natural slope with heavy vegetation and mature trees beyond the crest of man-made slope. Having considered the Building “1” will have the office with the occupants, it categorized as Consequence-to-Life of 1. As a result, the Factors of Safety (FOS) for Existing Slopes is adopted of 1.2 for a Ten-year Return Period Rainfall according to WBTC No. 13/99 Geotechnical Manual for Slopes Guidance on Interpretation and Updating.
- 5.4 Behind the proposed refuse collection point and 1-storey Office and Store Building “2”, there are Feature No. 8SW-C/C243 in gradient of 23° and in height of 3.2m max. and unregistered 40° slope with the shotcrete surface in height of 4.3m max. The natural slope with heavy vegetation and mature trees is beyond the crest of man-made slopes. Having considered the Building “2” will be storage compound only, it categorized as Consequence-to-Life of 3. As a result, the Factors of Safety for Existing Slopes is adopted of greater than 1.0 for a Ten-year Return Period Rainfall.
- 5.5 Behind the proposed Guard House, there are the unregistered 34° slope in height of about 2.7m and 0.9m high wall at slope toe. Having considered the Guard House will have the occupants, it categorized as Consequence-to-Life of 1. As a result, the Factors of Safety (FOS) for Existing Slopes is adopted of 1.2 for a Ten-year Return Period Rainfall.
- 5.6 If it cannot achieve the required FOS, the proposed strengthening works for the existing slope would be considered one of the following options: (i) trimming down the slope gradient, (ii) construction of soil nails, or any other viable options, subject to the later design stage.

- 5.7 The stability of all existing slopes, retaining walls and geotechnical features adjacent to the proposed development items should be assessed in the later design stage; and their stabilities should be complying with the latest design safety standards.
- 5.8 The proposed site formation and strengthening works, if any, for all slopes and retaining walls should be submitted to the Building Authority for approval. The proposed works should not affect or be affected by the stability of the existing structures or features and proposed building structures.
- 5.9 Having considered all proposed building structures will be rested on the existing ground level, significant site formation works would not be required. Effects on the adjacent structures and slopes due to the foundation load from the proposed structures or vice versa should be assessed in the later design stage; and then it should not affect or be affected by the stability of existing retaining wall structures and slopes adjacent to the proposed buildings.
- 5.10 All of the proposed site formation and foundation works would not affect or be affected by the adjacent existing slopes, retaining walls or structures.
- 5.11 The proposed site formation plan and sections for the proposed development (i.e. Drawing No. SF01, SF02 and SF03) are presented in **Appendix J**.
- 5.12 Apart from the proposed site formation, the design of excavation and lateral support works for foundation works of the proposed development will be submitted to the Building Authority for approval at the later design stage.

6. PROPOSED FOUNDATION TYPES

- 6.1 In consideration of these light-load structures (i.e. the new toilet and 1-storey building), pad/raft footings are the preferable foundation type, which are subject to detailed ground investigation works and detailed foundation assessment.
- 6.2 Having considered the proposed pad/raft footings to be found on the shallow soil stratum, the foundation loads of the proposed structures should not affect or be affected by the stability of the existing retaining wall and footing structures.
- 6.3 The foundation of proposed 1-storey structures should not affect or be affected by the adjacent slopes, retaining walls or structures.

7. CONCLUSION AND RECOMMENDATIONS

- 7.1 No major geotechnical problems are identified during walkover site inspections.
- 7.2 Based on the Master Layout Plan, significant site formation works would not be required when the existing buildings and the existing retaining walls with the retained platforms and slope within and adjoining the Subject Site are to remain the same as their existing conditions.
- 7.3 The proposed site formation and foundation including excavation work of proposed structures should not affect or be affected by the adjacent existing slopes, retaining walls or structures or vice versa.
- 7.4 To implement this development, relevant site formation, drainage and other matters will be submitted to Buildings Department for approval. It is suggested that at that time a more detailed investigation of geological profile, the groundwater table, geotechnical engineering properties and the engineering details of existing retaining walls and slopes could be considered.
- 7.5 The proposal on the site formation plan at **Appendix I** could be taken into consideration. If necessary, strengthening works for the existing slopes and retaining walls should be included in the proposed site formation, which will be submitted to the Building Authority for approval at that stage.
- 7.6 Based on the above considerations and preliminary geotechnical assessment, the proposed development for the Subject Site is considered to be geotechnically feasible.

8. REFERENCES

- 8.1 Geotechnical Control Office (1986). Hong Kong Geological Survey Sheet 8 – Sai Kung. Scale 1:20,000. First Edition.
- 8.2 Geotechnical Engineering Office (1993). Geoguide 1: Guide to Retaining Wall Design, Second Edition.
- 8.3 Geotechnical Engineering Office (1994). Geotechnical Manual for Slopes, Second edition.
- 8.4 Works Bureau (April 1999). WBTC. 13/99 Geotechnical Manual for Slopes – Guidance on Interpretation and Updating.

FIGURES



Figure 1 Location Plan of Subject Site

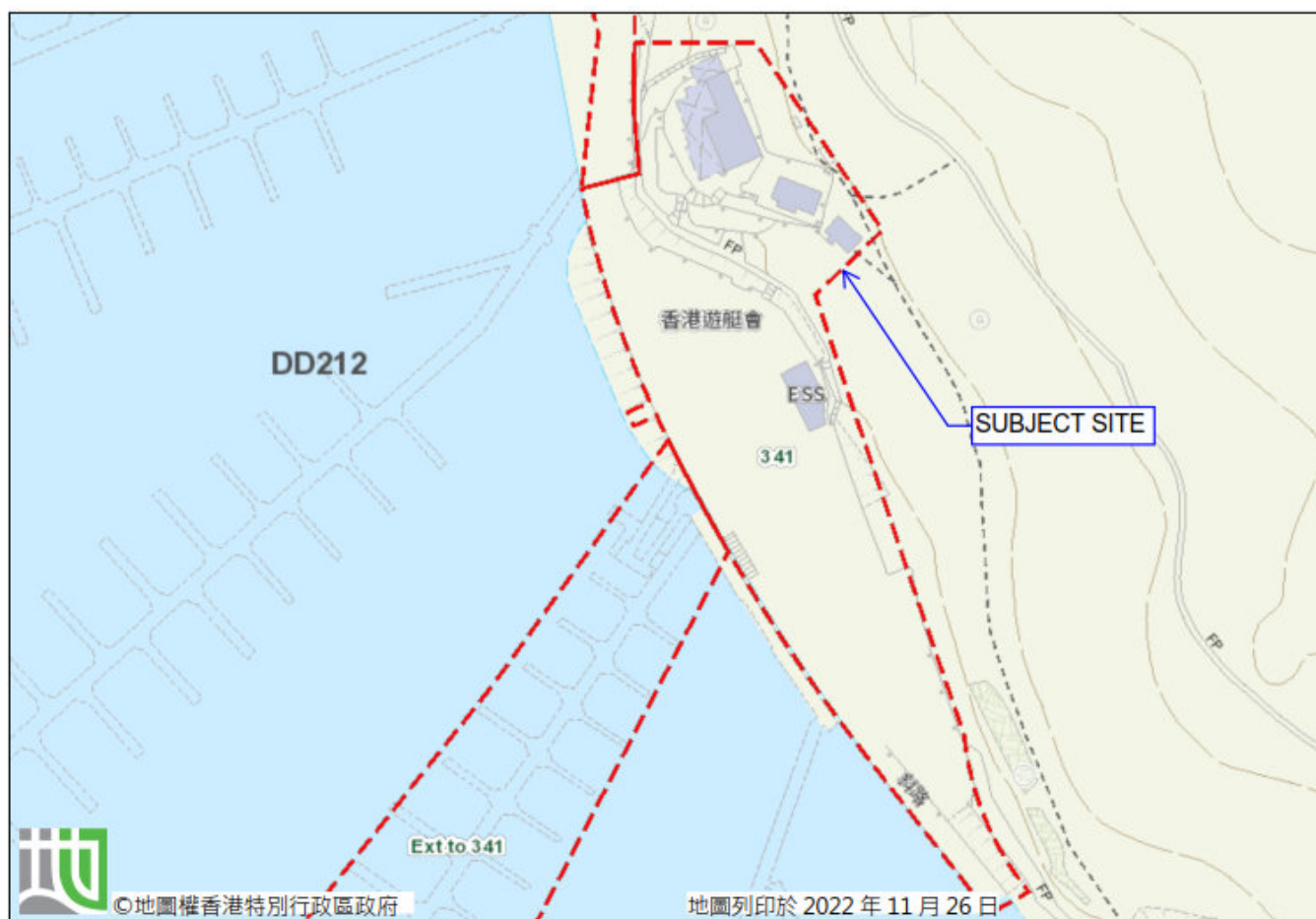


Figure 2 Lot Plan of Subject Site



NOTES:

DO NOT SCALE DRAWINGS.

ALL DIMENSIONS MUST BE VERIFIED AT THE WORK BY THE CONTRACTOR.

ALL PRINTS, SPECIFICATIONS AND THEIR COPYRIGHT ARE THE PROPERTY OF THE ARCHITECTS AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.

REVISION		
NO	DATE	DESCRIPTION

ARCHITECT

STUDIO | RCH

18/F | Xiu Hua Commercial Building
211-213 Jaffe Road | Wan Chai | HK
Tel: 3583-2000 | Fax: 8143-1130
Email: mail@studiorca.com

STUDIO | RAYMOND CHAU |
ARCHITECTURE | LIMITED

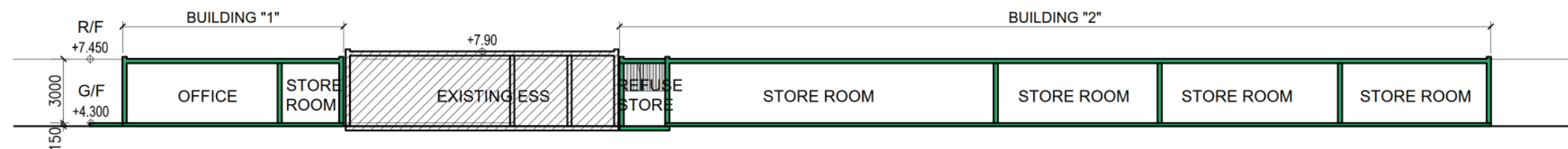
PROJECT NAME

SHELTER COVE
ROYAL HONG KONG YACHT CLUB
D.D. 212, LOT 341, SAI KUNG,
NEW TERRITORIES,
HONG KONG

DRAWING TITLE

Figure 4
OFFICE / STORAGE
BUILDING

DRAWN BY	JK	CHECKED BY	RC
SCALE	1:200	DATE	2022.08.04
JOB No.	2161	DRAWING No.	A-02



1 SECTION "A-A"
--
SCALE 1:250

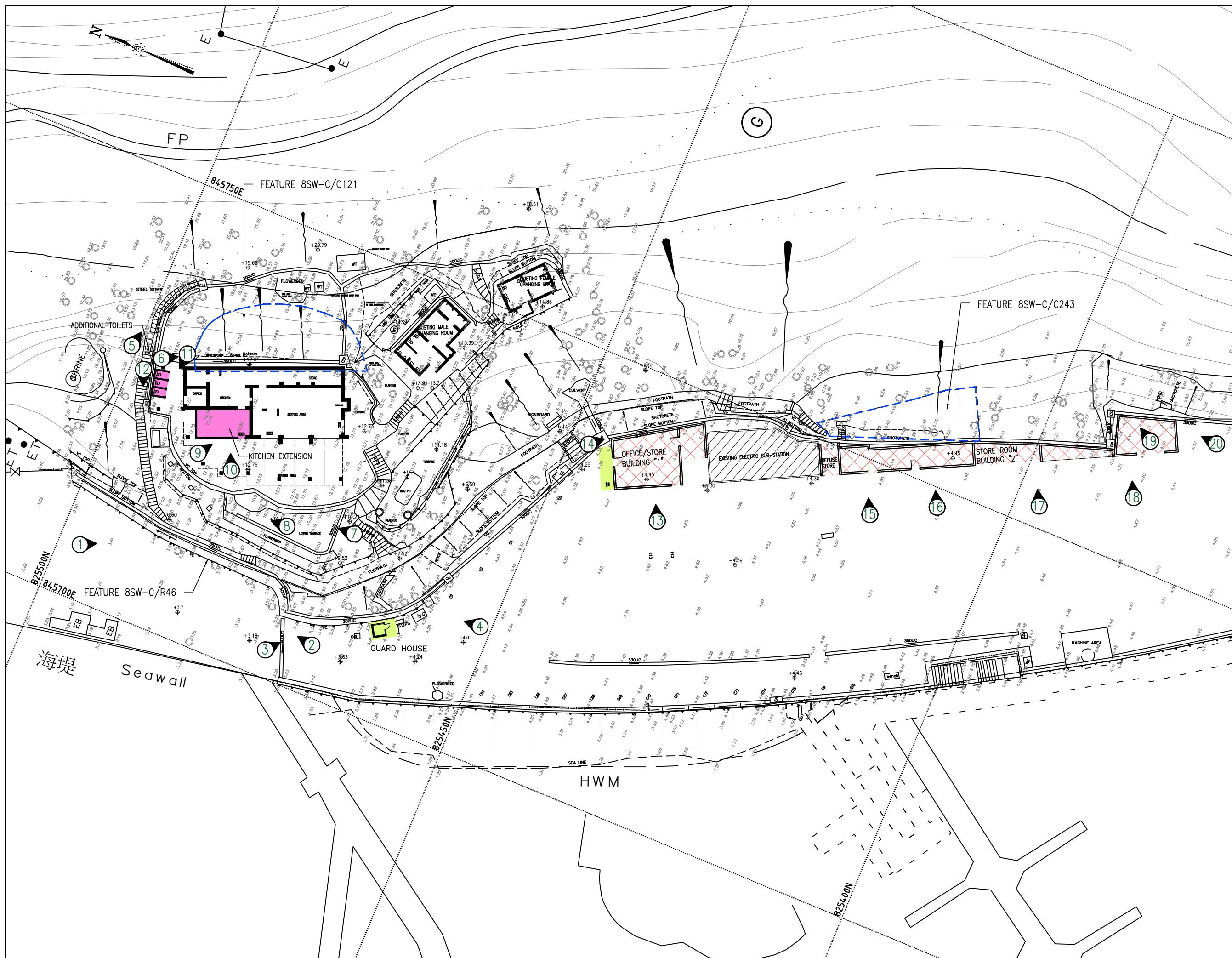
NOTES: DO NOT SCALE DRAWINGS. ALL DIMENSIONS MUST BE VERIFIED AT THE WORK BY THE CONTRACTOR. ALL PRINTS, SPECIFICATIONS AND THEIR COPYRIGHT ARE THE PROPERTY OF THE ARCHITECTS AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.		
REVISION		
NO	DATE	DESCRIPTION
ARCHITECT		
STUDIO RCA 18/F Xiu Hua Commercial Building 211-213 Jaffe Road Wan Chai HK Tel: 3583-2000 Fax: 8143-1130 Email: mail@studiorca.com		
STUDIO RAYMOND CHAU ARCHITECTURE LIMITED		
PROJECT NAME		
SHELTER COVE ROYAL HONG KONG YACHT CLUB D.D. 212, LOT 341, SAI KUNG, NEW TERRITORIES, HONG KONG		
DRAWING TITLE		
Figure 5 OFFICE & STORE ROOM SECTION		
DRAWN BY	JK	CHECKED BY RC
SCALE	1:250	DATE 2022.08.04
JOB No.	2161	DRAWING No. A-03



DRAWN BY JK	CHECKED BY RC
SCALE 1:500	DATE 2022.08.04
JOB No. 2161	DRAWING No. A-04

APPENDIX A

PHOTOGRAPHIC RECORDS



NOTES:
DO NOT SCALE DRAWINGS.
ALL DIMENSIONS MUST BE VERIFIED AT THE WORK BY THE CONTRACTOR.
ALL PRINTS, SPECIFICATIONS AND THEIR COPYRIGHT ARE THE PROPERTY OF THE ARCHITECTS AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.

LEGEND

--- LOT BOUNDARY

① PHOTOGRAPHIC RECORD NUMBER

REVISION		
NO	DATE	DESCRIPTION

ARCHITECT
STUDIO | RCM
18/F | Xiu Hua Commercial Building
211-213 Jaffe Road | Wan Chai | HK
Tel: 3583-2000 | Fax: 8143-1130
Email: mail@studiorm.com

STUDIO | RAYMOND CHAU |
ARCHITECTURE | LIMITED

PROJECT NAME
SHELTER COVE
ROYAL HONG KONG YACHT CLUB
D.D. 212, LOT 341, SAI KUNG,
NEW TERRITORIES,
HONG KONG

DRAWING TITLE
PHOTOS INDEX PLAN

DRAWN BY PT	CHECKED BY PH
SCALE 1:100	DATE NOV 2022
JOB No. 2161	DRAWING No. P01



Plate No. 1



Plate No. 2



Plate No. 3



Plate No. 4



Plate No. 5



Plate No. 6



Plate No. 7



Plate No. 8



Plate No. 9



Plate No. 10



Plate No. 11



Plate No. 12



Plate No. 13



Plate No. 14



Plate No. 15



Plate No. 16



Plate No. 17



Plate No. 18



Plate No. 19



Plate No. 20

APPENDIX B

RETRIEVED SLOPE AND WALL RECORDS FROM GINFO

BASIC INFORMATION

Location: Royal Hong Kong Yacht Club Shelter Cove at Pak Sha Wan, Sai Kung, DD 212, Lot 341

Registration Date: 17-02-1998

Ranking Score (NPRS): 0 (LPMit)

Date of Formation: pre-1977

Date of Construction/

Modification:

Data Source: EI

Approximate Coordinates: Easting : 845737 Northing : 825485

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Undeveloped green belt

Distance of Facility from Crest (m): 0.4

Facility at Toe: Other densely populated buildings

Distance of Facility from Toe (m): 0.4

Consequence-to-life Category: 1

Remarks: N/A

SLOPE PART

(1) Max. Height (m): 5 Length (m): 20 Average Angle (deg): 35

WALL PART

N/A



MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Private Feature Party: DD212 LOT341 Agent: N/A Land Cat.: 1 Reason Code: 1 MR Endorsement Date: 27-01-2006

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 20-11-2000
Data Source: EI
Slope Part Drainage: N/A

Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)
Surface Protection (%): Bare: 0 Vegetated: 100 Chunam: 0 Shotcrete: 0 Other Cover: 0
Material Description: Material type: Soil Geology: Decomposed volcanic
Berm: No. of Berms: N/A Min. Berm Width (m): N/A
Weepholes: Size (mm): N/A Spacing (m): N/A



WALL PART

N/A

SERVICES

N/A

CHECKING STATUS INFORMATION

Tagmark: SCS_171 Part: 0 Checking Status: Feature modified/upgraded to current standard Checking Certificate No.:

BACKGROUND INFORMATION

GIU Cell Ref.: 8SW16C6
 Map Sheet Reference (1:1000): 8SW-16C
 Aerial Photos: 14376/7 (1976),

Nearest Rainguage Station (Station Number): Pak Kong Tsui Hang Special Area Management Centre(N50)

Data Collected On: 20-11-2000
 Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1976 After: 1976

Related Reports/Files or Documents:

File/Report: DLC/BC	Ref. No.: GCMd 4/1C/2-4 IV/6 f(2, 3, 4) /1-3
File/Report: DLC/BC	Ref. No.: GCMd 4/1C/2-4 IV/6 f(2, 3, 4) /1-3
File/Report: LA	Ref. No.: GCMd 5/3/8 pt. 14/15 f(11, 24/34, 37)
File/Report: LA	Ref. No.: GCMd 5/3/8 pt. 14/15 f(11, 24/34, 37)
File/Report: LA	Ref. No.: GCMd 5/3/8 pt. 26 f(11, 21, 31, 60, 113, 116)
File/Report: LA	Ref. No.: GCMd 5/3/8 pt. 26 f(11, 21, 31, 60, 113, 116)
File/Report: LA	Ref. No.: GCMd5/3/8 pt.7/8 f(47,48,52,64,65,72,77,94/14,17)
File/Report: LA	Ref. No.: GCMd5/3/8 pt.7/8 f(47,48,52,64,65,72,77,94/14,17)

Remarks: N/A

Follow Up Actions: N/A



DH-Order (To Be Confirmed
with Buildings Department): None

Advisory Letter (To Be Confirmed
with Buildings Department): None

LPMIS: None

ENHANCED MAINTENANCE INFORMATION

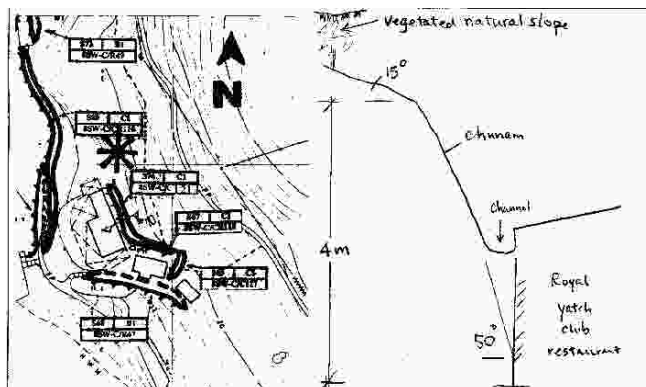
From Maintenance Department: (Last Updated Date: 26/09/2022)

STAGE 1 STUDY REPORT

Inspected On: 18-02-1997

Weather: Some Rain

District: ME



Section No: 1-1

Height(m): H1 : 4 , H2 : 0

Type of Toe Facility: Other densely populated buildings

Distance from Toe(m): 0.4

Type of Crest Facility: Undeveloped green belt

Distance from Crest(m): 0.4

Consequence Category: 1

Engineering Judgement: P

Section No: 2-2

Type of Toe Facility: N/A

Distance from Toe(m): 0

Type of Crest Facility: N/A

Distance from Crest(m): 0

Consequence Category: 1

Engineering Judgement: P

Sign of Seepage:	Slope : No signs of seepage Wall : N/A
Criterion A satisfied:	N
Sign of Distress:	Slope : N/A Wall : N/A
Criterion D satisfied:	N
Non-routine maintenance required:	N
Note:	N/A
Masonry wall/Masonry facing:	N
Note:	N/A
Consequence category (for critical section):	1
Observations:	N/A
Emergency Action Required:	N
Action By:	N/A

ACTION TO INITIATE PREVENTIVE WORKS

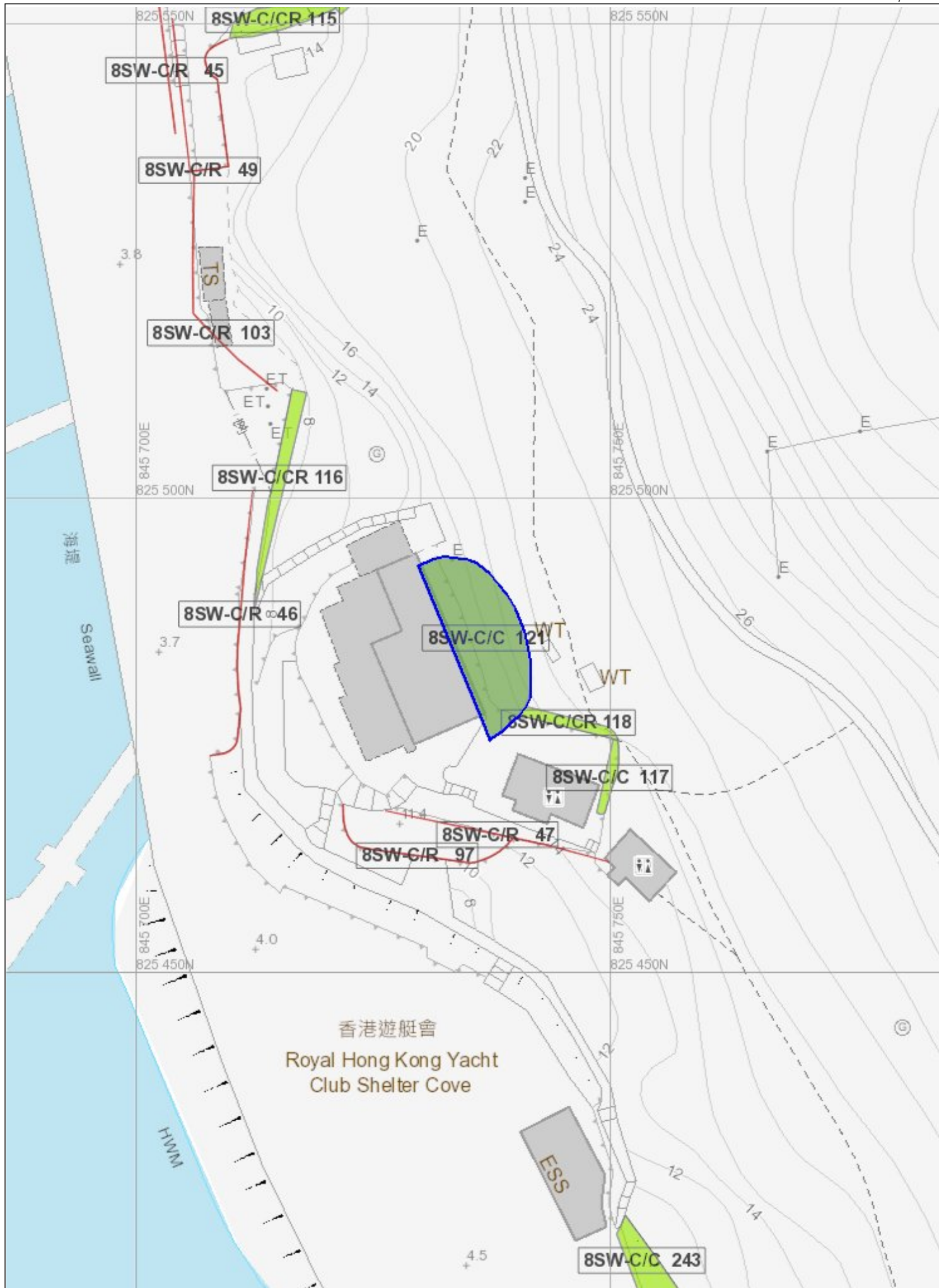
Criterion A/Criterion D:	N/A
Action By:	N/A
Further Study:	Y
Action By:	Mixed

OTHER EXTERNAL ACTION

Check / repair Services:	N
Action By:	N/A
Non-routine Maintenance:	N
Action By:	N/A

PHOTO





BASIC INFORMATION

Location: Beside Royal Hong Kong Yauht Club's carpark, Tsiu Hang, Sai Kung

Registration Date: 28-02-2003

Ranking Score (NPRS): 0 (Notional)

Date of Formation: post-1977

Date of Construction/
Modification:

Data Source: Agreement CE 59/2002 (GE)

Approximate Coordinates: Easting : 845756 Northing : 825414

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Undeveloped green belt

Distance of Facility from Crest (m): 0

Facility at Toe: Open car park

Distance of Facility from Toe (m): 0

Consequence-to-life Category: 2

Remarks: N/A

SLOPE PART

(1) Max. Height (m): 3.2 Length (m): 20 Average Angle (deg): 40

WALL PART

N/A



MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Private Feature Party: DD212 LOT341 Agent: N/A Land Cat.: 1 Reason Code: 1 MR Endorsement Date: 13-11-2003

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 23-01-2003
Data Source: Agreement CE 59/2002 (GE)
Slope Part Drainage: N/A

Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)

Surface Protection (%): Bare: 0 Vegetated: 100 Chunam: 0 Shotcrete: 0 Other Cover: 0

Material Description: Material type: Soil Geology: Decomposed volcanic

Berm: No. of Berms: N/A Min. Berm Width (m): N/A

Weepholes: Size (mm): N/A Spacing (m): N/A



WALL PART

N/A

SERVICES

N/A

CHECKING STATUS INFORMATION

N/A

BACKGROUND INFORMATION

GIU Cell Ref.: 8SW16D-4
 Map Sheet Reference (1:1000): 8SW-16D
 Aerial Photos: CN11001 (1995), CN11001 (1995)

Nearest Rainguage Station
 (Station Number): Pak Kong Tsui Hang Special Area Management Centre(N50)

Data Collected On: 23-01-2003
 Date of Construction, Subsequent
 Modification and Demolition: Modification: Constructed Before: 1995 After: 1994

Related Reports/Files or Documents:

File/Report: CLC	Ref. No.: 5/3/8/pt.26 f(18.21.31.60.113.115)
File/Report: CLC	Ref. No.: 5/3/8/pt.26 f(18.21.31.60.113.115)
File/Report: DLC/BC	Ref. No.: 4/1C/2-4/pt.3/6 f(2.3.4/1.2.3)
File/Report: DLC/BC	Ref. No.: 4/1C/2-4/pt.3/6 f(2.3.4/1.2.3)
File/Report: DLC/BC	Ref. No.: 4/1C/2-4/pt.7/9/10 f(4.78/18.19/11.12.13.15.16.17)
File/Report: DLC/BC	Ref. No.: 4/1C/2-4/pt.7/9/10 f(4.78/18.19/11.12.13.15.16.17)
File/Report: Development	Ref. No.: GCME 9014/96
File/Report: Development	Ref. No.: GCME 9014/96
File/Report: LA	Ref. No.: /5/3/8/pt. f(11.24/34.37)
File/Report: LA	Ref. No.: /5/3/8/pt. f(11.24/34.37)
File/Report: LA	Ref. No.: 5/3/8/pt.7/8 f(47.48.52.64.65.72.77.94/1457)
File/Report: LA	Ref. No.: 5/3/8/pt.7/8 f(47.48.52.64.65.72.77.94/1457)

Remarks: N/A

Follow Up Actions: N/A



DH-Order (To Be Confirmed
with Buildings Department): None

Advisory Letter (To Be Confirmed
with Buildings Department): None

LPMIS: None

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 26/09/2022)

STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: ME

Section No: 1-1

Height(m):

Type of Toe Facility: Open car park

Distance from Toe(m): 0

Type of Crest Facility: Undeveloped green belt

Distance from Crest(m): 0

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A

Action By: N/A

Further Study:

Action By: N/A

OTHER EXTERNAL ACTION

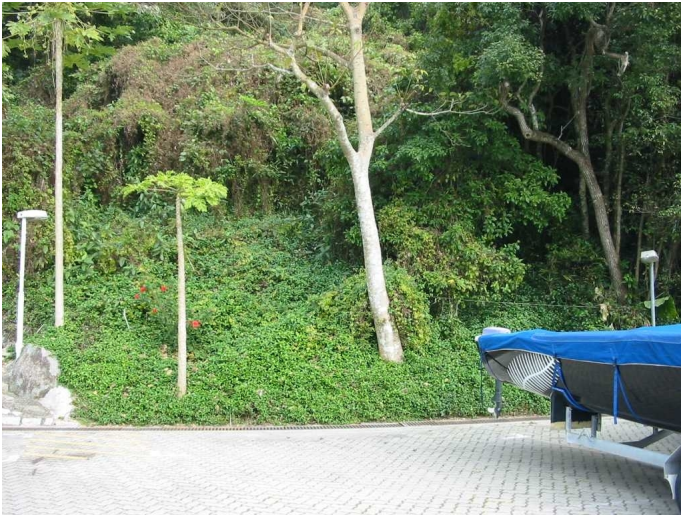
Check / repair Services:

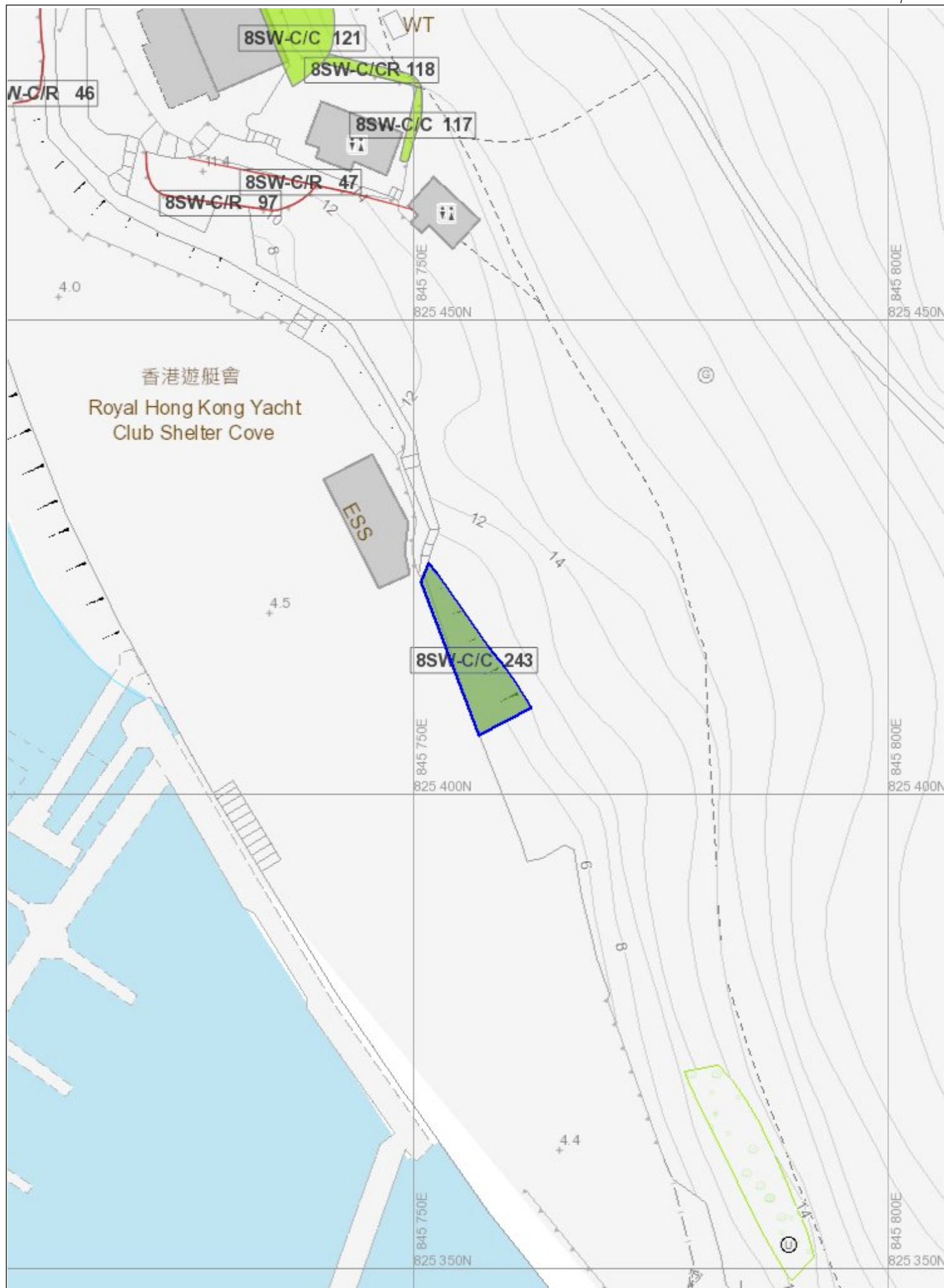
Action By: N/A

Non-routine Maintenance:

Action By: N/A

PHOTO





BASIC INFORMATION

Location: Royal Hong Kong Yacht Club, Pak Sha Wan, Sai Kung

Registration Date: 17-02-1998

Ranking Score (NPRS): 0 (LPMit)

Date of Formation: pre-1977

Date of Construction/
Modification:

Data Source: LPM

Approximate Coordinates: Easting : 845711 Northing : 825486

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Road/footpath with low traffic density

Distance of Facility from Crest (m): 0

Facility at Toe: Open car park

Distance of Facility from Toe (m): 0

Consequence-to-life Category: 2

Remarks: N/A

SLOPE PART

N/A

WALL PART

(1) Max. Height (m): 4.2 Length (m): 29 Face Angle (deg): 85



MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1 Private Feature Party: DD212 LOT 332 Agent: N/A Land Cat.: 1 Reason Code: 1 MR Endorsement Date: 14-08-2017
(2) Sub Div.: 2 Private Feature Party: DD212 LOT 341 &EXT Agent: N/A Land Cat.: 1 Reason Code: 1 MR Endorsement Date: 14-08-2017

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 28-12-2011
Data Source: LPM
Slope Part Drainage: N/A

Wall Part Drainage: N/A

SLOPE PART

N/A



WALL PART

Wall Part (1)

Type of Wall: Wall Material: Masonry Wall Location: Retaining wall with level platform

Berm: No. of Berms: N/A Min. Berm Width (m): N/A

Weepholes: Size (mm): 45 Spacing (m): 1.6

SERVICES

N/A

CHECKING STATUS INFORMATION

N/A

BACKGROUND INFORMATION

GIU Cell Ref.: 8SW16C6
 Map Sheet Reference (1:1000): 8SW-16C
 Aerial Photos: A08849 (1987), A08850 (1987)

Nearest Rainguage Station (Station Number): Pak Kong Tsui Hang Special Area Management Centre(N50)

Data Collected On: 28-12-2011
 Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1977 After: 1963

Related Reports/Files or Documents:

File/Report: DB or DH	Ref. No.: DH 831/94/NT
File/Report: DB or DH	Ref. No.: DH 831/94/NT
File/Report: DLC/BC	Ref. No.: GCMd 4/1C/2-4 III/6 f (2,3,4/1-3)
File/Report: DLC/BC	Ref. No.: GCMd 4/1C/2-4 III/6 f (2,3,4/1-3)
File/Report: Development	Ref. No.: GCMd 3/5/9014/96
File/Report: Development	Ref. No.: GCMd 3/5/9014/96
File/Report: LA	Ref. No.: GCMd 5/3/8 pt.14/15 f(11,24,34,37)
File/Report: LA	Ref. No.: GCMd 5/3/8 pt.14/15 f(11,24,34,37)
File/Report: LA	Ref. No.: GCMd 5/3/8 pt.7/8 f(47,48,52,64,65,72,77,94,14,17)
File/Report: LA	Ref. No.: GCMd 5/3/8 pt.7/8 f(47,48,52,64,65,72,77,94,14,17)
File/Report: LA	Ref. No.: GCMd5/8/18 pt.26 f(18,21,31,60,113,115)
File/Report: LA	Ref. No.: GCMd5/8/18 pt.26 f(18,21,31,60,113,115)

Remarks: DH file cannot be located.

Follow Up Actions: N/A

DH-Order (To Be Confirmed
with Buildings Department):

Date of Recommendation to BD:	05/02/2013	File Reference:	DH/0048/13/NT
Date Served by BD:	28/02/2014	Notice No.:	DH0027/NT/14/C
Date of Recommendation to BD:	05/02/2013	File Reference:	DH/0053/10/NT(A)
Date Served by BD:	28/02/2014	Notice No.:	DH0009/NT/14/C
Date of Recommendation to BD:	05/02/2013	File Reference:	DH/0053/10/NT(D)
Date Served by BD:	28/02/2014	Notice No.:	DH0010/NT/14/C
Date of Recommendation to BD:	05/02/2013	File Reference:	DH/0053/10/NT(C)
Date Served by BD:	28/02/2014	Notice No.:	DH0011/NT/14/C
Date of Recommendation to BD:	05/02/2013	File Reference:	DH/0053/10/NT(B)
Date Served by BD:	28/02/2014	Notice No.:	DH0012/NT/14/C

Advisory Letter (To Be Confirmed
with Buildings Department):

None

LPMIS: Agreement No.: CE59/2009 Report No.: S2R79/2010

ENHANCED MAINTENANCE INFORMATION

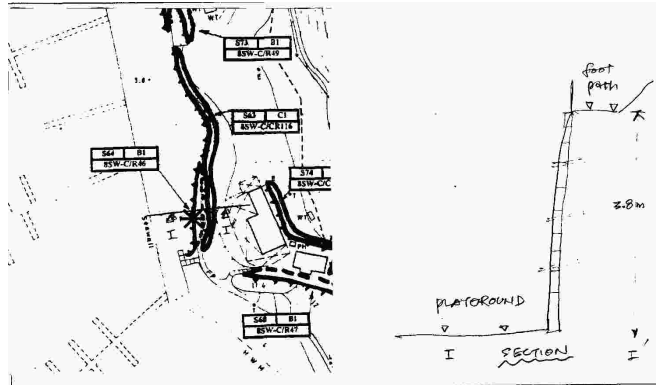
From Maintenance Department: (Last Updated Date: 26/09/2022)

STAGE 1 STUDY REPORT

Inspected On: 05-05-1998

Weather: Mainly Fine

District: N/A



Section No: 1-1

Height(m): H1 : 4 , H2 : 4

Type of Toe Facility: Open car park

Distance from Toe(m): 0

Type of Crest Facility: Road/footpath with low traffic density

Distance from Crest(m): 0

Consequence Category: 2

Engineering Judgement: P

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category: 2

Engineering Judgement: P

Sign of Seepage:	Slope : N/A Wall : No sign of seepage
Criterion A satisfied:	N
Sign of Distress:	Slope : N/A Wall : N/A
Criterion D satisfied:	N
Non-routine maintenance required:	N
Note:	N/A
Masonry wall/Masonry facing:	Y
Note:	N/A
Consequence category (for critical section):	2
Observations:	N/A
Emergency Action Required:	N
Action By:	N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D:	N/A
Action By:	N/A
Further Study:	Y
Action By:	Mixed

OTHER EXTERNAL ACTION

Check / repair Services:	N
Action By:	N/A
Non-routine Maintenance:	N
Action By:	N/A

eLPMIS

LPM/LPMit Details Report

LPM Study Feature No.: 8SW-C/R 46

Location: ADJACENT TO FLOATING JETTLES, PAK SHA WAN (EAST SIDE) SAI KUNG.

District Council: Sai Kung

Maintenance Responsibility (At the Time of Selection): Private

Responsible Party for Maintenance of Government Portion: N/A

Private Lot No.: DD212 LOT 332, DD212 LOT 341 & EXT

LPM/LPMit Study

Agreement No.: CE59/2009

Study Type: Stage 2 Study

Consultant: Halcrow China Ltd.

GEO Managing Section / Engineer: SS / SS4

Study Status: Study completed

Design Approach: N/A

Option Assessment Accepted: N/A

Study Report No.: S2R79/2010

Programme / Actual Commencement: 28-09-2011

Programme / Actual Completion: 27-10-2012

Report Recommendation (For Stage 2 Study): DH Order

District Check Status: Exempted from checking

Checking Certificate No.: N/A

GEO Engineer's Remarks: N/A

LPM/LPMit Works

Works Contract No.: N/A

GEO Managing Section / Engineer: N/A / N/A

Contractor: N/A

Progress Status: N/A

Reason of Study Termination / Works Deletion (If Necessary): N/A

Forecast Commencement Date: N/A

Forecast Completion Date: N/A

Completion Cert. Issued: N/A

Site Handed Over to Maintenance Department on: N/A

Estimated Cost for Upgrading (HK\$M): N/A

Maintenance Manual No.: N/A

Actual Works: N/A

No. of Tree Felled: N/A

No. of Tree Planted (Incl. Transplant): N/A

% Bare of Slope Surfacing: N/A

% Vegetated of Slope Surfacing: N/A

% Shotcrete of Slope Surfacing: N/A

Other Hard Surface of Slope Surfacing: N/A

PHOTO





APPENDIX C

RETRIEVED SLOPE MAINTENANCE RESPONSIBILITY REPORTS FROM LANDS DEPARTMENT

Slope Maintenance Responsibility Report

(8SW-C/C121)



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

List of Slope Maintenance Responsibility Area(s)

1	8SW-C/C121		Sub-Division	Not Applicable
	Location	WITHIN DD212 LOT341		
	Responsible Lot/Party	DD212 LOT341	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		

- End of Report -

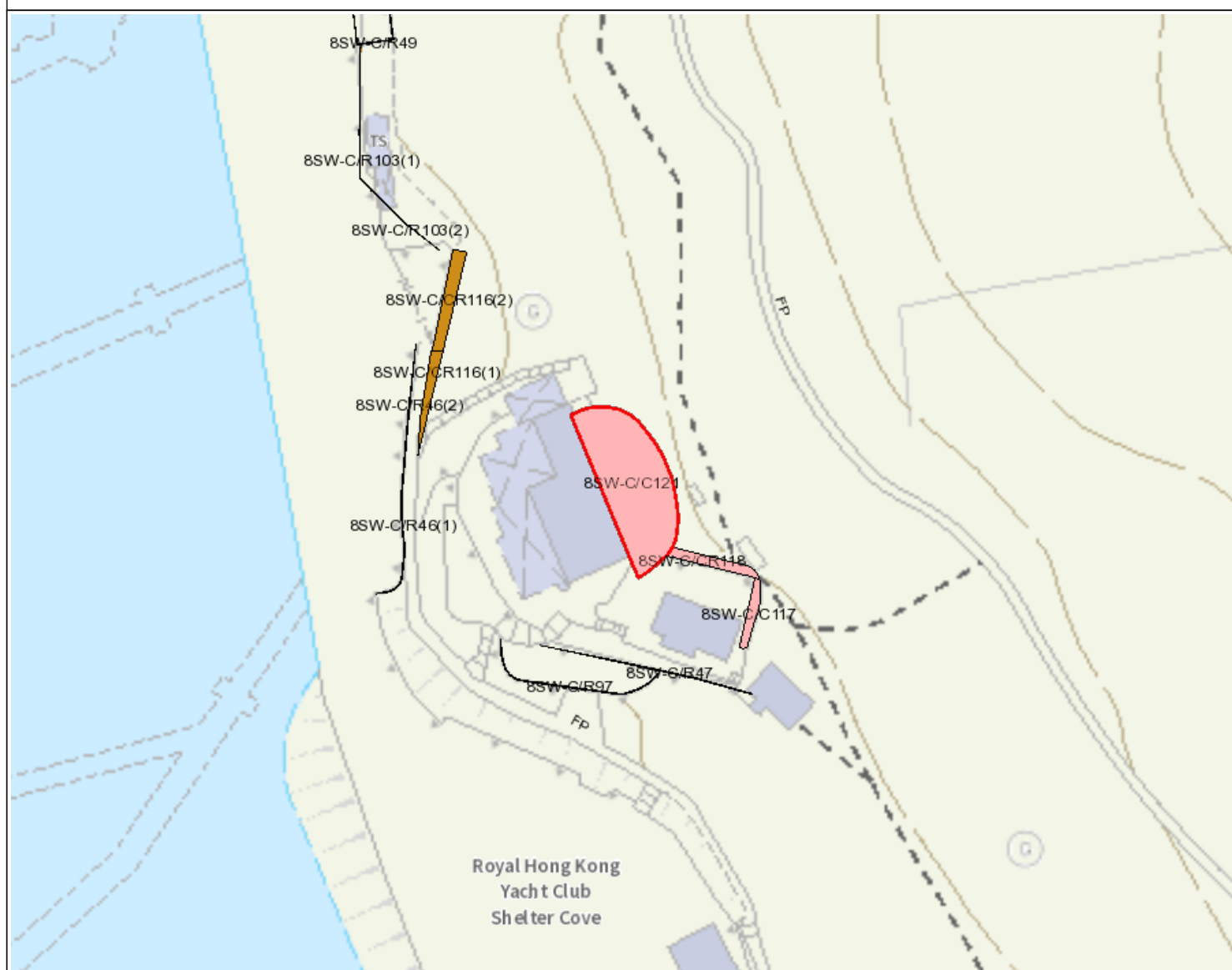
Notes:

- (i) The location plan in Annex is for identification purposes of slope(s) only.
- (ii) The slope(s) as listed in the Slope Maintenance Responsibility Report may not be shown on the location plan in Annex.

The use of this report and plan is subject to the terms and conditions set out under the respective Disclaimers, Copyright Notice and Privacy Policy displayed on the Slope Maintenance Responsibility Information System webpage at <http://www.slope.landsd.gov.hk/smris/disclaimer>. The contents of this report and plan, including but not limited to all text, graphics, drawings, diagrams and compilation of data or other materials are protected by copyright. The users of this report and plan acknowledge that the Government of the Hong Kong Special Administrative Region is the owner of all copyright works contained in this report and plan. Any reproduction, adaptation, distribution, dissemination or making available of any copyright works contained in this report and plan to the public is strictly prohibited unless prior written authorization is obtained from the Lands Department.

Search Criteria: 8SW-C/C121

Location Plan



Legend

- Slope Area(s)
- - - - - Search Location
- Slope(s) Maintained by Government
- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

This Plan is **NOT TO SCALE** and intended for **IDENTIFICATION** only. All information shown on this plan **MUST** be verified by field survey.

Printed on: 20/11/2022

The use of this report and plan is subject to the terms and conditions set out under the respective Disclaimers, Copyright Notice and Privacy Policy displayed on the Slope Maintenance Responsibility Information System webpage at <http://www.slope.landsd.gov.hk/smris/disclaimer>. The contents of this report and plan, including but not limited to all text, graphics, drawings, diagrams and compilation of data or other materials are protected by copyright. The users of this report and plan acknowledge that the Government of the Hong Kong Special Administrative Region is the owner of all copyright works contained in this report and plan. Any reproduction, adaptation, distribution, dissemination or making available of any copyright works contained in this report and plan to the public is strictly prohibited unless prior written authorization is obtained from the Lands Department.

Search Criteria: 8SW-C/C121

Slope Maintenance Responsibility Report

(8SW-C/C243)



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

List of Slope Maintenance Responsibility Area(s)

1	8SW-C/C243		Sub-Division	Not Applicable
	Location	WITHIN DD212 LOT341		
	Responsible Lot/Party	DD212 LOT341	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		

- End of Report -

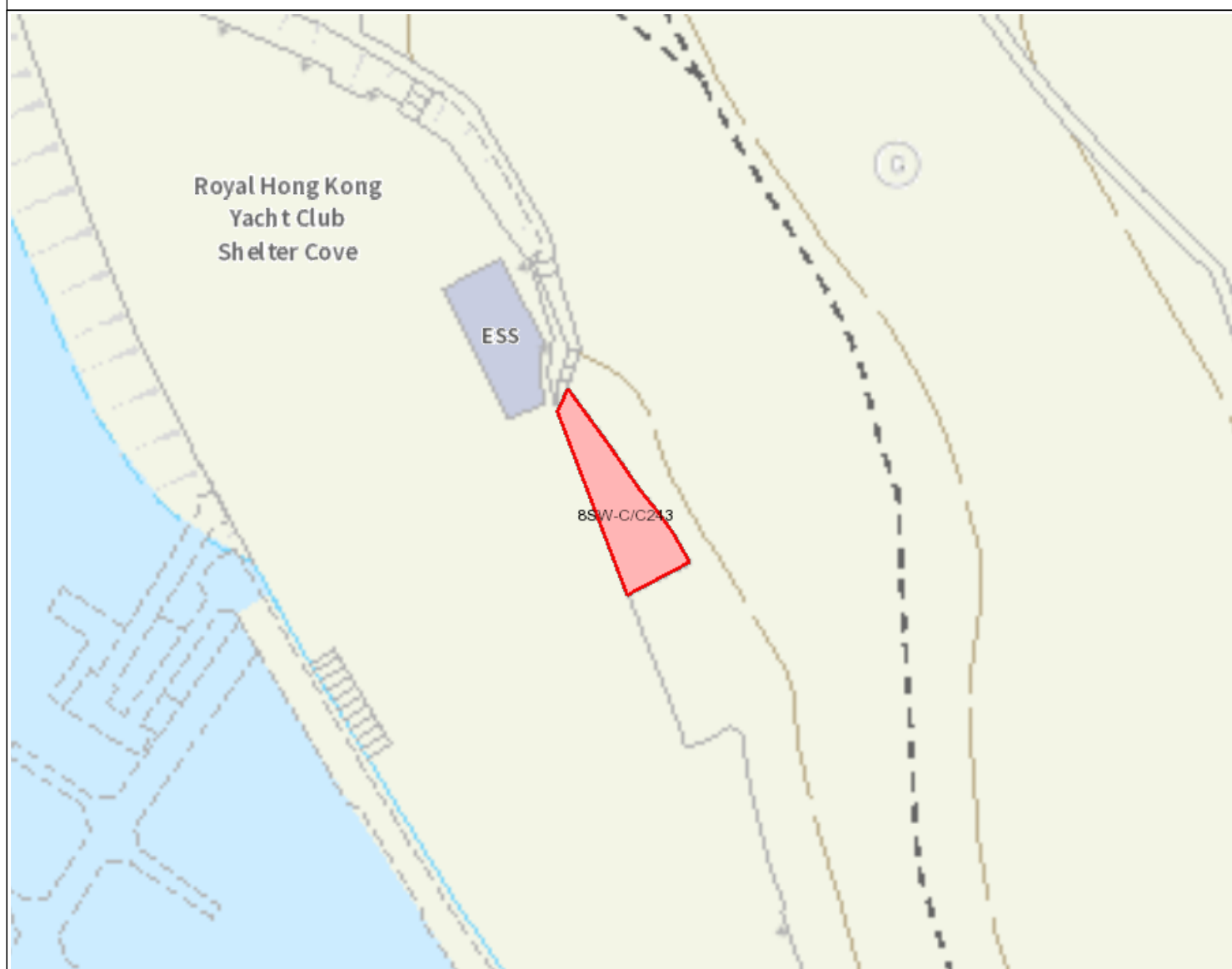
Notes:

- (i) The location plan in Annex is for identification purposes of slope(s) only.
- (ii) The slope(s) as listed in the Slope Maintenance Responsibility Report may not be shown on the location plan in Annex.

The use of this report and plan is subject to the terms and conditions set out under the respective Disclaimers, Copyright Notice and Privacy Policy displayed on the Slope Maintenance Responsibility Information System webpage at <http://www.slope.landsd.gov.hk/smris/disclaimer>. The contents of this report and plan, including but not limited to all text, graphics, drawings, diagrams and compilation of data or other materials are protected by copyright. The users of this report and plan acknowledge that the Government of the Hong Kong Special Administrative Region is the owner of all copyright works contained in this report and plan. Any reproduction, adaptation, distribution, dissemination or making available of any copyright works contained in this report and plan to the public is strictly prohibited unless prior written authorization is obtained from the Lands Department.

Search Criteria: 8SW-C/C243

Location Plan



Legend

- Slope Area(s)
- - - - - Search Location
- Slope(s) Maintained by Government
- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

This Plan is **NOT TO SCALE** and intended for **IDENTIFICATION** only. All information shown on this plan **MUST** be verified by field survey.

Printed on: 20/11/2022

The use of this report and plan is subject to the terms and conditions set out under the respective Disclaimers, Copyright Notice and Privacy Policy displayed on the Slope Maintenance Responsibility Information System webpage at <http://www.slope.landsd.gov.hk/smris/disclaimer>. The contents of this report and plan, including but not limited to all text, graphics, drawings, diagrams and compilation of data or other materials are protected by copyright. The users of this report and plan acknowledge that the Government of the Hong Kong Special Administrative Region is the owner of all copyright works contained in this report and plan. Any reproduction, adaptation, distribution, dissemination or making available of any copyright works contained in this report and plan to the public is strictly prohibited unless prior written authorization is obtained from the Lands Department.

Search Criteria: 8SW-C/C243

Slope Maintenance Responsibility Report

(8SW-C/R46)



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

List of Slope Maintenance Responsibility Area(s)

1	8SW-C/R46		Sub-Division	1
	Location	Within DD212 LOT 332 and LOT 341 &EXT near spot level 11.4		
	Responsible Lot/Party	DD212 LOT 332	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		

- End of Report -

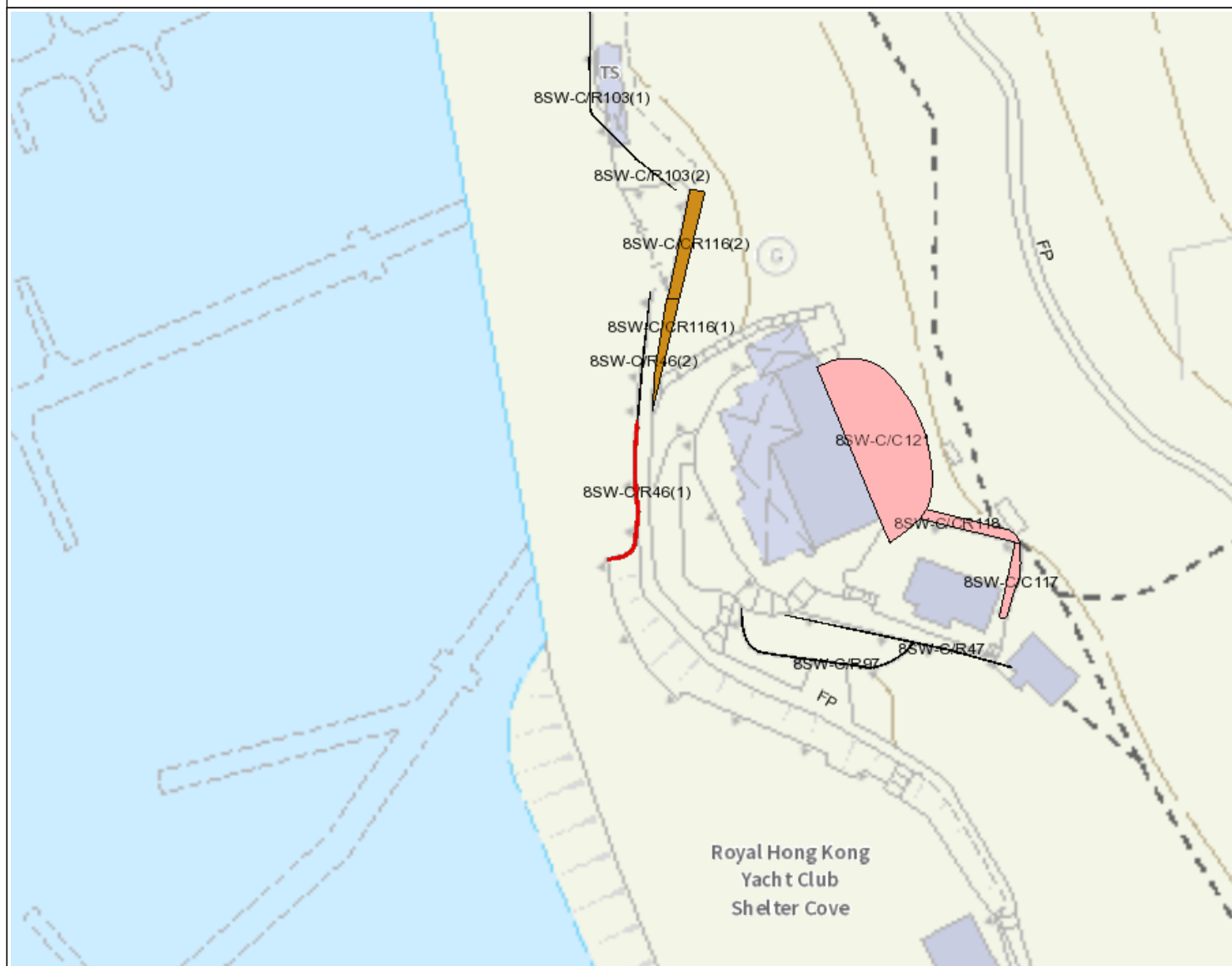
Notes:

- (i) The location plan in Annex is for identification purposes of slope(s) only.
- (ii) The slope(s) as listed in the Slope Maintenance Responsibility Report may not be shown on the location plan in Annex.

The use of this report and plan is subject to the terms and conditions set out under the respective Disclaimers, Copyright Notice and Privacy Policy displayed on the Slope Maintenance Responsibility Information System webpage at <http://www.slope.landsd.gov.hk/smris/disclaimer>. The contents of this report and plan, including but not limited to all text, graphics, drawings, diagrams and compilation of data or other materials are protected by copyright. The users of this report and plan acknowledge that the Government of the Hong Kong Special Administrative Region is the owner of all copyright works contained in this report and plan. Any reproduction, adaptation, distribution, dissemination or making available of any copyright works contained in this report and plan to the public is strictly prohibited unless prior written authorization is obtained from the Lands Department.

Search Criteria: 8SW-C/R46

Location Plan



Legend

- Slope Area(s)
- - - - - Search Location
- Slope(s) Maintained by Government
- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

This Plan is **NOT TO SCALE** and intended for **IDENTIFICATION** only. All information shown on this plan **MUST** be verified by field survey.

Printed on: 24/11/2022

The use of this report and plan is subject to the terms and conditions set out under the respective Disclaimers, Copyright Notice and Privacy Policy displayed on the Slope Maintenance Responsibility Information System webpage at <http://www.slope.landsd.gov.hk/smris/disclaimer>. The contents of this report and plan, including but not limited to all text, graphics, drawings, diagrams and compilation of data or other materials are protected by copyright. The users of this report and plan acknowledge that the Government of the Hong Kong Special Administrative Region is the owner of all copyright works contained in this report and plan. Any reproduction, adaptation, distribution, dissemination or making available of any copyright works contained in this report and plan to the public is strictly prohibited unless prior written authorization is obtained from the Lands Department.

Slope Maintenance Responsibility Report

(8SW-C/R46)



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

List of Slope Maintenance Responsibility Area(s)

1	8SW-C/R46		Sub-Division	2
	Location	Within DD212 LOT 332 and LOT 341 &EXT near spot level 11.4		
	Responsible Lot/Party	DD212 LOT 341 &EXT	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		

- End of Report -

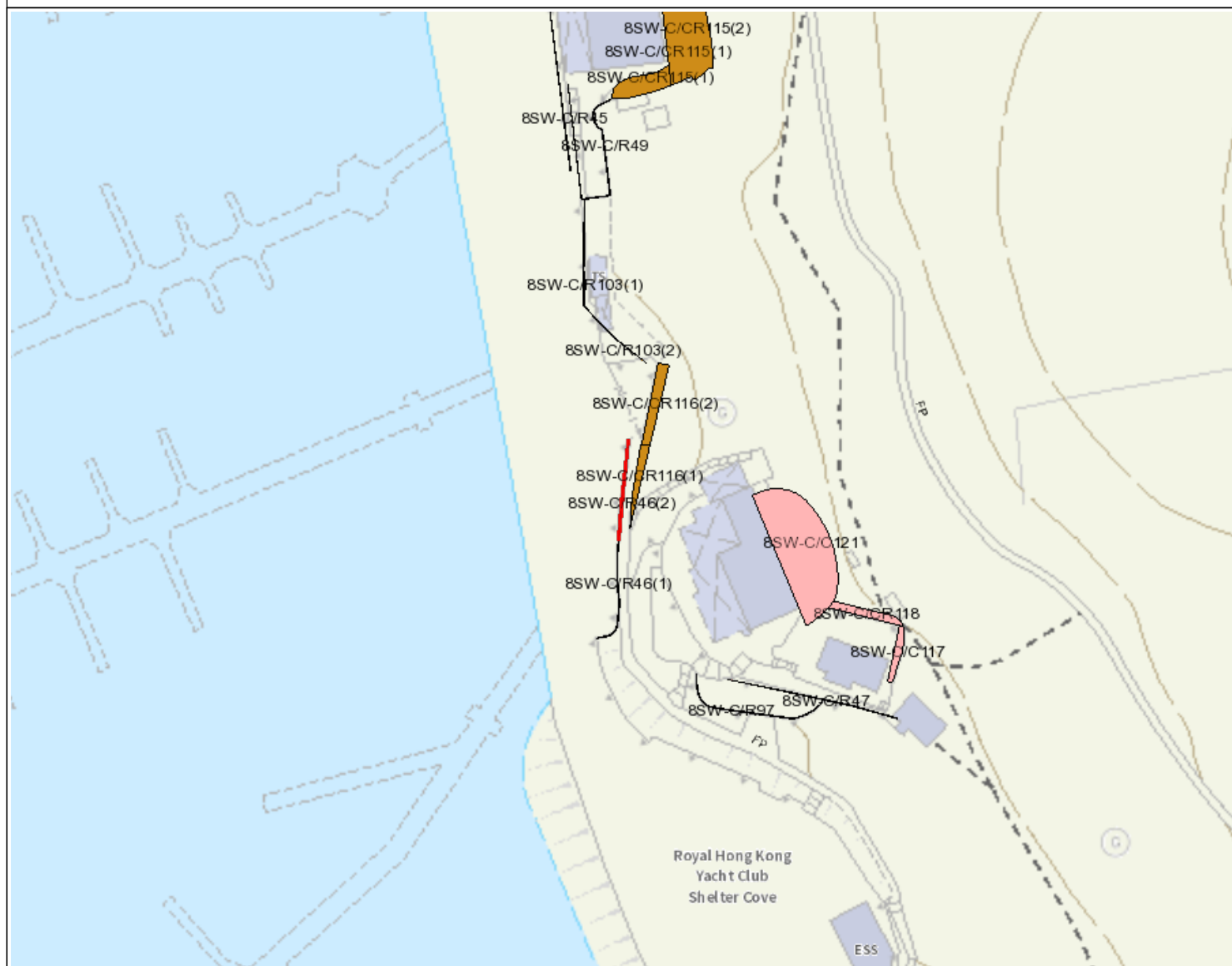
Notes:

- (i) The location plan in Annex is for identification purposes of slope(s) only.
- (ii) The slope(s) as listed in the Slope Maintenance Responsibility Report may not be shown on the location plan in Annex.

The use of this report and plan is subject to the terms and conditions set out under the respective Disclaimers, Copyright Notice and Privacy Policy displayed on the Slope Maintenance Responsibility Information System webpage at <http://www.slope.landsd.gov.hk/smris/disclaimer>. The contents of this report and plan, including but not limited to all text, graphics, drawings, diagrams and compilation of data or other materials are protected by copyright. The users of this report and plan acknowledge that the Government of the Hong Kong Special Administrative Region is the owner of all copyright works contained in this report and plan. Any reproduction, adaptation, distribution, dissemination or making available of any copyright works contained in this report and plan to the public is strictly prohibited unless prior written authorization is obtained from the Lands Department.

Search Criteria: 8SW-C/R46

Location Plan



Legend

- Slope Area(s)
- - - - - Search Location
- Slope(s) Maintained by Government
- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



**ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT**

This Plan is **NOT TO SCALE** and intended for **IDENTIFICATION** only. All information shown on this plan **MUST** be verified by field survey.

Printed on: 24/11/2022

The use of this report and plan is subject to the terms and conditions set out under the respective Disclaimers, Copyright Notice and Privacy Policy displayed on the Slope Maintenance Responsibility Information System webpage at <http://www.slope.landsd.gov.hk/smris/disclaimer>. The contents of this report and plan, including but not limited to all text, graphics, drawings, diagrams and compilation of data or other materials are protected by copyright. The users of this report and plan acknowledge that the Government of the Hong Kong Special Administrative Region is the owner of all copyright works contained in this report and plan. Any reproduction, adaptation, distribution, dissemination or making available of any copyright works contained in this report and plan to the public is strictly prohibited unless prior written authorization is obtained from the Lands Department.

Search Criteria: 8SW-C/R46

APPENDIX D

**RETRIVED RECORD PLANS FOR FEATURE 8SW-C/C121
BEHING EXISTING CLUB HOUSE BUILDING**



Buildings Department
屋宇署

YOUR REF 來函檔號 : BD 6/9040/00
OUR REF 本署檔號 : 2845 1559
FAX 圖文傳真 : 2626 1446
TEL 電話 :

29 June 2000

Mr. Angus W. Wilkinson
c/o Wilkinson & Cilley Limited.
5/F, Trust Tower,
68, Johnston Road, Wanchai,
Hong Kong

Dear Sir,

Pak Sha Wan, Sai Kung
D.D. 212 Lot 341

I refer to your application dated 1.6.2000
for approval of proposals in respect of site formation

2. Your submission of plans has been checked under the curtailed check system announced in Practice Notes for Authorised Persons & Registered Structural Engineers 99. On this basis, I am satisfied that your submission is fundamentally acceptable and may be approved.

3. You are reminded that the curtailed check system covers only the fundamental aspects of a building proposal. Although non-fundamental aspects will not be raised as reasons for disapproving a submission, I expect that all contraventions of the Buildings Ordinance and its subsidiary legislation are rectified as and when they are discovered and in any event, before completion of the works is certified. In this connection, I ask you to note that the Building Authority attaches great importance to the proper assumption of duties and responsibilities by authorised persons and registered structural engineers.

4. In accordance with the provisions of regulation 30(1) of the Building (Administration) Regulations, this is to notify that the site formation plans submitted with your application dated 1.6.2000 are hereby approved. One set of the said plans, on which I have signed my approval, is enclosed. Your client has been sent a copy of this letter but I would request that you ensure that the contents are understood by him.

5. This approval should not be deemed to confer any title to land or to act as a wavier of any term in any lease or licence. This approval does NOT authorise the commencement or the carrying out of any works shown in the approved plans. Section 14(2) of the Buildings Ordinance refers.

6. see attached sheet

c.c. c/o Angus W. Wilkinson,
5/F., Trust Tower,
68 Johnston Road,
Wanchai, HK

Yours faithfully

DPO/SK&Is (Ref. SKI 5/5/462pt.3)
(GEO/CED (Ref. GCME 3/5/9040/00)
DLO/SK (Ref. DLO/SK 108/SPT/59II)

(K. Y. NG)
Senior Building Surveyor
for Building Authority

S.L.9 (12/97)

6.
 - (i) This approval given herein is subject to the conditions and requirements contained in Appendix I.
 - (ii) Prior to Form BA14, submission of an assessment report on groundwater monitoring during construction and throughout wet season to ensure the original design assumptions are valid is required.
7. District Planning Officer/Sai Kung & Islands (contact officer: Mr. Timothy Lui on 2301-1273) has the following comments:-
 - (i) the massive cutting of slope to the north of the site is considered unacceptable and should be justified;
 - (ii) it was clearly indicated in the previous submission that all trees within the slope cutting area to the north of the existing clubhouse will be remained and the tree rings will be provided. Nevertheless, all these indications were removed in the current submission. As such, the applicant is required to confirm whether all trees within the slope cutting area will be remained. If not, strong justifications should be required;
 - (iii) there is no information provided in the plan to demonstrate that what measures would be taken to retain all trees of the slope cutting area since the trees would be affected by the slope cutting work;
 - (iv) the geotechnical stability of the cut slope should be checked by the Government geotechnical engineer; and
 - (v) for all works outside the lot boundaries, prior permissions from DLO/SK should be obtained.
8. The responsible Geotechnical Engineer of the above item 6 is H.S. Yiu on 2762-5198.
9. You endorsed the amended drawing on 26.6.2000 and returned the same to this office on 27.6.2000.

APPENDIX E

RETRIVED RECORD PLANS FOR EXISTING RETAINING WALL AND CANOPY IN FRONT OF EXISTING CLUB HOUSE BUILDING



Buildings Department

屋宇署

YOUR REF 來函編號
OUR REF 本署編號
FAX 圖文傳真
TEL 電話

BD 22-3/9137/98 (L/M)
28451559
26261456

Mr. RATCLIFFE, Nicholas Digby
c/o BMMk, Ratcliffe, Hoare & Co., Ltd.
1st Floor, Trust Tower,
68 Johnston Road,
Hong Kong.

8 June 2000

Dear Sir,

Shelter Cove, Pak Sha Wan, Sai Kung -
DD 212 LOT 341

I refer to your application dated received on 13 May, 2000 for approval of proposals in respect of Alterations and Additions Works (Structural).

2. Your submission of plans has been checked under the curtailed check system announced in Practice Notes for Authorised Persons & Registered Structural Engineers 99. On this basis, I am satisfied that your submission is fundamentally acceptable and may be approved.

3. You are reminded that the curtailed check system covers only the fundamental aspects of a building proposal. Although non-fundamental aspects will not be raised as reasons for disapproving a submission, I expect that all contraventions of the Buildings Ordinance and its subsidiary legislation are rectified as and when they are discovered and in any event, before completion of the works is certified. In this connection, I ask you to note that the Building Authority attaches great importance to the proper assumption of duties and responsibilities by authorised persons and registered structural engineers.

4. In accordance with the provisions of regulation 30(1) of the Building (Administration) Regulations, this is to notify that the above - mentioned plans submitted with your application dated received on 13 May, 2000 are hereby approved. One set of the said plans, on which I have signified my approval, is enclosed. Your client has been sent a copy of this letter but I would request that you ensure that the contents are understood by him.

5. This approval should not be deemed to confer any title to land or to act as a waiver of any term in any lease or licence. This approval does NOT authorise the commencement or the carrying out of any works shown in the approved plans. Section 14(2) of the Buildings Ordinance refers.

6. This approval is subject to the conditions and requirements given in the Appendices I, II, III & IV attached.

7. To ensure full compliance of the Buildings Ordinance, it is prudent for the authorized person who acts as the co-ordinator of the building works, to inform the registered contractor all the imposed conditions attached to this approval.

/8.

Ref: BD 22-3/9137/98 (I/M)

8. Under section 17(1)(6) of the Buildings Ordinance, the following information are to be provided prior to the submission of Form BA14 certifying the completion of the A&A works now approved :-

- (a) Certificates from manufacturer and test reports from independent laboratory in respect of the quality and mechanical properties of the structural timber used, which should be appended with a statement signed by the registered structural engineer to confirm that the requirements of quality and properties appropriate to the type of timber have been complied with.
- (b) Test reports to justify the pull-out capacities of the stainless steel screws used in timber joints and fixing of canopy covers.
- (c) Satisfactory test reports to verify the mechanical properties of the polycarbonate cover.

9. You are reminded to submit monthly soil compaction test results and assessment reports as per Note 2 for Earth Filling Works in drg. no. 98048/SC/001A now approved.

10. You are also required to ensure that the structural plans now approved are compatible with the building plans. In this respect, your attention is drawn to section 14(2) of the Buildings Ordinance and you are reminded to submit building plan amendment for the additional column supports and deletion of upstand beams at the northern canopy for my approval prior to the consent application for the commencement and carrying out of the corresponding canopy works.

11. Under section 17(1)(7) of the Buildings Ordinance, you are required to submit initial readings of monitoring check points and tilting check points prior to consent application for the commencement and carrying out of the A&A works now approved.

c.c. **Royal Hong Kong Yacht Club**
c/o Angus W. Wilkinson,
Wilkinson & Cilley Ltd.,
5/F., Trust Tower,
68 Johnston Rd., Wanchai, H.K.

AP - Mr. WILKINSON, Angus Wood
c/o Wilkinson and Cilley Ltd.
5th Floor, Trust Tower,
68 Johnston Road,
Wan Chai, Hong Kong.

Yours sincerely,


(K.P. LEI)

Chief Structural Engineer
for Building Authority

CO/SM

Mr. WILKINSON, Angus Wood
c/o Wilkinson and Cilley Ltd.
5th Floor,
Trust Tower,
68 Johnston Road,
Wan Chai, Hong Kong.

5 May, 2003

Dear Sir,

Shelter Cove, Pak Sha Wan, Sai Kung - DD 212 LOT 341

Your Form BA14 dated 19 December 2000 refers. On the Form, you have certified that the alteration and addition works at the captioned building have been completed in accordance with the plans approved by the Building Authority and that the works are, in your opinion, structurally safe.

2. On the basis of the certification on the Form BA14 and the information available, I advise that the Building Authority has no objection to the completed works.

3. This letter also serves to record that you have, accompanying the said Form BA14, provided me with the following set of record plan certifying the extent of works completed under your supervision :-

<u>Plan No.</u>	<u>Date Approved</u>
1036/BD-01	18 July 2000
1036/BD-02	18 July 2000
98048/SC/001B	8 June 2000
98048/S002F	8 June 2000

4. You supplementary submissions dated 11.3.2003, 21.3.2003 and 25.3.2003 are noted.

5. It is noted that you have amended the record plans on 8.4.2003.

Yours sincerely,

(K H TSE)

Senior Building Surveyor
for Building Authority

c.c. Royal Hong Kong Yacht Club
c/o Angus W. Wilkinson,
Wilkinson & Cilley Ltd.,
5/F., Trust Tower,
68 Johnston Rd., Wanchai, H.K.

RSE - Mr. RATCLIFFE, Nicholas Digby
c/o BMMk, Ratcliffe, Hoare & Co., Ltd.
1st Floor, Trust Tower,
68 Johnston Road,
Hong Kong.

A. GENERAL NOTES

1. COPYRIGHT RESERVED
2. DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SHOWN.
3. ALL LEVELS IN METRES AND REFER TO PRINCIPAL DATUM (P.D.).
4. ORIGINAL GROUND LEVELS SHOWN ARE APPROX. ONLY.
5. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS, STANDARD DRAWINGS, THE SPECIFICATIONS AND INSTRUCTIONS ISSUED BY THE ENGINEER.

B. EARTH FILLING WORK

1. SURFACE ON WHICH FILLING TO BE PLACED SHALL BE STRIPPED OFF ALL LOOSE AND DISTURBED SOIL.
2. DURING THE EARTH FILLING WORK, MONTHLY REPORTS GIVING RECORDS OF TESTS ON COMPACTION OF FILL TOGETHER WITH A COVERING ASSESSMENT ON THE ADEQUACY OF COMPACTION SHALL BE SUBMITTED TO BO IN ACCORDANCE WITH PNAPSS. SAMPLING AND TESTING PATTERN SHOULD BE IN ACCORDANCE WITH THE FOLLOWING TABLE.

DESCRIPTION	SIZE OF AREA OF FILL IN BATCH	NO. OF SAMPLES / NO. OF TESTS PER BATCH
AREAS OF FILL IN EXCAVATIONS FOR STRUCTURES AND ON FORMATION	0 - 100 m ²	3
	100 - 500 m ²	2 FOR EACH 100 m ² OF PART THEREOF
	EXCEEDING 500 m ²	1 FOR EACH 100 m ² OF PART THEREOF

NO. OF SAMPLES TO BE TESTED FOR MOISTURE CONTENT AND NO. OF TESTS FOR RELATIVE COMPACTION OF FILL

3. THE IN-SITU FIELD DENSITY, MOISTURE CONTENTS, MAXIMUM DRY DENSITY (MDD) AND OPTIMUM MOISTURE CONTENTS SHALL BE DETERMINED IN ACCORDANCE WITH GEO REPORT NO.36 BY HOKUS LABORATORIES AS REQUIRED IN PNAP167.
4. THE COMPACTIONED FILL SHALL HAVE AN IN-SITU FIELD DRY DENSITY NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY AS STIPULATED IN PNAPSS.
5. BACKFILLING MATERIAL SHALL BE GRANULAR FILL MATERIAL HAVING PARTICLE SIZE DISTRIBUTION AS THE TABLE GIVEN BELOW:

TYPE OF FILL MATERIAL	PERCENTAGE BY MASS PASSING			
	BS TEST SIEVE			
	75 mm	20 mm	600 um	63 um
GRANULAR FILL MATERIAL	100	--	0-5	--

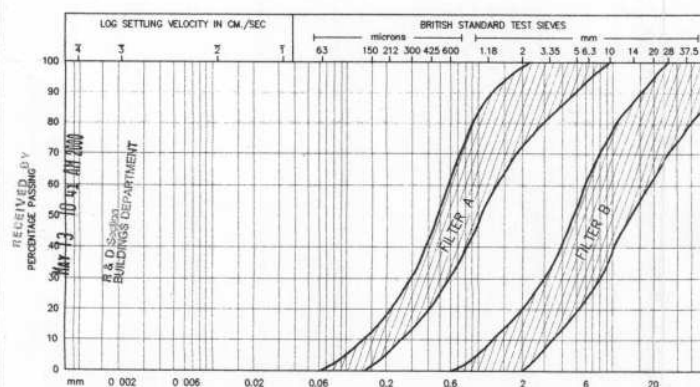
PARTICLE SIZE DISTRIBUTION OF FILL MATERIAL

C. NOTES ON HEAVY RAINFALL PRECAUTIONS

1. SURFACE WATER FLOWING INTO THE SITE FROM UPHILL SHALL BE INTERCEPTED & CONDUCTED FROM THE SITE TO AN INDICATED SAFE DISCHARGE POINT.
2. ALL EARTHWORKS SHALL BE GRADED AND SEALED TO ENSURE RUN-OFF AND TO AVOID PONDING.
3. A METHOD OF WORKING SHALL BE ADOPTED SO THAT THE MINIMUM OF BARE SOIL IS EXPOSED AT ANY TIME.
4. WHERE TEMPORARY BARE EARTH SLOPE FACES ARE UNAVOIDABLE, THEY SHALL BE PROTECTED WITH SHEETING WELL-SECURED AGAINST WIND. WHERE BARE SLOPE FACES ARE TO BE EXPOSED LONGER THAN 2 WEEKS A 50mm THICK SHOTCRETE HARD SURFACING SHALL BE APPLIED. AND TEMPORARY DRAINS SHALL BE INSTALLED.
5. EXCAVATIONS SHALL NOT BE LEFT OPEN ON OR ADJACENT TO A SLOPE.
6. IF TRENCHES ON OR ADJACENT TO SLOPES HAVE TO BE EXCAVATED DURING THE WET SEASON, THIS SHALL BE DONE WITH EXTREME CARE IN SHORT SECTIONS AT A TIME. PRECAUTIONS SHALL ALWAYS BE TAKEN TO PREVENT WATER ENTERING AND COLLECTING IN THE TRENCH.
7. THE CONTRACTOR SHALL NOT STOCKPILE ANY MATERIAL WHERE IT MAY CAUSE A LANDSLIDE OR ENDANGERS THE PUBLIC OR ADJACENT PROPERTIES.

D. NOTES ON MONITORING

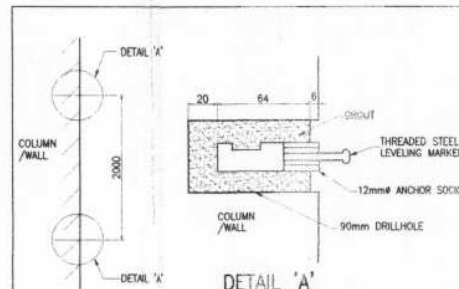
1. ALL SETTLEMENT CHECK POINTS, TILTING CHECK POINTS SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF WORK. THE INITIAL READINGS SHALL BE TAKEN BEFORE WORKS COMMENCE AND SUBMITTED TO THE REGISTERED STRUCTURAL ENGINEER (RSE)/ BUILDING AUTHORITY (B.A.).
2. DURING THE PROGRESS OF WORKS, ALL MONITORING POINTS SHALL BE MONITORED DAILY IN EACH CHECK POINT. BOTH THE SETTLEMENT & TILTING OF THE SUBJECT STRUCTURE SHALL BE MONITORED. MONITORING RECORDS SHALL BE SUBMITTED TO THE RSE AND BUILDING AUTHORITY.
3. SHOULD ANY UNUSUAL SETTLEMENT OCCUR ALL WORKS SHALL CEASE IMMEDIATELY. THE BUILDING AUTHORITY (BA), THE REGISTERED STRUCTURAL ENGINEER (RSE) SHALL BE INFORMED. THE WORK SHALL NOT BE RECOMMENCED UNTIL REMEDIAL WORK PROPOSAL IS SUBMITTED AND TO THE SATISFACTION OF THE BUILDING AUTHORITY.



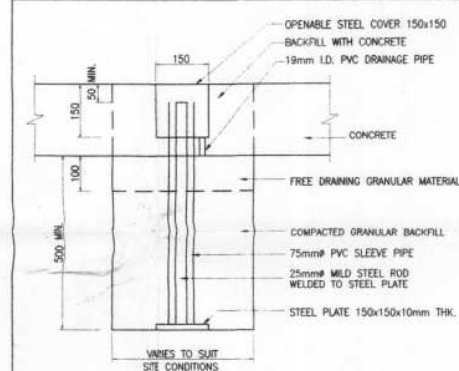
GRADING CURVES FOR
FILTER MATERIAL
(REFERENCE TABLE 17 GEOGUIDE 1)

E. CONSTRUCTION SEQUENCES

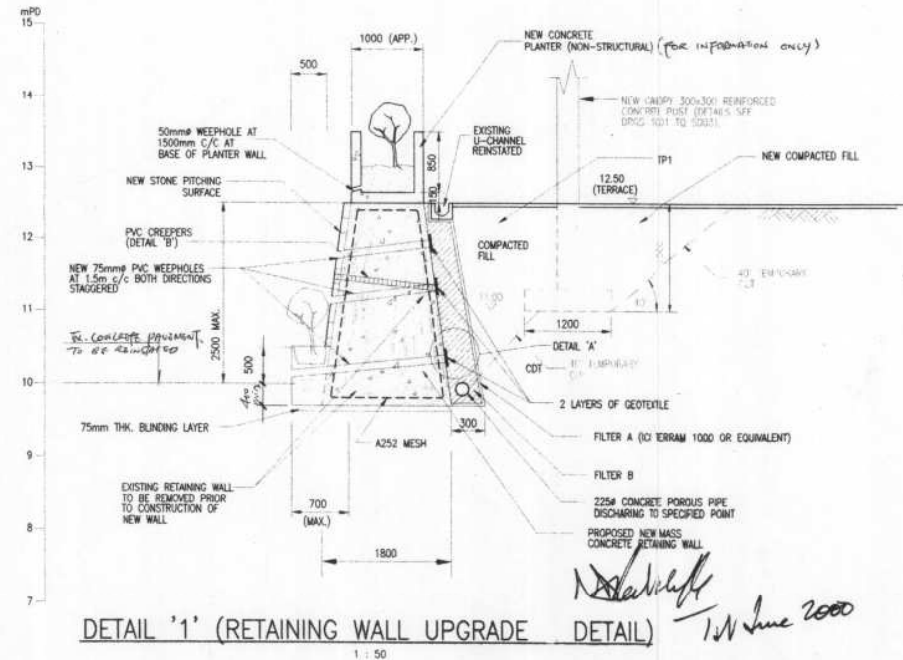
1. INSTALL MONITORING POINTS AND SUBMIT THE INITIAL READINGS TO THE ENGINEER AND CARRY OUT CHECKING DAILY.
2. COMMENCE THE EXCAVATION AND REMOVE THE EXIST'G MASONRY AND SITE FORMATION TO LINE SHOWN ON DRAWING.
3. CONSTRUCT NEW MASS CONCRETE RETAINING WALL AND DRAINS.
4. BACKFILL IN COMPACTED LAYERS TO THE BASE OF NEW FOOTINGS OF CANOPY.
5. CONSTRUCT BASES FOR NEW CANOPY AND INSTALL NEW POSTS.
6. CONTINUE BACKFILL TO EXISTING PAVEMENT LEVEL.



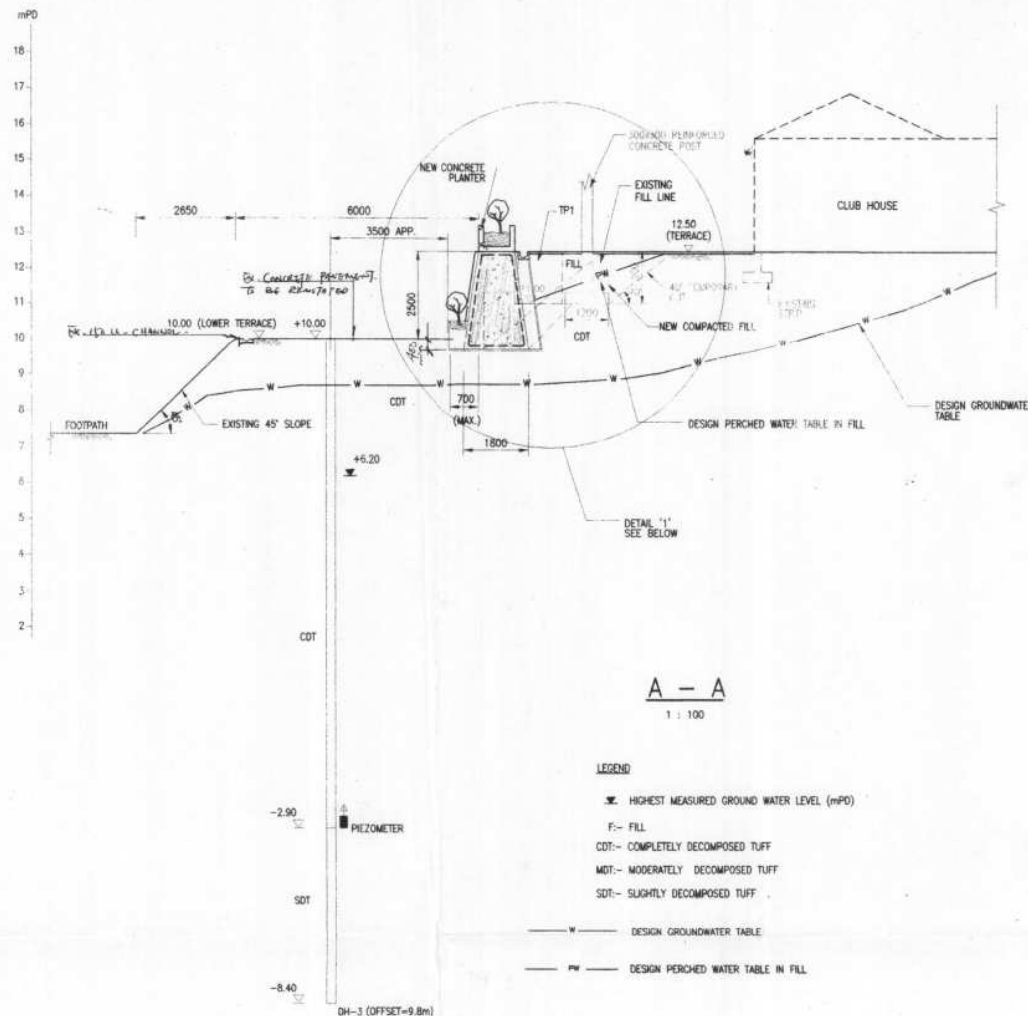
TYPICAL DETAILS OF TILTING CHECK
POINT ON BUILDING
(N.T.S.)



TYPICAL DETAILS OF GROUND
SETTLEMENT MARKERS
(N.T.S.)

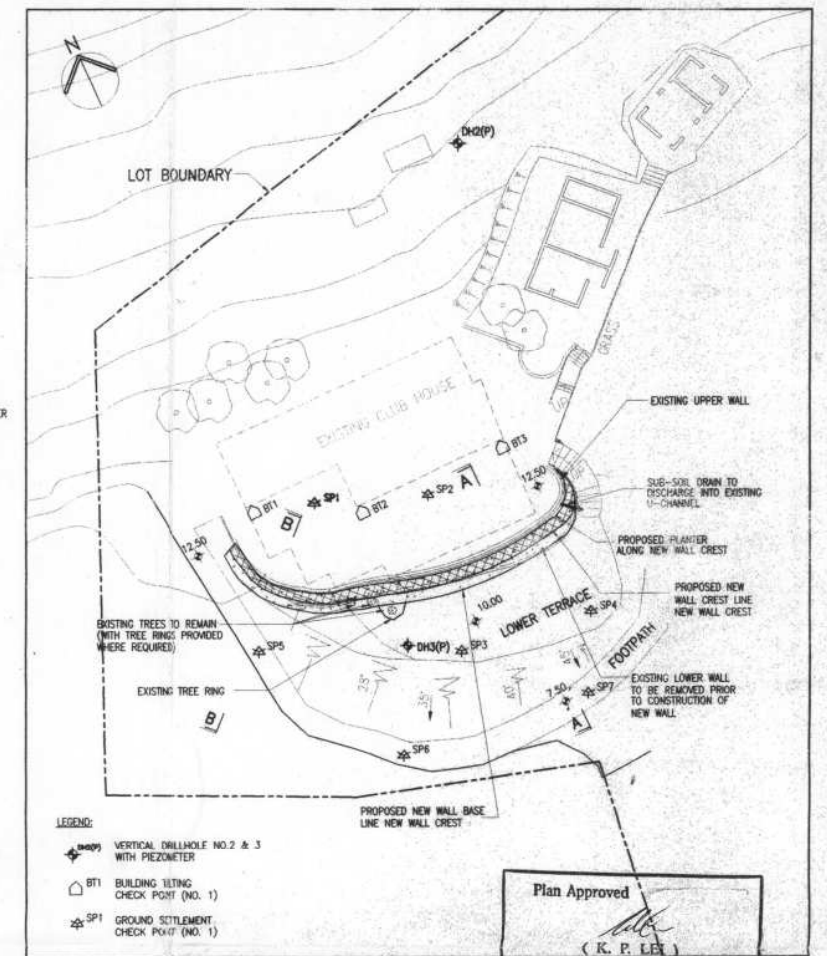


DETAIL '1' (RETAINING WALL UPGRADE DETAIL)



LEGEND

- HIGHEST MEASURED GROUND WATER LEVEL (mPD)
- F- FILL
- CDT- COMPLETELY DECOMPOSED TUFF
- MDT- MODERATELY DECOMPOSED TUFF
- SDT- SLIGHTLY DECOMPOSED TUFF
- DESIGN GROUNDWATER TABLE
- DESIGN PERCHED WATER TABLE IN FILL

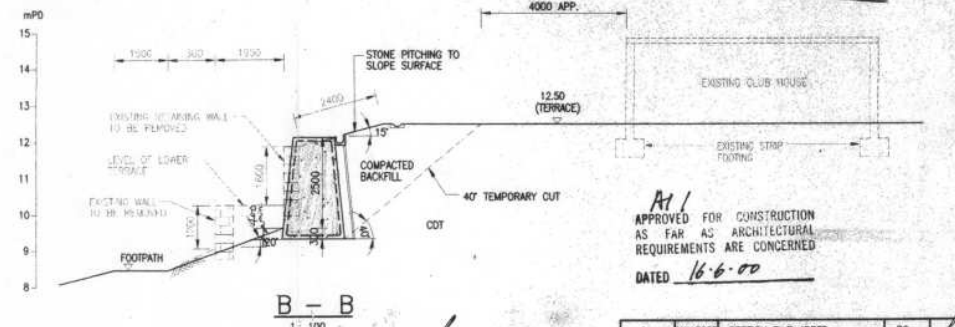


- VERTICAL DRILLHOLE NO.2 & 3 WITH PIEZOMETER
- BT1 BUILDING TILTING CHECK POINT (NO. 1)
- SP1 GROUND SETTLEMENT CHECK POINT (NO. 1)

Plan Approved
(K. P. LEE)
Chief Structural Engineer
for BUILDING AUTHORITY
- 8 JUN 2000

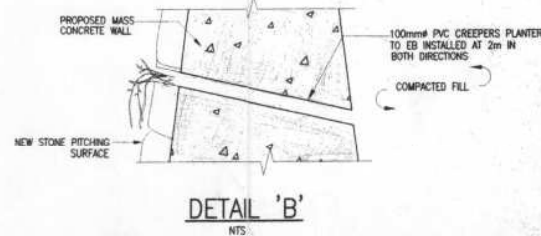
PLAN

1:250



DETAIL 'A'

N.T.S.

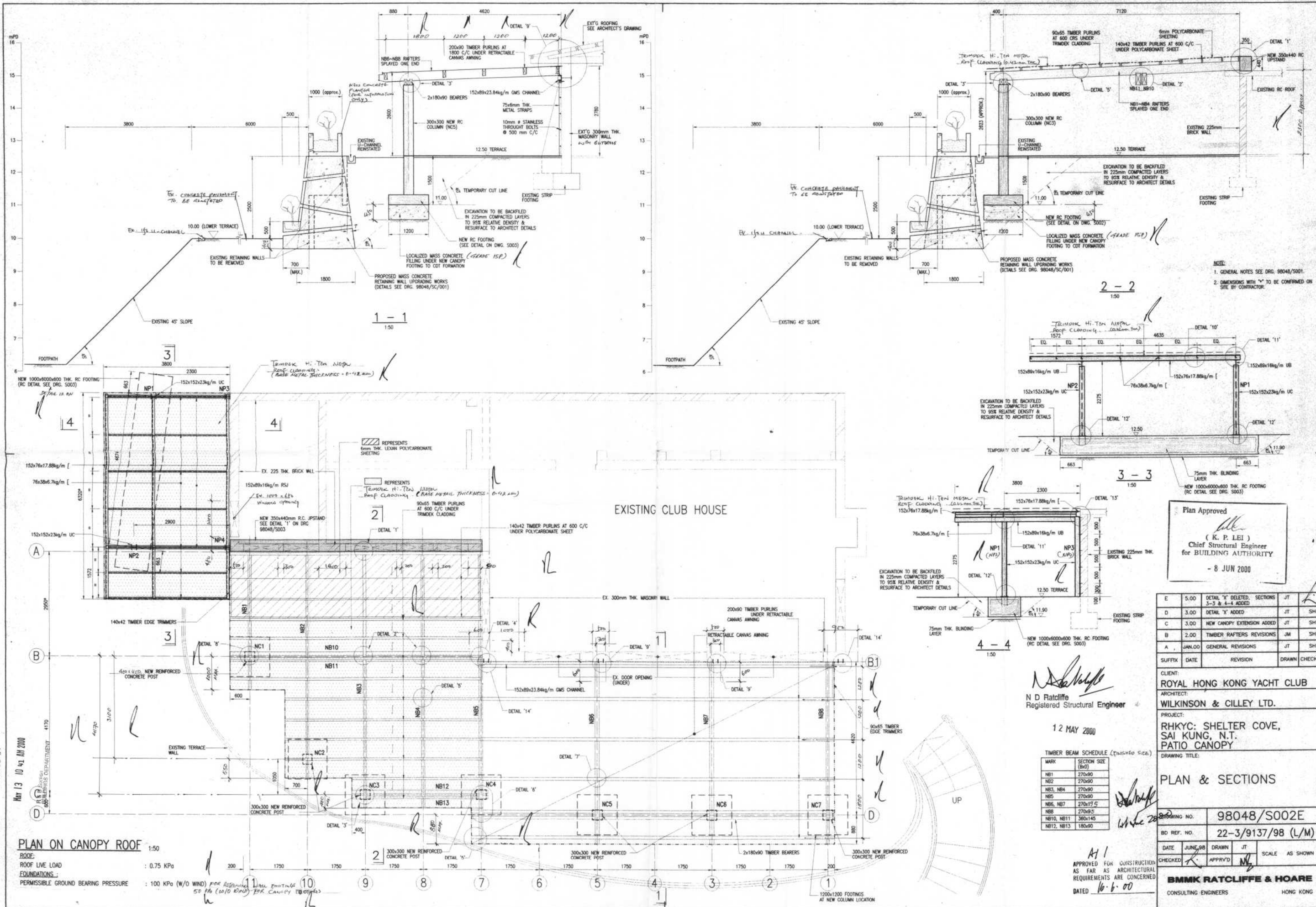


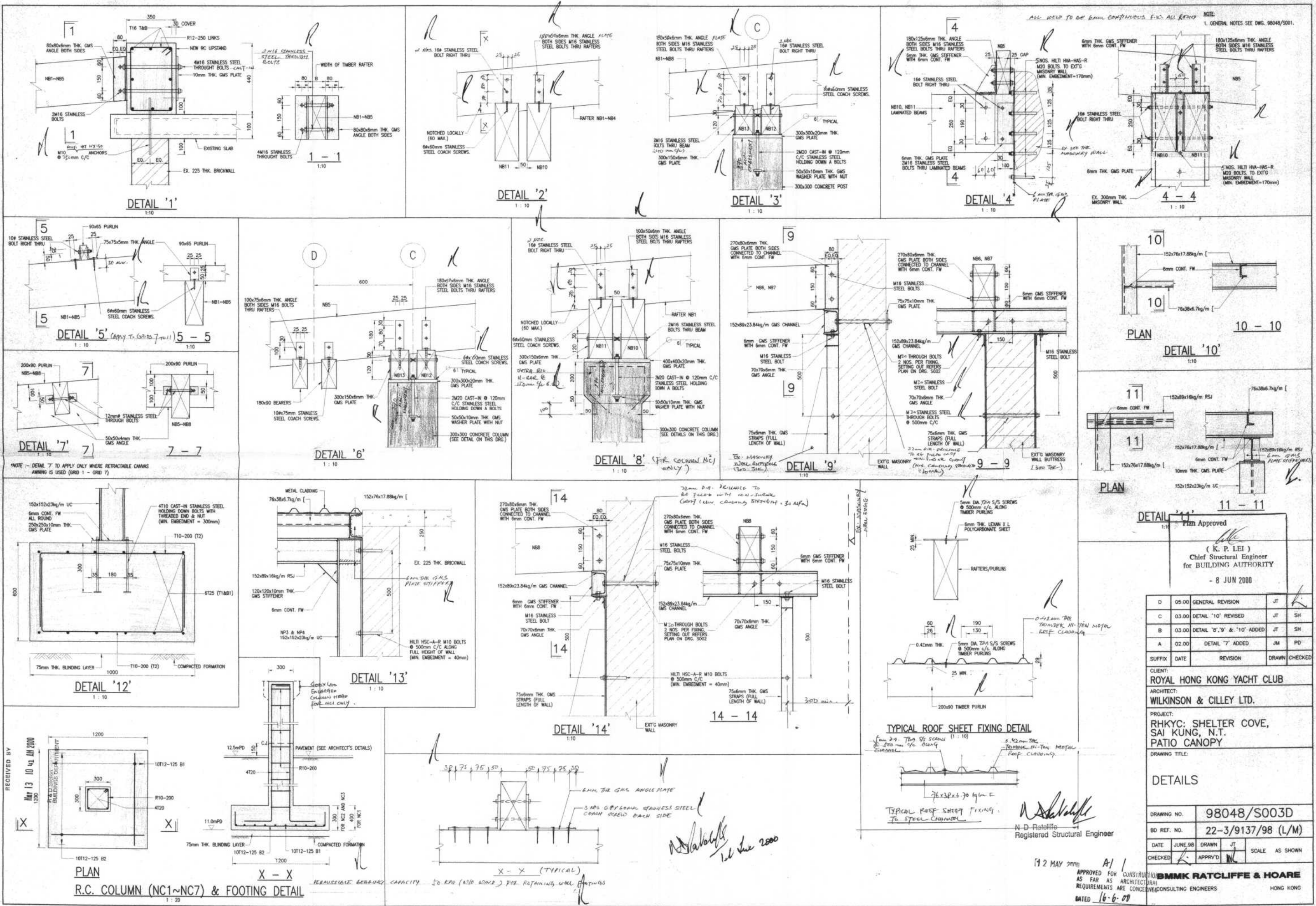
DETAIL 'B'

N.T.S.

At /
APPROVED FOR CONSTRUCTION
AS FAR AS ARCHITECTURAL
REQUIREMENTS ARE CONCERNED
DATED 16.6.00

A	DATE	SECTION	REVISION	RC	CHK
SUFFIX	DATE	SECTION	REVISION	RC	CHK
CLIENT: ROYAL HONG KONG YACHT CLUB					
ARCHITECT: WILKINSON & CILLEY LTD.					
PROJECT: PATIO CANOPY RHKYC, SHELTER COVE, SAI KUNG, N.T.					
DRAWING TITLE: PROPOSED NEW MASS CONCRETE RETAINING WALL					
DRAWING NO.	98048/SC/ 001A				
BD REF. NO.	22-3/9137/98 (L/M)				
DATE	MAR 2000	DRAWN	WK	SCALE	AS SHOWN
CHECKED		APPROVED	N		
BMMK RATCLIFFE & HOARE					
CONSULTING ENGINEERS HONG KONG					





APPENDIX F

**BD LETTER DATED 29 JUNE 2016 FOR
APPROVAL OF PROPOSED SLOPE REMEDIAL WORKS FOR
FEATURES 8SW-C/C117, CR118, R46(SD 1&2) & R47**



YOUR REF 來函編號 : BD DH53/10/NT(A)
OUR REF 本署檔號 : 2136 8200
FAX 圖文傳真 : 2135 2503
TEL 電話 :
www.bdl.gov.hk

29 June 2016

SHUM Kwo-foo
c/o Reynold (HK) Construction Consultant Ltd
Unit 04, 12/F, Prosperity Centre
982 Canton Road,
Mongkok Kowloon

→Carton

Dear Sir,

**Order No. DH0009/NT/14/C, DH0010/NT/14/C, DH0011/NT/14/C,
DH0012/NT/14C and DH0027/NT/14/C dated 28 February 2014
Feature Nos. 8SW-C/C117, 8SW-C/CR118, 8SW-C/R47,
8SW-C/R46 (Sub-division No.2) & 8SW-C/R46 (Sub-division No.1)
Proposed Slope Remedial Works at
Royal Hong Kong Yacht Club, Pak Sha Wan. Sai Kung
DD212 Lot No. 341 & the extension thereto and DD212 Lot No. 332**

I refer to your application received on 4 May 2016 for approval of proposals in respect of Slope and Retaining Wall Remedial Works.

2. Your submission of plans has been checked under the curtailed check system announced in Practice Note for Authorized Persons, Registered Structural Engineers and Registered Geotechnical Engineers (PNAP) ADM-19. On this basis, I am satisfied that your submission is fundamentally acceptable and may be approved.

3. You are reminded that the curtailed check system covers only the fundamental issues of a building proposal. Although non-fundamental issues will not be raised as reasons for disapproving a submission, I expect that all contravention of the Buildings Ordinance (BO) and its subsidiary legislation are rectified as and when they are discovered and in any event, before completion of the works is certified. In this connection, I ask you to note that the Building Authority attaches great importance to the proper assumption of duties and responsibilities by authorized persons and registered structural engineers.

4. In accordance with the provisions of regulation 30(1) of the Building (Administration) Regulations, this is to notify that the above - mentioned plans submitted with your application received on 4 May 2016 are hereby approved. One set of the said plans, on which I have signified my approval, is enclosed. Your client has been sent a copy of this letter but I would request that you ensure that the contents are understood by him.

5. This approval should not be deemed to confer any title to land or to act as a waiver of any term in any lease or licence. This approval does NOT authorize the commencement or the carrying out of any works shown in the approved plans. Section 14(2) of the BO refers.

P.2/...

S. L 9(i)(SS) (2/2016)

Ref. BD DH53/10/NT(A)

6. This approval is subject to the conditions and requirements given in Appendices A, B & C attached.

To ensure full compliance of the BO, it is prudent for the Authorized Person (AP) who acts as the coordinator of the building works, to inform the Registered General Building Contractor/ Registered Specialist Contractor of all the imposed conditions attached to this approval.

7. Under item 6 of section 17(1) of the BO, you are required to submit initial readings of all the monitoring stations prior to the commencement of the slope remedial works and subsequent monitoring readings at bi-weekly intervals during the course of works. A copy of the monitoring record shall be kept on site for inspection by staff of the Buildings Department (BD). Monitoring checkpoints should be duly monitored and assessed at various critical stages of construction works and the registered contractor should regularly update the works programme of site activities.

8. The checking of submission has been substantially curtailed and greater emphasis is placed on the integrity and competence of the authorized persons. You are expected to comply with the requirement of section 4(3)(b) of the BO in respect of any contravention of the regulations.

9. Chief Geotechnical Engineer / Mainland East of the Geotechnical Engineering Office (GEO) (Contact Person: Mr. Steven, N.F. TSANG on Tel no. 2762 5234) has the following comment:-

- (a) TCP T3 and TCP T5 site supervision personnel under the RGE's Stream should be provided for the works in accordance with the Code of Practice for Site Supervision 2009. The RGE shall submit regular site supervision reports to the BD at monthly intervals or more frequently.

10. District Land Officer/Sai Kung (DLO/SK) of the Lands Department (Contact Person: Mr. K. M. Chau on Tel. no. 2792 5382) has the following comments:-

- a) No works shall be encroached onto government land without the prior written approval of the DLO/SK.
- b) Proposed work on government land shall be avoided as far as possible. Otherwise, AP shall apply to DLO/SK for prior written approval before commencement of works with justification for encroachment onto government land. The land owner shall also be responsible for the future maintenance of such works unless the maintenance party is otherwise agreed.

11. The comments from Environmental Protection Department will be conveyed to you once available.

S. L 9(i)(SS) (2/2016)

Ref. BD DH53/10/NT(A)

12. As conditions of this approval under item 6 of section 17(1) of the BO, prior to application for consent to commencement and carrying out of the slope remedial works, the following documents are required to be submitted for our acceptance.

- a) A condition survey report with photos of all slopes, existing buildings, structure, and utilities adjoining to the site.
- b) Logging of additional trial pit TPFT1 for verification of the existing footing level.

13. It is noted that you submitted a set of supplementary calculation on 27 June 2016 and you made amendments on the calculation and plans on 24 June 2016.

14. You are reminded :-

- a) To draw the attention of the owner to the necessity for the slope remedial works to be carried out as soon as possible, and the provisions in section 27A(2B) in the BO for serving of order to require for the carrying out of the approved work
- b) To provide adequate precautionary measures prior to and during the carrying out of the slope remedial works for the safety of the public, the workers and the adjoining properties. Application for a hoarding permit is required if a hoarding is to be erected under regulation 64 of the Building (Planning) Regulations. In this connection, your attention is drawn to PNAP APP-23.
- c) To monitor the stability of the feature until the completion of the slope remedial works/ preventive measures and give warning of any impending danger. Site inspections and monitoring of the above features should be carried out by professionally qualified geotechnical engineer at quarterly intervals or more frequently, particularly during rainy seasons. Records of inspections and monitoring should be kept in your office and submitted to this department upon request.
- d) To lodge a supervision plan (2 copies) for the works prior to your consent application. Your attention is drawn to section 16(3)(bc) of the BO.
- e) To provide the extent of supervision for different stages of the works as given in the Code of Practice for Site Supervision 2009 (CoP).
- f) To provide TCP T3 to carry out site inspection of the works and prepare and certify the key records on supervision of soil nailing works in accordance with the CoP. The records shall be submitted to the BD for acceptance.

S. L 9(i)(SS) (2/2016)

Ref. BD DH53/10/NT(A)

- g) To give prior notice to the GEO of the date of commencement of site trials for soil nailing works/ non-destructive tests for installed soil nails shown on plans, in order to facilitate the GEO staff to carry out site inspection and field checks.
 - h) To promptly report all significant signs of distress and/or notable landslides during the construction works to the BD and the GEO.
 - i) To provide a copy of the approved plans to the GEO for record.
15. You are required, under regulation 10 of the Building (Administration) Regulations, to submit the following together with a Form BA14 for certification of completion of the works:-
- a) Two sets of as-built record plans.
 - b) Information including a soft copy of the basic data requested in PNAP ADV-8 for registration of slopes and retaining walls for which the owners have maintenance responsibility.
 - c) Two copies of the Maintenance Manual for slopes and retaining walls for which the owners have maintenance responsibility as required in PNAP APP-79.
 - d) The pull-out test report, record of installation and non-destructive test report, if any, for the soil nails.
 - e) Results of groundwater monitoring covering at least one wet season with an assessment report to validate and confirm the design assumption.
16. Please ensure that adequate precautionary measures in terms of site safety protection of earthworks against heavy rainfall are being provided as necessary at all time, prior to and during the course of works.
17. I would like to draw your attention to PNAP ADV-23 and request you to strongly advise your client to take this opportunity to incorporate landscape treatment to the subject Feature in the remedial works to improve its appearance. Please also refer to the "Layman's Guide to Landscape Treatment of Slopes and Retaining Walls" produced by the GEO, which can be viewed/downloaded from the Civil Engineering and Development Department Website (<http://hkss.cedd.gov.hk/hkss/eng/download/index.htm>) through the Internet.
18. Please send a copy of the approved plans to the GEO for retention and reference.

S. L 9(i)(SS) (2/2016)

香港九龍觀塘道410號觀點中心26樓至27樓 26-27/F, Kwun Tong View, 410 Kwun Tong Road, Kowloon, Hong Kong

P.5/...

Ref. BD DH53/10/NT(A)

19. Should you require further advice, please contact our Structural Engineer Mr. LEUNG Ka-chuen at telephone number 2135 2503.

Yours faithfully,

(YEUNG Kar-kui)
Chief Building Surveyor/Slope Safety
for Building Authority

Encl. (Appendices A to C)

c.c. Royal Hong Kong Yacht Club
Kellett Island, Causeway Bay, Hong Kong

Hong Kong Marina Limited
Room 903, Aon China Building,
29 Queen's Road, Central, HK

CGE/ME, GEO

DLO/SK

EPD

BD DH53/10/NT(B)

BD DH53/10/NT(C)

BD DH53/10/NT(D)

BD DH48/13/NT

S. L 9(i)(SS) (2/2016)

香港九龍觀塘道 410 號觀塘中心 26 樓至 27 樓 26-27/F, Kwun Tong View, 410 Kwun Tong Road, Kowloon, Hong Kong

Ref : BD DH53/10/NT (A)

Address : Royal Hong Kong Yacht Club, Pak Sha Wan, Sai Kung DD212 Lot No. 341 & the extension thereto and DD212 Lot No. 332

Appendix A to approval dated 29 JUN 2016

Reinforced Concrete Works

In giving this approval of plans, I hereby impose the following conditions under item 6 in section 17(1) of the Buildings Ordinance:

- (a) Sampling and testing of steel reinforcing bars should be carried out in accordance with CS2:2012* ~~Practice Note for Authorized Persons, Registered Structural Engineers and Registered Geotechnical Engineers (PNAP) APP 45 for compliance with CS2:1995*~~. Testing should be carried out by a laboratory* accredited under the Hong Kong Laboratory Accreditation Scheme (HOKLAS) for the particular test concerned. Test results[@] should be submitted within 60 days of the delivery of the steel reinforcing bars to the site. The test reports should be appended with a statement signed by the Registered Structural Engineer to confirm the following:
 - (i) All steel reinforcing bars used for the construction and the test specimens covered by the test reports are in accordance with the types and grades of steel shown in the approved plans.
 - (ii) Sampling and testing of steel reinforcing bars used have been carried out in accordance with CS2:2012* ~~PNAP APP 45 for compliance with CS2:1995*~~.
 - (iii) The acceptance criteria appropriate to each type and grade of steel reinforcing bars used have been complied with.
 - (iv) All steel reinforcing bars tests have been carried out by a laboratory* accredited under the HOKLAS.
- (b) Sampling of concrete and compression testing of concrete test cubes should be carried out in accordance with the methods specified in CS1:2010. Testing should be carried out by a laboratory* accredited under the HOKLAS for the particular test concerned. Test results[@] should be submitted within 21 days after testing. The test reports should be appended with a summary which contains information on locations of concerned structural elements, concrete grades and dates of cast. The summary should also include previous summary information of concrete cube test reports in chronological order. The test reports should also be appended with a statement signed by the Registered Structural Engineer to confirm the following:
 - (i) All concrete used for the construction and concrete cubes covered by the test reports are in accordance with the concrete grades shown in the approved plans.

(ii) Concrete cube sizes, rates of sampling fresh concrete for testing and acceptance criteria for compressive strength set out in Building (Construction) Regulations have been complied with.

(iii) All concrete cube tests have been carried out by a laboratory* accredited under the HOKLAS and in accordance with the methods specified in CS1:2010.

(c) Concrete should be obtained from concrete suppliers certified under the Quality Scheme for the Production and Supply of Concrete except for those exceptional projects permitted under clause 11.7.1 of the Code of Practice for Structural Use of Concrete 2013 where documents should be submitted by the Registered Structural Engineer at least one week prior to commencement of the works to prove that the concrete supplier is operating under an approved quality system.

2. The following conditions in respect of qualified supervision of works are imposed under item 6 in section 17(1) of the Buildings Ordinances:

- (a) Qualified site supervision of the reinforced concrete works, including sampling of concrete and steel reinforcing bars and making and curing of test cubes, by experienced and competent persons as defined in (b) and (c), should be provided to ensure that the works are carried out in accordance with the plans approved and that the required standards are complied with.
- (b) The Registered Structural Engineer should assign a quality control supervisor to supervise the works, determine the necessary frequency of inspection by the quality control supervisor which should not be less than once a week, and devise inspection check lists. The minimum qualifications and experience of the quality control supervisor is to be the same as the Technically Competent Person of grade T3, as stipulated in the Code of Practice for Site Supervision 2009.
- (c) The Registered General Building Contractor/Registered Specialist Contractor should assign a quality control co-ordinator to provide full time on site supervision of the works and devise inspection check lists. The minimum qualifications and experience of the quality control co-ordinator is to be the same as the Technically Competent Person of grade T1, as stipulated in the Code of Practice for Site Supervision 2009.
- (d) The names and qualifications of the supervisory personnel representing the Registered Structural Engineer and the Registered General Building Contractor/Registered Specialist Contractor respectively should be recorded in an inspection log book. The date, time, items inspected and inspection results should be clearly recorded in the log book. The log book should be kept on site for inspection by representatives of the Buildings Department.

Delete wherever inapplicable.

* A Directory of Accredited Laboratories in Hong Kong is obtainable from the Hong Kong Accreditation Service (HKAS) Executive, Innovation and Technology Commission.

A laboratory's accreditation for an individual test or calibration may be granted, modified or withdrawn at any time. Up-to-date information on accredited laboratories and their scopes of accreditation are available on the internet at the HKAS website at <http://www.info.gov.hk/itc/hkas/>.

@ The test carried out by an accredited laboratory should be within its scope of accreditation. To ensure this, test results should be reported on a HOKLAS Endorsed Certificate or equivalent Certificate/Report issued from other laboratory accreditation bodies which have reached mutual recognition agreements/arrangements with the HOKLAS.

Ref: BD DH53/10/NT (A)

Address: Royal Hong Kong Yacht Club, Pak Sha Wan, Sai Kung DD212 Lot No. 341 & the extension thereto and DD212 Lot No. 332

Appendix B to approval dated 29 JUN 2016

Soil Nail/Rock Dowel Works

In giving this approval of plans, I hereby impose the following conditions under item 6 in section 17(1) of the Buildings Ordinance.

- (a) Sampling and testing of steel reinforcing bars used in the soil nail/rock dowel works should be carried out in accordance with CS2:2012[#]/~~Practice Note for Authorized Persons, Registered Structural Engineers and Registered Geotechnical Engineers (PNAP) APP 45 for compliance with CS2:1995[#]~~. Testing should be carried out by a laboratory* accredited under the Hong Kong Laboratory Accreditation Scheme (HOKLAS) for the particular test concerned. Test results[@] should be reported on a HOKLAS Endorsed Certificate and submitted within 60 days of the delivery of the steel reinforcing bars to the site. The test reports should be appended with a statement signed by the Registered Structural Engineer to confirm the following:
- (i) All steel reinforcing bars used in the soil nail/rock dowel works and the test specimens covered by the test reports are in accordance with the types and grades of steel shown in the approved plans.
 - (ii) Sampling and testing of steel reinforcing bars used have been carried out in accordance with CS2:2012[#]/~~PNAP APP 45 for compliance with CS2:1995[#]~~.
 - (iii) The acceptance criteria appropriate to each type and grade of steel reinforcing bars used have been complied with.
 - (iv) Testing of steel reinforcing bars has been carried out by a laboratory* accredited under HOKLAS.
- (b) The requirements of sampling and testing of grout are as follows:
- (i) For each grout mix one sample of grout shall be provided from each 10 batches of grout, or every 10 m³ from the amount of grout produced in a day, whichever is the lesser, to determine the crushing strength of the grout. Samples shall be provided not more than 1 hour after the grout has been mixed and shall be protected from weather before test cubes are made.
 - (ii) Compression testing of grout test cubes should be carried out in

accordance with the methods specified in CS1:2010 using 100mm size cubes. Testing should be carried out by a laboratory* accredited under HOKLAS for the particular test concerned. Test results[@] should be reported on a HOKLAS Endorsed Certificate and appended with a statement signed by the Registered Structural Engineer to confirm that the acceptance criteria set out in the Building (Construction) Regulation 59 have been complied with, and should be submitted within 21 days after testing.

- (c) Qualified site supervision of the sampling of cement grout and making and curing of test cubes by experienced and competent persons should be provided to ensure that the works are carried out in accordance with the plans approved and that the required standards are complied with.

2. Your attention is drawn to the following conditions:

- (a) Site supervision of the soil nail works by a team of supervisors shall be provided each by the Authorized Person, Registered Geotechnical Engineer and Registered Specialist Contractor in accordance with the Technical Memorandum for Supervision Plans 2009 and the Code of Practice for Site Supervision 2009 to ensure that the quality of the works is up to standard and that the works are carried out in accordance with the plans approved and in such a manner as not to render inadequate the margin of safety of, or impair the stability of, or cause danger to any building, structure, land, street or services. The extent of supervision to be provided for different stages of the soil nailing works is provided in the Code of Practice for Site Supervision 2009.
- ~~(b)[#] In addition to the Technically Competent Persons of grade T3 and T5 under the Registered Geotechnical Engineer stream, a Directorate Site Supervisor shall be provided for the works. The name of the Directorate Site Supervisor shall also be given in the site supervision plan.~~
- (c)[#] The Technically Competent Persons of grade T5[#] and/or the Directorate Site Supervisor under the Registered Geotechnical Engineer's stream shall submit regular reports of his/her findings and recommendations to the Registered Geotechnical Engineer. The Registered Geotechnical Engineer shall formally submit these reports to the Buildings Department and copy them to the Geotechnical Engineering Office at MONTHLY intervals or more frequently.

3. In connection with paragraph 2(a) above, details of site supervision of the works and of the quality of the soil nail works shall be included in the supervision plan and submitted prior to or at the time of application for consent to the commencement of the works.

4.[#] A report containing results of the site trials with clear statements on buildability and whether special methods of construction need to be adopted (and if so the details) should be submitted to the Buildings Department at least one week prior to the commencement of construction of the working soil nails.

5.[#] The pull-out test report, records of installation and non-destructive test report (if any) for the soil nails should be submitted to and found satisfactory by the Building Authority within 21 days after testing.

6.[#] The Technically Competent Persons of grade T3 shall carry out site inspection of the works and prepare and certify the key records on supervision of soil nailing works in accordance with the Code of Practice for Site Supervision 2009.

7. Prior notice should be given to the GEO of the date of commencement of site trials for soil nailing works/non-destructive tests for installed soil nails in order to facilitate Geotechnical Engineering Office to carry out site inspection and field checks.

8. All significant signs of distress and/or notable landslides during the construction works should be reported promptly to the Buildings Department and the Geotechnical Engineering Office.

[#] Delete wherever inapplicable

* A Directory of Accredited Laboratories in Hong Kong is obtainable from the Hong Kong Accreditation Service (HKAS) Executive, Innovation and Technology Commission.

A laboratory's accreditation for an individual test or calibration may be granted, modified or withdrawn at any time. Up-to-date information on accredited laboratories and their scopes of accreditation are available on the internet at the HKAS website at <http://www.info.gov.hk/itc/hkas/>.

@ The test carried out by an accredited laboratory should be within its scope of accreditation. To ensure this, test results should be reported on a HOKLAS Endorsed Certificate or equivalent Certificate/Report issued from other laboratory accreditation bodies which have reached mutual recognition agreements/arrangements with the HOKLAS.

Ref : BD DH53/10/NT (A)

Address : Royal Hong Kong Yacht Club, Pak Sha Wan, Sai Kung DD212 Lot No. 341 & the extension thereto and DD212 Lot No. 332

Appendix C to approval dated 29 JUN 2016

Type 1 Mechanical Coupler for Steel reinforcing Bars ^a
~~Mechanical Couplers for Steel Reinforcing Bars without Ductility Requirement^b~~

In giving this approval of plans, I hereby impose the following conditions under item 6 in section 17(1) of the Buildings Ordinance:

- (a) Qualified site supervision of the splicing assembly⁺ works by experienced and competent persons shall be provided to ensure that the works are carried out in accordance with the plans approved and that the required quality standards are complied with.
- (b) The Registered Structural Engineer (RSE) should assign a quality control supervisor to supervise the works, determine the necessary frequency of inspection by the quality control supervisor which should not be less than once a week, and devise inspection check lists. The minimum qualifications and experience of the quality control supervisor is to be the same as the Technically Competent Person of grade T3, as stipulated in the Code of Practice for Site Supervision 2009.
- (c) The Registered General Building Contractor/Registered Specialist Contractor (RGBC/RSC) should assign a quality control co-ordinator to provide full time on site supervision of the works and devise inspection check lists. The minimum qualifications and experience of the quality control co-ordinator is to be the same as the Technically Competent Person of grade T1, as stipulated in the Code of Practice for Site Supervision 2009.
- (d) The names and qualifications of the supervisory personnel representing the RSE and the RGBC/RSC respectively should be recorded in an inspection log book. The date, time, items inspected and inspection results should be clearly recorded in the log book. The log book should be kept at the site office and, when required, produced to the Building Authority for inspection^{**}.
- (e) Strength tests on a representative number of the mechanical splices, as directed by the RSE, are required to be carried out in accordance with the test criteria specified in paragraph 4 below. The tests should be carried out by a laboratory^{*} accredited under the Hong Kong Laboratory Accreditation Scheme (HOKLAS) or by other laboratory accreditation bodies which have reached mutual recognition agreements/arrangements with the HOKLAS for the particular tests concerned. All results of the strength tests[@] should be submitted within 60 days of the delivery of the splicing components or the - partially fabricated assemblies to site and appended with a statement signed by the RSE to confirm that the acceptance criteria appropriate to the tests have been complied with.

2. Under Building (Administration) Regulation 10, a copy of quality assurance scheme of the manufacturer is required to be submitted prior to the application for consent to the commencement of the splicing assembly works. The quality assurance scheme should include the following details:

- (a)[^] Quality control documentation relating to the production of the mechanical couplers.
- (b)[^] Sample mill certificates of the constituent materials used to produce the couplers.
- (c) Description of the process of strength hardening and threading the connecting ends of the steel reinforcing bars.
- (d) Description of the method of installing the steel reinforcing bars to the couplers. This should include description of any special equipment involved, its frequency of calibration and any special training provided to the site fabricators and the inspection required.
- (e) Documents to prove that manufacturing of the couplers and the process of strength hardening and threading of the connecting ends of steel reinforcing bars are by a factory or factories with ISO 9001 quality assurance certification.
- (f)^{^a} Test results[@] to establish that the criteria as specified in clause 3.2.8.3 of the Code of Practice for Structural Use of Concrete 2013 (CoP for Structural Use of Concrete 2013) are complied with.
- ~~(g)^{^b} Test results[@] to establish that the permanent elongation of the splicing assemblies after loading to 0.6f_y should not exceed 0.1 mm in accordance with the requirements stated in Clause 3.2.8.2 of the Code of Practice for Structural Use of Concrete 2004 (CoP for Structural Use of Concrete 2004) and the tensile strength of the splicing assemblies should exceed 287.5 N/mm² for grade 250 and 529 N/mm² for grade 460.~~

3. Under Building (Administration) Regulation 10, a description of the sampling procedures including the arrangement from collecting samples to delivery of samples to laboratory for testing the quality of the splicing assemblies is required to be submitted prior to the application for consent to the commencement of the splicing assembly works.

4. Strength tests of the splicing assemblies should satisfy the following criteria:

- (a)^a Clause 3.2.8.3 of the CoP for Structural Use of Concrete 2013.
- ~~(b)^b Permanent elongation of the splicing assemblies after loading to 0.6 f_y should not exceed 0.1 mm in accordance with the requirements stated in Clause 3.2.8.2 of CoP for Structural Use of Concrete 2004 and the tensile strength of the splicing assemblies should exceed 287.5 N/mm² for grade 250 and 529 N/mm² for grade 460.~~

- (c) Sampling for testing depends on the quantity of the couplers of the same type and size, covered by the same mill and testing certificates, delivered to the site. The sampling should be a continuous process and at a rate commensurate with the number of couplers to be used for splicing steel reinforcing bars as follows:

Number of couplers to be used (Nos.)	Minimum number of splicing assemblies
Less than or equal to 100	3
101 st – 500 th	3
501 st – 1000 th	3
Every 1 st to 500 th thereafter	2

5. Under Building (Administration) Regulation 10, a copy of mill certificates of the constituent materials used to produce the coupler is required to be submitted within 60 days of the delivery of the mechanical couplers to the site.

- + A splicing assembly comprises a mechanical coupler connected with steel reinforcing bars at both ends.
- * A Directory of Accredited Laboratories in Hong Kong is obtainable from the Hong Kong Accreditation Service (HKAS) Executive, Innovation and Technology Commission.

A laboratory's accreditation for an individual test or calibration may be granted, modified or withdrawn at any time. Up-to-date information on accredited laboratories and their scopes of accreditation are available on the internet at the HKAS website at <http://www.info.gov.hk/itc/hkas/>.

- @ The test carried out by an accredited laboratory should be within its scope of accreditation. Test results should be reported on a HOKLAS Endorsed Certificate or equivalent Certificate/Report issued from other laboratory accreditation bodies which have reached mutual recognition agreements/arrangements with the HOKLAS.
- ^ Not required if the mechanical coupler is one of the types listed in Central Data Bank.
- ^a Delete when the design is to the CoP for Structural Use of Concrete 2004.
- ^b Delete when the design is to the CoP for Structural Use of Concrete 2013.
- ** For the Personal Data contained in the documents/reports mentioned in this Appendix

Purposes of Collection

- (i.) The personal data provided will be used by the Buildings Department for the following purposes:
 - (a) activities relating to the processing of the submission;
 - (b) activities relating to works specified in this appendix; and
 - (c) facilitating communication between the Buildings Department and the related personnel.

- 4 -

Classes of Transferees

(ii.) The personal data provided may be disclosed to:

- (a) other Government departments, bureaux & relevant organizations for the purposes mentioned in paragraph (i) above; and
- (b) any person for the purpose mentioned in paragraph (i)(b) above.

Access to Personal Data

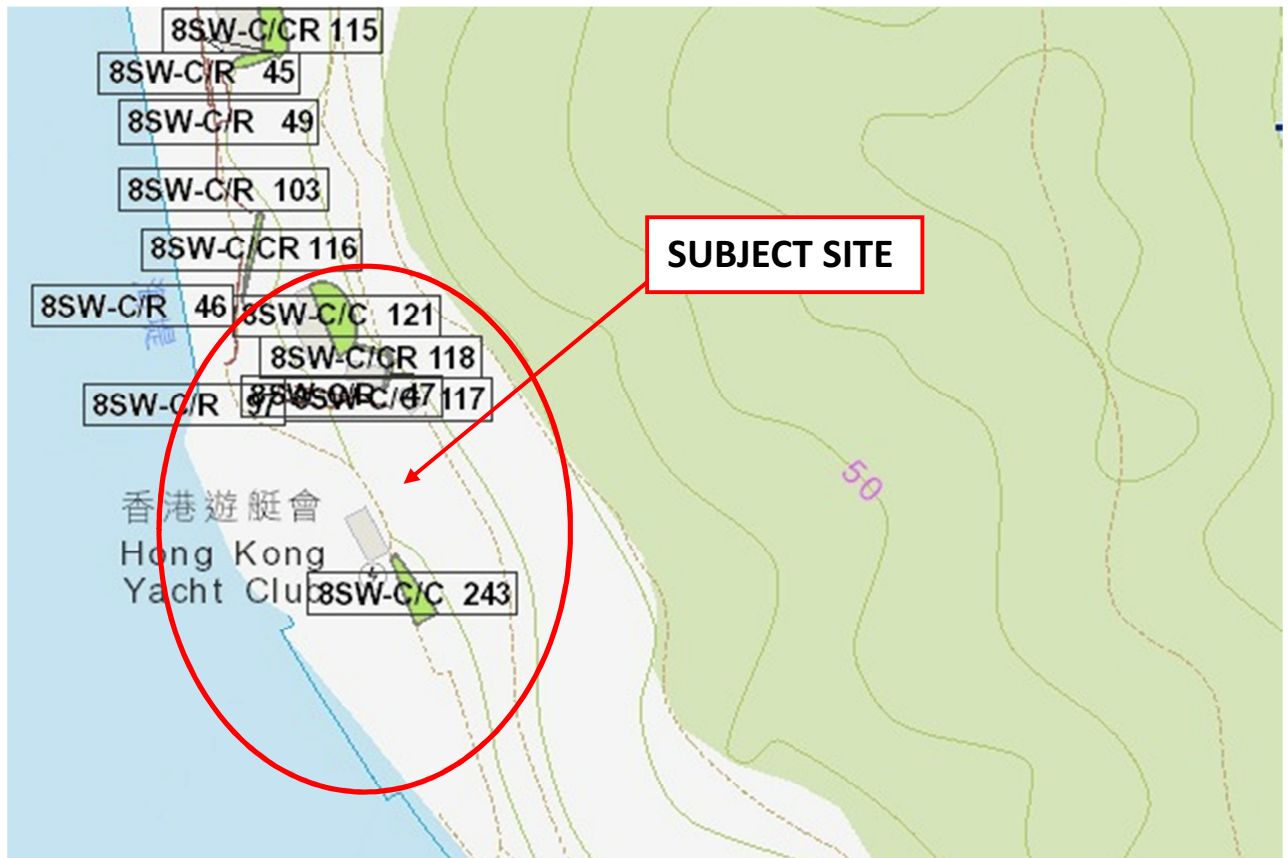
(iii.) Data subject has a right of access and correction with respect to personal data as provided for in section 18 and 22 and principle 6 of Schedule 1 of the Personal Data (Privacy) Ordinance. Data subject's right of access includes the right to obtain a copy of his/her personal data provided by AP/RSE's submission.

Responsibility of AP/RSE

(iv.) AP/RSE should be responsible for disseminating of the above information to the relevant data subjects.

APPENDIX G

PAST LANDSLIDES RECORD PLAN

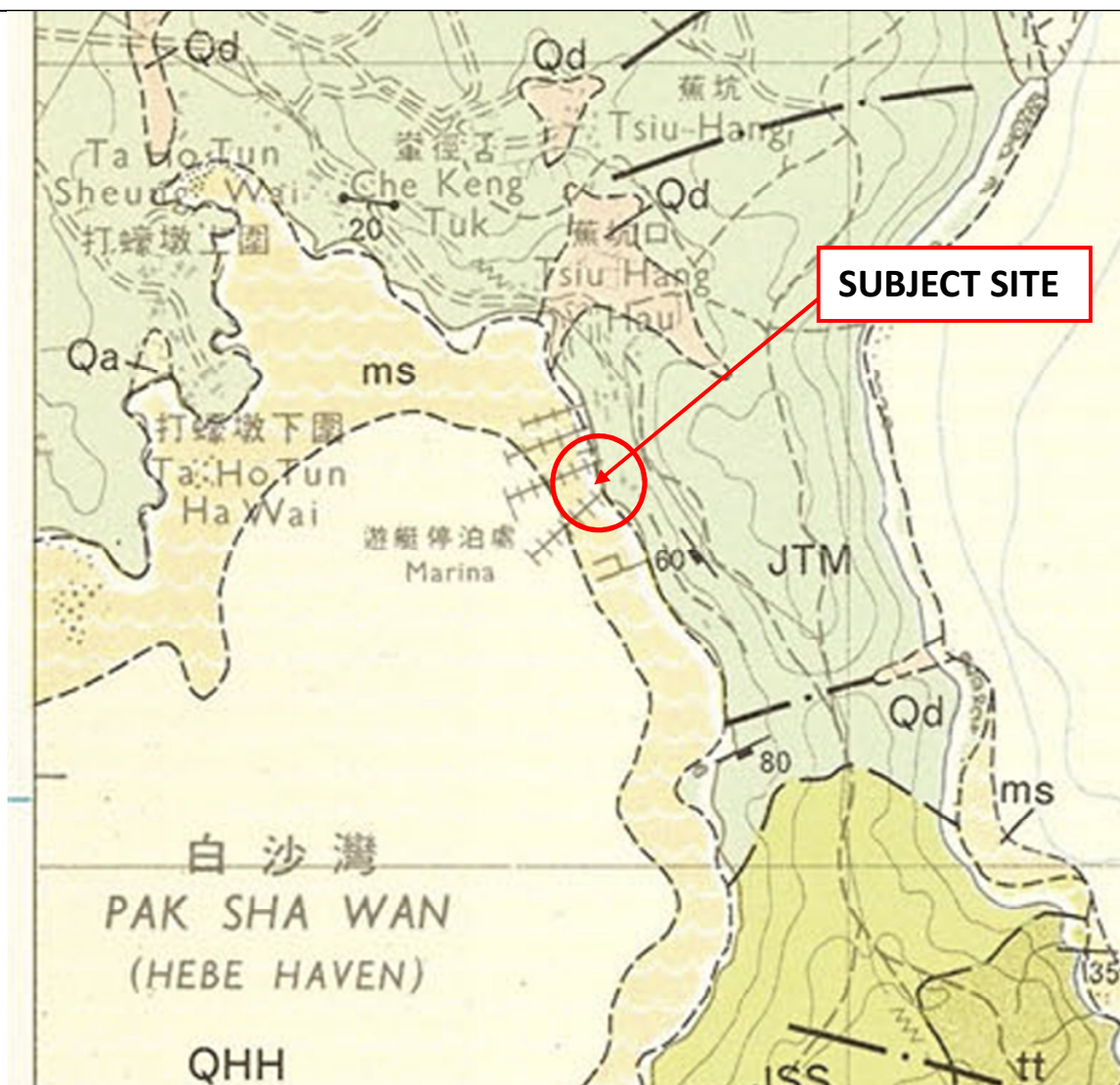


PAST LANDSLIDES RECORD PLAN RETRIEVED FROM GINFO

**NOTE: NO LANDSLIDES INCIDENT WAS RECORDED
BEHIND THE SUBJECT SITE.**

APPENDIX H

GEOLOGICAL SURVEY MAP OF SUBJECT SITE



LEGEND:

中生界 MESOZOIC		上侏羅統至下白堊統 UPPER JURASSIC TO LOWER CRETACEOUS		淡水溝群 REPULSE BAY VOLCANIC GROUP	
				br	外生角礫岩.....Epiclastic breccia
			High Island Formation..... 糧船灣洲組	JHI	主要為細火山灰凝灰岩（未分）.....Undivided, mainly fine ash tuff
		自角礫岩化 Autobrecciated  懶泥灣段 Lan Nai Wan Member 大潭段 Tai Tun Member		JCB	主要為粗面英安質和流紋質熔岩（未分）.....Undivided, mainly trachydacite and rhyolite lava
			Jln	沉凝灰岩和凝灰岩.....Tuffite and tuff	
			Jtt	條紋斑巖.....Eutaxite	
	清水灣組 Clear Water Bay Formation		cat	粗火山灰凝灰岩.....Coarse ash tuff	
			t	沉凝灰岩.....Tuffite	
			tb	凝灰角礫岩.....Tuff-breccia	
			姜公屋組 Mang Kung Uk Formation	JMK	主要為凝灰質泥岩、粉砂岩和角礫岩（未分）.....Undivided, mainly tuffaceous mudstone, siltstone and breccia
				r	流紋質熔岩.....Rhyolite lava
				fa	細火山灰凝灰岩.....Fine ash tuff
			銀線灣組 Silverstrand Formation	JSS	主要為條紋斑巖（未分）.....Undivided, mainly eutaxite
				tt	沉凝灰岩.....Tuffite
			Tai Mo Shan Formation..... 大帽山組	JTM	主要為粗火山灰晶屑凝灰岩（未分）.....Undivided, mainly coarse ash crystal tuff
			Ap Lei Chau Formation..... 鴨洲組	JAC	主要為細火山灰玻屑凝灰岩（未分）.....Undivided, mainly fine ash vitric tuff

**Geological Map Extracted from
Sheet No.8 (Sai Kung) 1:20000 HGM 20-Series Hong Kong Geological Survey Map**

APPENDIX I

RETRIEVED GROUND INVESTIGATION RECORDS

RECORD OF BORINGS

FOR

ROYAL HONG KONG

YACHT SHELTER COVE

AT

SAI KUNG, N.T.

CONSULTING

ENGINEER : Bmmk Ratcliffe Hoare & Co., Ltd.

"ZENITH"

REF. NO: 95/604/B

DATE: 4th Jan., 1996

BY

ZENITH ENGINEERING CO., LTD.
HONG KONG

TEL. 25448921, 25448737

Date 19/12/95 to 22/12/95
Sheet 1 of 1

RISING and FALLING HEAD PERMEABILITY TEST

PROJECT

Royal Hong Kong Yacht
Shelter Cove, Sai Kung

ARCHITECT

CONTRACTOR

ZENTHENGINEERING CO., LTD.

BOREHOLE NO.

BH- 2

DATE

19/12/95

Borehole

Drillhole

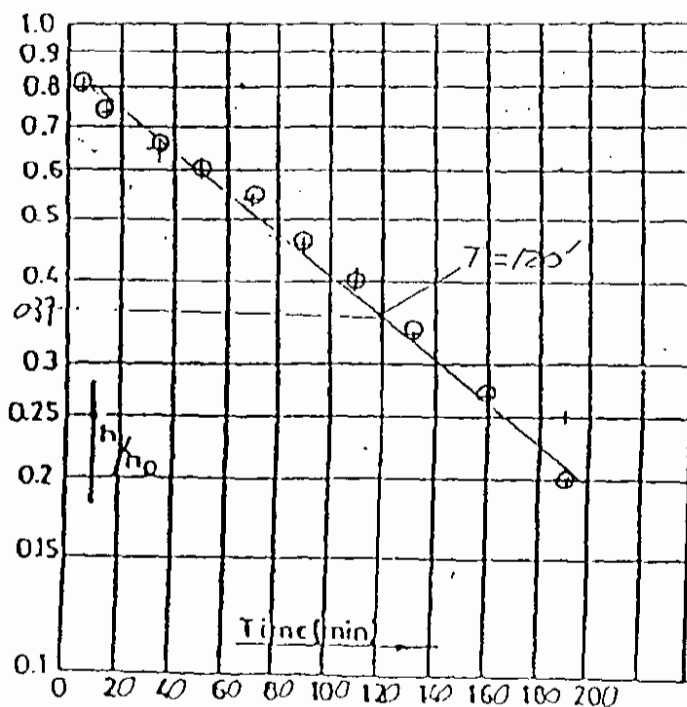
Date

Observer

Use only CLEAN water for the test
Has water been added during boring?
Yes/No

Fill in the boxes in the diagram
Internal diam.
of casing

Time on clock	Time elapsed min sec	d_1 Depth of water below top of casing	$h_t = (d_1 - d_2)$	h_t/h_0
	00	0	3.0	1.0
	10	0.2	2.8	0.93
	20	0.4	2.6	0.87
	50	0.6	2.4	0.80
	160	0.8	2.2	0.73
	320	1.0	2.0	0.67
	500	1.2	1.8	0.60
	700	1.4	1.6	0.53
	900	1.6	1.4	0.47
	1100	1.8	1.2	0.40
	1350	2.0	1.0	0.33
	1600	2.2	0.8	0.27
	1900	2.4	0.6	0.20
	2200	2.6	0.4	0.13



Casing above G.L.

Depths of other casings below G.L.

Depth of water below G.L. before test

Depth of smallest casing below G.L.

Depth of hole below G.L.

Diameter of hole below casing

Water table level

How this deduced?

$$K = \frac{d^2 \ln\left(\frac{2L}{D}\right) - 29.98 \times 2.95}{8 \cdot L \cdot T} = \frac{0.03186}{57600} = 5.5 \times 10^{-7} \text{ m}^3/\text{sec}$$

Remarks:

ZENITH ENGINEERING CO., LTD.

CLIENT :

CONTRACT NO. :

WORKS ORDER NO. :

DETAILS OF PIEZOMETER INSTALLATION

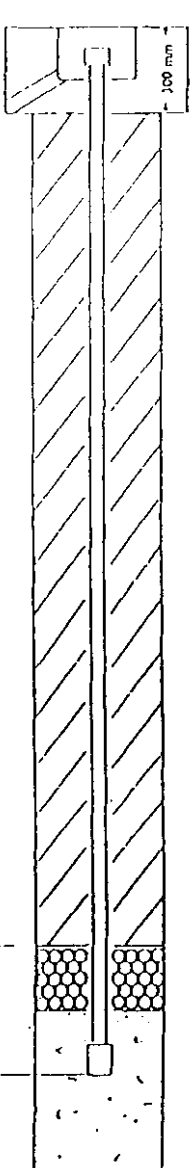
PROJECT :

CONSULTANT :

LOCATION: Royal Hong Kong Shelter Cove, Sai Kung, N.T.

DRILLHOLE NO : BH-2 GROUND LEVEL mPD DATE DRILLED 19/12-22/12/95

DRILLHOLE DIA : 0.00m ^{HX} 7.5m ^{NX} 10.9m ^{TNW} 16.0m DATE INSTALLED : 22/12/95

APPROXIMATE GEOLOGY	REDUCED LEVEL (mPD)	DEPTH (m)	PIEZOMETER DETAILS	REMARKS
(FILL)		0.00		
		0.60		
C.D. ASH-TUFF		10.90		
		13.20		
S.D. ASH-TUFF		14.70		
		15.50		
		16.00	End of hole	

ADDITIONAL REMARKS : Not to scale



BENTONITE SEAL



SAND FILTER

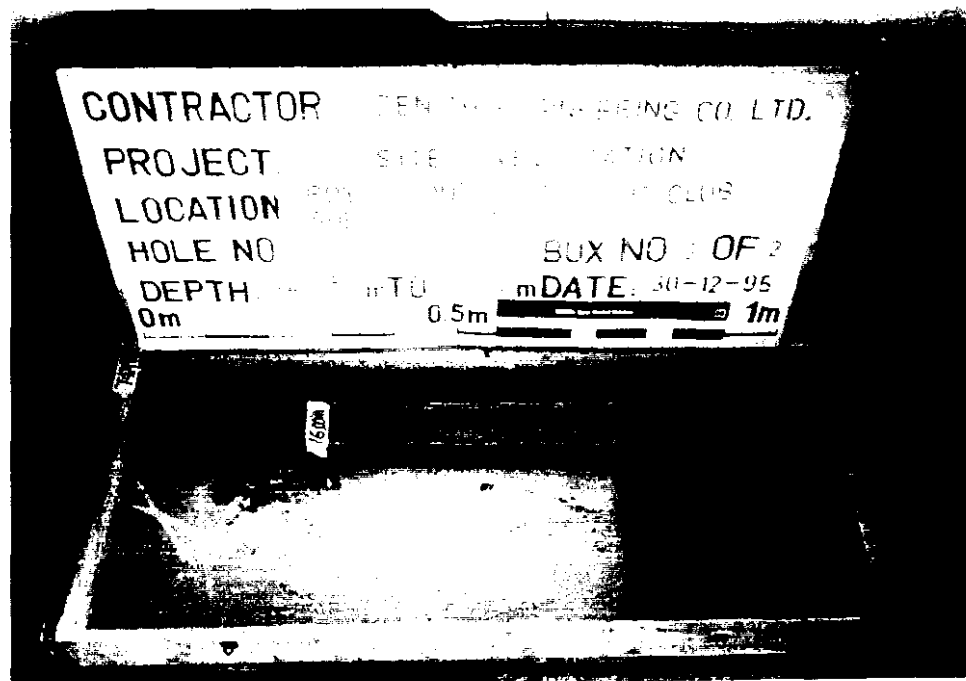
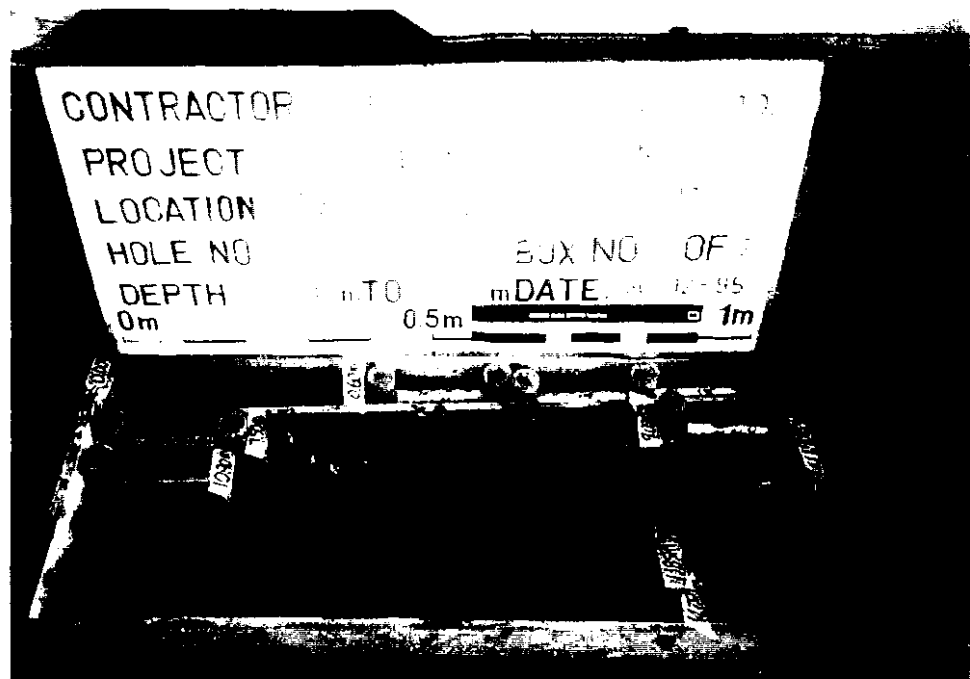


CEMENT BENTONITE GROUT

RECORD OF WATER TABLE MEASUREMENT

Project Royal Hong Kong Yacht Cove, Sai Kung, N.T.

[illegible]



Location Royal Hong Kong Yacht Shelter Cove, Sai Kung, N.T.
 Drill/Bore Hole No. BH-3 Surface elevation +10.00 m P.D.
 Total depth of hole 18.35 m Orientation Vertical
 Method Rotary Co-ordinate N

界力工程有限公司
 ZENITH ENGINEERING CO., LTD.

Depth (m) Size	Ground water	Water Rec'd %	Legend	Core Recov %	SP D S	Description	Blows "N" and Grade	Sample No.	
0.00									0.00
PX			- -			Firm orangish brown clayey silt	N=5	D+L (1)	1.00
			- -			(Residual soil derived from fine grained -ASH -TUFF)			1.45
			- -						2.00
		60%	- -	50				M101 (1)	3.00
			- -				N=6	D+L (2)	3.45
4.0m	4.0m		- -						4.00
			✓			Extremely weak yellowish brown completely decomposed fine Grained ASH -TUFF	N=12	D+L (3)	4.45
			✓	100				M101 (2)	5.00
			✓				N=15	D+L (4)	6.00
			✓						6.45
			✓				N=18	D+L (5)	7.00
		75%	✓	100		(Stiff Sandy silt)		M101 (3)	7.45
9.1m			✓						8.00
9.43m			✓	100	70	Extremely weak to weak brownish grey completely decomposed fine grained ASH- TUFF	N=20	TNW	9.00
			✓					D+L (6)	9.10
10.8m			✓			(very stiff sandy silt with slightly decomposed ASH-TUFF core stone at 9.1m - 9.43m and 10.8m - 11.43m)	205		9.43
11.43m			✓	100	75		0.1m	D-7	9.95
			✓					TNW	10.50
			✓	100				M101 (4)	10.80
13.0m			✓				N=43	D+L (8)	11.43
			✓						11.50
			✓	100	25	Strong Grey Slightly			12.50
			✓	100	20	Decomposed Fine Grained ASH-TUFF	Grade II	TNW	12.95
		85%	✓	100	30	With Closely To Medium Spaced Joints			13.00
			✓	100	80				13.50
			✓	100	37				14.60
18.35m			✓						15.70
			✓						16.80
			✓						18.35
						BOTTOM OF HOLE AT 18.35 m	Remarks : Double checked box by Geologist sure the rock is Grade II.		

FALLING HEAD TEST AT 8.0m - 9.0m

PIEZOMETER AT 13.0 m

RISING and FALLING HEAD PERMEABILITY TEST

PROJECT Royal Hong Kong Yacht Sheiter Cove, Sai Kung	ARCHITECT CONTRACTOR ZENITH ENGINEERING CO., LTD.	BOREHOLE NO. BH-3 DATE 16/12/95
---	---	--

Borehole

Drillhole

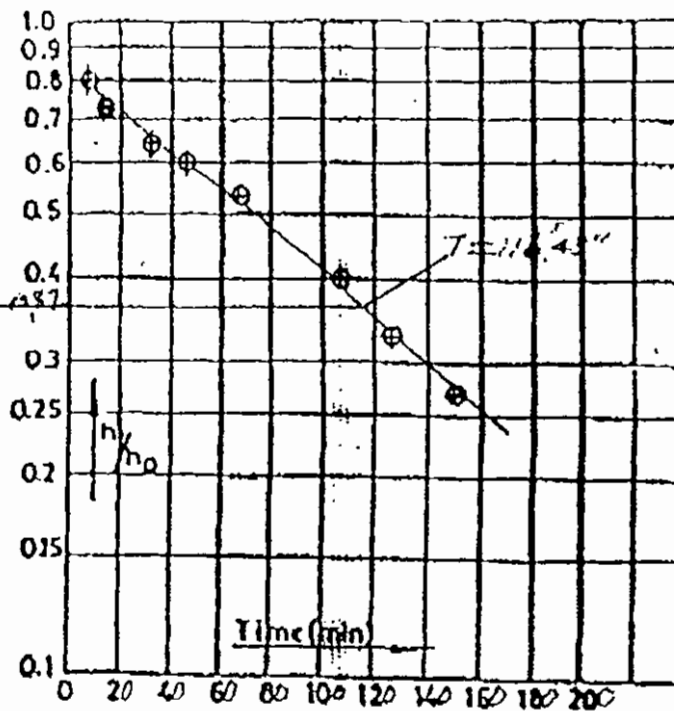
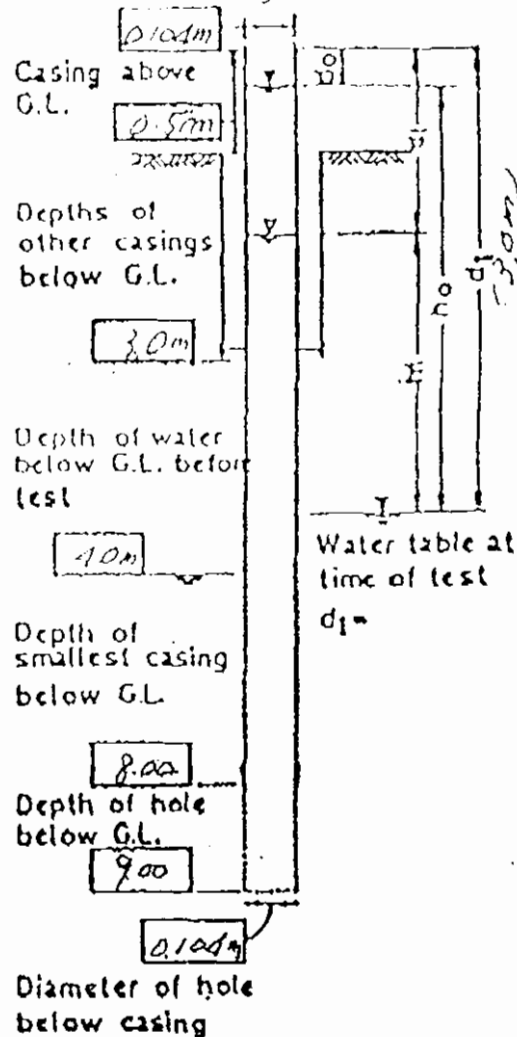
 Use only CLEAN water for the test
 Has water been added during boring?
 Yes/No

Date

Observer

 Fill in the boxes in the diagram
 Internal diam.
 of casing

Time on clock	Time elapsed of water below top of casing min sec	d ₁ - Depth of water below top of casing	h ₁ = (d ₁ - d ₁)	h ₁ /h ₀
	0.0	0	3.0	1.0
	1.00	0.2	2.8	0.93
	3.00	0.4	2.6	0.87
	4.00	0.6	2.4	0.80
	15.00	0.8	2.2	0.73
	30.00	1.0	2.0	0.67
	45.00	1.2	1.8	0.60
	65.00	1.4	1.6	0.53
	85.00	1.6	1.4	0.47
	105.00	1.8	1.2	0.40
	125.00	2.0	1.0	0.33
	150.00	2.2	0.8	0.27
	175.00	2.4	0.6	0.20
	200.00	2.6	0.4	0.13



Water table level.....

How this deduced?

$$K = \frac{d^2 \ln\left(\frac{2L}{D}\right)}{8 \cdot L \cdot T} = \frac{0.0108 \times 2.95}{8 \times 1 \times 7003} = \frac{0.03186}{56024} = 5.69 \times 10^{-7} \text{ m}^3/\text{Sec}$$

Remarks:

ZENITH ENGINEERING CO., LTD.

CLIENT :

CONTRACT NO. :

ORDER NO. :

DETAILS OF PIEZOMETER INSTALLATION

PROJECT :

CONSULTANT :

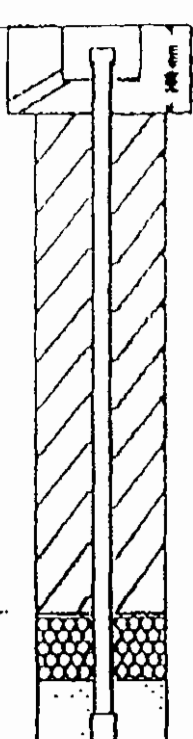
LOCATION: Royal Hong Kong Shelter Cove Sai Kung

BRIEHHOLE NO. : BH- 3 GROUND LEVEL : m P.D.

DATE DRILLED : 16/12/95-18/12/95

BRIEHHOLE DIA : 0.0m PX 3.0m HX 13.0m TNW

DATE INSTALLED : 18/12/95

APPROXIMATE GEOLOGY	REDUCED LEVEL (m P.D.)	DEPTH (m)	PIEZOMETER DETAILS	REMARKS
C.O. ASH-TUFF		0.00		
		10.70		
C.O. ASH-TUFF		12.20		
		13.00		
		13.50		
		15.00		
M/S.D. ASH-TUFF		18.35		End of hole
			ADDITIONAL REMARKS : Not to scale	
 BENTONITE SEAL  SAND FILTER  CEMENT BENTONITE GROUT				

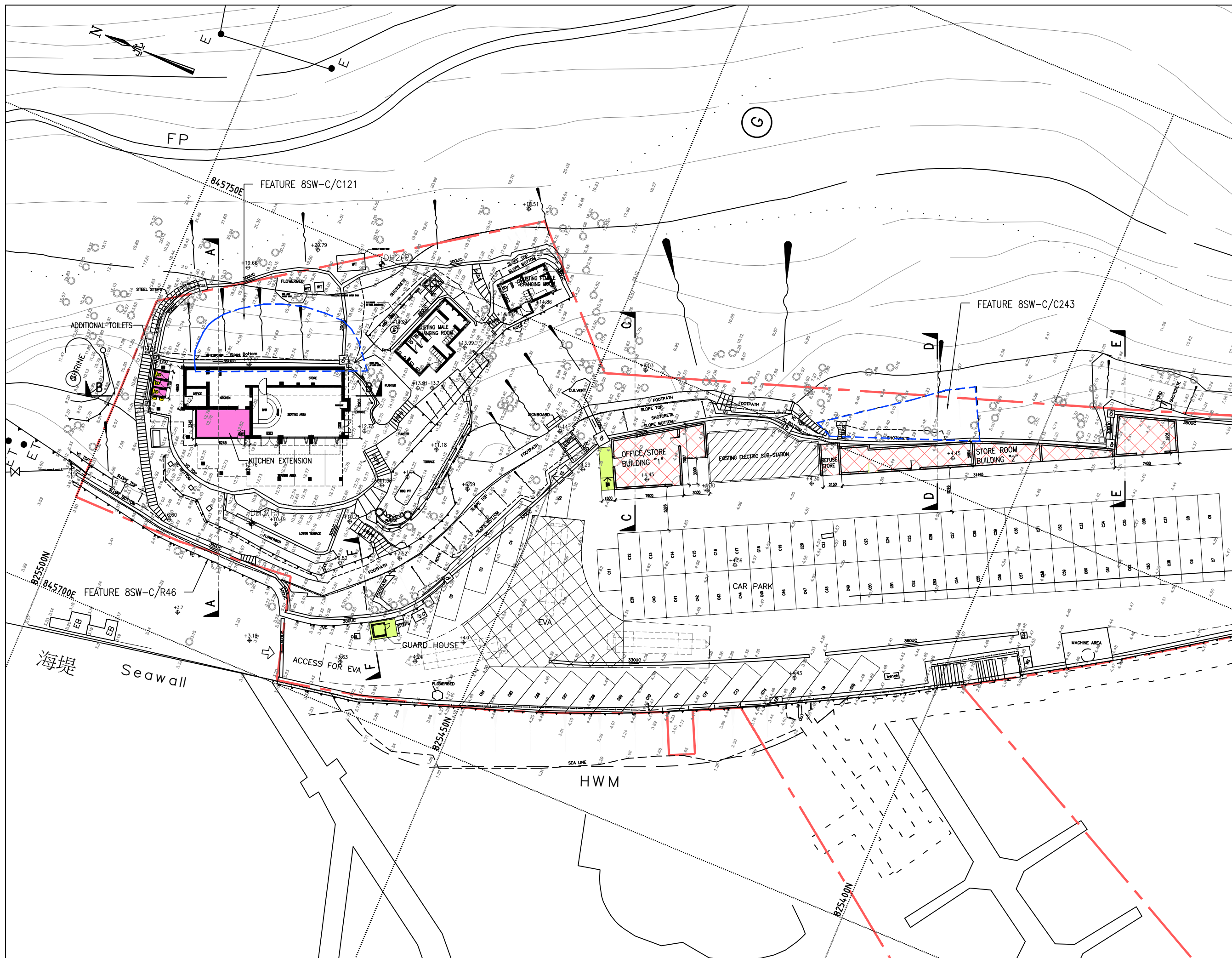
Project No. _____

Project Royal Hong Kong Yacht Cove, Sai Kung, N.T.

[illegible]

APPENDIX J

PROPOSED SITE FORMATION PLAN AND SECTIONS



NOTES:
DO NOT SCALE DRAWINGS.
ALL DIMENSIONS MUST BE VERIFIED AT THE WORK BY THE CONTRACTOR.
ALL PRINTS, SPECIFICATIONS AND THEIR COPYRIGHT ARE THE PROPERTY OF THE ARCHITECTS AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.

LEGEND

--- LOT BOUNDARY
DH2(P)
EXISTING BOREHOLES

REVISION		
NO	DATE	DESCRIPTION

ARCHITECT
STUDIO | R&A
18/F | Xiu Hua Commercial Building
211-213 Jaffe Road | Wan Chai | HK
Tel: 3583-2000 | Fax: 8143-1130
Email: mail@studiorca.com

STUDIO | RAYMOND CHAU |
ARCHITECTURE | LIMITED

PROJECT NAME
SHELTER COVE
ROYAL HONG KONG YACHT CLUB
D.D. 212, LOT 341, SAI KUNG,
NEW TERRITORIES,
HONG KONG

DRAWING TITLE
PROPOSED SITE FORMATION PLAN WITH
PROPOSED GROUND INVESTIGATION

DRAWN BY	PT	CHECKED BY	PH
SCALE	1:100	DATE	2022.08.04
JOB No.	2161	DRAWING No.	SF01

NOTES:
DO NOT SCALE DRAWINGS.
ALL DIMENSIONS MUST BE VERIFIED AT THE WORK BY THE CONTRACTOR.
ALL PRINTS, SPECIFICATIONS AND THEIR COPYRIGHT ARE THE PROPERTY OF THE ARCHITECTS AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.

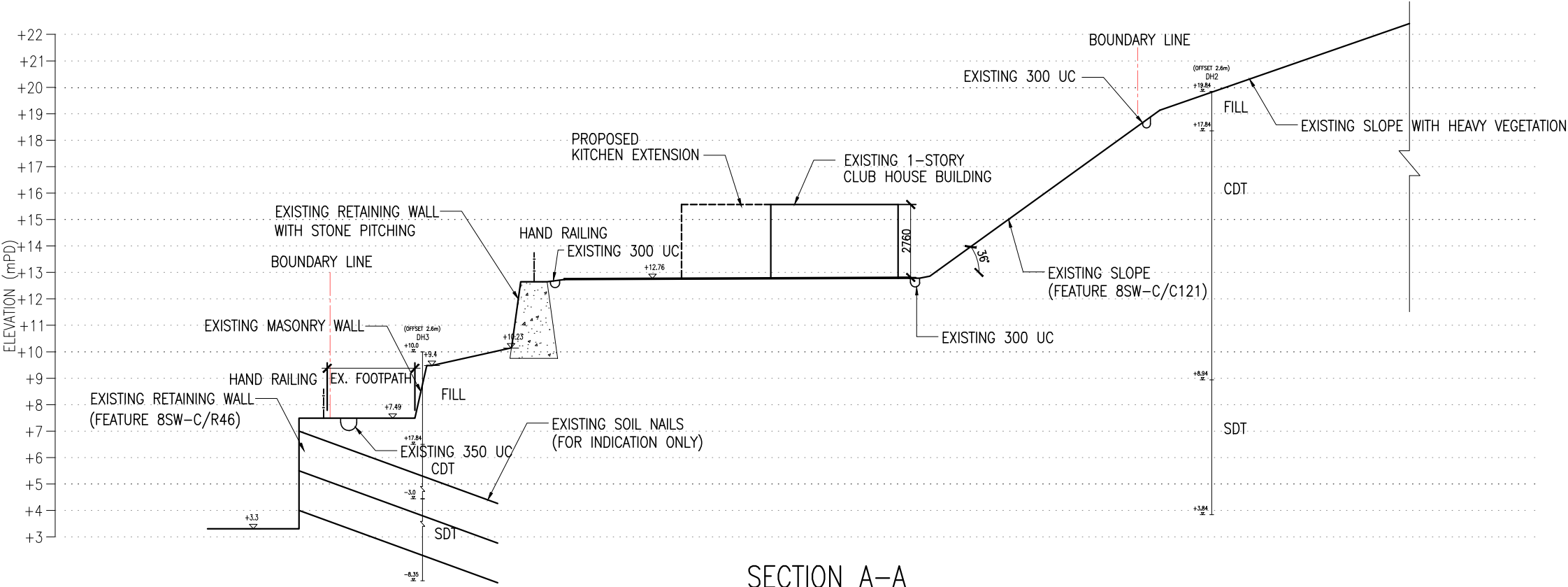
REVISION		
NO.	DATE	DESCRIPTION

ARCHITECT
STUDIO | R&A
18/F | Xiu Hua Commercial Building
211-213 Jaffe Road | Wan Chai | HK
Tel: 3583-2000 | Fax: 8143-1130
Email: mail@studio^{ra}.com
STUDIO | RAYMOND CHAU |
ARCHITECTURE | LIMITED

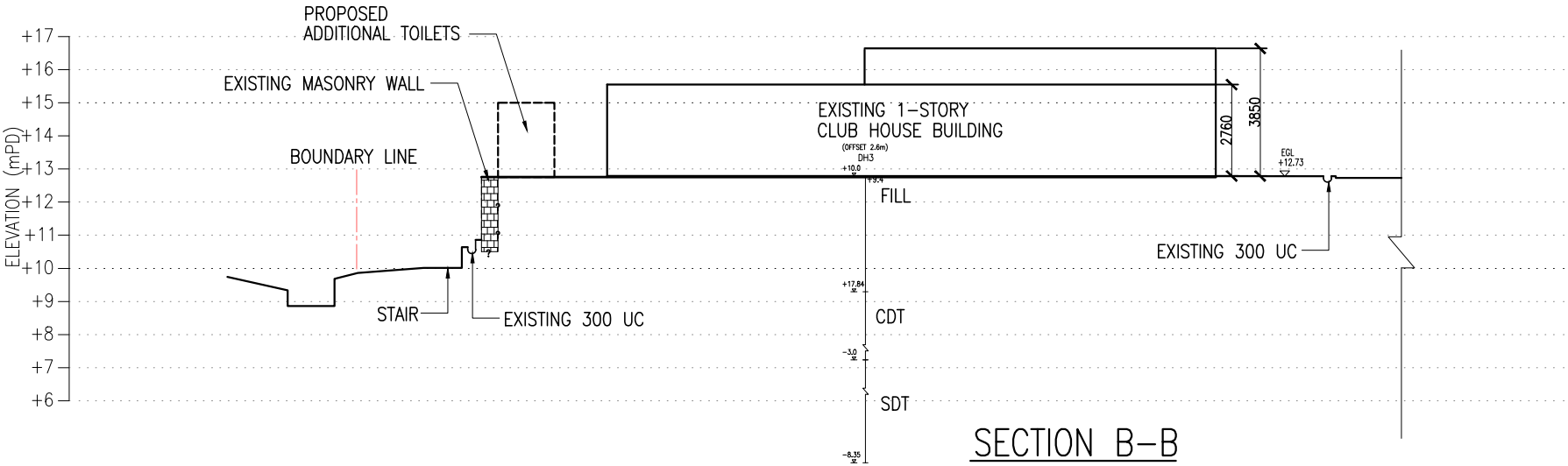
PROJECT NAME
SHELTER COVE
ROYAL HONG KONG YACHT CLUB
D.D. 212, LOT 341, SAI KUNG,
NEW TERRITORIES,
HONG KONG

DRAWING TITLE
**SECTION A-A , SECTION B-B
AND SECTION C-C**

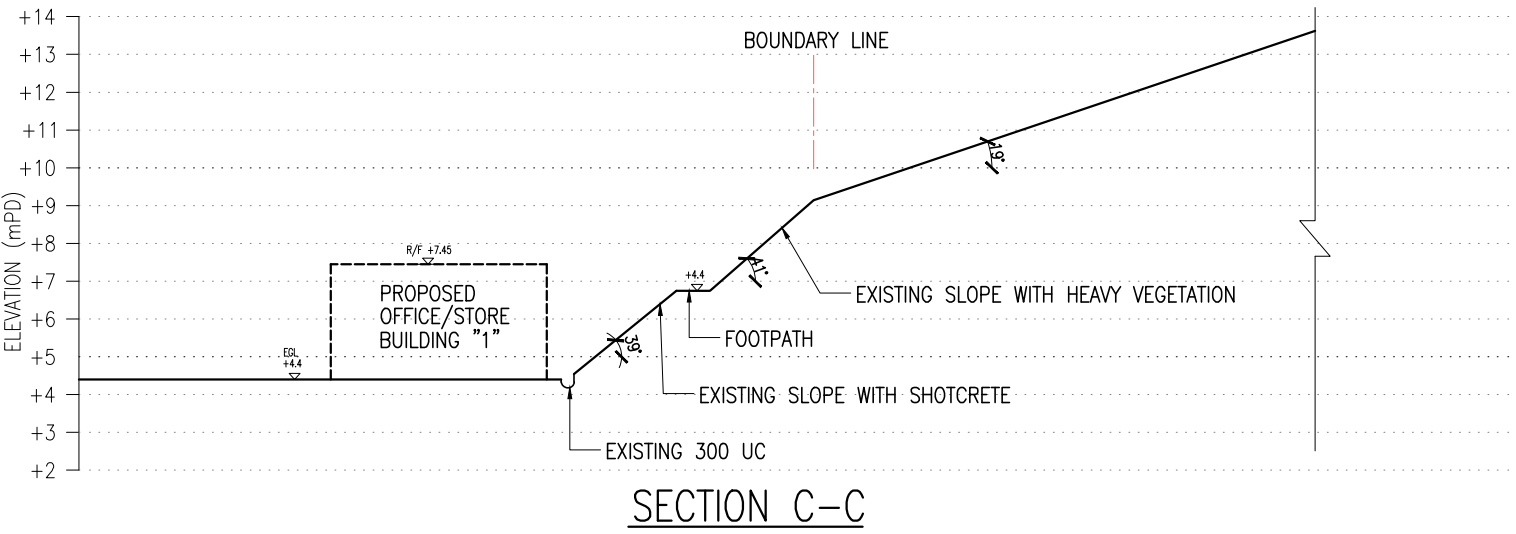
DRAWN BY	PT	CHECKED BY	PH
SCALE	1:200	DATE	NOV 2022
JOB No.	2161	DRAWING No.	SF02



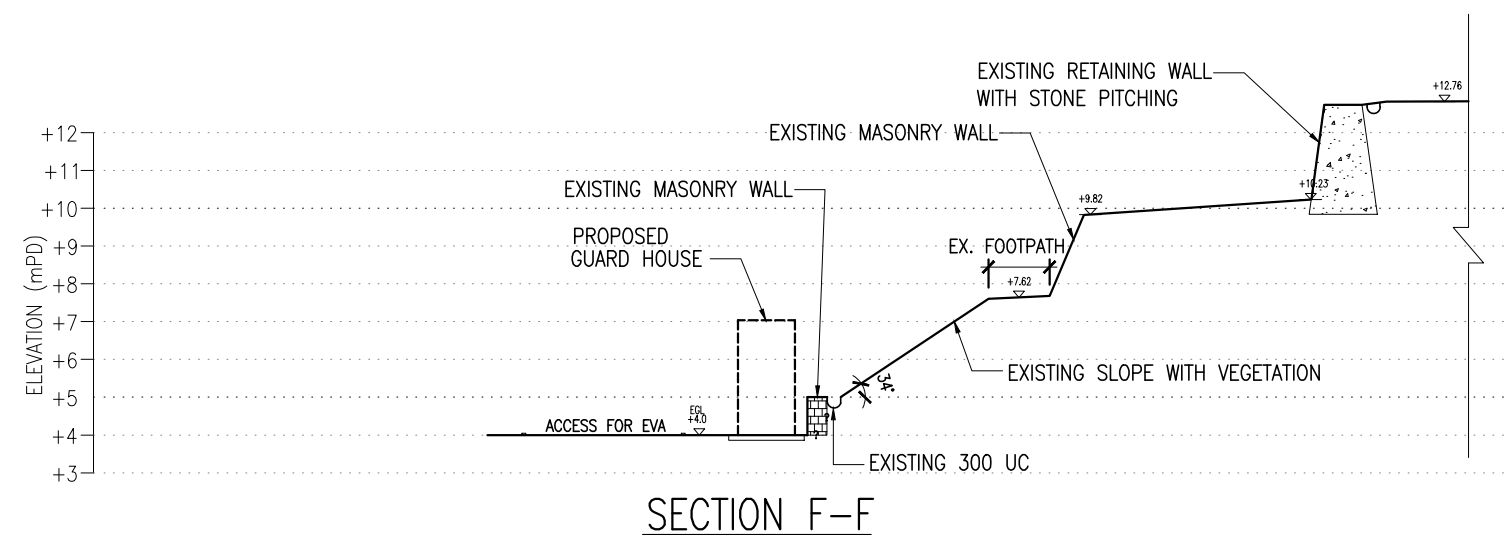
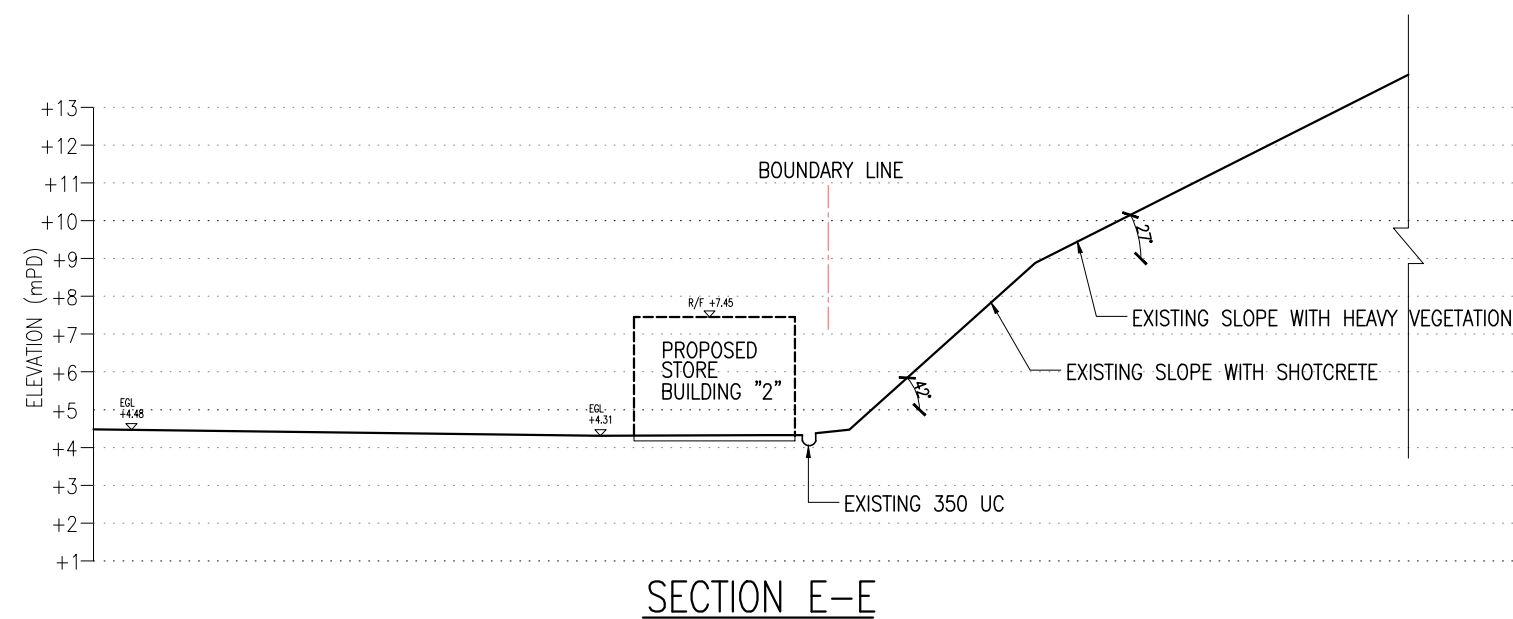
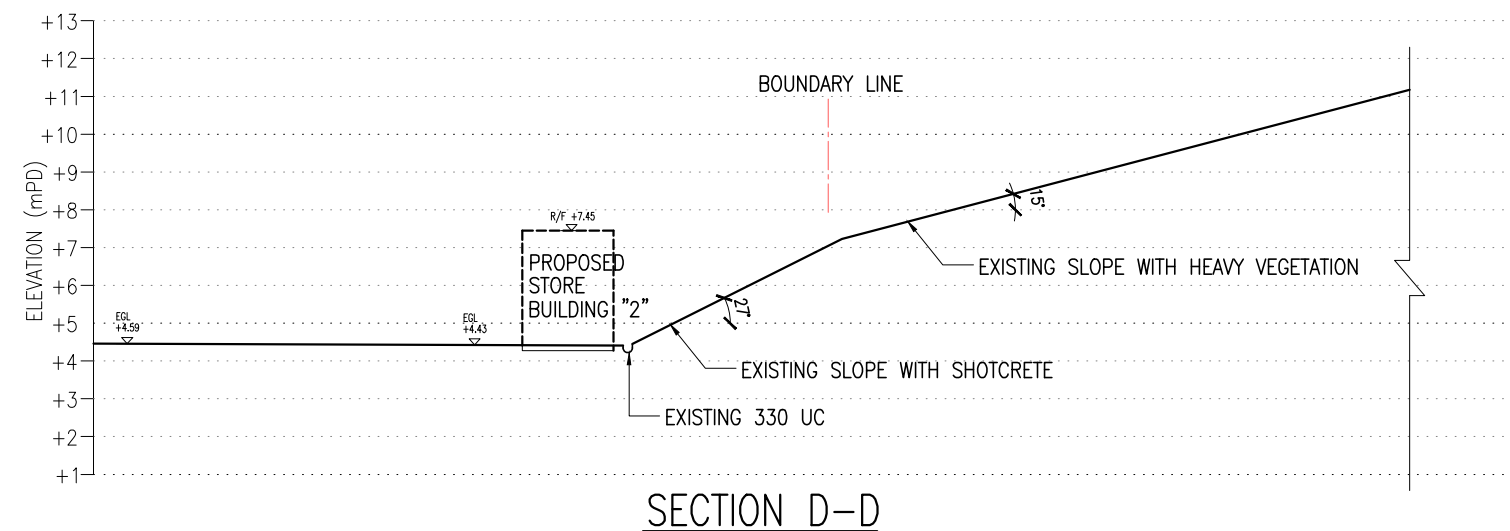
SECTION A-A



SECTION B-B



SECTION C-C



NOTES:

DO NOT SCALE DRAWINGS.

ALL DIMENSIONS MUST BE VERIFIED AT THE WORK BY THE CONTRACTOR.

ALL PRINTS, SPECIFICATIONS AND THEIR COPYRIGHT ARE THE PROPERTY OF THE ARCHITECTS AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.

[illegible]

ARCHITECT

STUDIO | R&A

8/F | Xiu Hua Commercial Building
211-213 Jaffe Road | Wan Chai | HK
Tel: 3583-2000 | Fax: 8143-1130
E mail: mail@studio**rco**.com

STUDIO | RAYMOND CHAU |
ARCHITECTURE | LIMITED

PROJECT NAME

SHELTER COVE
ROYAL HONG KONG YACHT CLUB
D.D. 212, LOT 341, SAI KUNG,
NEW TERRITORIES,
HONG KONG

DRAWING TITLE

SECTION D-D, SECTION E-E
AND SECTION F-F

DRAWN BY PT	CHECKED BY PH
SCALE 1:100	DATE 2022.08.04
OBJ No. 2161	DRAWING No. SF03



COPY

Your Ref: A/SK-HH/80

12 December 2022

The Secretary
Town Planning Board
15/F, North Point Government Offices
333 Java Road, North Point
Hong Kong



By Hand

Dear Sir,

Section 16 Planning Application

**Proposed Ancillary Guard House and Refuse Collection Point,
Ancillary Storage Facilities and Staff Office, Additional Toilets and Modification
to the Kitchen for Application No. A/SK-HH/80**

Further Information 2

On 7 December 2022 we submitted a letter and attachments to the Town Planning Board responding to comments on our application from the Environmental Protection Department and the Geotechnical Engineering Office, Civil Engineering and Development Department.

We would now like to make a clarification on the Planning Statement, which was submitted with the letter dated 5 August 2022. On Figures 2 and 3 of the Planning Statement, there was a typo of "8.68m²" referring to the proposed storeroom. These have now been omitted and the new plans are attached.

The information provided does not result in any change to the content of the application. In terms of the Town Planning Board Guideline No.32A it is considered that the Further Information provided is suitable for acceptance by the Board.

Four hard copies of the plan are attached, and one soft copy will be provided after instructions for uploading procedures are given by the Secretariat.

Should you have any questions regarding this submission, please contact Ms Polly Lee at 2239 0301.

Yours faithfully,

Mark Bovaird
General Manager
Royal Hong Kong Yacht Club

encs

c.c.: District Planning Office / Sai Kung and Islands

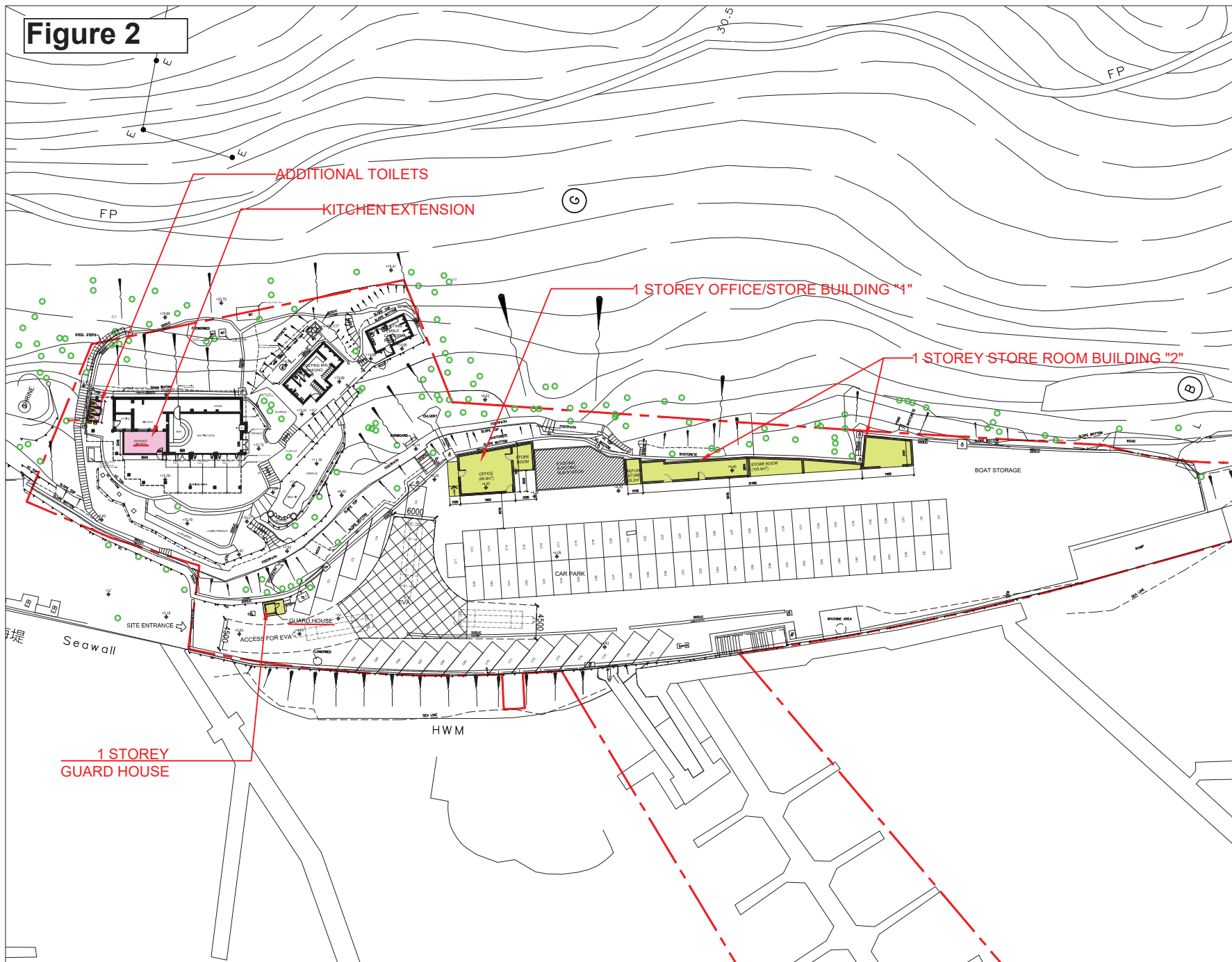
Attention: Mr Roy Tsang (Email: rctsang@pland.gov.hk)

ROYAL HONG KONG YACHT CLUB 香港遊艇會

KELLETT ISLAND, HONG KONG TEL: (852) 2832 2817 FAX: (852) 2239 0329



Figure 2



NOTES:
DO NOT SCALE DRAWINGS.
ALL DIMENSIONS MUST BE VERIFIED AT THE WORK BY THE CONTRACTOR.
ALL PRINTS, SPECIFICATIONS AND THEIR COPYRIGHT ARE THE PROPERTY OF THE ARCHITECTS AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.

REVISION	NO	DATE	DESCRIPTION

ARCHITECT
STUDIO | RCM
18/F | Xiu Hua Commercial Building
211-213 Jaffe Road | Wan Chai | HK
Tel: 3583-2000 | Fax: 8143-1130
E mail: mail@studiorca.com
STUDIO | RAYMOND CHAU | ARCHITECTURE | LIMITED

PROJECT NAME
SHELTER COVE
ROYAL HONG KONG YACHT CLUB
D.D.212, LOT 341, SAI KUNG,
NEW TERRITORIES,
HONG KONG

DRAWING TITLE
MASTER LAYOUT PLAN

DRAWN BY	JK	CHECKED BY	RC
SCALE	1:500	DATE	2022.08.04
JOB No.	2161	DRAWING No.	A-01

[illegible][illegible]

PROJECT NAME
SHELTER COVE
ROYAL HONG KONG YACHT CLUB
D.D. 212, LOT 341, SAI KUNG,
NEW TERRITORIES,
HONG KONG

DRAWN BY JK	CHECKED BY RC
SCALE 1:200	DATE 2022.08.04
JOB No. 2161	DRAWING No. A-02



Your Ref: A/SK-HH/80

13 January 2023

The Secretary
Town Planning Board
15/F, North Point Government Offices
333 Java Road, North Point
Hong Kong



By Hand

Dear Sir,

Section 16 Planning Application

Proposed Ancillary Guard House and Refuse Collection Point, Ancillary Storage Facilities and Staff Office, Additional Toilets and Modification to the Kitchen for Application No. A/SK-HH/80

Subsequent to the letter submitted to the Town Planning Board dated 6 December 2022 with our responses to the initial Governmental Department comments, through the liaison with District Planning Officer / Sai Kung and Islands, we have thus received further comments from the Geotechnical Engineering Office (GEO) of the Civil Engineering and Development Department.

We would now like to submit further information in response to GEO's latest comments regarding the Geotechnical Planning Review Report (GPRR). Details of the attachments are highlighted below:

1. Attachment 1 – Response to Comments Table
2. Attachment 2 – GPRR with Replacement Pages

We believe all comments have been sufficiently addressed and we have no further comments. The information in this letter and Attachments supplements the information previously submitted. It does not propose any material change to the application. We consider it is consistent with Town Planning Board's Guideline No. 32, and should be accepted and exempted from publication.

Should you have any questions regarding this submission, please contact Ms Polly Lee at 2239 0301.

Yours faithfully,

Mark Bovaird
General Manager
Royal Hong Kong Yacht Club

encs

c.c.: District Planning Office / Sai Kung and Islands
Attention: Ms Vicky Ma (email: vlkma@pland.gov.hk)

ROYAL HONG KONG YACHT CLUB 香港遊艇會

KELLETT ISLAND, HONG KONG TEL: (852) 2832 2817 FAX: (852) 2239 0329



Attachment 1

**GPRR for Section 16 Application for
Royal Hong Kong Yacht Club at Shelter Cove, Sai Kung, N.T.**

R-to-C table presents the responses to address the GEO comments on the GPRR submission:

Item	GEO's Comments	Responses to Comment
2(i)	Section 2: Please note that portions of Features Nos. 8SW-C/R46 and 8SW-C/CR116 are within the site and near the proposed 1-storey expanded kitchen and additional toilets. Please elaborate.	2(i)(a) Noted. 2(i)(b) Section 2.8 and 2.9 are added for elaboration of Features Nos. 8SW-C/R46 and 8SW-C/CR116. 2(i)(c) Appendix K is added for the records of Feature No. 8SW-C/CR116 retrieved from GINFO. 2(i)(d) The revised texts have been changed to purple color for easy reference.
2(ii)	Section 3 and 4.2: Please provide the desk study for Feature No. 8SW-C/CR116. The locations of all existing ground investigation stations and registered features shall be presented on a plan with reference to the location of the proposed development.	2(ii)(a) Noted. 2(ii)(b) Section 3.6 is added for the desk study of Feature No. 8SW-C/CR116 retrieved from GINFO and SMRIS, which are annexed in Appendix B and Appendix C. 2(ii)(c) Section 3.7 regarding the landslide incident is revised based on the recent desk study of Feature No. 8SW-C/CR116. The past landslides record is presented in Appendix G. 2(ii)(d) The record plans of slope improvement works for Feature No. 8SW-C/CR116(SD2) are presented in new Appendix K. 2(ii)(e) Section 4.2 is revised accordingly and the existing ground investigation stations are presented on the site formation plan with reference to the location of the proposed development. The revised site formation plan is annexed in Appendix J. 2(ii)(f) Section 5.2 is minorly revised based on the recent desk study. 2(ii)(g) The revised texts have been changed to purple color for easy reference.

Attachment 2

**Section 16 Application for
Proposed “Marina (with Ancillary Guard House and Refuse Collection Point,
Ancillary Storage Facilities and Staff Office, Additional Toilets and
Modification to the Kitchen” at
Royal Hong Kong Yacht Club at Shelter Cove,
Sai Kung, New Territories**

GEOTECHNICAL PLANNING REVIEW REPORT

January 2023

Project No.: J2214/01

HUNG CHI CONSULTANTS LIMITED

No Part of this document may be reproduced or transmitted, in any form or by any means electronic, mechanical, photographic, recording or otherwise, or stored in a retrieval system of any nature without the written permission of SWAL Asia Ltd. Application for which shall be made to Hung Chi Consultants Limited, 2/F., Eton Tower, 8 Hysan Avenue, Causeway Bay, Hong Kong.

CONTENTS

- 1. INTRODUCTION**
- 2. SITE RECONNAISSANCE**
- 3. DESKTOP STUDY AND BACKGROUND INFORMATION SEARCH**
- 4. GEOLOGY OF THE SUBJECT SITE**
- 5. PROPOSED SITE FORMATION WORKS**
- 6. PROPOSED FOUNDATION TYPES**
- 7. CONCLUSION AND RECOMMENDATIONS**
- 8. REFERENCES**

FIGURES

- | | |
|-----------------|---|
| FIGURE 1 | LOCATION PLAN OF THE SUBJECT SITE |
| FIGURE 2 | LOT PLAN OF THE SUBJECT SITE |
| FIGURE 3 | PROPOSED MASTER LAYOUT PLAN |
| FIGURE 4 | OFFICE/STORAGE BUILDING |
| FIGURE 5 | OFFICE/STORAGE BUILDING SECTION |
| FIGURE 6 | GURAD HOUSE PLAN & SECTIONS |
| FIGURE 7 | EXPANED KITCHEN & ADDITIONAL TOILETS |

APPENDICES

- | | |
|-------------------|--|
| APPENDIX A | PHOTOGRAPHIC RECORDS |
| APPENDIX B | RETRIEVED SLOPE AND WALL RECORDS |
| APPENDIX C | RETRIEVED SLOPE MAINTENANCE RESPONSIBILITY REPORTS |
| APPENDIX D | RETRIVED RECORD PLANS FOR FEATURE 8SW-C/C121 BEHIND EXISTING CLUB HOUSE BUILDING |
| APPENDIX E | RETRIVED RECORD PLANS FOR EXISTING RETAINING WALL AND CANOPY IN FRONT OF EXISTING CLUB HOUSE BUILDING |
| APPENDIX F | BD LETTER DATD 29 JUNE 2016 FOR SLOPE REMEDIAL WORKS AT ROYAL HONG KONG YACHT CLUB |
| APPENDIX G | PAST LANDSLIDES RECORD PLAN |
| APPENDIX H | GEOLOGICAL SURVEY MAP OF THE SUBJECT SITE |
| APPENDIX I | RETRIEVED GROUND INVESTIGATION RECORDS |
| APPENDIX J | PROPOSED SITE FORMATION PLAN AND SECTIONS |
| APPENDIX K | RETRIVED RECORD PLANS FOR FEATURE NO. 8SW-C/CR116(SD2) |

1. INTRODUCTION

- 1.1 The application site is located in Lot 341 in D.D. 212 (hereinafter called the “Subject Site”) at Royal Hong Kong Yacht Club at Shelter Cove, Sai Kung, New Territories. The Location Plan and Lot Plan of the Subject Site are shown in **Figure 1** and **Figure 2** respectively.
- 1.2 The Subject Site is currently zoned as zoned “Recreation” and the Yacht Club with its existing use classified as “Marina” under Column 2 under the approved Hebe Haven Outline Zoning Plan (OZP) No. S/SK-HH/8. However, any new development related to Marina use requires permission from the Town Planning Board. As such, any structure which is not an existing structure related to the existing Yacht Club use requires planning approval.
- 1.3 Hung Chi Consultants Limited has been commissioned as the project geotechnical engineer to conduct the Geotechnical Planning Review Report (“**GPRR**”) for the Subject Site under Section 16 of the Town Planning Ordinance.
- 1.4 A set of the proposed Master Layout Plan including the 1-storey Office/Storage Building Plan & Section, 1-storey Guard House Plan & Section and 1-storey Expanded Kitchen & Additional Toilets have shown in **Figure 3 to 7**; and all existing slopes and retaining walls within and adjacent to the Subject Site remain unchanged.
- 1.5 This GPRR is prepared to address the potential geotechnical concerns of the Subject Site and the existing slopes and walls within and adjoining to the Subject Site.

2. SITE RECONNAISSANCE

- 2.1 The Subject Site is bounded by the existing natural slope from the north to the south boundary; and the open sea along the western boundary.
- 2.2 Within the Subject Site, the registered Feature No. 8SW-C/C121 is located behind the existing 1-storey Club House building and the unregistered 2.5m high mass concrete retaining wall "1" in front of the Club House. Feature No. 8SW-C/C243 is located behind proposed 1-storey Building "2". The unregistered slopes are located behind the proposed 1-storey Building "1" and Building "2".
- 2.3 The Subject Site is situated with levels ranged from +4.5mPD to +12.75mPD. The 1-storey Club House Building is situated at level of about +12.75mPD and the proposed Buildings "1" and "2" are situated at levels of about +4.5mPD respectively.
- 2.4 From the north-east to south-east of the existing Club House, there is the registered Feature no. 8SW-C/C121 in gradient of 35° and in height of 5m max. At the south, there is the unregistered slope in gradient of 35° and in height of 1.2m max. In front of the Club House, there is the flat platform at +12.7mPD approximately retained by an unregistered retaining wall "1" in height of 2.5m max.
- 2.5 Behind the proposed 1-storey Building "1", there is the unregistered slope with shotcrete surface in gradient of about 40° and in height of 2.4m max. Behind the slope crest it is about 1m wide with footpath. Beyond the footpath, it is the natural slope with heavy vegetation and mature trees in gradient of about 21°. At the south of the proposed building, there is the existing electric sub-station. At the west, it is the open-space parking and the existing seawall is located about 26m from the proposed building "1".
- 2.6 Behind the proposed 1-storey Building "2", there is a portion of the registered Feature no. 8SW-C/C243 in gradient of 23° and in height of 3.2m max.; and a portion of the unregistered slope with shotcrete surface in gradient of 40° and in height of 4.3m max. Behind the slope crest it is the natural slope with heavy vegetation and mature trees in gradient of about 21°. At the north of the proposed building, there is the existing electric sub-station. At the west, it is the open-space parking and the existing seawall is located about 25.5m from the proposed building "2".
- 2.7 Beyond the site entrance, there is the unregistered retaining wall 2 with the vegetated slope. The height of retaining wall is varying from about 4.4m to 0.5m and the slope height is varying from about 2.5m to 3m. Behind the proposed Guard House, about 0.9m high retaining wall with about 34° slope in height of about 2.7m is situated.

- 2.8 Feature No. 8SW-C/R46 is situated at the north-west of the Subject Site. The maximum height of this retaining wall feature is 4.2m in length about 29m and in face angle of 85°. In front of this Feature is the open space carpark with the access road to the Subject Site and behind this Feature is the existing footpath at +7.5mPD and the existing masonry wall to retain the sloping ground varying from +9.4mPD to about +10.2mPD for the flower bed. Along this slope crest, the unregistered retaining wall 1 to retain the platform for the Club House is situated. It is minimum 12m from the proposed Kitchen Extension.
- 2.9 At the north-west corner of the Subject Site, Feature 8SW-C/CR116 is situated at the top platform of Feature No. 8SW-C/R46. The maximum height of this slope feature is 2.4m in gradient of 70° and in length of about 23.5m. Behind this slope crest is the existing slope with the on-grade staircase walking up to the platform of the Club House. It is minimum 10m from the proposed Additional Toilet.
- 2.10 No sign of seepage or distress has been identified during the site inspections.
- 2.11 Photos of the existing slopes and retaining walls adjacent to the proposed structures are shown in **Appendix A**.
- 2.11.1 Plate Nos. 1 to 2 shown existing Feature No. 8SW-C/R46.
- 2.11.2 Plate Nos. 3 to 4 shown existing unregistered retaining wall with vegetated slope at the Site Entrance and the proposed Guard House.
- 2.11.3 Plate Nos. 5 to 6 shown existing Feature No. 8SW-C/R121 behind the Club House Building.
- 2.11.4 Plate Nos. 7 and 8 shown existing unregistered mass concrete wall in front of the Club House Building.
- 2.11.5 Plate Nos 8 and 10 shown the location of proposed Kitchen Extension
- 2.11.6 Plate Nos. 11 and 12 shown the location of proposed Additional Toilet
- 2.11.7 Plates Nos. 13 and 14 shown existing unregistered slope behind proposed Building "1".
- 2.11.8 Plates Nos. 15 to 20 shown Feature No. 8SW-C/C243 and unregistered slope behind the proposed refuse room and Building "2".

3. DESKTOP STUDY AND BACKGROUND INFORMATION SEARCH

- 3.1 In accordance with the information from the Geotechnical Information Infrastructure (GINFO) maintained by the Geotechnical Engineering Office (GEO) of Civil Engineering & Development Department (CEDD) and Slope Maintenance Responsibility Information System maintained by Lands Department (SMRIS), the registered Slope Features 8SW-C/C121 and 8SW-C/C243 is within the Subject Site; and the Wall Feature 8SW-C/R46 adjacent to the entrance of Subject Site is located.
- 3.2 The retrieved slope and wall records and slope maintenance responsibility report from both departments are annexed in **Appendices B and C**, respectively. It was noted that maintenance party for Feature 8SW-C/R46 Sub-division No. (SD) 2 is the owner of Lot 314 in DD212.
- 3.3 Having reviewed the past records, the site formation for Feature No. 8SW-C/C121 where is behind the existing club house building was approved in June 2000 by the Buildings Department and the site formation works were completed in November 2000. The retrieved BD approval letter and the record plans are annexed in **Appendix D**.
- 3.4 The existing canopy and the retaining wall in front of the existing club house building were approved under A&A Works in June 2000 by the Buildings Department and the A&A works were completed in May 2003. The retrieved BD approval letter and the record plans of the A&A Works are annexed in **Appendix E**.
- 3.5 Based on the records provided by the Client, it was recorded that the DH Orders under BD file DH/0053/10/NT for Feature 8SW-C/R46 had been served and the remedial works such as installation of 3 rows soil nails with the skin wall had been completed in 2018. Then, the BD discharged the Order in 2018. The BD letter dated 29 June 2016 for approval of proposed slope remedial works for 8SW-C/R47, C117, CR118, R46(SD 1&2) is annexed in **Appendix F**.
- 3.6 The retrieved records shown that Feature No. 8SW-C/CR116 has 2 Sub-divisions (SD1 and SD2). Feature No. 8SW-C/CR116(SD1) is covered by the concrete hard surface and it is maintained by the Owner of Lot 341. Feature No. 8SW-C/CR116(SD2) was strengthened by 2 and 3 rows soil nails with 200mm thick skin wall, which was completed in 2019 under Contract No. 9/LADNS/17-Preventive Maintenance Programme, and it is maintained by the Lands Department. The retrieved record plans are annexed in **Appendix K**.
- 3.7 Having searched the past landslide records from GINFO, it is no landslide incident occurred in the existing hillside slopes including Features Nos. 8SW-C/C121 and 8SW-C/C243 along the east boundary of the Subject Site. The minor landslide incident

occurred at the slope toe nearby the demarcation line of Feature No. 8SW-C/CR116(SD1) & (SD2) in 2011. The scar was about 2m length by 2m width by .5m depth; and the volume of landslide debris was about 1.5m³. The relevant records retrieved from the SIS and GINFO are shown in **Appendix G**.

4. GEOLOGY OF THE SUBJECT SITE

- 4.1 According to Sheet No. 8 (Sai Kung) of 1:20000 scale HGM 20 series Hong Kong Geological Survey Map, the solid geology of the Subject Site is underlain by dominantly undivided fine ash vitric tuff of Tai Mo Shan Formation. Part print of the map is enclosed in **Appendix H**.
- 4.2 Having reviewed the previous ground investigation records from GINFO and the available information from the Client, 2 nos. borehole records for Feature 8SW-C/C121 were retrieved and presented in **Appendix I**. Existing borehole locations are also shown in the proposed site formation plan annex In **Appendix J**.
- 4.3 Based on the available GI records, it is inferred that the Subject Site consists of Fill and the Completely Decomposed Tuff.

5. PROPOSED SITE FORMATION

- 5.1 According to the Master Layout Plan of the proposed development, new development items include a 1-storey Office and Store Building “1”, a 1-storey Store Room Building “2”, a 1-storey Guard House, additional 1-storey toilet, and a 1-storey Kitchen Extension.
- 5.2 Based on the record plans for the existing slope (Feature No. 8SW-C/C121) behind the existing club house building and the existing mass concrete retaining wall in front of the club house, the stability of existing slope and mass concrete retaining wall should be satisfied the safety standards listed out in Geotechnical Manual for Slopes and Geoguide 1 (i.e. (a) Factor of Safety (FOS) for the Slope Stability to be greater than 1.4 and (b) FOS for Retaining Wall against Overturning and Sliding to be greater than 2.0 and 1.5). Significant site formation works will not be required for the additional 1-storey toilet and the 1-storey Kitchen Extension adjacent to the club house building provided that the foundation load of the proposed Toilet and Kitchen Extension should not affect and be affected by the adjacent slopes, retaining walls, Features Nos. 8SW-C/R46 & 8SW-C/CR116, any existing structures etc.
- 5.3 Behind the proposed 1-storey Office and Store Building “1”, there is the unregistered 40° slope with the shotcrete surface in height of about 2.4m and the natural slope with heavy vegetation and mature trees beyond the crest of man-made slope. Having considered the Building “1” will have the office with the occupants, it categorized as Consequence-to-Life of 1. As a result, the Factors of Safety (FOS) for Existing Slopes is adopted of 1.2 for a Ten-year Return Period Rainfall according to WBTC No. 13/99 Geotechnical Manual for Slopes Guidance on Interpretation and Updating.
- 5.4 Behind the proposed refuse collection point and 1-storey Office and Store Building “2”, there are Feature No. 8SW-C/C243 in gradient of 23° and in height of 3.2m max. and unregistered 40° slope with the shotcrete surface in height of 4.3m max. The natural slope with heavy vegetation and mature trees is beyond the crest of man-made slopes. Having considered the Building “2” will be storage compound only, it categorized as Consequence-to-Life of 3. As a result, the Factors of Safety for Existing Slopes is adopted of greater than 1.0 for a Ten-year Return Period Rainfall.
- 5.5 Behind the proposed Guard House, there are the unregistered 34° slope in height of about 2.7m and 0.9m high wall at slope toe. Having considered the Guard House will have the occupants, it categorized as Consequence-to-Life of 1. As a result, the Factors of Safety (FOS) for Existing Slopes is adopted of 1.2 for a Ten-year Return Period Rainfall.
- 5.6 If it cannot achieve the required FOS, the proposed strengthening works for the existing slope would be considered one of the following options: (i) trimming down the slope gradient, (ii) construction of soil nails, or any other viable options, subject to the later design stage.

- 5.7 The stability of all existing slopes, retaining walls and geotechnical features adjacent to the proposed development items should be assessed in the later design stage; and their stabilities should be complying with the latest design safety standards.
- 5.8 The proposed site formation and strengthening works, if any, for all slopes and retaining walls should be submitted to the Building Authority for approval. The proposed works should not affect or be affected by the stability of the existing structures or features and proposed building structures.
- 5.9 Having considered all proposed building structures will be rested on the existing ground level, significant site formation works would not be required. Effects on the adjacent structures and slopes due to the foundation load from the proposed structures or vice versa should be assessed in the later design stage; and then it should not affect or be affected by the stability of existing retaining wall structures and slopes adjacent to the proposed buildings.
- 5.10 All of the proposed site formation and foundation works would not affect or be affected by the adjacent existing slopes, retaining walls or structures.
- 5.11 The proposed site formation plan and sections for the proposed development (i.e. Drawing No. SF01, SF02 and SF03) are presented in **Appendix J**.
- 5.12 Apart from the proposed site formation, the design of excavation and lateral support works for foundation works of the proposed development will be submitted to the Building Authority for approval at the later design stage.

6. PROPOSED FOUNDATION TYPES

- 6.1 In consideration of these light-load structures (i.e. the new toilet and 1-storey building), pad/raft footings are the preferable foundation type, which are subject to detailed ground investigation works and detailed foundation assessment.
- 6.2 Having considered the proposed pad/raft footings to be found on the shallow soil stratum, the foundation loads of the proposed structures should not affect or be affected by the stability of the existing retaining wall and footing structures.
- 6.3 The foundation of proposed 1-storey structures should not affect or be affected by the adjacent slopes, retaining walls or structures.

7. CONCLUSION AND RECOMMENDATIONS

- 7.1 No major geotechnical problems are identified during walkover site inspections.
- 7.2 Based on the Master Layout Plan, significant site formation works would not be required when the existing buildings and the existing retaining walls with the retained platforms and slope within and adjoining the Subject Site are to remain the same as their existing conditions.
- 7.3 The proposed site formation and foundation including excavation work of proposed structures should not affect or be affected by the adjacent existing slopes, retaining walls or structures or vice versa.
- 7.4 To implement this development, relevant site formation, drainage and other matters will be submitted to Buildings Department for approval. It is suggested that at that time a more detailed investigation of geological profile, the groundwater table, geotechnical engineering properties and the engineering details of existing retaining walls and slopes could be considered.
- 7.5 The proposal on the site formation plan at **Appendix I** could be taken into consideration. If necessary, strengthening works for the existing slopes and retaining walls should be included in the proposed site formation, which will be submitted to the Building Authority for approval at that stage.
- 7.6 Based on the above considerations and preliminary geotechnical assessment, the proposed development for the Subject Site is considered to be geotechnically feasible.

8. REFERENCES

- 8.1 Geotechnical Control Office (1986). Hong Kong Geological Survey Sheet 8 – Sai Kung. Scale 1:20,000. First Edition.
- 8.2 Geotechnical Engineering Office (1993). Geoguide 1: Guide to Retaining Wall Design, Second Edition.
- 8.3 Geotechnical Engineering Office (1994). Geotechnical Manual for Slopes, Second edition.
- 8.4 Works Bureau (April 1999). WBTC. 13/99 Geotechnical Manual for Slopes – Guidance on Interpretation and Updating.

FIGURES



Figure 1 Location Plan of Subject Site

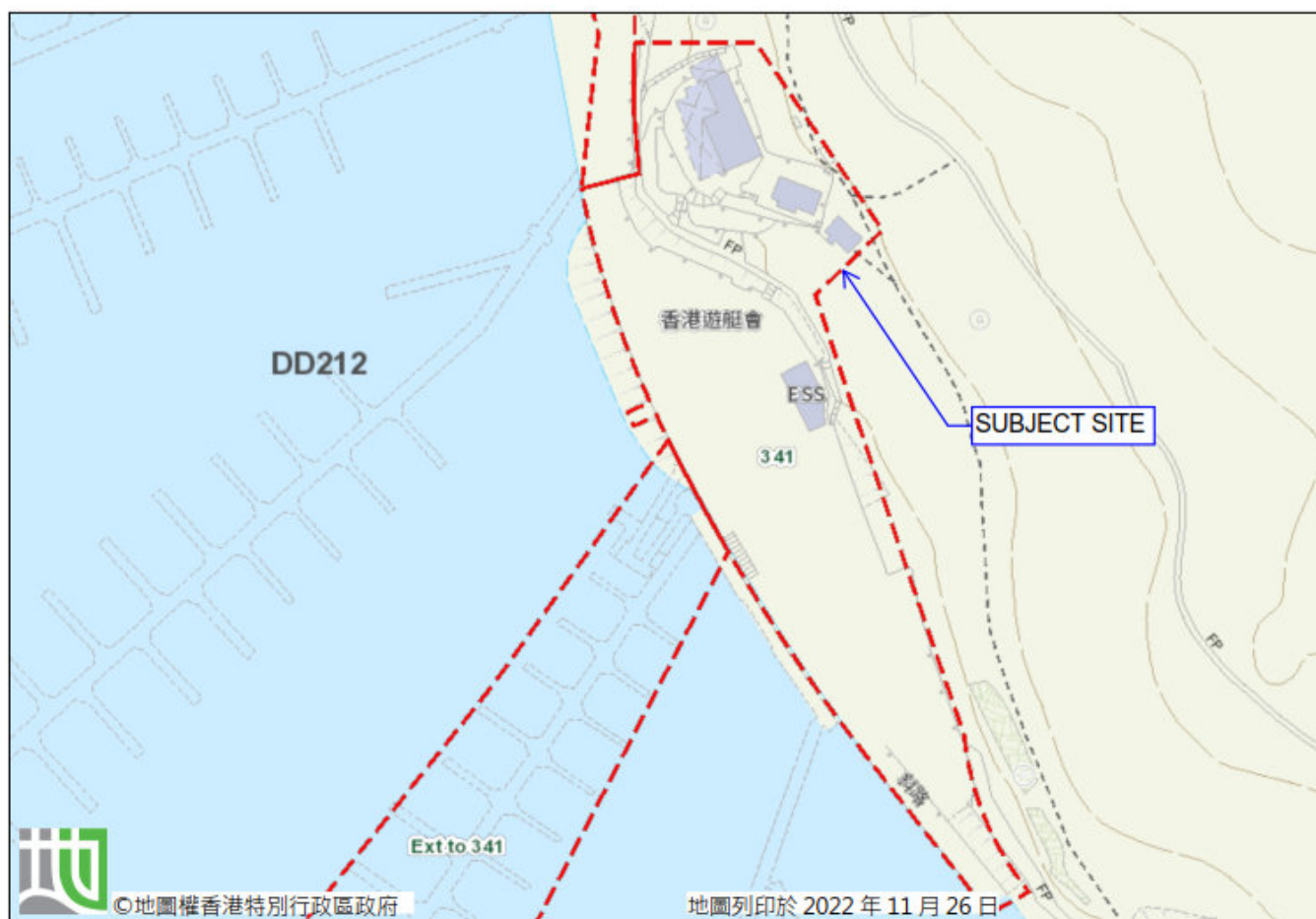
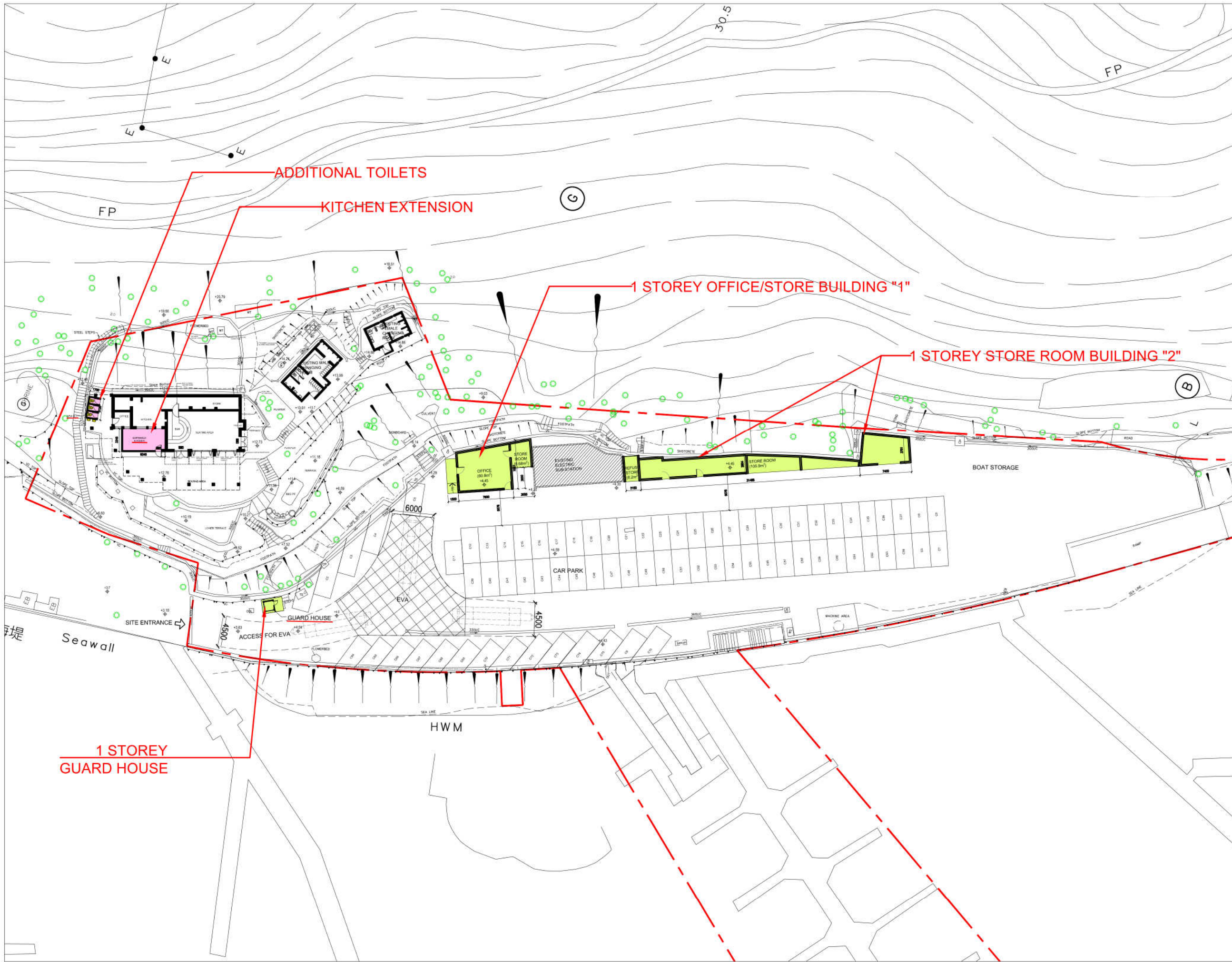


Figure 2 Lot Plan of Subject Site



NOTES:

DO NOT SCALE DRAWINGS.

ALL DIMENSIONS MUST BE VERIFIED AT THE WORK BY THE CONTRACTOR.

ALL PRINTS, SPECIFICATIONS AND THEIR COPYRIGHT ARE THE PROPERTY OF THE ARCHITECTS AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.

REVISION		
NO	DATE	DESCRIPTION

ARCHITECT

STUDIO | RCH

18/F | Xiu Hua Commercial Building
211-213 Jaffe Road | Wan Chai | HK
Tel: 3583-2000 | Fax: 8143-1130
Email: mail@studiorca.com

STUDIO | RAYMOND CHAU |
ARCHITECTURE | LIMITED

PROJECT NAME

SHELTER COVE
ROYAL HONG KONG YACHT CLUB
D.D. 212, LOT 341, SAI KUNG,
NEW TERRITORIES,
HONG KONG

DRAWING TITLE

Figure 3
MASTER LAYOUT PLAN

DRAWN BY	JK	CHECKED BY	RC
SCALE	1:500	DATE	2022.08.04
JOB No.	2161	DRAWING No.	A-01



NOTES:

DO NOT SCALE DRAWINGS.

ALL DIMENSIONS MUST BE VERIFIED AT THE WORK BY THE CONTRACTOR.

ALL PRINTS, SPECIFICATIONS AND THEIR COPYRIGHT ARE THE PROPERTY OF THE ARCHITECTS AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.

REVISION		
NO	DATE	DESCRIPTION

ARCHITECT

STUDIO | RCH

18/F | Xiu Hua Commercial Building
211-213 Jaffe Road | Wan Chai | HK
Tel: 3583-2000 | Fax: 8143-1130
Email: mail@studiorca.com

STUDIO | RAYMOND CHAU |
ARCHITECTURE | LIMITED

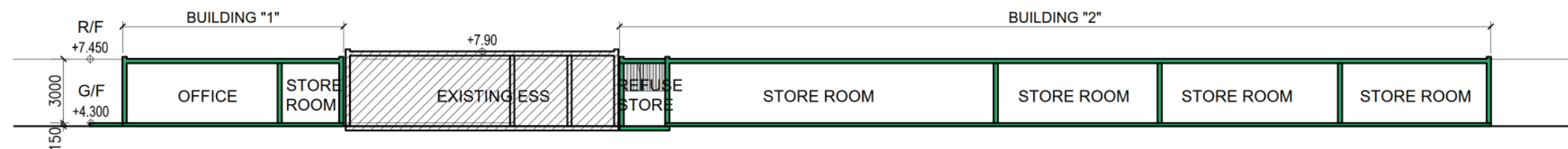
PROJECT NAME

SHELTER COVE
ROYAL HONG KONG YACHT CLUB
D.D. 212, LOT 341, SAI KUNG,
NEW TERRITORIES,
HONG KONG

DRAWING TITLE

Figure 4
OFFICE / STORAGE
BUILDING

DRAWN BY	JK	CHECKED BY	RC
SCALE	1:200	DATE	2022.08.04
JOB No.	2161	DRAWING No.	A-02

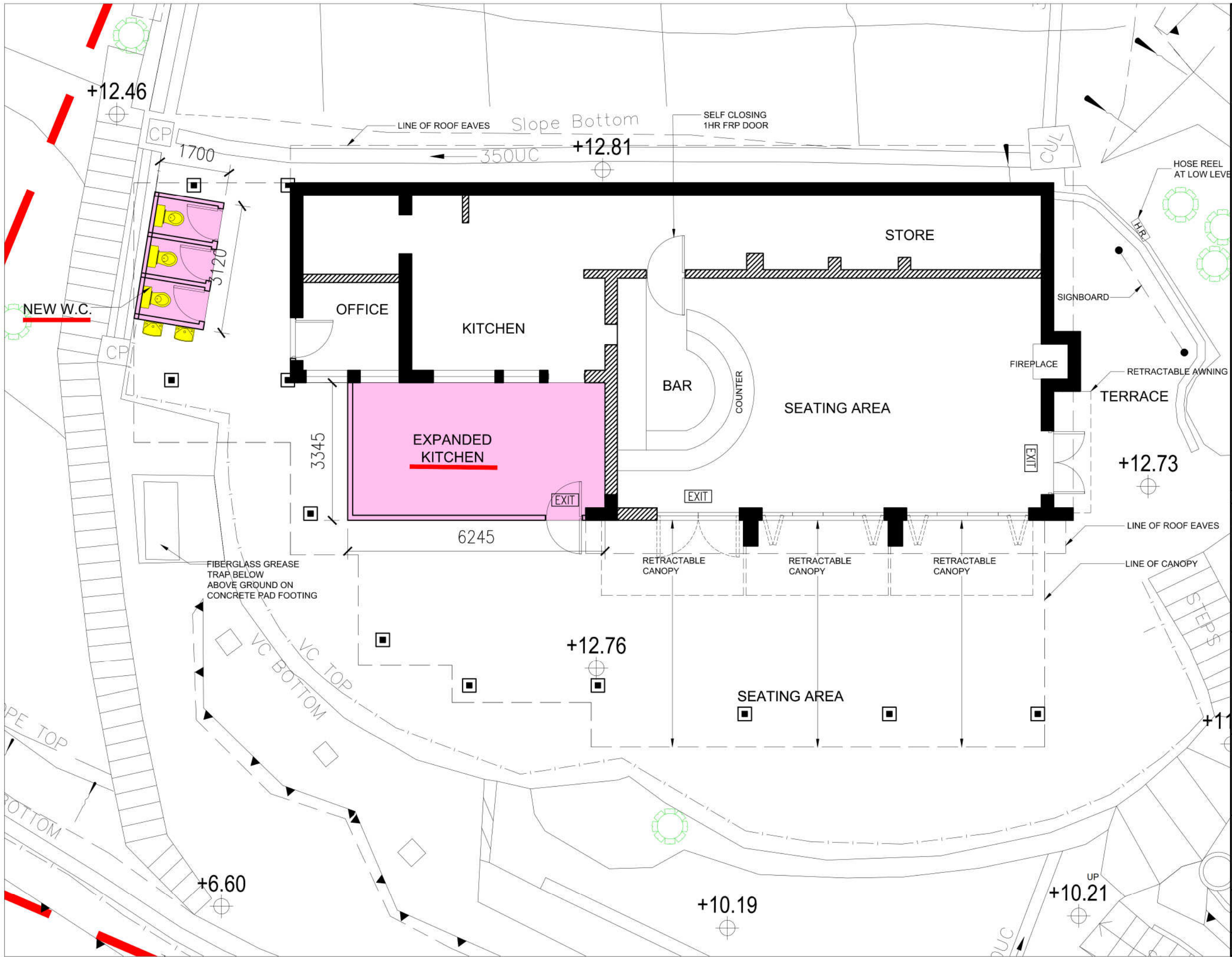


1 SECTION "A-A"
--
SCALE 1:250

NOTES: DO NOT SCALE DRAWINGS. ALL DIMENSIONS MUST BE VERIFIED AT THE WORK BY THE CONTRACTOR. ALL PRINTS, SPECIFICATIONS AND THEIR COPYRIGHT ARE THE PROPERTY OF THE ARCHITECTS AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.		
REVISION		
NO	DATE	DESCRIPTION
ARCHITECT		
STUDIO RCA 18/F Xiu Hua Commercial Building 211-213 Jaffe Road Wan Chai HK Tel: 3583-2000 Fax: 8143-1130 Email: mail@studiorca.com		
STUDIO RAYMOND CHAU ARCHITECTURE LIMITED		
PROJECT NAME		
SHELTER COVE ROYAL HONG KONG YACHT CLUB D.D. 212, LOT 341, SAI KUNG, NEW TERRITORIES, HONG KONG		
DRAWING TITLE		
Figure 5 OFFICE & STORE ROOM SECTION		
DRAWN BY	JK	CHECKED BY RC
SCALE	1:250	DATE 2022.08.04
JOB No.	2161	DRAWING No. A-03



DRAWN BY JK	CHECKED BY RC
SCALE 1:500	DATE 2022.08.04
JOB No. 2161	DRAWING No. A-04



NOTES:
DO NOT SCALE DRAWINGS.
ALL DIMENSIONS MUST BE VERIFIED AT THE WORK BY THE CONTRACTOR.
ALL PRINTS, SPECIFICATIONS AND THEIR COPYRIGHT ARE THE PROPERTY OF THE ARCHITECTS AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.

REVISION		
NO	DATE	DESCRIPTION

ARCHITECT
STUDIO | RCH
18/F | Xiu Hua Commercial Building
211-213 Jaffe Road | Wan Chai | HK
Tel: 3583-2000 | Fax: 8143-1130
Email: mail@studiorca.com
STUDIO | RAYMOND CHAU | ARCHITECTURE | LIMITED

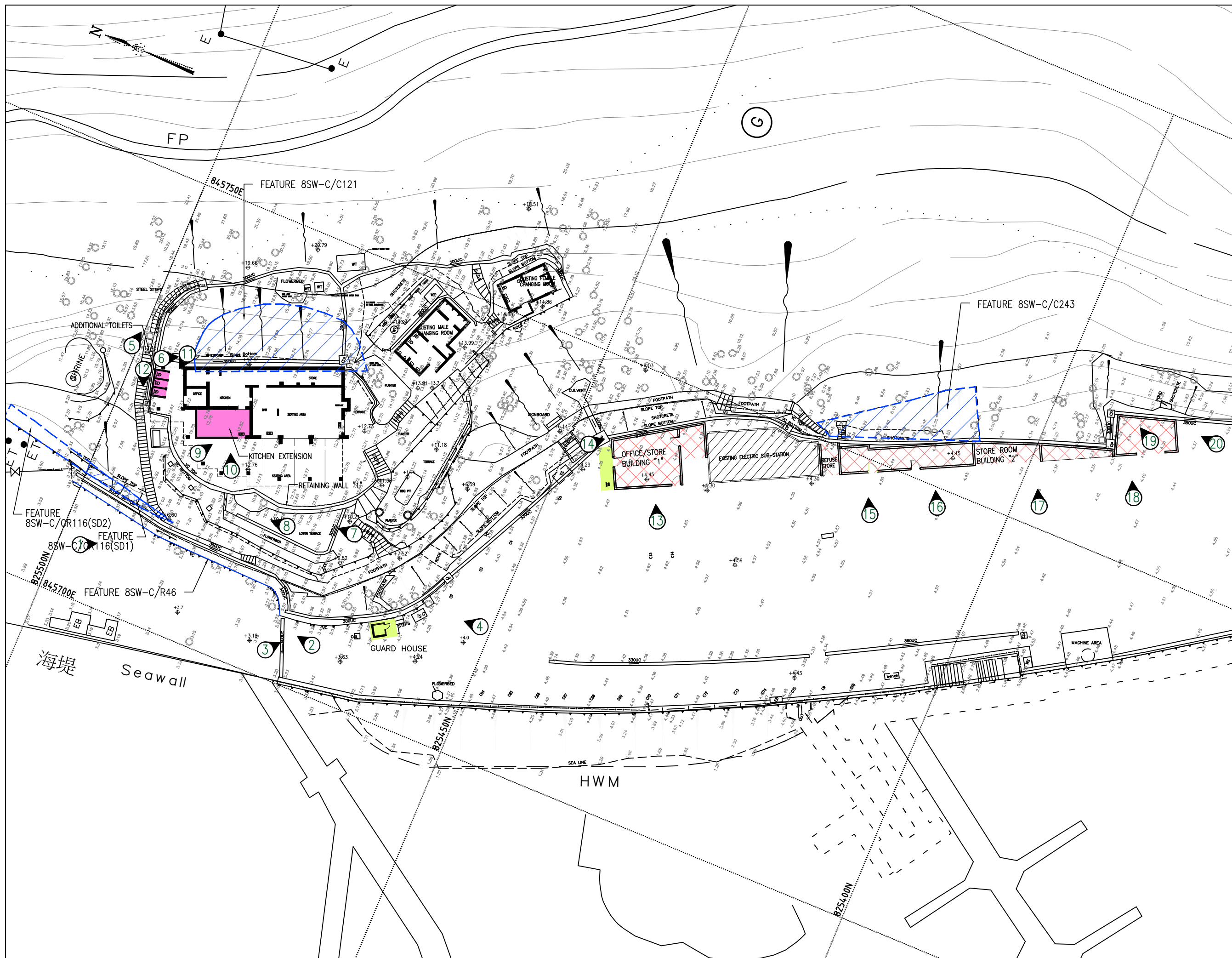
PROJECT NAME
SHELTER COVE
ROYAL HONG KONG YACHT CLUB
D.D. 212, LOT 341, SAI KUNG,
NEW TERRITORIES,
HONG KONG

DRAWING TITLE
Figure 7
EXPANDED KITCHEN &
ADDITIONAL TOILETS

DRAWN BY	JK	CHECKED BY	RC
SCALE	1:100	DATE	2022.08.04
JOB No.	2161	DRAWING No.	A-05

APPENDIX A

PHOTOGRAPHIC RECORDS



NOTES:
DO NOT SCALE DRAWINGS.
ALL DIMENSIONS MUST BE VERIFIED AT THE WORK BY THE CONTRACTOR.
ALL PRINTS, SPECIFICATIONS AND THEIR COPYRIGHT ARE THE PROPERTY OF THE ARCHITECTS AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.

LEGEND

--- LOT BOUNDARY

① PHOTOGRAPHIC RECORD NUMBER

REVISION		
NO	DATE	DESCRIPTION

ARCHITECT
STUDIO | RCM
18/F | Xiu Hua Commercial Building
211-213 Jaffe Road | Wan Chai | HK
Tel: 3583-2000 | Fax: 8143-1130
Email: mail@studiorm.com

STUDIO | RAYMOND CHAU |
ARCHITECTURE | LIMITED

PROJECT NAME
SHELTER COVE
ROYAL HONG KONG YACHT CLUB
D.D. 212, LOT 341, SAI KUNG,
NEW TERRITORIES,
HONG KONG

DRAWING TITLE
PHOTOS INDEX PLAN

DRAWN BY PT	CHECKED BY PH
SCALE 1:100	DATE NOV 2022
JOB No. 2161	DRAWING No. P01



Plate No. 1



Plate No. 2



Plate No. 3



Plate No. 4



Plate No. 5



Plate No. 6



Plate No. 7



Plate No. 8



Plate No. 9



Plate No. 10



Plate No. 11



Plate No. 12



Plate No. 13



Plate No. 14



Plate No. 15



Plate No. 16



Plate No. 17



Plate No. 18



Plate No. 19



Plate No. 20

APPENDIX B

RETRIEVED SLOPE AND WALL RECORDS FROM GINFO

BASIC INFORMATION

Location: Royal Hong Kong Yacht Club Shelter Cove at Pak Sha Wan, Sai Kung, DD 212, Lot 341

Registration Date: 17-02-1998

Ranking Score (NPRS): 0 (LPMit)

Date of Formation: pre-1977

Date of Construction/

Modification:

Data Source: EI

Approximate Coordinates: Easting : 845737 Northing : 825485

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Undeveloped green belt

Distance of Facility from Crest (m): 0.4

Facility at Toe: Other densely populated buildings

Distance of Facility from Toe (m): 0.4

Consequence-to-life Category: 1

Remarks: N/A

SLOPE PART

(1) Max. Height (m): 5 Length (m): 20 Average Angle (deg): 35

WALL PART

N/A



MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Private Feature Party: DD212 LOT341 Agent: N/A Land Cat.: 1 Reason Code: 1 MR Endorsement Date: 27-01-2006

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 20-11-2000
Data Source: EI
Slope Part Drainage: N/A

Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)
Surface Protection (%): Bare: 0 Vegetated: 100 Chunam: 0 Shotcrete: 0 Other Cover: 0
Material Description: Material type: Soil Geology: Decomposed volcanic
Berm: No. of Berms: N/A Min. Berm Width (m): N/A
Weepholes: Size (mm): N/A Spacing (m): N/A



WALL PART

N/A

SERVICES

N/A

CHECKING STATUS INFORMATION

Tagmark: SCS_171 Part: 0 Checking Status: Feature modified/upgraded to current standard Checking Certificate No.:

BACKGROUND INFORMATION

GIU Cell Ref.: 8SW16C6
 Map Sheet Reference (1:1000): 8SW-16C
 Aerial Photos: 14376/7 (1976),

Nearest Rainguage Station (Station Number): Pak Kong Tsui Hang Special Area Management Centre(N50)

Data Collected On: 20-11-2000
 Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1976 After: 1976

Related Reports/Files or Documents:

File/Report: DLC/BC	Ref. No.: GCMd 4/1C/2-4 IV/6 f(2, 3, 4) /1-3
File/Report: DLC/BC	Ref. No.: GCMd 4/1C/2-4 IV/6 f(2, 3, 4) /1-3
File/Report: LA	Ref. No.: GCMd 5/3/8 pt. 14/15 f(11, 24/34, 37)
File/Report: LA	Ref. No.: GCMd 5/3/8 pt. 14/15 f(11, 24/34, 37)
File/Report: LA	Ref. No.: GCMd 5/3/8 pt. 26 f(11, 21, 31, 60, 113, 116)
File/Report: LA	Ref. No.: GCMd 5/3/8 pt. 26 f(11, 21, 31, 60, 113, 116)
File/Report: LA	Ref. No.: GCMd5/3/8 pt.7/8 f(47,48,52,64,65,72,77,94/14,17)
File/Report: LA	Ref. No.: GCMd5/3/8 pt.7/8 f(47,48,52,64,65,72,77,94/14,17)

Remarks: N/A

Follow Up Actions: N/A



DH-Order (To Be Confirmed
with Buildings Department): None

Advisory Letter (To Be Confirmed
with Buildings Department): None

LPMIS: None

ENHANCED MAINTENANCE INFORMATION

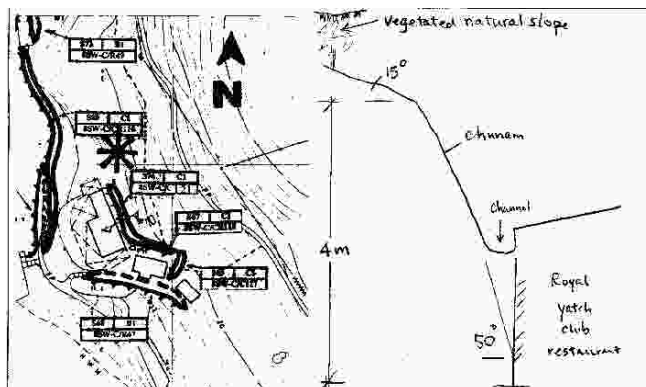
From Maintenance Department: (Last Updated Date: 26/09/2022)

STAGE 1 STUDY REPORT

Inspected On: 18-02-1997

Weather: Some Rain

District: ME



Section No: 1-1

Height(m): H1 : 4 , H2 : 0

Type of Toe Facility: Other densely populated buildings

Distance from Toe(m): 0.4

Type of Crest Facility: Undeveloped green belt

Distance from Crest(m): 0.4

Consequence Category: 1

Engineering Judgement: P

Section No: 2-2

Type of Toe Facility: N/A

Distance from Toe(m): 0

Type of Crest Facility: N/A

Distance from Crest(m): 0

Consequence Category: 1

Engineering Judgement: P

Sign of Seepage:	Slope : No signs of seepage Wall : N/A
Criterion A satisfied:	N
Sign of Distress:	Slope : N/A Wall : N/A
Criterion D satisfied:	N
Non-routine maintenance required:	N
Note:	N/A
Masonry wall/Masonry facing:	N
Note:	N/A
Consequence category (for critical section):	1
Observations:	N/A
Emergency Action Required:	N
Action By:	N/A

ACTION TO INITIATE PREVENTIVE WORKS

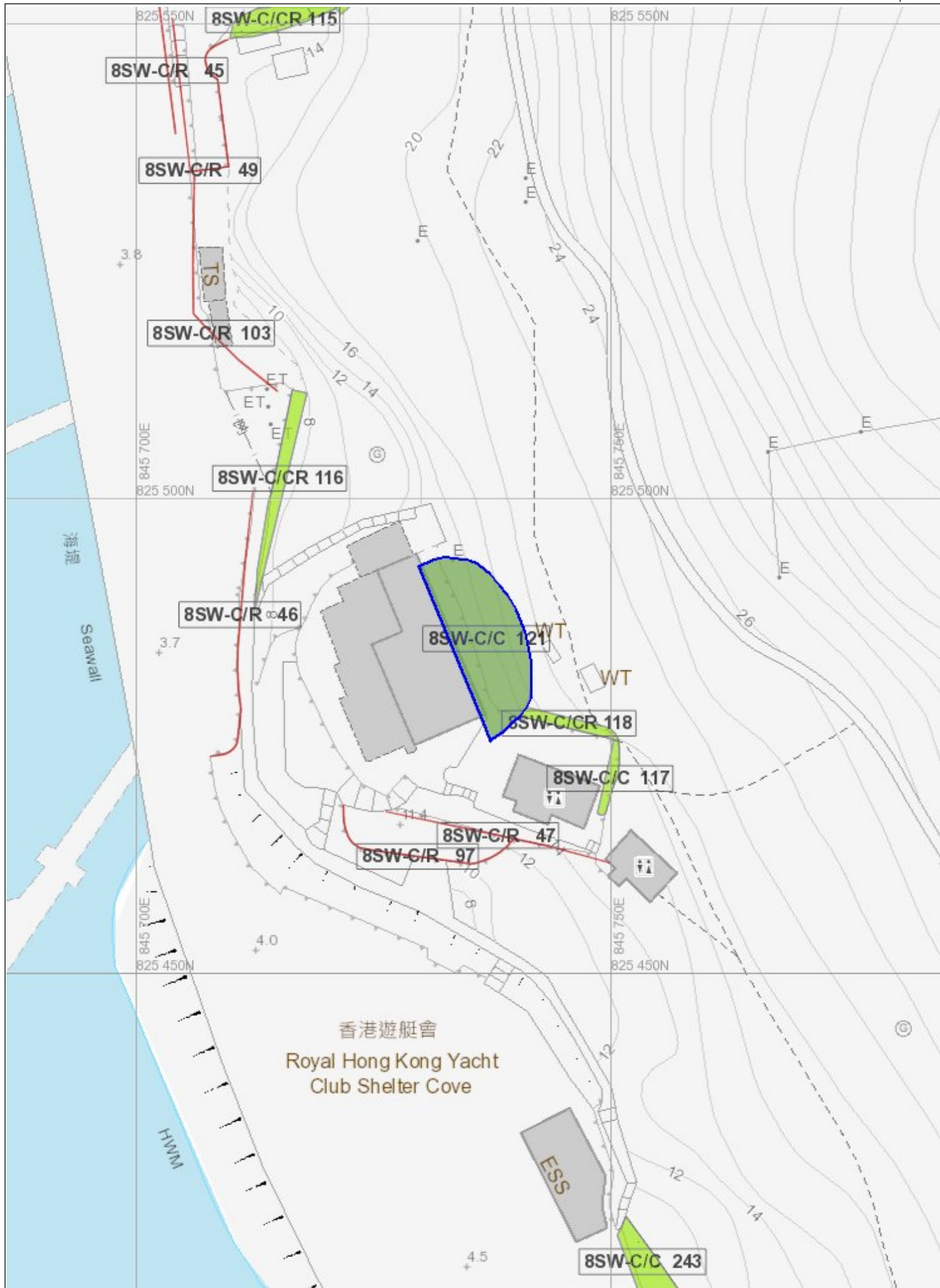
Criterion A/Criterion D:	N/A
Action By:	N/A
Further Study:	Y
Action By:	Mixed

OTHER EXTERNAL ACTION

Check / repair Services:	N
Action By:	N/A
Non-routine Maintenance:	N
Action By:	N/A

PHOTO





BASIC INFORMATION

Location: Beside Royal Hong Kong Yauht Club's carpark, Tsiu Hang, Sai Kung

Registration Date: 28-02-2003

Ranking Score (NPRS): 0 (Notional)

Date of Formation: post-1977

Date of Construction/

Modification:

Data Source: Agreement CE 59/2002 (GE)

Approximate Coordinates: Easting : 845756 Northing : 825414

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Undeveloped green belt

Distance of Facility from Crest (m): 0

Facility at Toe: Open car park

Distance of Facility from Toe (m): 0

Consequence-to-life Category: 2

Remarks: N/A

SLOPE PART

(1) Max. Height (m): 3.2 Length (m): 20 Average Angle (deg): 40

WALL PART

N/A



MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 0 Private Feature Party: DD212 LOT341 Agent: N/A Land Cat.: 1 Reason Code: 1 MR Endorsement Date: 13-11-2003

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 23-01-2003
Data Source: Agreement CE 59/2002 (GE)
Slope Part Drainage: N/A

Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)

Surface Protection (%): Bare: 0 Vegetated: 100 Chunam: 0 Shotcrete: 0 Other Cover: 0

Material Description: Material type: Soil Geology: Decomposed volcanic

Berm: No. of Berms: N/A Min. Berm Width (m): N/A

Weepholes: Size (mm): N/A Spacing (m): N/A



WALL PART

N/A

SERVICES

N/A

CHECKING STATUS INFORMATION

N/A

BACKGROUND INFORMATION

GIU Cell Ref.: 8SW16D-4
 Map Sheet Reference (1:1000): 8SW-16D
 Aerial Photos: CN11001 (1995), CN11001 (1995)

Nearest Rainguage Station (Station Number): Pak Kong Tsui Hang Special Area Management Centre(N50)

Data Collected On: 23-01-2003
 Date of Construction, Subsequent Modification and Demolition: Modification: Constructed Before: 1995 After: 1994

Related Reports/Files or Documents:

File/Report: CLC	Ref. No.: 5/3/8/pt.26 f(18.21.31.60.113.115)
File/Report: CLC	Ref. No.: 5/3/8/pt.26 f(18.21.31.60.113.115)
File/Report: DLC/BC	Ref. No.: 4/1C/2-4/pt.3/6 f(2.3.4/1.2.3)
File/Report: DLC/BC	Ref. No.: 4/1C/2-4/pt.3/6 f(2.3.4/1.2.3)
File/Report: DLC/BC	Ref. No.: 4/1C/2-4/pt.7/9/10 f(4.78/18.19/11.12.13.15.16.17)
File/Report: DLC/BC	Ref. No.: 4/1C/2-4/pt.7/9/10 f(4.78/18.19/11.12.13.15.16.17)
File/Report: Development	Ref. No.: GCME 9014/96
File/Report: Development	Ref. No.: GCME 9014/96
File/Report: LA	Ref. No.: /5/3/8/pt. f(11.24/34.37)
File/Report: LA	Ref. No.: /5/3/8/pt. f(11.24/34.37)
File/Report: LA	Ref. No.: 5/3/8/pt.7/8 f(47.48.52.64.65.72.77.94/1457)
File/Report: LA	Ref. No.: 5/3/8/pt.7/8 f(47.48.52.64.65.72.77.94/1457)

Remarks: N/A

Follow Up Actions: N/A



DH-Order (To Be Confirmed
with Buildings Department): None

Advisory Letter (To Be Confirmed
with Buildings Department): None

LPMIS: None

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 26/09/2022)

STAGE 1 STUDY REPORT

Inspected On:

Weather:

District: ME

Section No: 1-1

Height(m):

Type of Toe Facility: Open car park

Distance from Toe(m): 0

Type of Crest Facility: Undeveloped green belt

Distance from Crest(m): 0

Consequence Category:

Engineering Judgement:

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category:

Engineering Judgement:

Sign of Seepage:

Criterion A satisfied:

Sign of Distress:

Criterion D satisfied:

Non-routine maintenance required:

Note:

Masonry wall/Masonry facing:

Note:

Consequence category (for critical section):

Observations: N/A

Emergency Action Required:

Action By: N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D: N/A

Action By: N/A

Further Study:

Action By: N/A

OTHER EXTERNAL ACTION

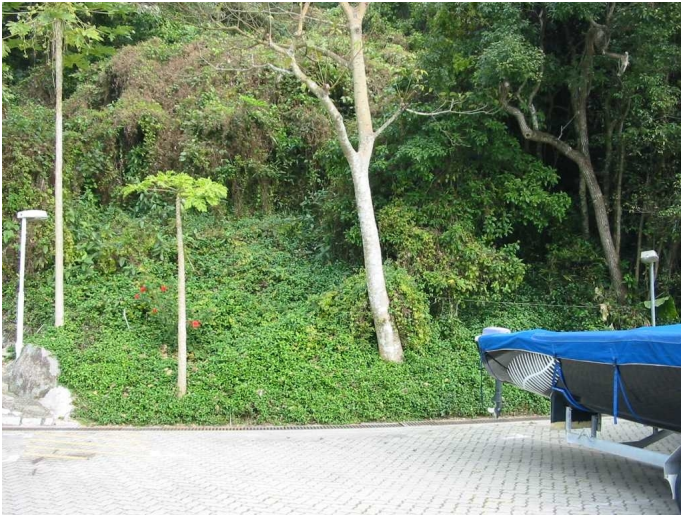
Check / repair Services:

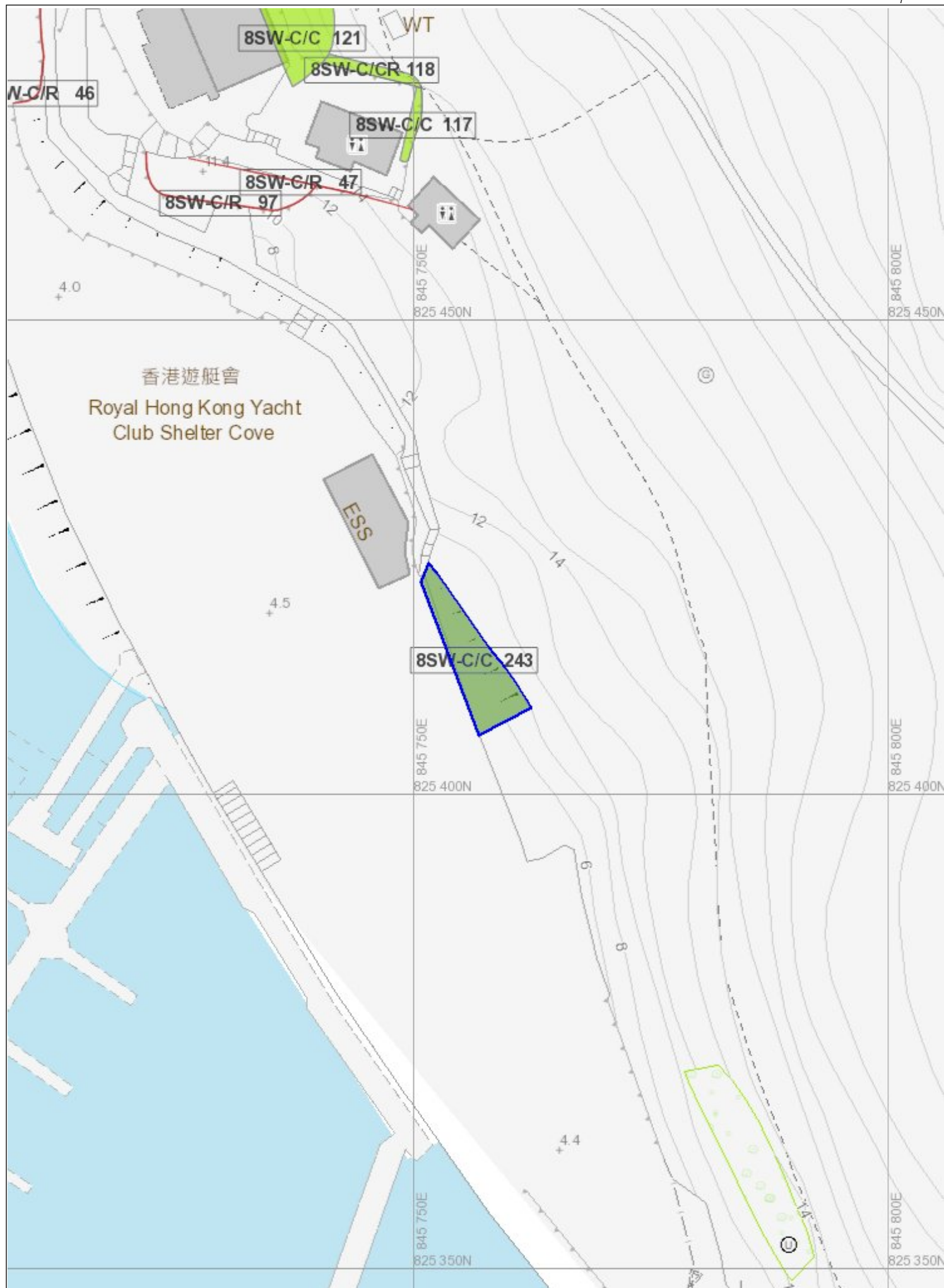
Action By: N/A

Non-routine Maintenance:

Action By: N/A

PHOTO





BASIC INFORMATION

Location: Royal Hong Kong Yacht Club, Pak Sha Wan, Sai Kung

Registration Date: 17-02-1998

Ranking Score (NPRS): 0 (LPMit)

Date of Formation: pre-1977

Date of Construction/
Modification:

Data Source: LPM

Approximate Coordinates: Easting : 845711 Northing : 825486

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Road/footpath with low traffic density

Distance of Facility from Crest (m): 0

Facility at Toe: Open car park

Distance of Facility from Toe (m): 0

Consequence-to-life Category: 2

Remarks: N/A

SLOPE PART

N/A

WALL PART

(1) Max. Height (m): 4.2 Length (m): 29 Face Angle (deg): 85



MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1 Private Feature Party: DD212 LOT 332 Agent: N/A Land Cat.: 1 Reason Code: 1 MR Endorsement Date: 14-08-2017
(2) Sub Div.: 2 Private Feature Party: DD212 LOT 341 &EXT Agent: N/A Land Cat.: 1 Reason Code: 1 MR Endorsement Date: 14-08-2017

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 28-12-2011
Data Source: LPM
Slope Part Drainage: N/A

Wall Part Drainage: N/A

SLOPE PART

N/A



WALL PART

Wall Part (1)

Type of Wall: Wall Material: Masonry Wall Location: Retaining wall with level platform

Berm: No. of Berms: N/A Min. Berm Width (m): N/A

Weepholes: Size (mm): 45 Spacing (m): 1.6

SERVICES

N/A

CHECKING STATUS INFORMATION

N/A

BACKGROUND INFORMATION

GIU Cell Ref.: 8SW16C6
 Map Sheet Reference (1:1000): 8SW-16C
 Aerial Photos: A08849 (1987), A08850 (1987)

Nearest Rainguage Station
 (Station Number): Pak Kong Tsui Hang Special Area Management Centre(N50)

Data Collected On: 28-12-2011
 Date of Construction, Subsequent
 Modification and Demolition: Modification: Constructed Before: 1977 After: 1963

Related Reports/Files or Documents: File/Report: DB or DH Ref. No.: DH 831/94/NT
 File/Report: DB or DH Ref. No.: DH 831/94/NT
 File/Report: DLC/BC Ref. No.: GCMd 4/1C/2-4 III/6 f (2,3,4/1-3)
 File/Report: DLC/BC Ref. No.: GCMd 4/1C/2-4 III/6 f (2,3,4/1-3)
 File/Report: Development Ref. No.: GCMd 3/5/9014/96
 File/Report: Development Ref. No.: GCMd 3/5/9014/96
 File/Report: LA Ref. No.: GCMd 5/3/8 pt.14/15 f(11,24,34,37)
 File/Report: LA Ref. No.: GCMd 5/3/8 pt.14/15 f(11,24,34,37)
 File/Report: LA Ref. No.: GCMd 5/3/8 pt.7/8 f(47,48,52,64,65,72,77,94,14,17)
 File/Report: LA Ref. No.: GCMd 5/3/8 pt.7/8 f(47,48,52,64,65,72,77,94,14,17)
 File/Report: LA Ref. No.: GCMd5/8/18 pt.26 f(18,21,31,60,113,115)
 File/Report: LA Ref. No.: GCMd5/8/18 pt.26 f(18,21,31,60,113,115)

Remarks: DH file cannot be located.

Follow Up Actions: N/A

DH-Order (To Be Confirmed
with Buildings Department):

Date of Recommendation to BD:	05/02/2013	File Reference:	DH/0048/13/NT
Date Served by BD:	28/02/2014	Notice No.:	DH0027/NT/14/C
Date of Recommendation to BD:	05/02/2013	File Reference:	DH/0053/10/NT(A)
Date Served by BD:	28/02/2014	Notice No.:	DH0009/NT/14/C
Date of Recommendation to BD:	05/02/2013	File Reference:	DH/0053/10/NT(D)
Date Served by BD:	28/02/2014	Notice No.:	DH0010/NT/14/C
Date of Recommendation to BD:	05/02/2013	File Reference:	DH/0053/10/NT(C)
Date Served by BD:	28/02/2014	Notice No.:	DH0011/NT/14/C
Date of Recommendation to BD:	05/02/2013	File Reference:	DH/0053/10/NT(B)
Date Served by BD:	28/02/2014	Notice No.:	DH0012/NT/14/C

Advisory Letter (To Be Confirmed
with Buildings Department):

None

LPMIS: Agreement No.: CE59/2009 Report No.: S2R79/2010

ENHANCED MAINTENANCE INFORMATION

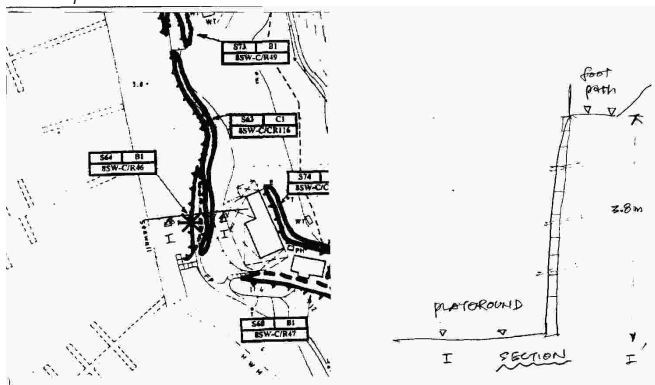
From Maintenance Department: (Last Updated Date: 26/09/2022)

STAGE 1 STUDY REPORT

Inspected On: 05-05-1998

Weather: Mainly Fine

District: N/A



Section No: 1-1

Height(m): H1 : 4 , H2 : 4

Type of Toe Facility: Open car park

Distance from Toe(m): 0

Type of Crest Facility: Road/footpath with low traffic density

Distance from Crest(m): 0

Consequence Category: 2

Engineering Judgement: P

Section No: 2-2

Type of Toe Facility:

Distance from Toe(m):

Type of Crest Facility:

Distance from Crest(m):

Consequence Category: 2

Engineering Judgement: P

Sign of Seepage:	Slope : N/A Wall : No sign of seepage
Criterion A satisfied:	N
Sign of Distress:	Slope : N/A Wall : N/A
Criterion D satisfied:	N
Non-routine maintenance required:	N
Note:	N/A
Masonry wall/Masonry facing:	Y
Note:	N/A
Consequence category (for critical section):	2
Observations:	N/A
Emergency Action Required:	N
Action By:	N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D:	N/A
Action By:	N/A
Further Study:	Y
Action By:	Mixed

OTHER EXTERNAL ACTION

Check / repair Services:	N
Action By:	N/A
Non-routine Maintenance:	N
Action By:	N/A

eLPMIS

LPM/LPMit Details Report

LPM Study Feature No.: 8SW-C/R 46

Location: ADJACENT TO FLOATING JETTLES, PAK SHA WAN (EAST SIDE) SAI KUNG.

District Council: Sai Kung

Maintenance Responsibility (At the Time of Selection): Private

Responsible Party for Maintenance of Government Portion: N/A

Private Lot No.: DD212 LOT 332, DD212 LOT 341 & EXT

LPM/LPMit Study

Agreement No.: CE59/2009

Study Type: Stage 2 Study

Consultant: Halcrow China Ltd.

GEO Managing Section / Engineer: SS / SS4

Study Status: Study completed

Design Approach: N/A

Option Assessment Accepted: N/A

Study Report No.: S2R79/2010

Programme / Actual Commencement: 28-09-2011

Programme / Actual Completion: 27-10-2012

Report Recommendation (For Stage 2 Study): DH Order

District Check Status: Exempted from checking

Checking Certificate No.: N/A

GEO Engineer's Remarks: N/A

LPM/LPMit Works

Works Contract No.: N/A

GEO Managing Section / Engineer: N/A / N/A

Contractor: N/A

Progress Status: N/A

Reason of Study Termination / Works Deletion (If Necessary): N/A

Forecast Commencement Date: N/A

Forecast Completion Date: N/A

Completion Cert. Issued: N/A

Site Handed Over to Maintenance Department on: N/A

Estimated Cost for Upgrading (HK\$M): N/A

Maintenance Manual No.: N/A

Actual Works: N/A

No. of Tree Felled: N/A

No. of Tree Planted (Incl. Transplant): N/A

% Bare of Slope Surfacing: N/A

% Vegetated of Slope Surfacing: N/A

% Shotcrete of Slope Surfacing: N/A

Other Hard Surface of Slope Surfacing: N/A

PHOTO





BASIC INFORMATION

Location: Royal Hong Kong Yacht Club, Pak Sha Wan, Sai Kung

Registration Date: 17-02-1998

Ranking Score (NPRS): 1 (LPMit)

Date of Formation: pre-1977

Date of Construction/
Modification:

Data Source: LPM

Approximate Coordinates: Easting : 845714 Northing : 825498

CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Undeveloped green belt

Distance of Facility from Crest (m): 0

Facility at Toe: Other non-crowded built-up facilities

Distance of Facility from Toe (m): 0

Consequence-to-life Category: 2

Remarks: N/A

SLOPE PART

(1) Max. Height (m): 2.4 Length (m): 23.5 Average Angle (deg): 70

WALL PART

(1) Max. Height (m): 2.3 Length (m): 11.5 Face Angle (deg): 78



MAINTENANCE RESPONSIBILITY

(1) Sub Div.: 1 Mixed Feature Party: DD212 LOT 341 &EXT Agent: N/A Land Cat.: 1 Reason Code: 1 MR Endorsement Date: 14-08-2017
(2) Sub Div.: 2 Mixed Feature Party: Lands D Agent: Lands D Land Cat.: 5b(vi) Reason Code: 62 MR Endorsement Date: 14-08-2017

DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 28-12-2011
Data Source: LPM
Slope Part Drainage: N/A

Wall Part Drainage: N/A

SLOPE PART

Slope Part (1)
Surface Protection (%): Bare: 0 Vegetated: 30 Chunam: 70 Shotcrete: 0 Other Cover: 0
Material Description: Material type: Soil Geology: N/A
Berm: No. of Berms: N/A Min. Berm Width (m): N/A
Weepholes: Size (mm): 55 Spacing (m): 1.2



WALL PART

Wall Part (1)

Type of Wall:	Wall Material: Masonry	Wall Location: Wall at toe
Berm:	No. of Berms: N/A	Min. Berm Width (m): N/A
Weepholes:	Size (mm): 45	Spacing (m): 2.1

SERVICES

N/A

CHECKING STATUS INFORMATION

N/A

BACKGROUND INFORMATION

GIU Cell Ref.: 8SW16C6
 Map Sheet Reference (1:1000): 8SW-16C
 Aerial Photos: A08849 (1987), A08850 (1987)

Nearest Rainguage Station
 (Station Number): Pak Kong Tsui Hang Special Area Management Centre(N50)

Data Collected On: 28-12-2011
 Date of Construction, Subsequent
 Modification and Demolition: Modification: Constructed Before: 1977 After: 1963
 Modification: Modified Before: 1987 After: 1987

Related Reports/Files or Documents: File/Report: DB or DH Ref. No.: DH 831/94/NT
 File/Report: DB or DH Ref. No.: DH 831/94/NT
 File/Report: DLC/BC Ref. No.: GCMd 4/1C/2-4 10 f(9,10)
 File/Report: DLC/BC Ref. No.: GCMd 4/1C/2-4 10 f(9,10)
 File/Report: DLC/BC Ref. No.: GCMd 4/1C/2-4 III /6 f(2,3,4/1-3)
 File/Report: DLC/BC Ref. No.: GCMd 4/1C/2-4 III /6 f(2,3,4/1-3)
 File/Report: Development Ref. No.: GCMd 3/5/9014/96
 File/Report: Development Ref. No.: GCMd 3/5/9014/96
 File/Report: LA Ref. No.: GCMd 5/3/8 pt.7/8 pt.14/15 f(11,24,34,37)
 File/Report: LA Ref. No.: GCMd 5/3/8 pt.7/8 pt.14/15 f(11,24,34,37)
 File/Report: LA Ref. No.: GCMd5/3/8 pt.26 f(18,21,31,60,113,115)
 File/Report: LA Ref. No.: GCMd5/3/8 pt.26 f(18,21,31,60,113,115)
 File/Report: LA Ref. No.: GCMd5/3/8 pt.7/8 f(47,48,52,64,65,72,77,94/14,17)
 File/Report: LA Ref. No.: GCMd5/3/8 pt.7/8 f(47,48,52,64,65,72,77,94/14,17)
 Remarks: DH file cannot be located.

Follow Up Actions: N/A

DH-Order (To Be Confirmed
with Buildings Department): None

Advisory Letter (To Be Confirmed
with Buildings Department): Date of Recommendation to BD: 16/06/2011 File Reference: DH0053/10/NT(
Date Served by BD: 12/09/2011

LPMIS: Agreement No.: CE59/2009 Report No.: S2R79/2010

ENHANCED MAINTENANCE INFORMATION

From Maintenance Department: (Last Updated Date: 26/09/2022)

Upgraded by:

Prescriptive Design Using GEO Report No. 56: Yes

Non-prescriptive Design Including Conventional Design: N/A

Improved by:

Type 1 / Type 2 Prescriptive Measures: N/A

Type 3 Prescriptive Measures (not up to upgrading standard): N/A

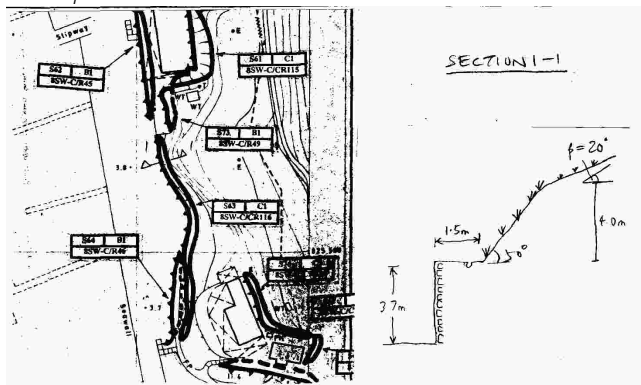
Actual Completion Date: 20-12-2018

STAGE 1 STUDY REPORT

Inspected On: 05-05-1998

Weather: Mainly Fine

District: N/A



Section No: 1-1

Height(m): H1 : 3 , H2 : 3

Type of Toe Facility: Other non-crowded built-up facilities

Distance from Toe(m): 0

Type of Crest Facility: Undeveloped green belt

Distance from Crest(m): 0

Consequence Category: 2

Engineering Judgement: P

Section No: 2-2

Type of Toe Facility: N/A

Distance from Toe(m): 0

Type of Crest Facility: N/A

Distance from Crest(m): 0

Consequence Category: 2

Engineering Judgement: P

Sign of Seepage:	Slope : No signs of seepage Wall : Signs of seepage
Criterion A satisfied:	N
Sign of Distress:	Slope : Minor (near crest) Wall : N/A
Criterion D satisfied:	N
Non-routine maintenance required:	N
Note:	N/A
Masonry wall/Masonry facing:	Y
Note:	DRESSED BLOCK WITH POINTING.
Consequence category (for critical section):	2
Observations:	N/A
Emergency Action Required:	N
Action By:	N/A

ACTION TO INITIATE PREVENTIVE WORKS

Criterion A/Criterion D:	N/A
Action By:	N/A
Further Study:	Y
Action By:	Mixed

OTHER EXTERNAL ACTION

Check / repair Services:	N
Action By:	N/A
Non-routine Maintenance:	N
Action By:	N/A

eLPMIS

LPM/LPMit Details Report

LPM Study Feature No.: 8SW-C/CR 116

Location: Adjacent to floating jetties, Pak Sha Wan Eastside, Sai Kung.

District Council: Sai Kung

Maintenance Responsibility (At the Time of Selection): Mixed

Responsible Party for Maintenance of Government Portion: Lands D

Private Lot No.: DD212 LOT341&EXT

LPM/LPMit Study

Agreement No.: CE59/2009

Study Type: Stage 2 Study

Consultant: Halcrow China Ltd.

GEO Managing Section / Engineer: SS / SS4

Study Status: Study completed

Design Approach: N/A

Option Assessment Accepted: N/A

Study Report No.: S2R79/2010

Programme / Actual Commencement: 28-09-2011

Programme / Actual Completion: 27-10-2012

Report Recommendation (For Stage 2 Study): No action required

District Check Status: Checked

Checking Certificate No.: N/A

GEO Engineer's Remarks: N/A

LPM/LPMit Works

Works Contract No.: N/A

GEO Managing Section / Engineer: N/A / N/A

Contractor: N/A

Progress Status: N/A

Reason of Study Termination / Works Deletion (If Necessary): N/A

Forecast Commencement Date: N/A

Forecast Completion Date: N/A

Completion Cert. Issued: N/A

Site Handed Over to Maintenance Department on: N/A

Estimated Cost for Upgrading (HK\$M): N/A

Maintenance Manual No.: N/A

Actual Works: N/A

No. of Tree Felled: N/A

No. of Tree Planted (Incl. Transplant): N/A

% Bare of Slope Surfacing: N/A

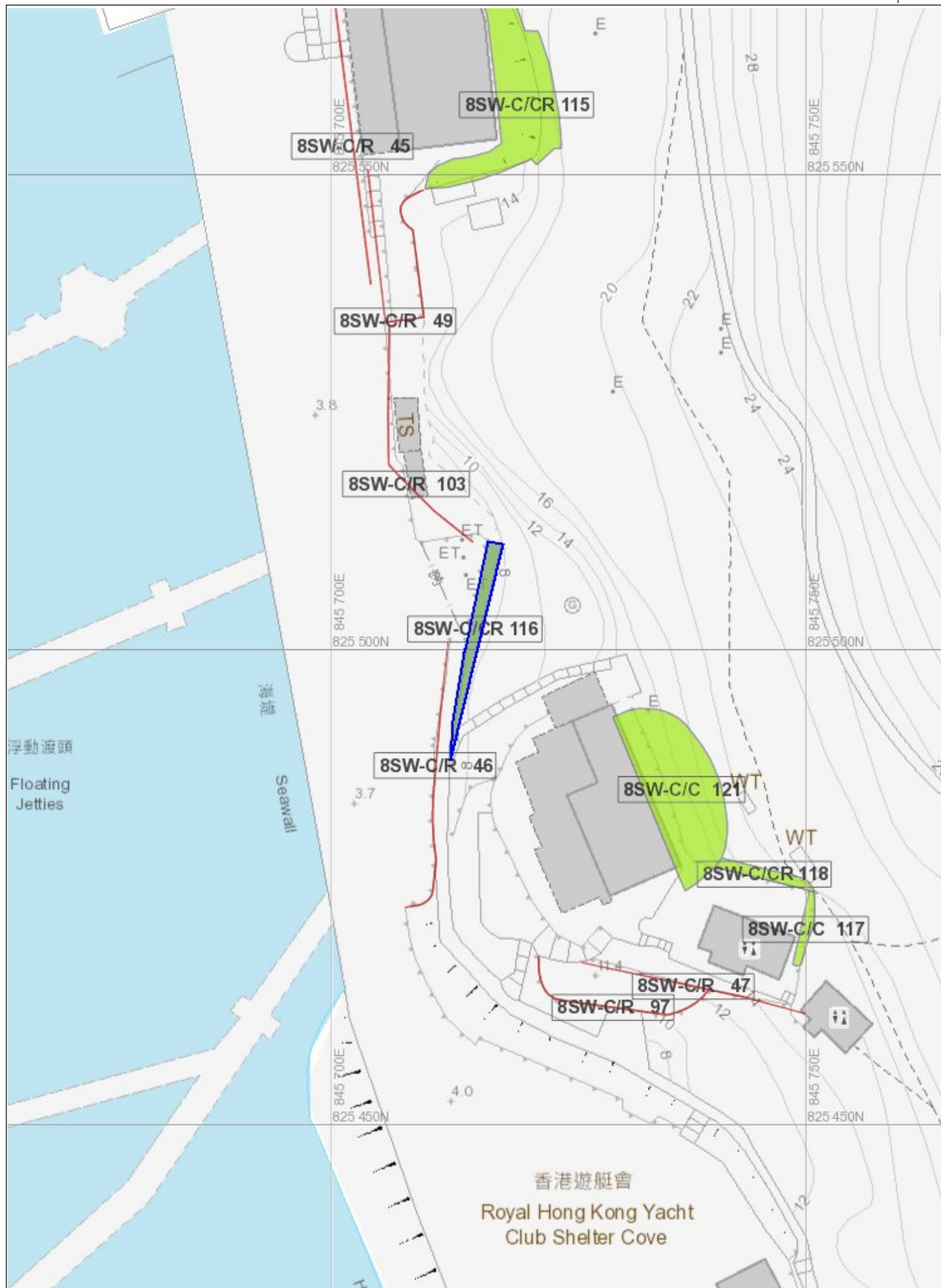
% Vegetated of Slope Surfacing: N/A

% Shotcrete of Slope Surfacing: N/A

Other Hard Surface of Slope Surfacing: N/A

PHOTO





APPENDIX C

RETRIEVED SLOPE MAINTENANCE RESPONSIBILITY REPORTS FROM LANDS DEPARTMENT

Slope Maintenance Responsibility Report

(8SW-C/C121)



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

List of Slope Maintenance Responsibility Area(s)

1	8SW-C/C121		Sub-Division	Not Applicable
	Location	WITHIN DD212 LOT341		
	Responsible Lot/Party	DD212 LOT341	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		

- End of Report -

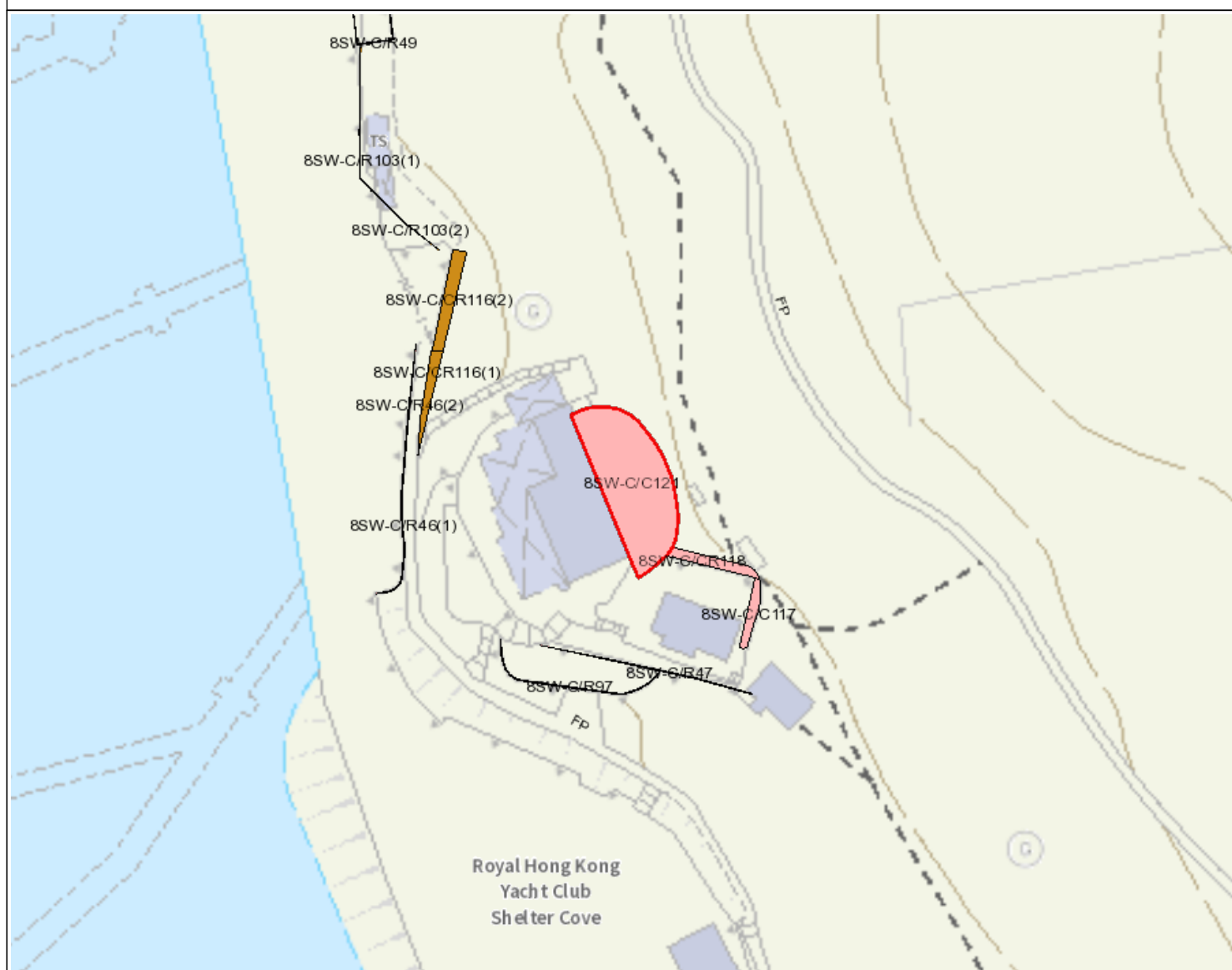
Notes:

- (i) The location plan in Annex is for identification purposes of slope(s) only.
- (ii) The slope(s) as listed in the Slope Maintenance Responsibility Report may not be shown on the location plan in Annex.

The use of this report and plan is subject to the terms and conditions set out under the respective Disclaimers, Copyright Notice and Privacy Policy displayed on the Slope Maintenance Responsibility Information System webpage at <http://www.slope.landsd.gov.hk/smris/disclaimer>. The contents of this report and plan, including but not limited to all text, graphics, drawings, diagrams and compilation of data or other materials are protected by copyright. The users of this report and plan acknowledge that the Government of the Hong Kong Special Administrative Region is the owner of all copyright works contained in this report and plan. Any reproduction, adaptation, distribution, dissemination or making available of any copyright works contained in this report and plan to the public is strictly prohibited unless prior written authorization is obtained from the Lands Department.

Search Criteria: 8SW-C/C121

Location Plan



Legend

- Slope Area(s)
- - - - - Search Location
- Slope(s) Maintained by Government
- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

This Plan is **NOT TO SCALE** and intended for **IDENTIFICATION** only. All information shown on this plan **MUST** be verified by field survey.

Printed on: 20/11/2022

The use of this report and plan is subject to the terms and conditions set out under the respective Disclaimers, Copyright Notice and Privacy Policy displayed on the Slope Maintenance Responsibility Information System webpage at <http://www.slope.landsd.gov.hk/smris/disclaimer>. The contents of this report and plan, including but not limited to all text, graphics, drawings, diagrams and compilation of data or other materials are protected by copyright. The users of this report and plan acknowledge that the Government of the Hong Kong Special Administrative Region is the owner of all copyright works contained in this report and plan. Any reproduction, adaptation, distribution, dissemination or making available of any copyright works contained in this report and plan to the public is strictly prohibited unless prior written authorization is obtained from the Lands Department.

Search Criteria: 8SW-C/C121

Slope Maintenance Responsibility Report

(8SW-C/C243)



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

List of Slope Maintenance Responsibility Area(s)

1	8SW-C/C243		Sub-Division	Not Applicable
	Location	WITHIN DD212 LOT341		
	Responsible Lot/Party	DD212 LOT341	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		

- End of Report -

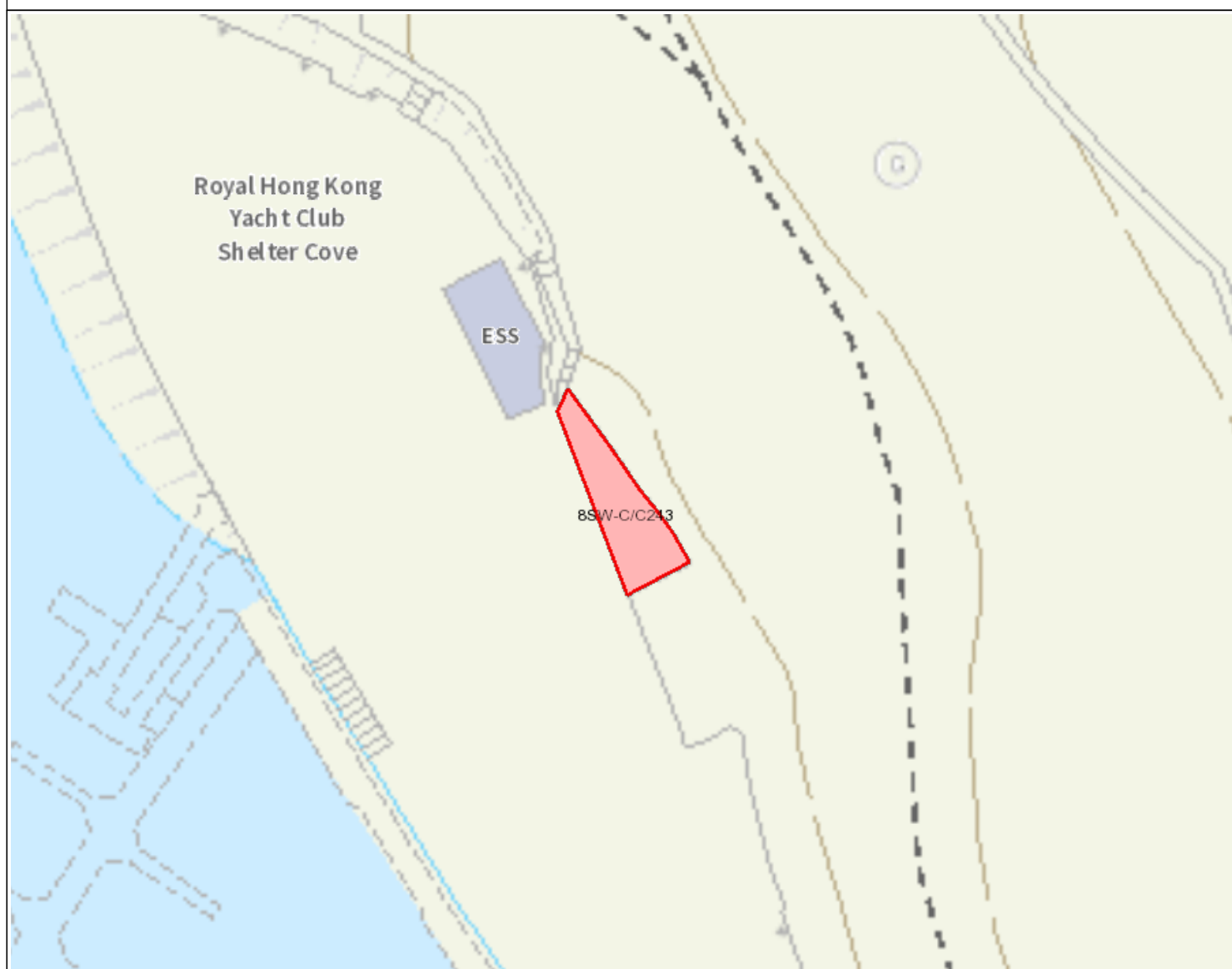
Notes:

- (i) The location plan in Annex is for identification purposes of slope(s) only.
- (ii) The slope(s) as listed in the Slope Maintenance Responsibility Report may not be shown on the location plan in Annex.

The use of this report and plan is subject to the terms and conditions set out under the respective Disclaimers, Copyright Notice and Privacy Policy displayed on the Slope Maintenance Responsibility Information System webpage at <http://www.slope.landsd.gov.hk/smris/disclaimer>. The contents of this report and plan, including but not limited to all text, graphics, drawings, diagrams and compilation of data or other materials are protected by copyright. The users of this report and plan acknowledge that the Government of the Hong Kong Special Administrative Region is the owner of all copyright works contained in this report and plan. Any reproduction, adaptation, distribution, dissemination or making available of any copyright works contained in this report and plan to the public is strictly prohibited unless prior written authorization is obtained from the Lands Department.

Search Criteria: 8SW-C/C243

Location Plan



Legend

- Slope Area(s)
- - - - - Search Location
- Slope(s) Maintained by Government
- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

This Plan is **NOT TO SCALE** and intended for **IDENTIFICATION** only. All information shown on this plan **MUST** be verified by field survey.

Printed on: 20/11/2022

The use of this report and plan is subject to the terms and conditions set out under the respective Disclaimers, Copyright Notice and Privacy Policy displayed on the Slope Maintenance Responsibility Information System webpage at <http://www.slope.landsd.gov.hk/smris/disclaimer>. The contents of this report and plan, including but not limited to all text, graphics, drawings, diagrams and compilation of data or other materials are protected by copyright. The users of this report and plan acknowledge that the Government of the Hong Kong Special Administrative Region is the owner of all copyright works contained in this report and plan. Any reproduction, adaptation, distribution, dissemination or making available of any copyright works contained in this report and plan to the public is strictly prohibited unless prior written authorization is obtained from the Lands Department.

Search Criteria: 8SW-C/C243

Slope Maintenance Responsibility Report

(8SW-C/R46)



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

List of Slope Maintenance Responsibility Area(s)

1	8SW-C/R46		Sub-Division	1
	Location	Within DD212 LOT 332 and LOT 341 &EXT near spot level 11.4		
	Responsible Lot/Party	DD212 LOT 332	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		

- End of Report -

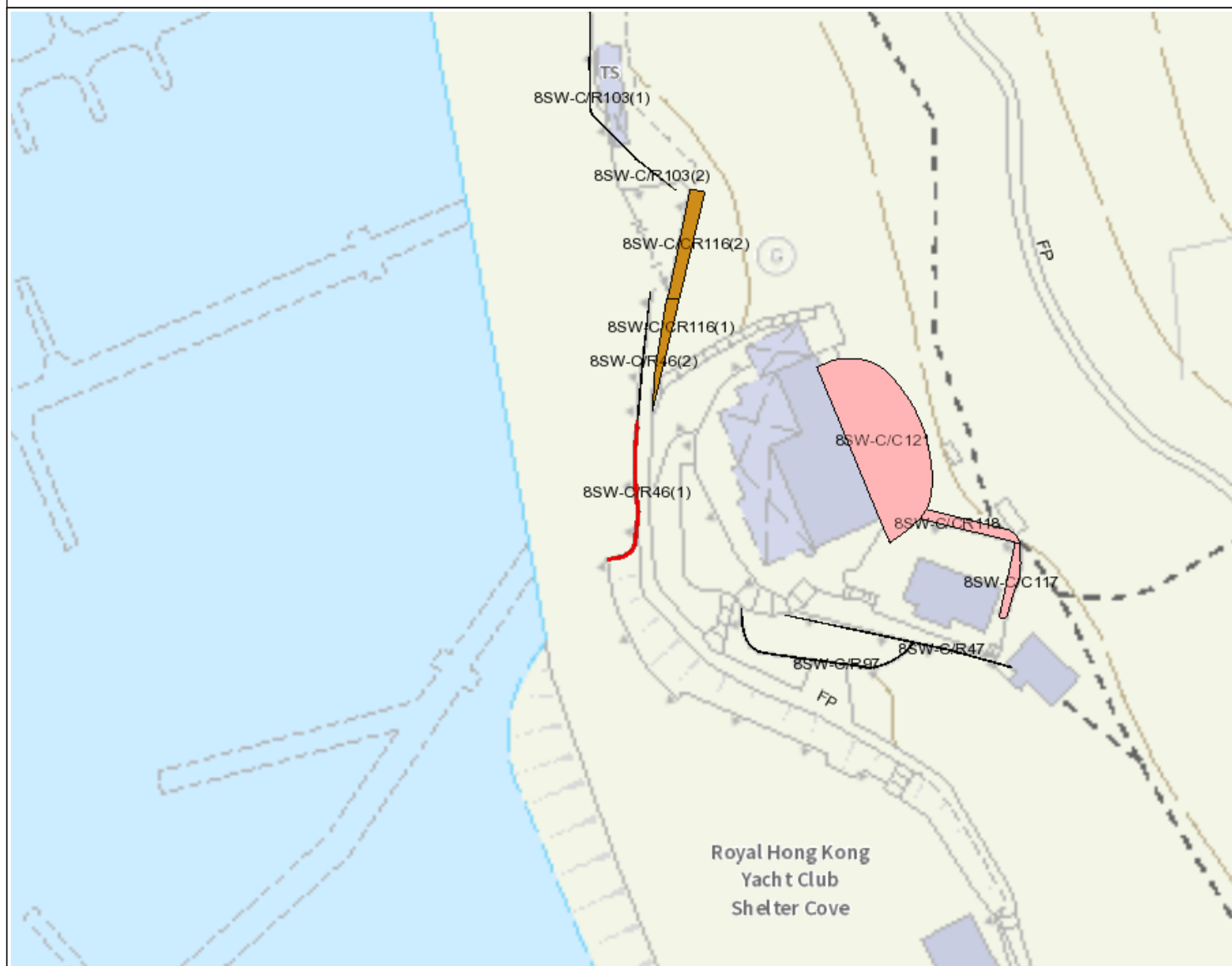
Notes:

- (i) The location plan in Annex is for identification purposes of slope(s) only.
- (ii) The slope(s) as listed in the Slope Maintenance Responsibility Report may not be shown on the location plan in Annex.

The use of this report and plan is subject to the terms and conditions set out under the respective Disclaimers, Copyright Notice and Privacy Policy displayed on the Slope Maintenance Responsibility Information System webpage at <http://www.slope.landsd.gov.hk/smris/disclaimer>. The contents of this report and plan, including but not limited to all text, graphics, drawings, diagrams and compilation of data or other materials are protected by copyright. The users of this report and plan acknowledge that the Government of the Hong Kong Special Administrative Region is the owner of all copyright works contained in this report and plan. Any reproduction, adaptation, distribution, dissemination or making available of any copyright works contained in this report and plan to the public is strictly prohibited unless prior written authorization is obtained from the Lands Department.

Search Criteria: 8SW-C/R46

Location Plan



Legend

- Slope Area(s)
- - - - - Search Location
- Slope(s) Maintained by Government
- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

This Plan is **NOT TO SCALE** and intended for **IDENTIFICATION** only. All information shown on this plan **MUST** be verified by field survey.

Printed on: 24/11/2022

The use of this report and plan is subject to the terms and conditions set out under the respective Disclaimers, Copyright Notice and Privacy Policy displayed on the Slope Maintenance Responsibility Information System webpage at <http://www.slope.landsd.gov.hk/smris/disclaimer>. The contents of this report and plan, including but not limited to all text, graphics, drawings, diagrams and compilation of data or other materials are protected by copyright. The users of this report and plan acknowledge that the Government of the Hong Kong Special Administrative Region is the owner of all copyright works contained in this report and plan. Any reproduction, adaptation, distribution, dissemination or making available of any copyright works contained in this report and plan to the public is strictly prohibited unless prior written authorization is obtained from the Lands Department.

Slope Maintenance Responsibility Report

(8SW-C/R46)



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

List of Slope Maintenance Responsibility Area(s)

1	8SW-C/R46		Sub-Division	2
	Location	Within DD212 LOT 332 and LOT 341 &EXT near spot level 11.4		
	Responsible Lot/Party	DD212 LOT 341 &EXT	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		

- End of Report -

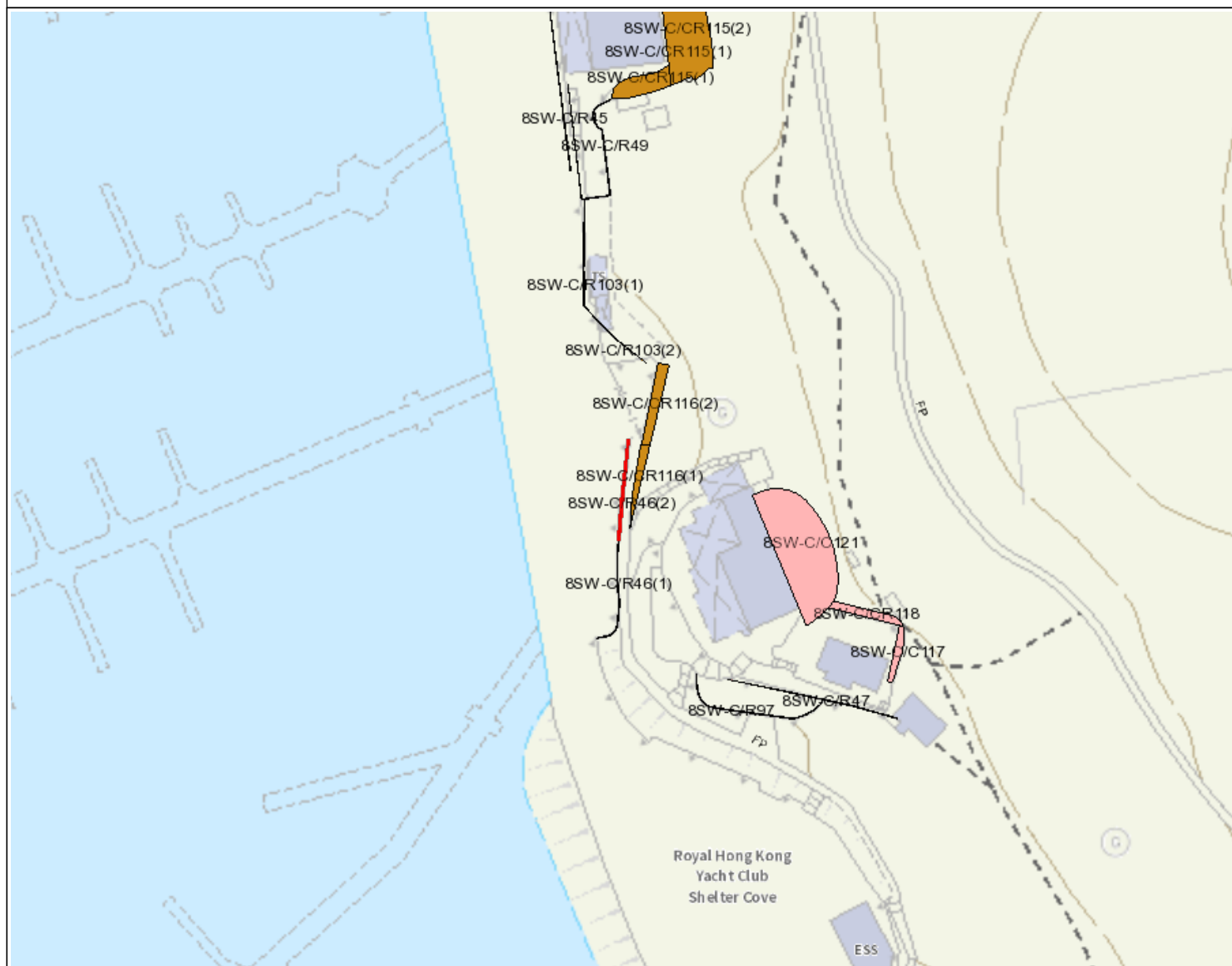
Notes:

- (i) The location plan in Annex is for identification purposes of slope(s) only.
- (ii) The slope(s) as listed in the Slope Maintenance Responsibility Report may not be shown on the location plan in Annex.

The use of this report and plan is subject to the terms and conditions set out under the respective Disclaimers, Copyright Notice and Privacy Policy displayed on the Slope Maintenance Responsibility Information System webpage at <http://www.slope.landsd.gov.hk/smris/disclaimer>. The contents of this report and plan, including but not limited to all text, graphics, drawings, diagrams and compilation of data or other materials are protected by copyright. The users of this report and plan acknowledge that the Government of the Hong Kong Special Administrative Region is the owner of all copyright works contained in this report and plan. Any reproduction, adaptation, distribution, dissemination or making available of any copyright works contained in this report and plan to the public is strictly prohibited unless prior written authorization is obtained from the Lands Department.

Search Criteria: 8SW-C/R46

Location Plan



Legend

- Slope Area(s)
- - - - - Search Location
- Slope(s) Maintained by Government
- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



**ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT**

This Plan is **NOT TO SCALE** and intended for **IDENTIFICATION** only. All information shown on this plan **MUST** be verified by field survey.

Printed on: 24/11/2022

The use of this report and plan is subject to the terms and conditions set out under the respective Disclaimers, Copyright Notice and Privacy Policy displayed on the Slope Maintenance Responsibility Information System webpage at <http://www.slope.landsd.gov.hk/smris/disclaimer>. The contents of this report and plan, including but not limited to all text, graphics, drawings, diagrams and compilation of data or other materials are protected by copyright. The users of this report and plan acknowledge that the Government of the Hong Kong Special Administrative Region is the owner of all copyright works contained in this report and plan. Any reproduction, adaptation, distribution, dissemination or making available of any copyright works contained in this report and plan to the public is strictly prohibited unless prior written authorization is obtained from the Lands Department.

Search Criteria: 8SW-C/R46

Slope Maintenance Responsibility Report

(8SW-C/CR116)



ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT

List of Slope Maintenance Responsibility Area(s)

1	8SW-C/CR116		Sub-Division	1
	Location	Within DD212 LOT 341 &EXT and Government land		
	Responsible Lot/Party	DD212 LOT 341 &EXT	Maintenance Agent	Not Applicable
	Remarks	Not Applicable		
2	8SW-C/CR116		Sub-Division	2
	Location	Within DD212 LOT 341 &EXT and Government land		
	Responsible Lot/Party	Lands Department	Maintenance Agent	Lands Department
	Remarks	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent directly.		

- End of Report -

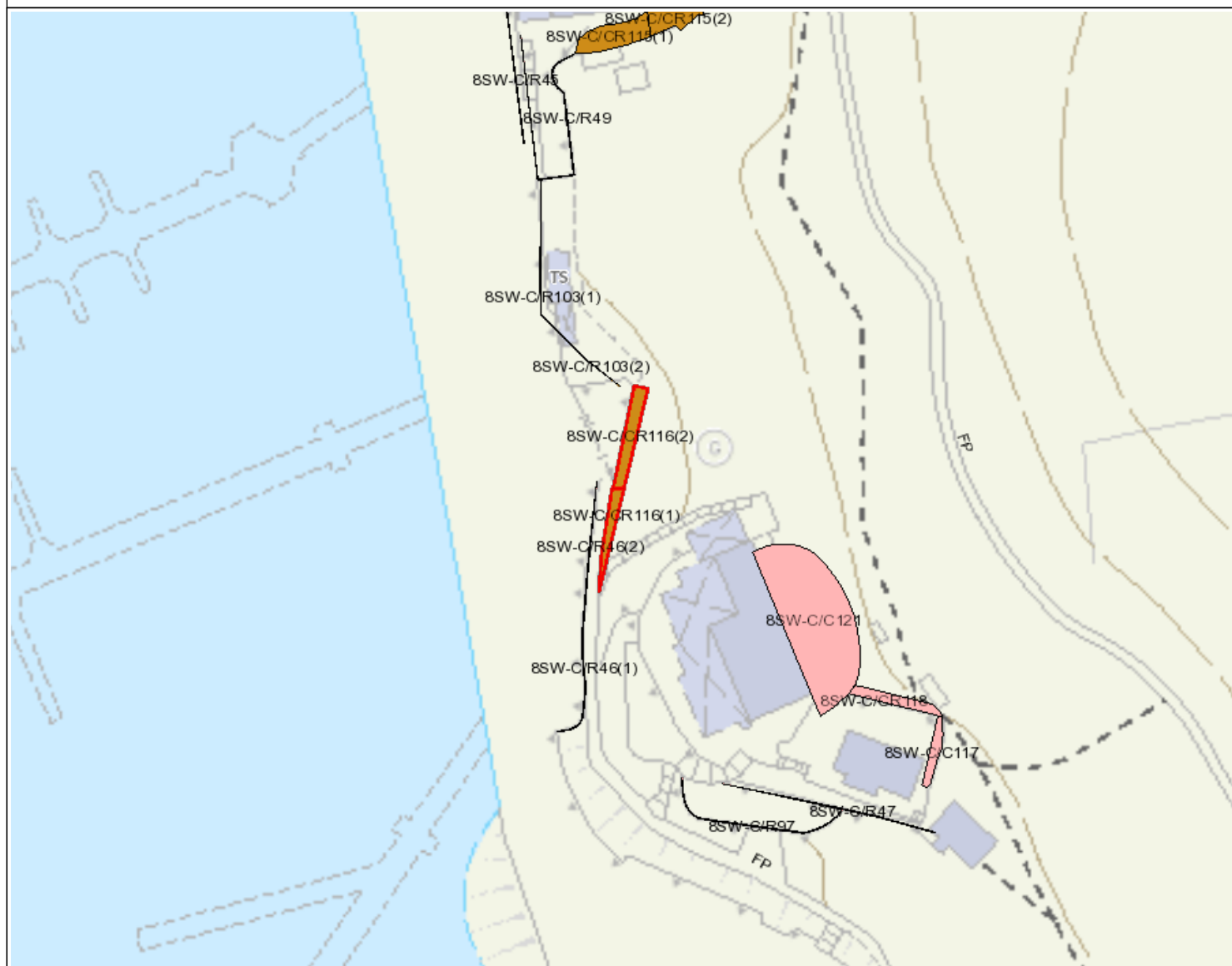
Notes:

- (i) The location plan in Annex is for identification purposes of slope(s) only.
- (ii) The slope(s) as listed in the Slope Maintenance Responsibility Report may not be shown on the location plan in Annex.

The use of this report and plan is subject to the terms and conditions set out under the respective Disclaimers, Copyright Notice and Privacy Policy displayed on the Slope Maintenance Responsibility Information System webpage at <http://www.slope.landsd.gov.hk/smris/disclaimer>. The contents of this report and plan, including but not limited to all text, graphics, drawings, diagrams and compilation of data or other materials are protected by copyright. The users of this report and plan acknowledge that the Government of the Hong Kong Special Administrative Region is the owner of all copyright works contained in this report and plan. Any reproduction, adaptation, distribution, dissemination or making available of any copyright works contained in this report and plan to the public is strictly prohibited unless prior written authorization is obtained from the Lands Department.

Search Criteria: 8SW-C/CR116

Location Plan



Legend

- Slope Area(s)
- - - - - Search Location
- Slope(s) Maintained by Government
- Slope(s) Maintained by Private Party/Parties
- Slope(s) Maintained by Government and Private Party/Parties



**ESTATE MANAGEMENT SECTION
LANDS DEPARTMENT**

This Plan is **NOT TO SCALE** and intended for **IDENTIFICATION** only. All information shown on this plan **MUST** be verified by field survey.

Printed on: 10/01/2023

The use of this report and plan is subject to the terms and conditions set out under the respective Disclaimers, Copyright Notice and Privacy Policy displayed on the Slope Maintenance Responsibility Information System webpage at <http://www.slope.landsd.gov.hk/smris/disclaimer>. The contents of this report and plan, including but not limited to all text, graphics, drawings, diagrams and compilation of data or other materials are protected by copyright. The users of this report and plan acknowledge that the Government of the Hong Kong Special Administrative Region is the owner of all copyright works contained in this report and plan. Any reproduction, adaptation, distribution, dissemination or making available of any copyright works contained in this report and plan to the public is strictly prohibited unless prior written authorization is obtained from the Lands Department.

Search Criteria: 8SW-C/CR116

APPENDIX D

**RETRIVED RECORD PLANS FOR FEATURE 8SW-C/C121
BEHING EXISTING CLUB HOUSE BUILDING**



Buildings Department
屋宇署

YOUR REF 來函檔號 : BD 6/9040/00
OUR REF 本署檔號 : 2845 1559
FAX 圖文傳真 : 2626 1446
TEL 電話 :

29 June 2000

Mr. Angus W. Wilkinson
c/o Wilkinson & Cilley Limited.
5/F, Trust Tower,
68, Johnston Road, Wanchai,
Hong Kong

Dear Sir,

Pak Sha Wan, Sai Kung
D.D. 212 Lot 341

I refer to your application dated 1.6.2000
for approval of proposals in respect of site formation

2. Your submission of plans has been checked under the curtailed check system announced in Practice Notes for Authorised Persons & Registered Structural Engineers 99. On this basis, I am satisfied that your submission is fundamentally acceptable and may be approved.

3. You are reminded that the curtailed check system covers only the fundamental aspects of a building proposal. Although non-fundamental aspects will not be raised as reasons for disapproving a submission, I expect that all contraventions of the Buildings Ordinance and its subsidiary legislation are rectified as and when they are discovered and in any event, before completion of the works is certified. In this connection, I ask you to note that the Building Authority attaches great importance to the proper assumption of duties and responsibilities by authorised persons and registered structural engineers.

4. In accordance with the provisions of regulation 30(1) of the Building (Administration) Regulations, this is to notify that the site formation plans submitted with your application dated 1.6.2000 are hereby approved. One set of the said plans, on which I have signed my approval, is enclosed. Your client has been sent a copy of this letter but I would request that you ensure that the contents are understood by him.

5. This approval should not be deemed to confer any title to land or to act as a wavier of any term in any lease or licence. This approval does NOT authorise the commencement or the carrying out of any works shown in the approved plans. Section 14(2) of the Buildings Ordinance refers.

6. see attached sheet

c.c. c/o Angus W. Wilkinson,
5/F., Trust Tower,
68 Johnston Road,
Wanchai, HK

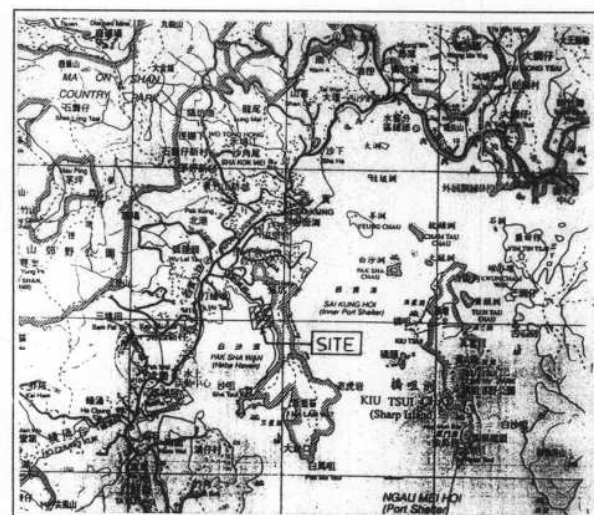
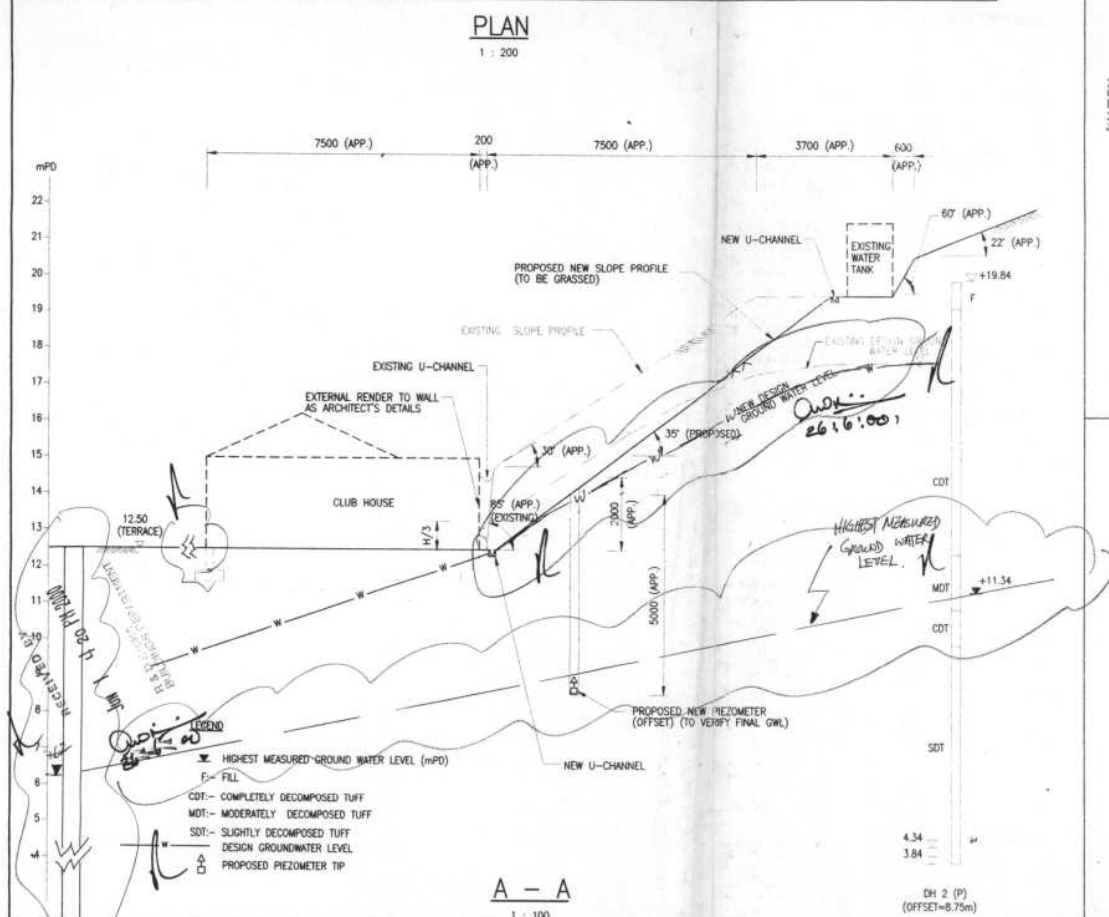
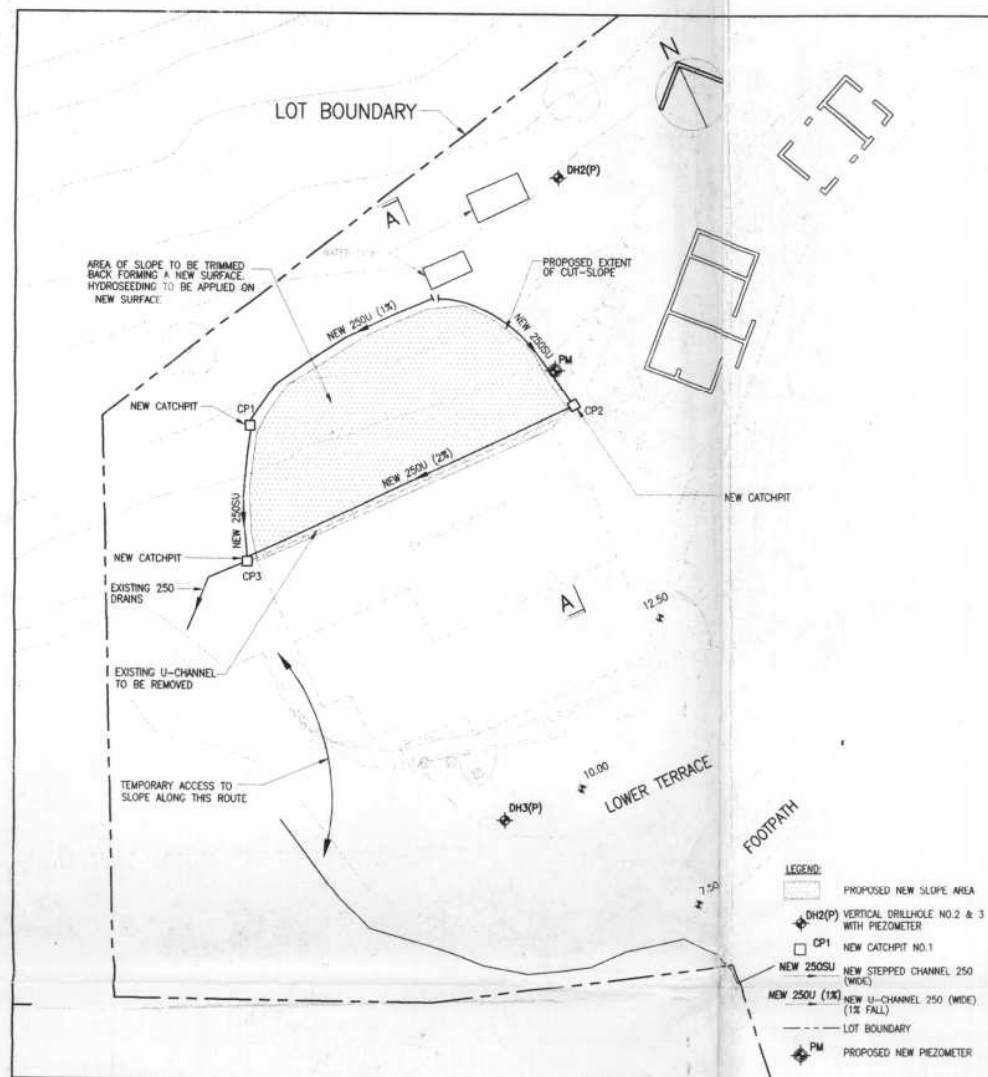
Yours faithfully

DPO/SK&Is (Ref. SKI 5/5/462pt.3)
(GEO/CED (Ref. GCME 3/5/9040/00)
DLO/SK (Ref. DLO/SK 108/SPT/59II)

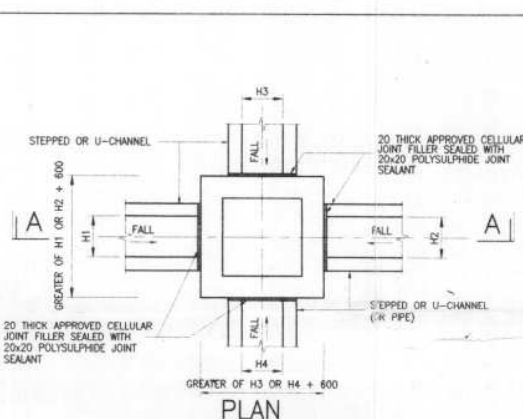
(K. Y. NG)
Senior Building Surveyor
for Building Authority

S.L.9 (12/97)

6.
 - (i) This approval given herein is subject to the conditions and requirements contained in Appendix I.
 - (ii) Prior to Form BA14, submission of an assessment report on groundwater monitoring during construction and throughout wet season to ensure the original design assumptions are valid is required.
7. District Planning Officer/Sai Kung & Islands (contact officer: Mr. Timothy Lui on 2301-1273) has the following comments:-
 - (i) the massive cutting of slope to the north of the site is considered unacceptable and should be justified;
 - (ii) it was clearly indicated in the previous submission that all trees within the slope cutting area to the north of the existing clubhouse will be remained and the tree rings will be provided. Nevertheless, all these indications were removed in the current submission. As such, the applicant is required to confirm whether all trees within the slope cutting area will be remained. If not, strong justifications should be required;
 - (iii) there is no information provided in the plan to demonstrate that what measures would be taken to retain all trees of the slope cutting area since the trees would be affected by the slope cutting work;
 - (iv) the geotechnical stability of the cut slope should be checked by the Government geotechnical engineer; and
 - (v) for all works outside the lot boundaries, prior permissions from DLO/SK should be obtained.
8. The responsible Geotechnical Engineer of the above item 6 is H.S. Yiu on 2762-5198.
9. You endorsed the amended drawing on 26.6.2000 and returned the same to this office on 27.6.2000.

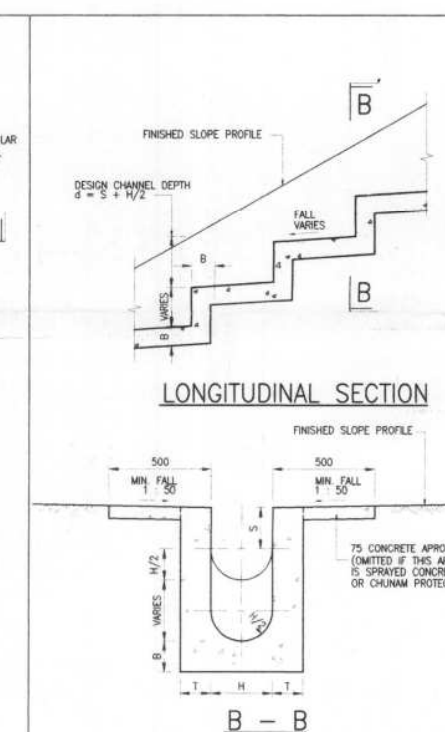


SITE LOCATION PLAN
N.T.S.

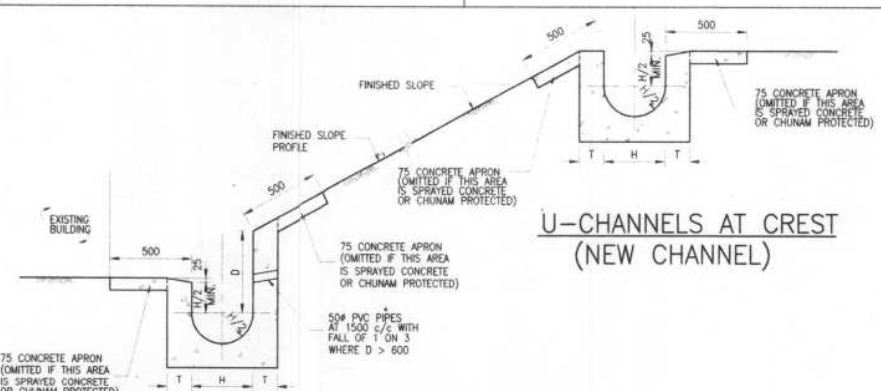


STANDARD CATCHPIT DETAILS
(FOR NEW CATCHPIT)

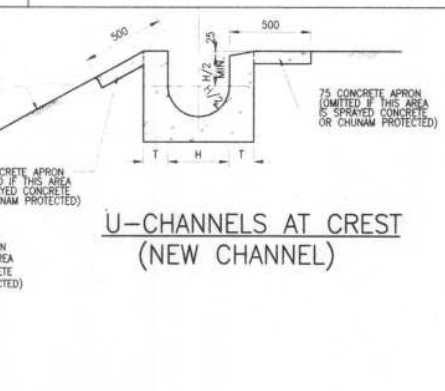
- NOTES:
1. ALL DIMENSIONS ARE IN MILLIMETRES.
 2. ALL CONCRETE SHALL BE GRADE 300/20.
 3. CONCRETE SURFACE FINISH SHALL BE FAIR-FACED.



DETAILS OF STEPPED CHANNEL



U-CHANNELS AT TOE
(NEW CHANNEL)



U-CHANNELS AT CREST
(NEW CHANNEL)

DETAILS OF HALF-ROUND AND U-CHANNELS
TYPE A-WITH CONCRETE APRON
N.T.S.

A. GENERAL NOTES

1. COPYRIGHT RESERVED.
2. COORDINATES ARE RELATED TO HONG KONG METRIC GRID (1980).
3. DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SHOWN.
4. ALL LEVELS IN METRES AND REFER TO PRINCIPAL DATUM (P.D.).
5. ORIGINAL GROUND LEVELS SHOWN ARE APPROX. ONLY.
6. ALL DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE HONG KONG BUILDING (CONSTRUCTION REGULATIONS) 1990.
7. ALL SETTING OUT DIMENSION MUST BE VERIFIED AGAINST THE LATEST RELEVANT ARCHITECT'S DRAWINGS BEFORE WORK COMMENCES. THE ARCHITECT MUST BE INFORMED IMMEDIATELY OF ANY DISCREPANCIES DISCOVERED.
8. AFTER THE COMPLETION OF THE SLOPE WORKS, THE SLOPE SHOULD BE REGISTERED IN GEOTECHNICAL ENGINEERING OFFICE, HONG KONG AS REQUIRED IN PNAP 168 PRIOR TO SUBMISSION OF FORM BA14.
9. A MAINTENANCE MANUAL TOGETHER WITH BA14 SHOULD BE SUBMITTED TO THE BUILDINGS DEPARTMENT AS REQUIRED IN PNAP 169.

B. NOTES ON HEAVY RAINFALL PRECAUTIONS

1. SURFACE WATER FLOWING INTO THE SITE FROM UPHILL SHALL BE INTERCEPTED & CONDUCTED FROM THE SITE TO AN INDICATED SAFE DISCHARGE POINT.
2. ALL EARTHWORKS SHALL BE GRADED AND SEALED TO ENSURE RUN-OFF AND TO AVOID PONDING.
3. A METHOD OF WORKING SHALL BE ADOPTED SO THAT THE MINIMUM OF BARE SOIL IS EXPOSED AT ANY TIME.
4. WHERE TEMPORARY BARE EARTH SLOPE FACES ARE UNAVOIDABLE, THEY SHALL BE PROTECTED WITH SHEETING WELL-SECURED AGAINST WIND. WHERE BARE SLOPE FACES ARE TO BE EXPOSED LONGER THAN 2 WEEKS A 50mm THICK SHOTCRETE HARD SURFACING SHALL BE APPLIED. AND TEMPORARY DRAINS SHALL BE INSTALLED.
5. EXCAVATIONS SHALL NOT BE LEFT OPEN ON OR ADJACENT TO A SLOPE.
6. IF TRENCHES ON OR ADJACENT TO SLOPES HAVE TO BE EXCAVATED DURING THE WET SEASON, THIS SHALL BE DONE WITH EXTREME CARE IN SHORT SECTIONS AT A TIME. PRECAUTIONS SHALL ALWAYS BE TAKEN TO PREVENT WATER ENTERING AND COLLECTING IN THE TRENCH.
7. THE CONTRACTOR SHALL NOT STOCKPILE ANY MATERIAL WHERE IT MAY CAUSE A LANDSLIDE OR ENDANGERS THE PUBLIC OR ADJACENT PROPERTY.

C. HYDROSEEDING

1. (a) HYDROSEEDING FOR LANDSCAPE SOFTWORKS AND ESTABLISHMENT WORKS SHALL BE CARRIED OUT AS STATED IN 1B AND 2 TO 7 BELOW.
- (b) UNLESS OTHERWISE PERMITTED BY THE ENGINEER, HYDROSEEDING SHALL BE CARRIED OUT BETWEEN 1ST MARCH AND 30TH SEPTEMBER. IF HYDROSEEDING IS PERMITTED AT OTHER TIMES, PARTICULARS OF CHANGES TO THE MATERIALS AND METHODS FOR HYDROSEEDING SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL.
2. HYDROSEEDING SHALL ACHIEVE A COVER BY GRASS SPECIES OF AT LEAST 90% OF THE SURFACE AREA OF EACH 12M² OF THE AREA TO BE HYDROSEEDED WITHIN 100 DAYS AFTER THE AREA HAS BEEN HYDROSEEDED. THE GRASS COVER SHALL BE HEALTHY, VIGOROUS AND FREE FROM PERENNIAL AND OTHER WEEDS. THE METHOD OF DETERMINING THE COVER SHALL BE AS STATED IN CLAUSES 3.90 TO 3.92 OF GENERAL SPECIFICATION FOR CIVIL ENGINEERING WORKS.
3. THE SURFACE TO BE HYDROSEEDED SHALL BE FINISHED TO A COARSE OPEN TEXTURED SURFACE AND SHALL NOT BE SMOOTH OR GLAZED. FINISHING WORK ON SLOPES BY MACHINES SHALL BE CARRIED OUT ACROSS THE SLOPE. VEHICLE TRACK MARKS AND BUCKET TEETH MARKS SHALL NOT BE LEFT PARALLEL TO THE LINE OF MAXIMUM GRADIENT OF THE SLOPE.
4. (a) HYDROSEEDING SHALL BE CARRIED OUT USING A PROPRIETARY TYPE OF HYDROSEEDING EQUIPMENT UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- (b) MATERIALS FOR HYDROSEEDING SHALL BE WELL MIXED ON THE SITE IN THE HYDROSEEDING EQUIPMENT IMMEDIATELY BEFORE SPRAYING, ENSURING THAT SEED IS NOT DAMAGED.
- (c) SOIL BINDERS SHALL BE APPLIED AT THE RATE RECOMMENDED BY THE MANUFACTURER, MODIFIED AS NECESSARY TO SUIT CONDITIONS IN HONG KONG. (DE SHALL BE USED) TO DEMONSTRATE THAT ADEQUATE COVER HAS BEEN ACHIEVED COVER, UNLESS IN THE OPINION OF THE ENGINEER RUNOFF OR WATER COURSES WILL BE COLOURED TO ANY ACCEPTABLE LEVEL.
- (d) THE HYDROSEEDING MIXTURE SHALL BE CONSTANTLY AGITATED DURING SPRAYING TO KEEP IT HOMOGENEOUS AND AVOID BLOCKAGE TO PIPES. MEASURES SHALL BE TAKEN DURING APPLICATION TO ENSURE THAT MATERIAL IS NOT LOST DUE TO RUNOFF.
- (e) WALKING ON AREAS THAT HAVE BEEN HYDROSEEDED SHALL BE RESTRICTED TO ACCESS FOR FIXING PROTECTIVE MATERIAL AND FOR PATCHING UP.
5. AREAS WHICH HAVE BEEN HYDROSEEDED SHALL BE COVERED WITH PROTECTIVE MATERIAL WITHIN 2 DAYS AFTER HYDROSEEDING. THE MATERIAL SHALL BE SPREAD OR STAPLED ON THE SOIL SURFACE WITH A MINIMUM OF 150mm OVERLAP.
6. (a) IMMEDIATELY AFTER GERMINATION AND A GENERAL GREENING OF THE HYDROSEEDED AREA IS APPARENT, AREAS WHERE IN THE OPINION OF THE ENGINEER GERMINATION HAS BEEN UNSUCCESSFUL SHALL BE RESPRAYED AREAS AFFECTED BY REPAIRS TO MACHINERY AND GULLIES AND OTHER EROSION ON SLOPES SHALL BE RESPRAYED.

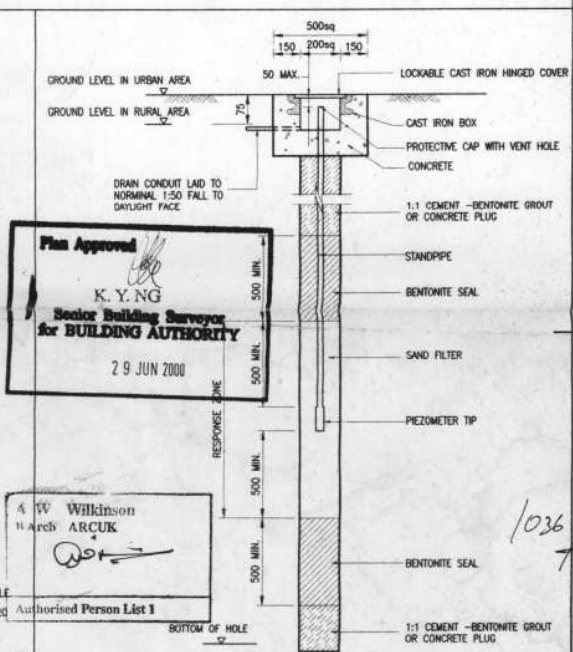
- (b) AREAS WHICH IN THE OPINION OF THE ENGINEER ARE NOT ACCESSIBLE OR ARE TOO SMALL FOR THE USE OF A HYDROSEEDER MAY BE PATCHED UP BY BROADCASTING SEED. THE AREA SHALL BE LIGHTLY SCARIFIED WITH A RAKE OR SIMILAR IMPLEMENT AND THE SEED AND FERTILIZER SHALL BE BROADCAST OVER THE AREA AT A RATE OF NOT LESS THAN 75g/m². THE SEED SHALL BE COVERED BY LIGHTLY WORKING INTO THE SURFACE OR BY SPREADING SUFFICIENT SOIL TO JUST COVER THE SEED. BROADCAST SEEDING SHALL BE CARRIED OUT USING BERBERIS GRASS (CTHODON DACTYLON) PERENNIAL RYEGRASS (LOLIUM PERENNE) OR CARPET GRASS (AXONOPUS COMPRESSUS).
7. POST-PLANTING FERTILIZER SHALL BE APPLIED BETWEEN 2 MONTHS AND 9 MONTHS AFTER APPLICATION OF HYDROSEED AND, UNLESS OTHERWISE PERMITTED BY THE ENGINEER, SHALL BE APPLIED BETWEEN 1ST MARCH AND 30TH SEPTEMBER.

D. CONCRETE WORKS

1. STRUCTURAL CONCRETE MIX : GRADE 300 (30MPa CRUSHING STRENGTH AT AN AGE OF 28 DAYS) TO CS1: 1990
2. BLINDING LAYER AND MASS CONCRETE SHALL BE GRADE 10P CONCRETE 75mm THICK MINIMUM.
3. MAXIMUM AGGREGATE SIZE TO BE 20mm UNLESS STATED OTHERWISE.
4. BARS SHOWN ON OTHER DRAWINGS OR OTHER PARTS OF THIS DRAWING ARE DENOTED THUS:
5. CONCRETE COVER TO OUTER-MOST REINFORCEMENT: 75mm MEMBERS CAST AGAINST SOIL.
6. CONSTRUCTION JOINT POSITIONS AND CASTING SEQUENCE SHALL BE APPROVED BY THE ENGINEER BEFORE THE WORK PROCEEDS.
7. ALL CONSTRUCTION JOINTS TO BE CAREFULLY AND UNIFORMLY ROUGHENED TO FORM A KEY PRIOR TO NEXT CONCRETE POUR.
8. CONCRETE TEST FOR ALKALI-AGGREGATE REACTION COMPLIANCE WITH BD PRACTICE NOTES OF PNAP 180 SHALL BE CARRIED OUT. THE REACTIVE ALKALI OF CONCRETE EXPRESSED AS THE EQUIVALENT SODIUM OXIDE PER CUM OF CONCRETE SHOULD NOT EXCEED 3.0 kg WHEN DETERMINED IN ACCORDANCE WITH THE SPECIFICATION ITEMS AS GIVEN IN APPENDIX A OF THE SAME PRACTICE NOTES.

E. NOTES FOR GROUND WATER MONITORING

1. AN EXTRA PIEZOMETER TO BE INSTALLED AS SHOWN.
2. READINGS OF GROUND WATER LEVELS TO BE TAKEN FOR DH2, DH3 & THE NEW PIEZOMETER WEEKLY AND AFTER HEAVY DURING THE CONSTRUCTION PERIOD BUILDING DEPARTMENT SHALL BE REPORTED FOR ANY TWO READINGS EXCEEDING THE DESIGN GROUND WATER LEVEL.



PIEZOMETER DETAIL

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. FOR DIMENSIONS OF CHANNEL SEE TABLE.
3. ALL CONCRETE SHALL BE GRADE 300/20.
4. CONCRETE SURFACE FINISH SHALL BE FAIR-FACED.
5. EXPANSION JOINTS SHALL BE PROVIDED AT A MAXIMUM SPACING OF 10 METERS.

NOMINAL SIZE	H	T	B	S
<300	100	100	100	200
375-675	150	150	150	350
750-900	175	175	175	400

- NOTES:
1. ALL DIMENSIONS ARE IN MILLIMETRES.
 2. ALL CONCRETE SHALL BE GRADE 300/20.
 3. CONCRETE SURFACE FINISH SHALL BE FAIR-FACED.
 4. SPACING OF EXPANSION JOINTS IN CHANNELS, BERMS AND APRONS SHALL BE 10 METERS MAXIMUM.
 5. FOR DIMENSIONS T, H AND B, SEE:

NOMINAL SIZE	H	T	B	REINFORCEMENT
<300	100	100	100	NIL
375-675	150	150	150	NIL
750-900	175	175	175	A 252 MESH PLACED CENTRALLY

N D Ratcliffe
Registered Structural Engineer

31 MAY 2000

CLIENT: ROYAL HONG KONG YACHT CLUB

ARCHITECT: WILKINSON & CILLEY LTD.

PROJECT: RHKYC: SHELTER COVE, SAI KUNG, N.T. PATIO CANOPY

DRAWING TITLE: SLOPE UP-GRADING WORKS GENERAL NOTES, PLAN, SECTION & DETAIL

DRAWING NO. 96137/SC/G1B

BD REF. NO.

DATE JAN.2000 DRAWN MK SCALE AS SHOWN

CHECKED MK APPR'D

BMMK RATCLIFFE & HOARE
CONSULTING ENGINEERS HONG KONG

APPENDIX E

RETRIVED RECORD PLANS FOR EXISTING RETAINING WALL AND CANOPY IN FRONT OF EXISTING CLUB HOUSE BUILDING



Buildings Department

屋宇署

YOUR REF 來函編號
OUR REF 本署編號
FAX 圖文傳真
TEL 電話

BD 22-3/9137/98 (L/M)

28451559

26261456

Mr. RATCLIFFE, Nicholas Digby
c/o BMMk, Ratcliffe, Hoare & Co., Ltd.
1st Floor, Trust Tower,
68 Johnston Road,
Hong Kong.

8 June 2000

Dear Sir,

Shelter Cove, Pak Sha Wan, Sai Kung -
DD 212 LOT 341

I refer to your application dated received on 13 May, 2000 for approval of proposals in respect of Alterations and Additions Works (Structural).

2. Your submission of plans has been checked under the curtailed check system announced in Practice Notes for Authorised Persons & Registered Structural Engineers 99. On this basis, I am satisfied that your submission is fundamentally acceptable and may be approved.

3. You are reminded that the curtailed check system covers only the fundamental aspects of a building proposal. Although non-fundamental aspects will not be raised as reasons for disapproving a submission, I expect that all contraventions of the Buildings Ordinance and its subsidiary legislation are rectified as and when they are discovered and in any event, before completion of the works is certified. In this connection, I ask you to note that the Building Authority attaches great importance to the proper assumption of duties and responsibilities by authorised persons and registered structural engineers.

4. In accordance with the provisions of regulation 30(1) of the Building (Administration) Regulations, this is to notify that the above - mentioned plans submitted with your application dated received on 13 May, 2000 are hereby approved. One set of the said plans, on which I have signified my approval, is enclosed. Your client has been sent a copy of this letter but I would request that you ensure that the contents are understood by him.

5. This approval should not be deemed to confer any title to land or to act as a waiver of any term in any lease or licence. This approval does NOT authorise the commencement or the carrying out of any works shown in the approved plans. Section 14(2) of the Buildings Ordinance refers.

6. This approval is subject to the conditions and requirements given in the Appendices I, II, III & IV attached.

7. To ensure full compliance of the Buildings Ordinance, it is prudent for the authorized person who acts as the co-ordinator of the building works, to inform the registered contractor all the imposed conditions attached to this approval.

/8.

Ref : BD 22-3/9137/98 (I/M)

8. Under section 17(1)(6) of the Buildings Ordinance, the following information are to be provided prior to the submission of Form BA14 certifying the completion of the A&A works now approved :-

- (a) Certificates from manufacturer and test reports from independent laboratory in respect of the quality and mechanical properties of the structural timber used, which should be appended with a statement signed by the registered structural engineer to confirm that the requirements of quality and properties appropriate to the type of timber have been complied with.
- (b) Test reports to justify the pull-out capacities of the stainless steel screws used in timber joints and fixing of canopy covers.
- (c) Satisfactory test reports to verify the mechanical properties of the polycarbonate cover.

9. You are reminded to submit monthly soil compaction test results and assessment reports as per Note 2 for Earth Filling Works in drg. no. 98048/SC/001A now approved.

10. You are also required to ensure that the structural plans now approved are compatible with the building plans. In this respect, your attention is drawn to section 14(2) of the Buildings Ordinance and you are reminded to submit building plan amendment for the additional column supports and deletion of upstand beams at the northern canopy for my approval prior to the consent application for the commencement and carrying out of the corresponding canopy works.

11. Under section 17(1)(7) of the Buildings Ordinance, you are required to submit initial readings of monitoring check points and tilting check points prior to consent application for the commencement and carrying out of the A&A works now approved.

c.c. **Royal Hong Kong Yacht Club**
c/o Angus W. Wilkinson,
Wilkinson & Cilley Ltd.,
5/F., Trust Tower,
68 Johnston Rd., Wanchai, H.K.

AP - Mr. WILKINSON, Angus Wood
c/o Wilkinson and Cilley Ltd.
5th Floor, Trust Tower,
68 Johnston Road,
Wan Chai, Hong Kong.

Yours sincerely,


(K.P. LEI)

Chief Structural Engineer
for Building Authority

CO/SM

Mr. WILKINSON, Angus Wood
c/o Wilkinson and Cilley Ltd.
5th Floor,
Trust Tower,
68 Johnston Road,
Wan Chai, Hong Kong.

5 May, 2003

Dear Sir,

Shelter Cove, Pak Sha Wan, Sai Kung - DD 212 LOT 341

Your Form BA14 dated 19 December 2000 refers. On the Form, you have certified that the alteration and addition works at the captioned building have been completed in accordance with the plans approved by the Building Authority and that the works are, in your opinion, structurally safe.

2. On the basis of the certification on the Form BA14 and the information available, I advise that the Building Authority has no objection to the completed works.

3. This letter also serves to record that you have, accompanying the said Form BA14, provided me with the following set of record plan certifying the extent of works completed under your supervision :-

<u>Plan No.</u>	<u>Date Approved</u>
1036/BD-01	18 July 2000
1036/BD-02	18 July 2000
98048/SC/001B	8 June 2000
98048/S002F	8 June 2000

4. You supplementary submissions dated 11.3.2003, 21.3.2003 and 25.3.2003 are noted.

5. It is noted that you have amended the record plans on 8.4.2003.

Yours sincerely,

(K H TSE)

Senior Building Surveyor
for Building Authority

c.c. Royal Hong Kong Yacht Club
c/o Angus W. Wilkinson,
Wilkinson & Cilley Ltd.,
5/F., Trust Tower,
68 Johnston Rd., Wanchai, H.K.

RSE - Mr. RATCLIFFE, Nicholas Digby
c/o BMMk, Ratcliffe, Hoare & Co., Ltd.
1st Floor, Trust Tower,
68 Johnston Road,
Hong Kong.

A. GENERAL NOTES

1. COPYRIGHT RESERVED.
2. DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SHOWN.
3. ALL LEVELS IN METRES AND REFER TO PRINCIPAL DATUM (P.D.).
4. ORIGINAL GROUND LEVELS SHOWN ARE APPROX. ONLY.
5. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS, STANDARD DRAWINGS, THE SPECIFICATIONS AND INSTRUCTIONS ISSUED BY THE ENGINEER.

B. EARTH FILLING WORK

1. SURFACE ON WHICH FILLING TO BE PLACED SHALL BE STRIPPED OFF ALL LOOSE AND DISTURBED SOIL.
2. DURING THE EARTH FILLING WORK, MONTHLY REPORTS GIVING RECORDS OF TESTS ON COMPACTION OF FILL TOGETHER WITH A COVERING ASSESSMENT ON THE ADEQUACY OF COMPACTION SHALL BE SUBMITTED TO BO IN ACCORDANCE WITH PNAPSS. SAMPLING AND TESTING PATTERN SHOULD BE IN ACCORDANCE WITH THE FOLLOWING TABLE.

DESCRIPTION	SIZE OF AREA OF FILL IN BATCH	NO. OF SAMPLES / NO. OF TESTS PER BATCH
AREAS OF FILL IN EXCAVATIONS FOR STRUCTURES AND ON FORMATION	0 - 100 m ²	3
	100 - 500 m ²	2 FOR EACH 100 m ² OF PART THEREOF
	EXCEEDING 500 m ²	1 FOR EACH 100 m ² OF PART THEREOF

NO. OF SAMPLES TO BE TESTED FOR MOISTURE CONTENT AND NO. OF TESTS FOR RELATIVE COMPACTION OF FILL

3. THE IN-SITU FIELD DENSITY, MOISTURE CONTENTS, MAXIMUM DRY DENSITY (MDD) AND OPTIMUM MOISTURE CONTENTS SHALL BE DETERMINED IN ACCORDANCE WITH GEO REPORT NO.36 BY HOKUS LABORATORIES AS REQUIRED IN PNAP167.
4. THE COMPACTED FILL SHALL HAVE AN IN-SITU FIELD DRY DENSITY NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY AS STIPULATED IN PNAPSS.
5. BACKFILLING MATERIAL SHALL BE GRANULAR FILL MATERIAL HAVING PARTICLE SIZE DISTRIBUTION AS THE TABLE GIVEN BELOW:

TYPE OF FILL MATERIAL	PERCENTAGE BY MASS PASSING			
	BS TEST SIEVE			
	75 mm	20 mm	600 um	63 um
GRANULAR FILL MATERIAL	100	—	0-5	—

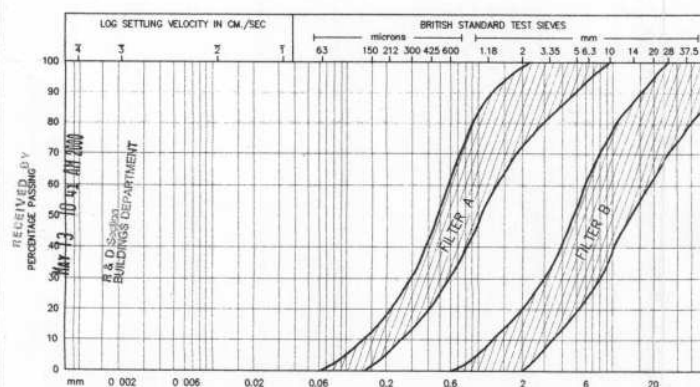
PARTICLE SIZE DISTRIBUTION OF FILL MATERIAL

C. NOTES ON HEAVY RAINFALL PRECAUTIONS

1. SURFACE WATER FLOWING INTO THE SITE FROM UPHILL SHALL BE INTERCEPTED & CONDUCTED FROM THE SITE TO AN INDICATED SAFE DISCHARGE POINT.
2. ALL EARTHWORKS SHALL BE GRADED AND SEALED TO ENSURE RUN-OFF AND TO AVOID PONDING.
3. A METHOD OF WORKING SHALL BE ADOPTED SO THAT THE MINIMUM OF BARE SOIL IS EXPOSED AT ANY TIME.
4. WHERE TEMPORARY BARE EARTH SLOPE FACES ARE UNAVOIDABLE, THEY SHALL BE PROTECTED WITH SHEETING WELL-SECURED AGAINST WIND, WHERE BARE SLOPE FACES ARE TO BE EXPOSED LONGER THAN 2 WEEKS A 50mm THICK SHOTCRETE HARD SURFACING SHALL BE APPLIED, AND TEMPORARY DRAINS SHALL BE INSTALLED.
5. EXCAVATIONS SHALL NOT BE LEFT OPEN ON OR ADJACENT TO A SLOPE.
6. IF TRENCHES ON OR ADJACENT TO SLOPES HAVE TO BE EXCAVATED DURING THE WET SEASON, THIS SHALL BE DONE WITH EXTREME CARE IN SHORT SECTIONS AT A TIME. PRECAUTIONS SHALL ALWAYS BE TAKEN TO PREVENT WATER ENTERING AND COLLECTING IN THE TRENCH.
7. THE CONTRACTOR SHALL NOT STOCKPILE ANY MATERIAL WHERE IT MAY CAUSE A LANDSLIDE OR ENDANGERS THE PUBLIC OR ADJACENT PROPERTIES.

D. NOTES ON MONITORING

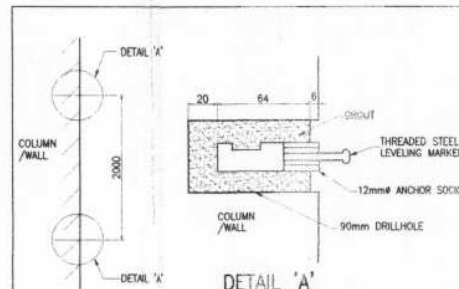
1. ALL SETTLEMENT CHECK POINTS, TILTING CHECK POINTS SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF WORK. THE INITIAL READINGS SHALL BE TAKEN BEFORE WORKS COMMENCE AND SUBMITTED TO THE REGISTERED STRUCTURAL ENGINEER (RSE), BUILDING AUTHORITY (B.A.).
2. DURING THE PROGRESS OF WORKS, ALL MONITORING POINTS SHALL BE MONITORED DAILY IN EACH CHECK POINT. BOTH THE SETTLEMENT & TILTING OF THE SUBJECT STRUCTURE SHALL BE MONITORED. MONITORING RECORDS SHALL BE SUBMITTED TO THE RSE AND BUILDING AUTHORITY.
3. SHOULD ANY UNUSUAL SETTLEMENT OCCUR ALL WORKS SHALL CEASE IMMEDIATELY. THE BUILDING AUTHORITY (BA), THE REGISTERED STRUCTURAL ENGINEER (RSE) SHALL BE INFORMED. THE WORK SHALL NOT BE RECOMMENCED UNTIL REMEDIAL WORK PROPOSAL IS SUBMITTED AND TO THE SATISFACTION OF THE BUILDING AUTHORITY.



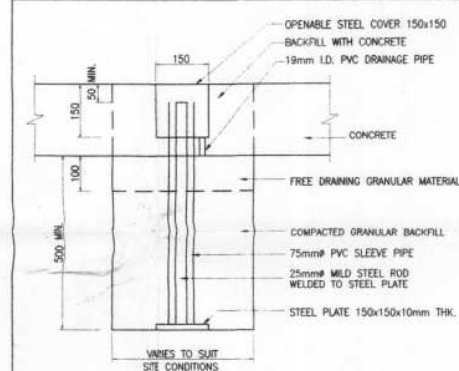
GRADING CURVES FOR
FILTER MATERIAL
(REFERENCE TABLE 17 GEOGUIDE 1)

E. CONSTRUCTION SEQUENCES

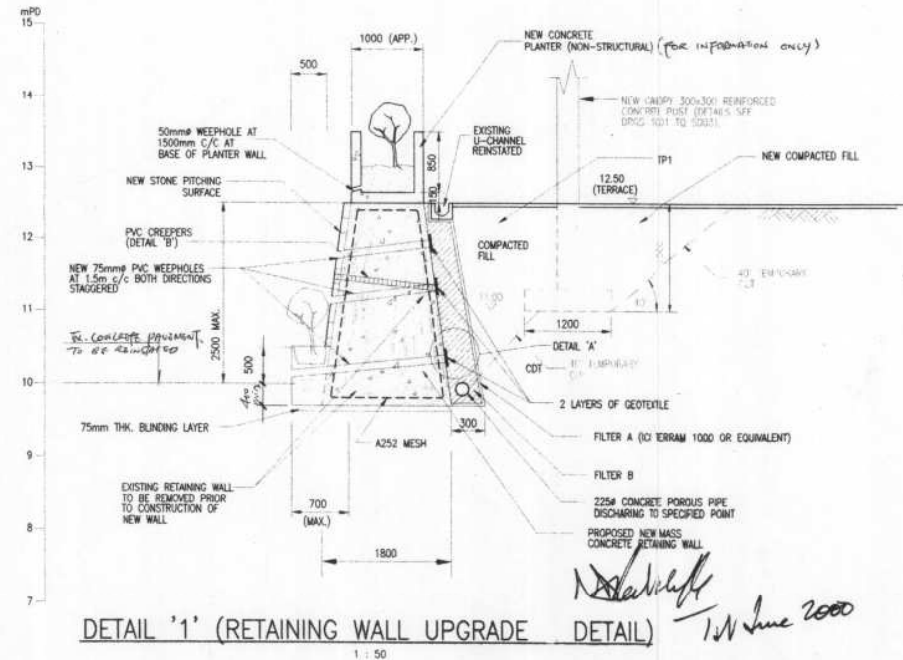
1. INSTALL MONITORING POINTS AND SUBMIT THE INITIAL READINGS TO THE ENGINEER AND CARRY OUT CHECKING DAILY.
2. COMMENCE THE EXCAVATION AND REMOVE THE EXIST'G MASONRY AND SITE FORMATION TO LINE SHOWN ON DRAWING.
3. CONSTRUCT NEW MASS CONCRETE RETAINING WALL AND DRAINS.
4. BACKFILL IN COMPACTED LAYERS TO THE BASE OF NEW FOOTINGS OF CANOPY.
5. CONSTRUCT BASES FOR NEW CANOPY AND INSTALL NEW POSTS.
6. CONTINUE BACKFILL TO EXISTING PAVEMENT LEVEL.



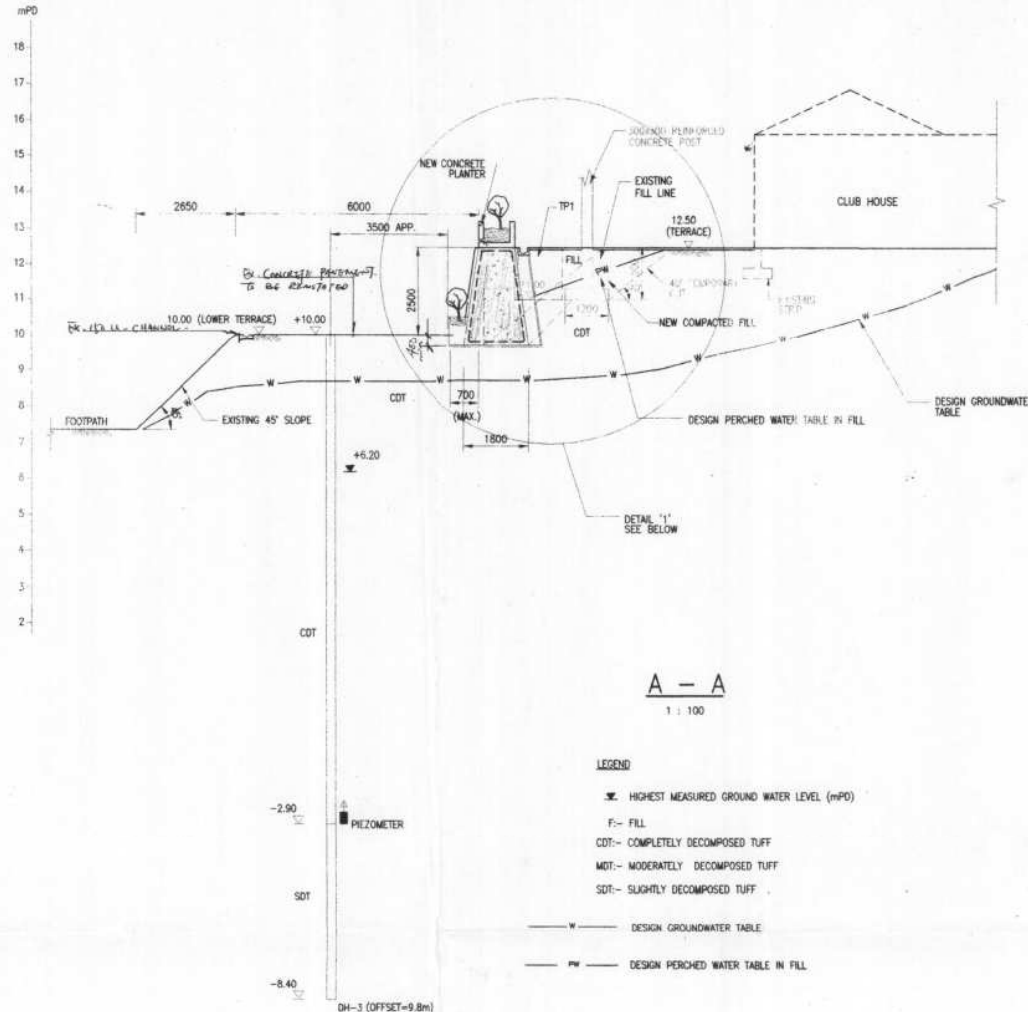
TYPICAL DETAILS OF TILTING CHECK
POINT ON BUILDING
(N.T.S.)



TYPICAL DETAILS OF GROUND
SETTLEMENT MARKERS
(N.T.S.)



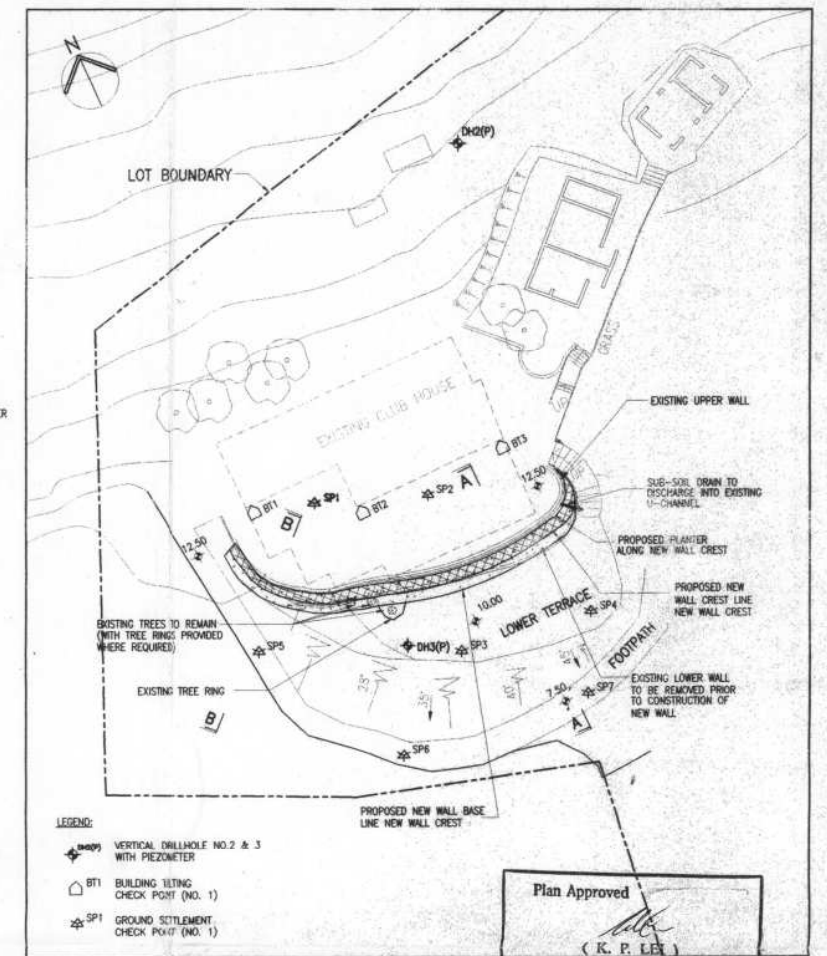
DETAIL '1' (RETAINING WALL UPGRADE
DETAIL)
1st June 2000



A - A
1:100

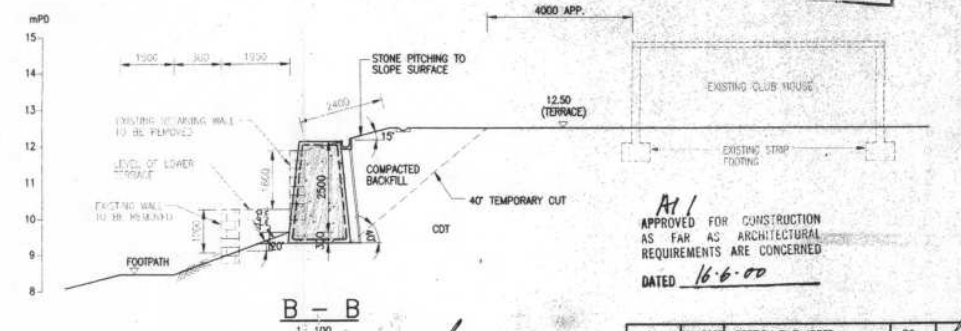
LEGEND

- HIGHEST MEASURED GROUND WATER LEVEL (mPD)
- F- FILL
- CDT- COMPLETELY DECOMPOSED TUFF
- MDT- MODERATELY DECOMPOSED TUFF
- SDT- SLIGHTLY DECOMPOSED TUFF
- DESIGN GROUNDWATER TABLE
- PW — DESIGN PERCHED WATER TABLE IN FILL



PLAN
1:250

Plan Approved
(K. P. LEE)
Chief Structural Engineer
for BUILDING AUTHORITY
- 8 JUN 2000



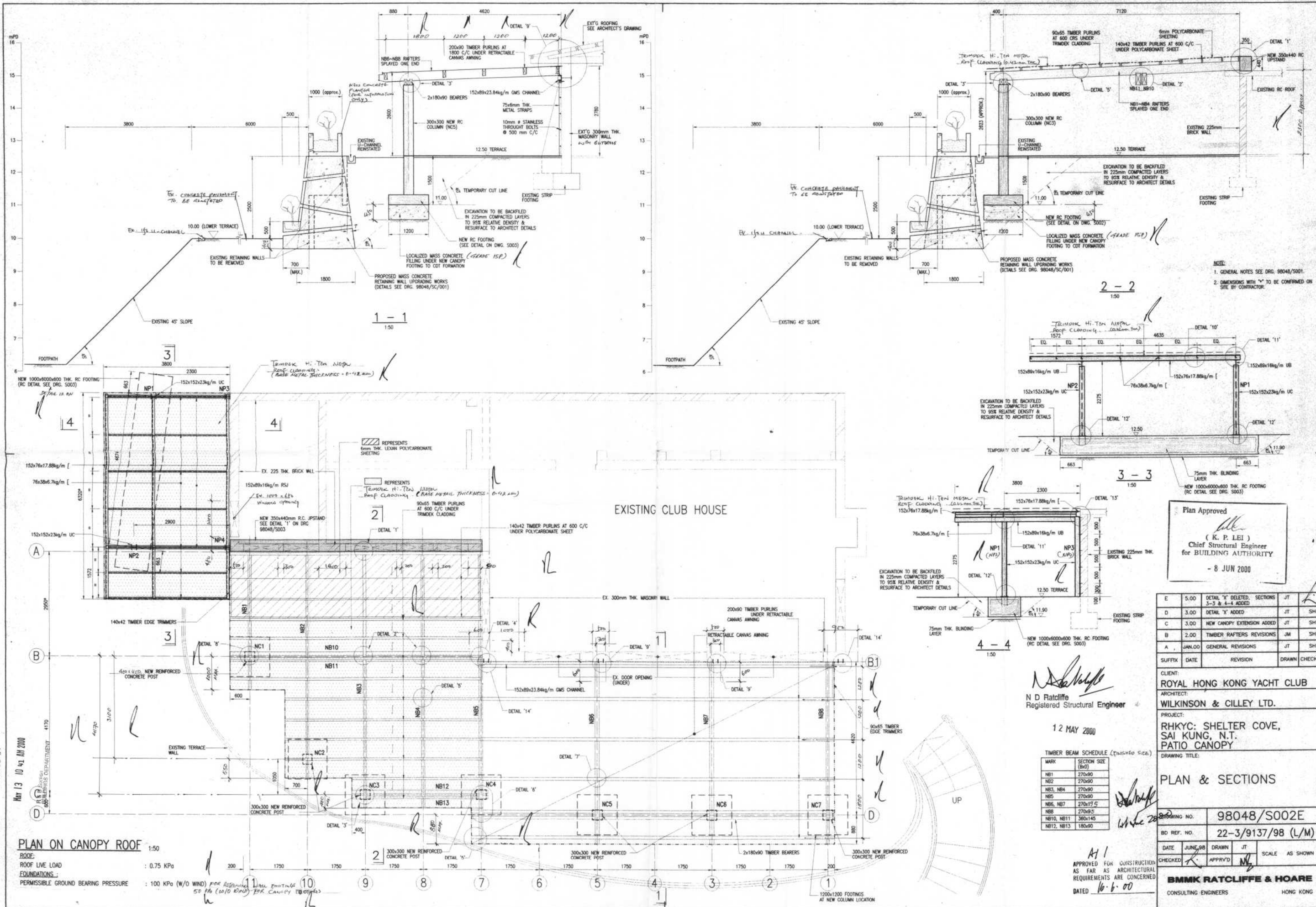
B - B
1:100

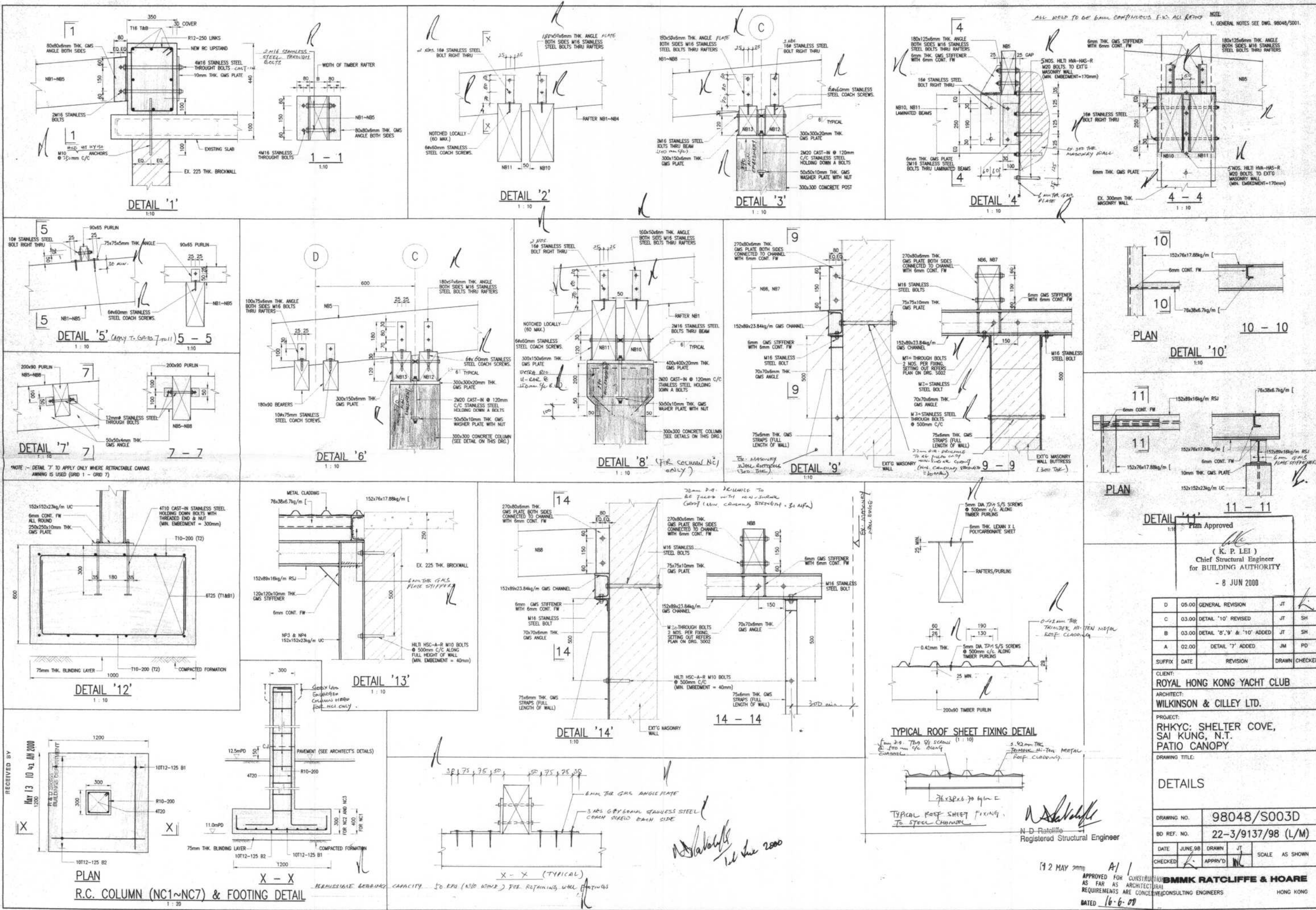
N D Ratcliffe
Registered Structural Engineer
12 MAY 2000

DETAIL 'A'
N.T.S.

DETAIL 'B'
N.T.S.

A	MAY 2000	SECTION B-B ADDED	RC	✓
SUFFIX	DATE	REVISION	DRAWN	CHECKED
CLIENT: ROYAL HONG KONG YACHT CLUB				
ARCHITECT: WILKINSON & CILLEY LTD.				
PROJECT: PATIO CANOPY RHKYC, SHELTER COVE, SAI KUNG, N.T.				
DRAWING TITLE: PROPOSED NEW MASS CONCRETE RETAINING WALL				
DRAWING NO.	98048/SC/ 001A			
BD REF. NO.	22-3/9137/98 (L/M)			
DATE	MAR 2000	DRAWN	WK	SCALE AS SHOWN
CHECKED	✓	APPROVED	N	
BMMK RATCLIFFE & HOARE CONSULTING ENGINEERS HONG KONG				





D	05.00	GENERAL REVISION	JT	
C	03.00	DETAIL '10' REVISED	JT	SH
B	03.00	DETAIL '8', '9' & '10' ADDED	JT	SH
A	02.00	DETAIL '7' ADDED	JM	PD
SUFFIX	DATE	REVISION	DRAWN	CHECKED
CLIENT: ROYAL HONG KONG YACHT CLUB				
ARCHITECT: WILKINSON & CILLEY LTD.				
PROJECT: RHKYC: SHELTER COVE, SAI KUNG, N.T. PATIO CANOPY				
DRAWING TITLE: DETAILS				
DRAWING NO.	98048/S003D			
BO REF. NO.	22-3/9137/98 (L/M)			
DATE	JUNE 98	DRAWN	JT	SCALE AS SHOWN
CHECKED		APPROVED		
BMMK RATCLIFFE & HOARE				
HONG KONG				

APPENDIX F

**BD LETTER DATED 29 JUNE 2016 FOR
APPROVAL OF PROPOSED SLOPE REMEDIAL WORKS FOR
FEATURES 8SW-C/C117, CR118, R46(SD 1&2) & R47**



YOUR REF 來函編號 : BD DH53/10/NT(A)
OUR REF 本署檔號 : 2136 8200
FAX 圖文傳真 : 2135 2503
TEL 電話 :
www.bld.gov.hk

29 June 2016

SHUM Kwo-foo
c/o Reynold (HK) Construction Consultant Ltd
Unit 04, 12/F, Prosperity Centre
982 Canton Road,
Mongkok Kowloon

→Carton

Dear Sir,

Order No. DH0009/NT/14/C, DH0010/NT/14/C, DH0011/NT/14/C,
DH0012/NT/14C and DH0027/NT/14/C dated 28 February 2014
Feature Nos. 8SW-C/C117, 8SW-C/CR118, 8SW-C/R47,
8SW-C/R46 (Sub-division No.2) & 8SW-C/R46 (Sub-division No.1)
Proposed Slope Remedial Works at
Royal Hong Kong Yacht Club, Pak Sha Wan. Sai Kung
DD212 Lot No. 341 & the extension thereto and DD212 Lot No. 332

I refer to your application received on 4 May 2016 for approval of proposals in respect of Slope and Retaining Wall Remedial Works.

2. Your submission of plans has been checked under the curtailed check system announced in Practice Note for Authorized Persons, Registered Structural Engineers and Registered Geotechnical Engineers (PNAP) ADM-19. On this basis, I am satisfied that your submission is fundamentally acceptable and may be approved.

3. You are reminded that the curtailed check system covers only the fundamental issues of a building proposal. Although non-fundamental issues will not be raised as reasons for disapproving a submission, I expect that all contravention of the Buildings Ordinance (BO) and its subsidiary legislation are rectified as and when they are discovered and in any event, before completion of the works is certified. In this connection, I ask you to note that the Building Authority attaches great importance to the proper assumption of duties and responsibilities by authorized persons and registered structural engineers.

4. In accordance with the provisions of regulation 30(1) of the Building (Administration) Regulations, this is to notify that the above - mentioned plans submitted with your application received on 4 May 2016 are hereby approved. One set of the said plans, on which I have signified my approval, is enclosed. Your client has been sent a copy of this letter but I would request that you ensure that the contents are understood by him.

5. This approval should not be deemed to confer any title to land or to act as a waiver of any term in any lease or licence. This approval does NOT authorize the commencement or the carrying out of any works shown in the approved plans. Section 14(2) of the BO refers.

P.2/...

S. L 9(i)(SS) (2/2016)

Ref. BD DH53/10/NT(A)

6. This approval is subject to the conditions and requirements given in Appendices A, B & C attached.

To ensure full compliance of the BO, it is prudent for the Authorized Person (AP) who acts as the coordinator of the building works, to inform the Registered General Building Contractor/ Registered Specialist Contractor of all the imposed conditions attached to this approval.

7. Under item 6 of section 17(1) of the BO, you are required to submit initial readings of all the monitoring stations prior to the commencement of the slope remedial works and subsequent monitoring readings at bi-weekly intervals during the course of works. A copy of the monitoring record shall be kept on site for inspection by staff of the Buildings Department (BD). Monitoring checkpoints should be duly monitored and assessed at various critical stages of construction works and the registered contractor should regularly update the works programme of site activities.

8. The checking of submission has been substantially curtailed and greater emphasis is placed on the integrity and competence of the authorized persons. You are expected to comply with the requirement of section 4(3)(b) of the BO in respect of any contravention of the regulations.

9. Chief Geotechnical Engineer / Mainland East of the Geotechnical Engineering Office (GEO) (Contact Person: Mr. Steven, N.F. TSANG on Tel no. 2762 5234) has the following comment:-

- (a) TCP T3 and TCP T5 site supervision personnel under the RGE's Stream should be provided for the works in accordance with the Code of Practice for Site Supervision 2009. The RGE shall submit regular site supervision reports to the BD at monthly intervals or more frequently.

10. District Land Officer/Sai Kung (DLO/SK) of the Lands Department (Contact Person: Mr. K. M. Chau on Tel. no. 2792 5382) has the following comments:-

- a) No works shall be encroached onto government land without the prior written approval of the DLO/SK.
- b) Proposed work on government land shall be avoided as far as possible. Otherwise, AP shall apply to DLO/SK for prior written approval before commencement of works with justification for encroachment onto government land. The land owner shall also be responsible for the future maintenance of such works unless the maintenance party is otherwise agreed.

11. The comments from Environmental Protection Department will be conveyed to you once available.

S. L 9(i)(SS) (2/2016)

香港九龍觀塘道410號觀點中心26樓至27樓 26-27/F, Kwun Tong View, 410 Kwun Tong Road, Kowloon, Hong Kong

Ref. BD DH53/10/NT(A)

12. As conditions of this approval under item 6 of section 17(1) of the BO, prior to application for consent to commencement and carrying out of the slope remedial works, the following documents are required to be submitted for our acceptance.

- a) A condition survey report with photos of all slopes, existing buildings, structure, and utilities adjoining to the site.
- b) Logging of additional trial pit TPFT1 for verification of the existing footing level.

13. It is noted that you submitted a set of supplementary calculation on 27 June 2016 and you made amendments on the calculation and plans on 24 June 2016.

14. You are reminded :-

- a) To draw the attention of the owner to the necessity for the slope remedial works to be carried out as soon as possible, and the provisions in section 27A(2B) in the BO for serving of order to require for the carrying out of the approved work
- b) To provide adequate precautionary measures prior to and during the carrying out of the slope remedial works for the safety of the public, the workers and the adjoining properties. Application for a hoarding permit is required if a hoarding is to be erected under regulation 64 of the Building (Planning) Regulations. In this connection, your attention is drawn to PNAP APP-23.
- c) To monitor the stability of the feature until the completion of the slope remedial works/ preventive measures and give warning of any impending danger. Site inspections and monitoring of the above features should be carried out by professionally qualified geotechnical engineer at quarterly intervals or more frequently, particularly during rainy seasons. Records of inspections and monitoring should be kept in your office and submitted to this department upon request.
- d) To lodge a supervision plan (2 copies) for the works prior to your consent application. Your attention is drawn to section 16(3)(bc) of the BO.
- e) To provide the extent of supervision for different stages of the works as given in the Code of Practice for Site Supervision 2009 (CoP).
- f) To provide TCP T3 to carry out site inspection of the works and prepare and certify the key records on supervision of soil nailing works in accordance with the CoP. The records shall be submitted to the BD for acceptance.

S. L 9(i)(SS) (2/2016)

香港九龍觀塘道410號觀點中心26樓至27樓 26-27/F, Kwun Tong View, 410 Kwun Tong Road, Kowloon, Hong Kong

Ref. BD DH53/10/NT(A)

- g) To give prior notice to the GEO of the date of commencement of site trials for soil nailing works/ non-destructive tests for installed soil nails shown on plans, in order to facilitate the GEO staff to carry out site inspection and field checks.
 - h) To promptly report all significant signs of distress and/or notable landslides during the construction works to the BD and the GEO.
 - i) To provide a copy of the approved plans to the GEO for record.
15. You are required, under regulation 10 of the Building (Administration) Regulations, to submit the following together with a Form BA14 for certification of completion of the works:-
- a) Two sets of as-built record plans.
 - b) Information including a soft copy of the basic data requested in PNAP ADV-8 for registration of slopes and retaining walls for which the owners have maintenance responsibility.
 - c) Two copies of the Maintenance Manual for slopes and retaining walls for which the owners have maintenance responsibility as required in PNAP APP-79.
 - d) The pull-out test report, record of installation and non-destructive test report, if any, for the soil nails.
 - e) Results of groundwater monitoring covering at least one wet season with an assessment report to validate and confirm the design assumption.
16. Please ensure that adequate precautionary measures in terms of site safety protection of earthworks against heavy rainfall are being provided as necessary at all time, prior to and during the course of works.
17. I would like to draw your attention to PNAP ADV-23 and request you to strongly advise your client to take this opportunity to incorporate landscape treatment to the subject Feature in the remedial works to improve its appearance. Please also refer to the "Layman's Guide to Landscape Treatment of Slopes and Retaining Walls" produced by the GEO, which can be viewed/downloaded from the Civil Engineering and Development Department Website (<http://hkss.cedd.gov.hk/hkss/eng/download/index.htm>) through the Internet.
18. Please send a copy of the approved plans to the GEO for retention and reference.

S. L 9(i)(SS) (2/2016)

香港九龍觀塘道410號觀點中心26樓至27樓 26-27/F, Kwun Tong View, 410 Kwun Tong Road, Kowloon, Hong Kong

P.5/...

Ref. BD DH53/10/NT(A)

19. Should you require further advice, please contact our Structural Engineer Mr. LEUNG Ka-chuen at telephone number 2135 2503.

Yours faithfully,

(YEUNG Kar-kui)
Chief Building Surveyor/Slope Safety
for Building Authority

Encl. (Appendices A to C)

c.c. Royal Hong Kong Yacht Club
Kellett Island, Causeway Bay, Hong Kong

Hong Kong Marina Limited
Room 903, Aon China Building,
29 Queen's Road, Central, HK

CGE/ME, GEO

DLO/SK

EPD

BD DH53/10/NT(B)

BD DH53/10/NT(C)

BD DH53/10/NT(D)

BD DH48/13/NT

S. L 9(i)(SS) (2/2016)

香港九龍觀塘道 410 號觀塘中心 26 樓至 27 樓 26-27/F, Kwun Tong View, 410 Kwun Tong Road, Kowloon, Hong Kong

Ref : BD DH53/10/NT (A)

Address : Royal Hong Kong Yacht Club, Pak Sha Wan, Sai Kung DD212 Lot No. 341 & the extension thereto and DD212 Lot No. 332

Appendix A to approval dated 29 JUN 2016

Reinforced Concrete Works

In giving this approval of plans, I hereby impose the following conditions under item 6 in section 17(1) of the Buildings Ordinance:

- (a) Sampling and testing of steel reinforcing bars should be carried out in accordance with CS2:2012*~~/Practice Note for Authorized Persons, Registered Structural Engineers and Registered Geotechnical Engineers (PNAP) APP 45 for compliance with CS2:1995*~~. Testing should be carried out by a laboratory* accredited under the Hong Kong Laboratory Accreditation Scheme (HOKLAS) for the particular test concerned. Test results[@] should be submitted within 60 days of the delivery of the steel reinforcing bars to the site. The test reports should be appended with a statement signed by the Registered Structural Engineer to confirm the following:
 - (i) All steel reinforcing bars used for the construction and the test specimens covered by the test reports are in accordance with the types and grades of steel shown in the approved plans.
 - (ii) Sampling and testing of steel reinforcing bars used have been carried out in accordance with CS2:2012*~~/PNAP APP 45 for compliance with CS2:1995*~~.
 - (iii) The acceptance criteria appropriate to each type and grade of steel reinforcing bars used have been complied with.
 - (iv) All steel reinforcing bars tests have been carried out by a laboratory* accredited under the HOKLAS.
- (b) Sampling of concrete and compression testing of concrete test cubes should be carried out in accordance with the methods specified in CS1:2010. Testing should be carried out by a laboratory* accredited under the HOKLAS for the particular test concerned. Test results[@] should be submitted within 21 days after testing. The test reports should be appended with a summary which contains information on locations of concerned structural elements, concrete grades and dates of cast. The summary should also include previous summary information of concrete cube test reports in chronological order. The test reports should also be appended with a statement signed by the Registered Structural Engineer to confirm the following:
 - (i) All concrete used for the construction and concrete cubes covered by the test reports are in accordance with the concrete grades shown in the approved plans.

(ii) Concrete cube sizes, rates of sampling fresh concrete for testing and acceptance criteria for compressive strength set out in Building (Construction) Regulations have been complied with.

(iii) All concrete cube tests have been carried out by a laboratory* accredited under the HOKLAS and in accordance with the methods specified in CS1:2010.

(c) Concrete should be obtained from concrete suppliers certified under the Quality Scheme for the Production and Supply of Concrete except for those exceptional projects permitted under clause 11.7.1 of the Code of Practice for Structural Use of Concrete 2013 where documents should be submitted by the Registered Structural Engineer at least one week prior to commencement of the works to prove that the concrete supplier is operating under an approved quality system.

2. The following conditions in respect of qualified supervision of works are imposed under item 6 in section 17(1) of the Buildings Ordinances:

- (a) Qualified site supervision of the reinforced concrete works, including sampling of concrete and steel reinforcing bars and making and curing of test cubes, by experienced and competent persons as defined in (b) and (c), should be provided to ensure that the works are carried out in accordance with the plans approved and that the required standards are complied with.
- (b) The Registered Structural Engineer should assign a quality control supervisor to supervise the works, determine the necessary frequency of inspection by the quality control supervisor which should not be less than once a week, and devise inspection check lists. The minimum qualifications and experience of the quality control supervisor is to be the same as the Technically Competent Person of grade T3, as stipulated in the Code of Practice for Site Supervision 2009.
- (c) The Registered General Building Contractor/Registered Specialist Contractor should assign a quality control co-ordinator to provide full time on site supervision of the works and devise inspection check lists. The minimum qualifications and experience of the quality control co-ordinator is to be the same as the Technically Competent Person of grade T1, as stipulated in the Code of Practice for Site Supervision 2009.
- (d) The names and qualifications of the supervisory personnel representing the Registered Structural Engineer and the Registered General Building Contractor/Registered Specialist Contractor respectively should be recorded in an inspection log book. The date, time, items inspected and inspection results should be clearly recorded in the log book. The log book should be kept on site for inspection by representatives of the Buildings Department.

Delete wherever inapplicable.

* A Directory of Accredited Laboratories in Hong Kong is obtainable from the Hong Kong Accreditation Service (HKAS) Executive, Innovation and Technology Commission.

A laboratory's accreditation for an individual test or calibration may be granted, modified or withdrawn at any time. Up-to-date information on accredited laboratories and their scopes of accreditation are available on the internet at the HKAS website at <http://www.info.gov.hk/itc/hkas/>.

@ The test carried out by an accredited laboratory should be within its scope of accreditation. To ensure this, test results should be reported on a HOKLAS Endorsed Certificate or equivalent Certificate/Report issued from other laboratory accreditation bodies which have reached mutual recognition agreements/arrangements with the HOKLAS.

Ref: BD DH53/10/NT (A)

Address: Royal Hong Kong Yacht Club, Pak Sha Wan, Sai Kung DD212 Lot No. 341 & the extension thereto and DD212 Lot No. 332

Appendix B to approval dated 29 JUN 2016

Soil Nail/Rock Dowel Works

In giving this approval of plans, I hereby impose the following conditions under item 6 in section 17(1) of the Buildings Ordinance.

- (a) Sampling and testing of steel reinforcing bars used in the soil nail/rock dowel works should be carried out in accordance with CS2:2012[#]/~~Practice Note for Authorized Persons, Registered Structural Engineers and Registered Geotechnical Engineers (PNAP) APP 45 for compliance with CS2:1995[#]~~. Testing should be carried out by a laboratory* accredited under the Hong Kong Laboratory Accreditation Scheme (HOKLAS) for the particular test concerned. Test results[@] should be reported on a HOKLAS Endorsed Certificate and submitted within 60 days of the delivery of the steel reinforcing bars to the site. The test reports should be appended with a statement signed by the Registered Structural Engineer to confirm the following:
- (i) All steel reinforcing bars used in the soil nail/rock dowel works and the test specimens covered by the test reports are in accordance with the types and grades of steel shown in the approved plans.
 - (ii) Sampling and testing of steel reinforcing bars used have been carried out in accordance with CS2:2012[#]/~~PNAP APP 45 for compliance with CS2:1995[#]~~.
 - (iii) The acceptance criteria appropriate to each type and grade of steel reinforcing bars used have been complied with.
 - (iv) Testing of steel reinforcing bars has been carried out by a laboratory* accredited under HOKLAS.
- (b) The requirements of sampling and testing of grout are as follows:
- (i) For each grout mix one sample of grout shall be provided from each 10 batches of grout, or every 10 m³ from the amount of grout produced in a day, whichever is the lesser, to determine the crushing strength of the grout. Samples shall be provided not more than 1 hour after the grout has been mixed and shall be protected from weather before test cubes are made.
 - (ii) Compression testing of grout test cubes should be carried out in

accordance with the methods specified in CS1:2010 using 100mm size cubes. Testing should be carried out by a laboratory* accredited under HOKLAS for the particular test concerned. Test results[@] should be reported on a HOKLAS Endorsed Certificate and appended with a statement signed by the Registered Structural Engineer to confirm that the acceptance criteria set out in the Building (Construction) Regulation 59 have been complied with, and should be submitted within 21 days after testing.

- (c) Qualified site supervision of the sampling of cement grout and making and curing of test cubes by experienced and competent persons should be provided to ensure that the works are carried out in accordance with the plans approved and that the required standards are complied with.

2. Your attention is drawn to the following conditions:

- (a) Site supervision of the soil nail works by a team of supervisors shall be provided each by the Authorized Person, Registered Geotechnical Engineer and Registered Specialist Contractor in accordance with the Technical Memorandum for Supervision Plans 2009 and the Code of Practice for Site Supervision 2009 to ensure that the quality of the works is up to standard and that the works are carried out in accordance with the plans approved and in such a manner as not to render inadequate the margin of safety of, or impair the stability of, or cause danger to any building, structure, land, street or services. The extent of supervision to be provided for different stages of the soil nailing works is provided in the Code of Practice for Site Supervision 2009.
- ~~(b)[#] In addition to the Technically Competent Persons of grade T3 and T5 under the Registered Geotechnical Engineer stream, a Directorate Site Supervisor shall be provided for the works. The name of the Directorate Site Supervisor shall also be given in the site supervision plan.~~
- (c)[#] The Technically Competent Persons of grade T5[#] and/or the Directorate Site Supervisor under the Registered Geotechnical Engineer's stream shall submit regular reports of his/her findings and recommendations to the Registered Geotechnical Engineer. The Registered Geotechnical Engineer shall formally submit these reports to the Buildings Department and copy them to the Geotechnical Engineering Office at MONTHLY intervals or more frequently.

3. In connection with paragraph 2(a) above, details of site supervision of the works and of the quality of the soil nail works shall be included in the supervision plan and submitted prior to or at the time of application for consent to the commencement of the works.

4.[#] A report containing results of the site trials with clear statements on buildability and whether special methods of construction need to be adopted (and if so the details) should be submitted to the Buildings Department at least one week prior to the commencement of construction of the working soil nails.

5.[#] The pull-out test report, records of installation and non-destructive test report (if any) for the soil nails should be submitted to and found satisfactory by the Building Authority within 21 days after testing.

6.[#] The Technically Competent Persons of grade T3 shall carry out site inspection of the works and prepare and certify the key records on supervision of soil nailing works in accordance with the Code of Practice for Site Supervision 2009.

7. Prior notice should be given to the GEO of the date of commencement of site trials for soil nailing works/non-destructive tests for installed soil nails in order to facilitate Geotechnical Engineering Office to carry out site inspection and field checks.

8. All significant signs of distress and/or notable landslides during the construction works should be reported promptly to the Buildings Department and the Geotechnical Engineering Office.

[#] Delete wherever inapplicable

* A Directory of Accredited Laboratories in Hong Kong is obtainable from the Hong Kong Accreditation Service (HKAS) Executive, Innovation and Technology Commission.

A laboratory's accreditation for an individual test or calibration may be granted, modified or withdrawn at any time. Up-to-date information on accredited laboratories and their scopes of accreditation are available on the internet at the HKAS website at <http://www.info.gov.hk/itc/hkas/>.

@ The test carried out by an accredited laboratory should be within its scope of accreditation. To ensure this, test results should be reported on a HOKLAS Endorsed Certificate or equivalent Certificate/Report issued from other laboratory accreditation bodies which have reached mutual recognition agreements/arrangements with the HOKLAS.

Ref : BD DH53/10/NT (A)

Address : Royal Hong Kong Yacht Club, Pak Sha Wan, Sai Kung DD212 Lot No. 341 & the extension thereto and DD212 Lot No. 332

Appendix C to approval dated 29 JUN 2016

Type 1 Mechanical Coupler for Steel reinforcing Bars ^a
~~Mechanical Couplers for Steel Reinforcing Bars without Ductility Requirement^b~~

In giving this approval of plans, I hereby impose the following conditions under item 6 in section 17(1) of the Buildings Ordinance:

- (a) Qualified site supervision of the splicing assembly⁺ works by experienced and competent persons shall be provided to ensure that the works are carried out in accordance with the plans approved and that the required quality standards are complied with.
- (b) The Registered Structural Engineer (RSE) should assign a quality control supervisor to supervise the works, determine the necessary frequency of inspection by the quality control supervisor which should not be less than once a week, and devise inspection check lists. The minimum qualifications and experience of the quality control supervisor is to be the same as the Technically Competent Person of grade T3, as stipulated in the Code of Practice for Site Supervision 2009.
- (c) The Registered General Building Contractor/Registered Specialist Contractor (RGBC/RSC) should assign a quality control co-ordinator to provide full time on site supervision of the works and devise inspection check lists. The minimum qualifications and experience of the quality control co-ordinator is to be the same as the Technically Competent Person of grade T1, as stipulated in the Code of Practice for Site Supervision 2009.
- (d) The names and qualifications of the supervisory personnel representing the RSE and the RGBC/RSC respectively should be recorded in an inspection log book. The date, time, items inspected and inspection results should be clearly recorded in the log book. The log book should be kept at the site office and, when required, produced to the Building Authority for inspection^{**}.
- (e) Strength tests on a representative number of the mechanical splices, as directed by the RSE, are required to be carried out in accordance with the test criteria specified in paragraph 4 below. The tests should be carried out by a laboratory^{*} accredited under the Hong Kong Laboratory Accreditation Scheme (HOKLAS) or by other laboratory accreditation bodies which have reached mutual recognition agreements/arrangements with the HOKLAS for the particular tests concerned. All results of the strength tests[@] should be submitted within 60 days of the delivery of the splicing components or the - partially fabricated assemblies to site and appended with a statement signed by the RSE to confirm that the acceptance criteria appropriate to the tests have been complied with.

2. Under Building (Administration) Regulation 10, a copy of quality assurance scheme of the manufacturer is required to be submitted prior to the application for consent to the commencement of the splicing assembly works. The quality assurance scheme should include the following details:

- (a)[^] Quality control documentation relating to the production of the mechanical couplers.
- (b)[^] Sample mill certificates of the constituent materials used to produce the couplers.
- (c) Description of the process of strength hardening and threading the connecting ends of the steel reinforcing bars.
- (d) Description of the method of installing the steel reinforcing bars to the couplers. This should include description of any special equipment involved, its frequency of calibration and any special training provided to the site fabricators and the inspection required.
- (e) Documents to prove that manufacturing of the couplers and the process of strength hardening and threading of the connecting ends of steel reinforcing bars are by a factory or factories with ISO 9001 quality assurance certification.
- (f)^{^a} Test results[@] to establish that the criteria as specified in clause 3.2.8.3 of the Code of Practice for Structural Use of Concrete 2013 (CoP for Structural Use of Concrete 2013) are complied with.

~~(g)^{^b} Test results[@] to establish that the permanent elongation of the splicing assemblies after loading to 0.6f_y should not exceed 0.1 mm in accordance with the requirements stated in Clause 3.2.8.2 of the Code of Practice for Structural Use of Concrete 2004 (CoP for Structural Use of Concrete 2004) and the tensile strength of the splicing assemblies should exceed 287.5 N/mm² for grade 250 and 529 N/mm² for grade 460.~~

3. Under Building (Administration) Regulation 10, a description of the sampling procedures including the arrangement from collecting samples to delivery of samples to laboratory for testing the quality of the splicing assemblies is required to be submitted prior to the application for consent to the commencement of the splicing assembly works.

4. Strength tests of the splicing assemblies should satisfy the following criteria:

(a)^a Clause 3.2.8.3 of the CoP for Structural Use of Concrete 2013.

~~(b)^b Permanent elongation of the splicing assemblies after loading to 0.6 f_y should not exceed 0.1 mm in accordance with the requirements stated in Clause 3.2.8.2 of CoP for Structural Use of Concrete 2004 and the tensile strength of the splicing assemblies should exceed 287.5 N/mm² for grade 250 and 529 N/mm² for grade 460.~~

- (c) Sampling for testing depends on the quantity of the couplers of the same type and size, covered by the same mill and testing certificates, delivered to the site. The sampling should be a continuous process and at a rate commensurate with the number of couplers to be used for splicing steel reinforcing bars as follows:

Number of couplers to be used (Nos.)	Minimum number of splicing assemblies
Less than or equal to 100	3
101 st – 500 th	3
501 st – 1000 th	3
Every 1 st to 500 th thereafter	2

5. Under Building (Administration) Regulation 10, a copy of mill certificates of the constituent materials used to produce the coupler is required to be submitted within 60 days of the delivery of the mechanical couplers to the site.

- + A splicing assembly comprises a mechanical coupler connected with steel reinforcing bars at both ends.
- * A Directory of Accredited Laboratories in Hong Kong is obtainable from the Hong Kong Accreditation Service (HKAS) Executive, Innovation and Technology Commission.

A laboratory's accreditation for an individual test or calibration may be granted, modified or withdrawn at any time. Up-to-date information on accredited laboratories and their scopes of accreditation are available on the internet at the HKAS website at <http://www.info.gov.hk/itc/hkas/>.

- @ The test carried out by an accredited laboratory should be within its scope of accreditation. Test results should be reported on a HOKLAS Endorsed Certificate or equivalent Certificate/Report issued from other laboratory accreditation bodies which have reached mutual recognition agreements/arrangements with the HOKLAS.
- ^ Not required if the mechanical coupler is one of the types listed in Central Data Bank.
- ^a Delete when the design is to the CoP for Structural Use of Concrete 2004.
- ^b Delete when the design is to the CoP for Structural Use of Concrete 2013.
- ** For the Personal Data contained in the documents/reports mentioned in this Appendix

Purposes of Collection

- (i.) The personal data provided will be used by the Buildings Department for the following purposes:
- activities relating to the processing of the submission;
 - activities relating to works specified in this appendix; and
 - facilitating communication between the Buildings Department and the related personnel.

- 4 -

Classes of Transferees

(ii.) The personal data provided may be disclosed to:

- (a) other Government departments, bureaux & relevant organizations for the purposes mentioned in paragraph (i) above; and
- (b) any person for the purpose mentioned in paragraph (i)(b) above.

Access to Personal Data

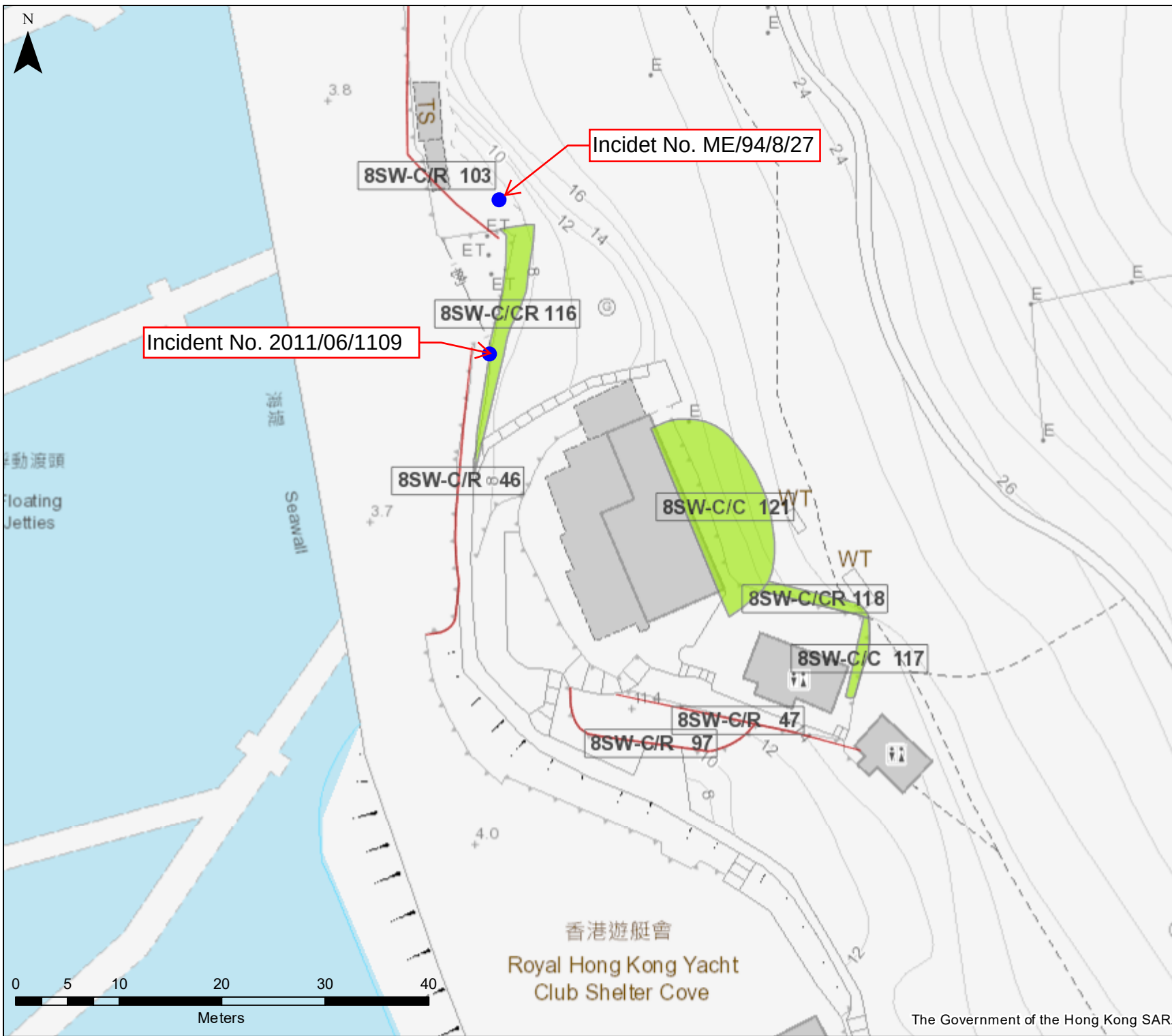
(iii.) Data subject has a right of access and correction with respect to personal data as provided for in section 18 and 22 and principle 6 of Schedule 1 of the Personal Data (Privacy) Ordinance. Data subject's right of access includes the right to obtain a copy of his/her personal data provided by AP/RSE's submission.

Responsibility of AP/RSE

(iv.) AP/RSE should be responsible for disseminating of the above information to the relevant data subjects.

APPENDIX G

PAST LANDSLIDES RECORD PLAN



Man-made Features

- Cut slopes
- Disturbed terrain
- Fill slopes
- NT defence measures
- NT stabilisation measures
- Retaining walls
- Slope Features

Division

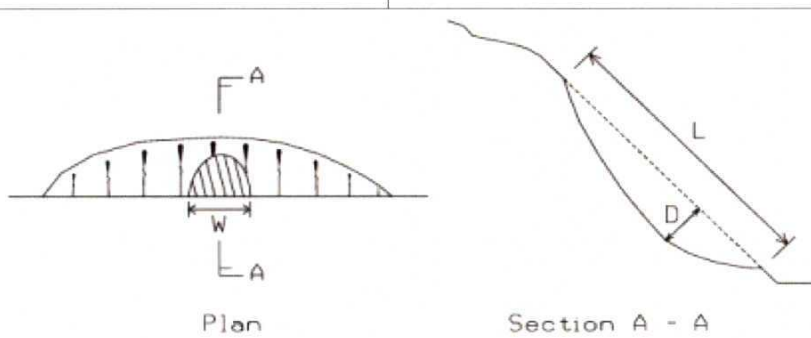
Scale 1:500

Date 11/01/2023

For serious incidents, the Inspection GE should provide information for completion of all key fields (item 2.7.1 and 2.8.1) marked with '*' and seek agreement from ETC/SGE(District)/Emergency Manager whoever is appropriate, before leaving the landslide site.

PART 2 ---- INSPECTION

(2.1) DETAILS OF FIRST INSPECTION [Note 2.1]

(2.1.1) GEO Inspection by <u>DANNY PO KIT AU</u> <u>YEUNG/CEDD/HKSARG</u>	(2.1.2) Inspection Date <u>2011/06/16</u>
(2.1.3) Time arrived on site <u>09:30</u>	(2.1.4) Time left site <u>10:00</u>
(2.1.5) With of	(2.1.6) Tel No.
(2.1.7) Weather condition at time of inspection <u>Rain</u>	(2.1.8) Feature Type <u>Soil cut slope</u>
 Plan Section A - A	
(2.1.9) Scar Length (L) [Notes 2.1.9 - 2.1.11] <u>2.00</u> m	(2.1.10) Scar Depth (D) <u>0.50</u> m
(2.1.11) Scar Width (W) <u>2.00</u> m	(2.1.12) Volume of landslide debris <u>1.50</u> m ³
(2.1.13) Co-ordinates of landslide Easting : <u>845714</u> Northing : <u>825500</u>	
(2.1.14) Media on site	

(2.2) MATERIAL AND MASS DESCRIPTION OF THE EXPOSURE

(2.2.1) Material and Mass Description of the Exposure [Note 2.2.1]
Partially Weathered Rock

(2.2.2) Remarks

(2.3) BOULDER FALL CASES [Note 2.3]

(2.3.1) Number of boulders involved

(2.3.2) Dimension and shape of boulders

(2.4) MAN-MADE SLOPE FEATURE CASES

(2.4.1) Slope Condition

(2.4.2) Locations of matters described in item 2.4.1

(2.4.3) Capacity of surface drainage system
not present

(2.4.4) Coverage of hard protection surface
against infiltration
not present

(2.4.5) Surface Protection Material
vegetation

(2.4.6) Field evidence of past instability at or
adjoining the failure location
No

(2.4.7) Groundwater seepage observed at the
failure location
No

(2.4.8) Location of seepage / past instability
Nil Remark

(2.5) CAUSES OF FAILURE

(2.5.1) Possible Contributing Causes of Failure
Infiltration

(2.5.2) Remarks

(2.6) FURTHER DETAILS OF THE LANDSLIDE [Note 2.6]

(2.7) IMMEDIATE ADVICE GIVEN

(2.7.1) Immediate Advice Given [Note 2.7]*

Fence off area in danger; Provide hard surface protection (with weepholes) to trimmed failure surface

(2.7.2) Responsible Emergency Works Department

Private Party - owner of DD212 Lot 341

(2.7.3) Remarks

(2.8) EMERGENCY ACTION TAKEN

(2.8.1) Emergency action taken [Note 2.8.1]*

Emergency inspection by GEO completed and recommendation given

(2.8.2) Remarks

(2.9) ATTACHMENTS [Note 2.9]

(2.9.1) Attachment Type

Cross Section; Photos; Location Plan; Others

(2.9.2) Attachment / Remarks

<< GCDIST44-2011_06_1109.pdf>> << Section-2011_06_1109.pdf>> <<
Photo-2011_06_1109.pdf>> << Plan-2011_06_1109.pdf>>

Inspection Officer's Signature

Name in Block Letter, Post

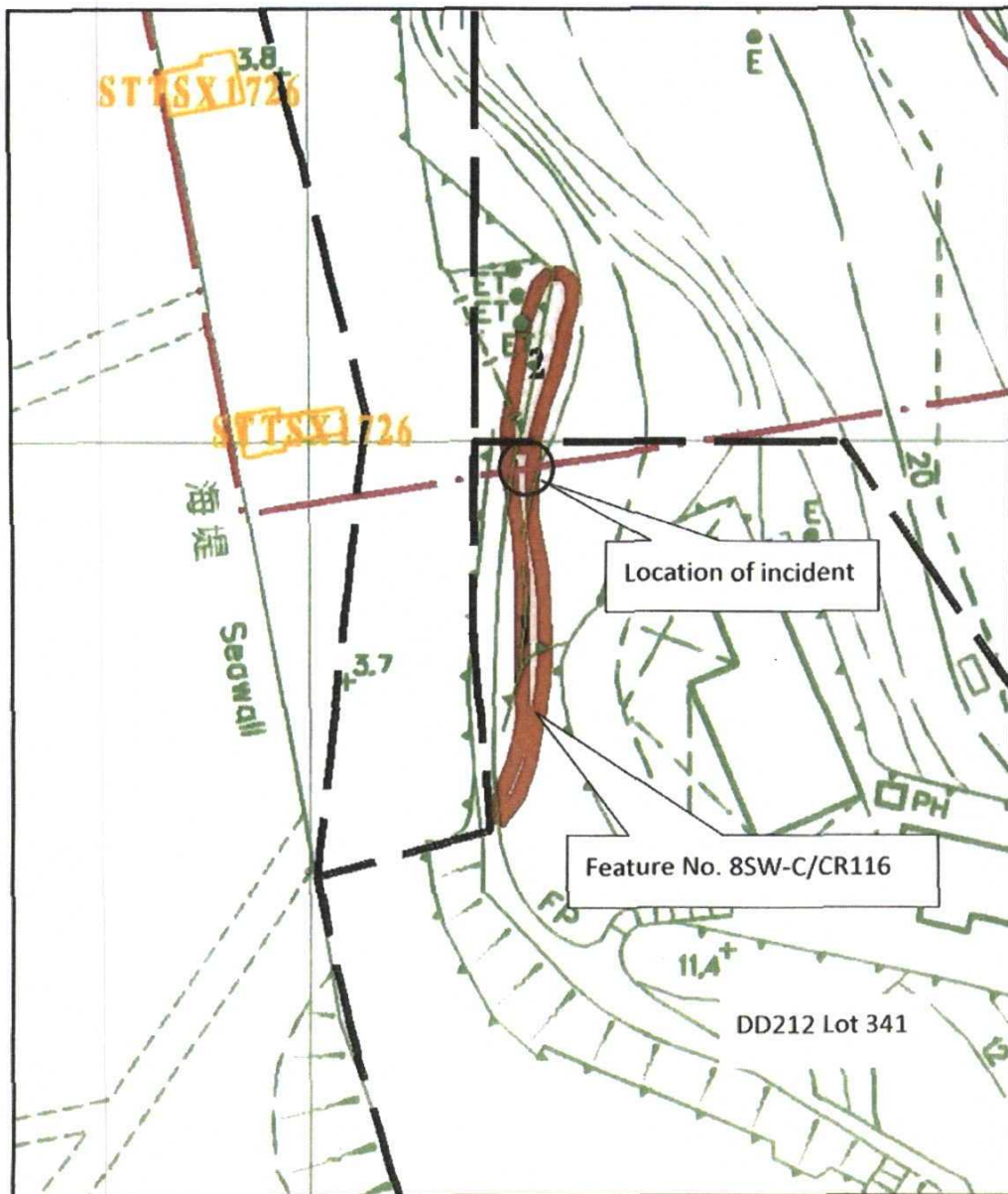
____/____/____
Date

Attachment:

(i) Location Plan#

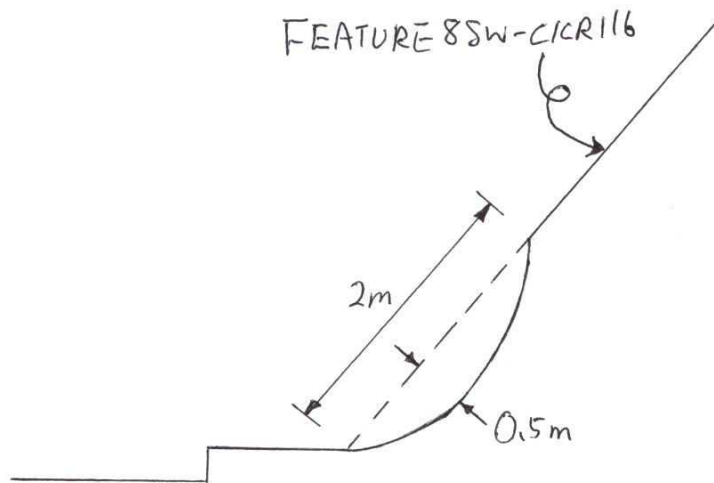
(ii) Photos#

(iii) Sections with approx. dimensions of slope height, gradients, depth of failure, debris run out etc#



Location plan

2011/06/1109

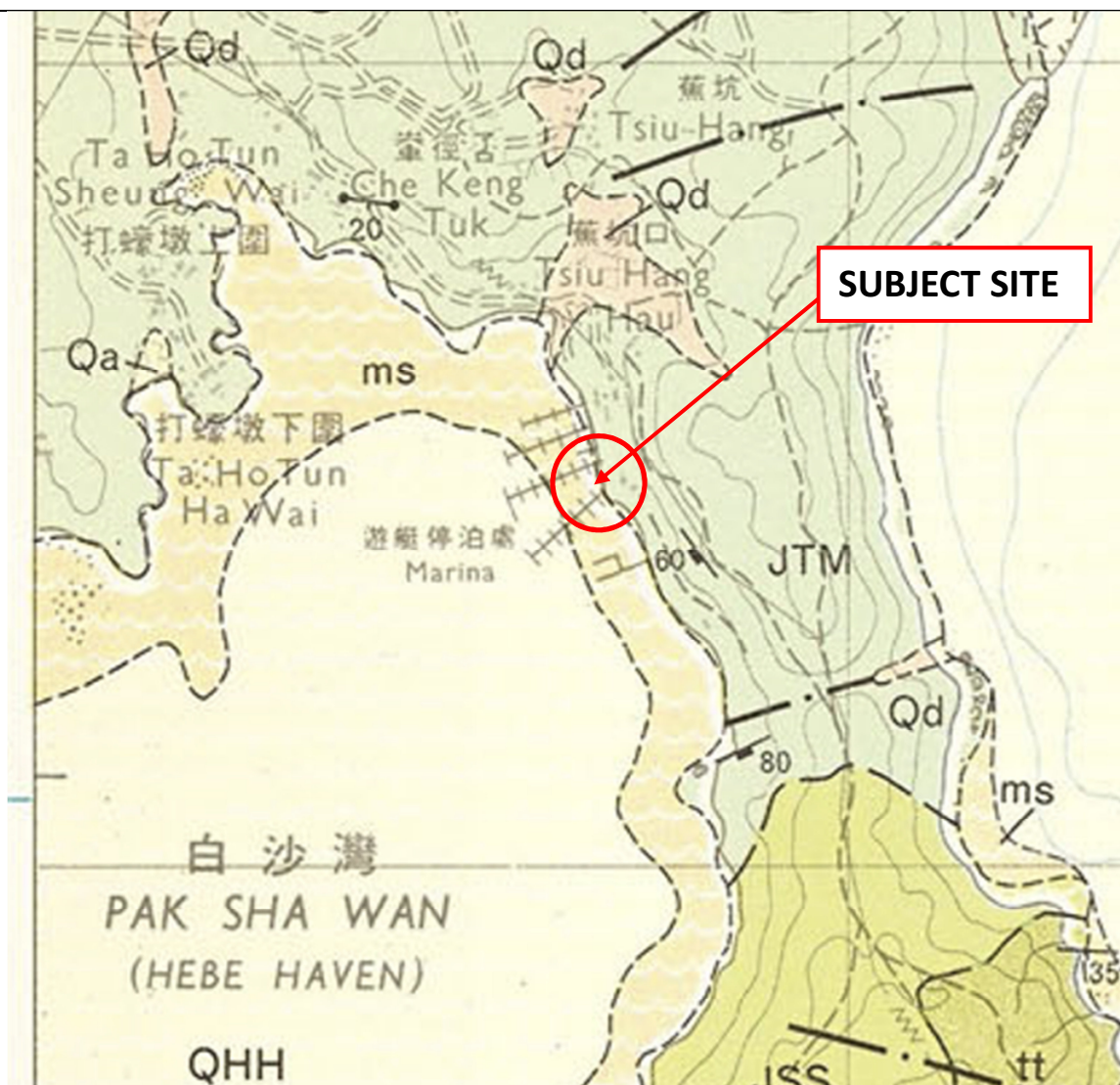


SECTION
N.T.S

PHOTOGRAPHS	File Ref. No. : GCME2/E1/8SW-C	Neg. No. : \\med_nas\\DIGPHOTO\\2011\\2011_6_16
Taken : 16/06/2011	Location : Below Sai Kung Royal Hong Kong Yacht Club	
IMG_2000.JPG IMG_1999.JPG		
Geotechnical Engineering Office		District Division

APPENDIX H

GEOLOGICAL SURVEY MAP OF SUBJECT SITE



LEGEND:

中生界 MESOZOIC		上侏羅統至下白堊統 UPPER JURASSIC TO LOWER CRETACEOUS		淡水溝群 REPULSE BAY VOLCANIC GROUP	
				br	外生角礫岩.....Epiclastic breccia
			High Island Formation..... 糧船灣洲組	JHI	主要為細火山灰凝灰岩（未分）.....Undivided, mainly fine ash tuff
		自角礫岩化 Autobrecciated  懶泥灣段 Lan Nai Wan Member 大潭段 Tai Tun Member		JCB	主要為粗面英安質和流紋質熔岩（未分）.....Undivided, mainly trachydacite and rhyolite lava
			Jln	沉凝灰岩和凝灰岩.....Tuffite and tuff	
			Jtt	條紋斑巖.....Eutaxite	
	清水灣組 Clear Water Bay Formation		cat	粗火山灰凝灰岩.....Coarse ash tuff	
			t	沉凝灰岩.....Tuffite	
			tb	凝灰角礫岩.....Tuff-breccia	
		麥公屋組 Mang Kung Uk Formation		JMK	主要為凝灰質泥岩、粉砂岩和角礫岩（未分）.....Undivided, mainly tuffaceous mudstone, siltstone and breccia
			r	流紋質熔岩.....Rhyolite lava	
			fa	細火山灰凝灰岩.....Fine ash tuff	
		銀線灣組 Silverstrand Formation		JSS	主要為條紋斑巖（未分）.....Undivided, mainly eutaxite
			tt	沉凝灰岩.....Tuffite	
			Tai Mo Shan Formation..... 大帽山組	JTM	主要為粗火山灰晶屑凝灰岩（未分）.....Undivided, mainly coarse ash crystal tuff
			Ap Lei Chau Formation..... 鴨洲洲組	JAC	主要為細火山灰玻屑凝灰岩（未分）.....Undivided, mainly fine ash vitric tuff

**Geological Map Extracted from
Sheet No.8 (Sai Kung) 1:20000 HGM 20-Series Hong Kong Geological Survey Map**

APPENDIX I

RETRIEVED GROUND INVESTIGATION RECORDS

RECORD OF BORINGS

FOR

ROYAL HONG KONG

YACHT SHELTER COVE

AT

SAI KUNG, N.T.

CONSULTING

ENGINEER : Bmmk Ratcliffe Hoare & Co., Ltd.

"ZENITH"

REF. NO: 95/604/B

DATE: 4th Jan., 1996

BY

ZENITH ENGINEERING CO., LTD.
HONG KONG

TEL. 25448921, 25448737

Location Royal Hong Kong Yacht Shelter Cove, Sai Kung, N.T.
 Drill/Bore Hole No. BH-2 Surface elevation +19.84 m P.D.
 Total depth of hole 16.00 m Orientation Vertical
 Method Rotary Co-ordinate N

界力工程有限公司
 ZENITH ENGINEERING CO., LTD.

Depth (m) Size	Ground water	water Rec'd %	Legend	Core Recov. %	R.O.C. %	Description	Blows "N" & Grade	Sample No.	
									0.00
0.6m				68		Angular cobbles of granite. (Fill)		HX	0.60
						Firm dark reddish brown clayey silt.	N=16	D+L	1.00
						(Residual soil denved from ASH-TUFF)		(1)	1.45
2.0m				100		Extremely weak yellowish brown completely decomposed fine grained ASH-TUFF	N=22	M101 (1)	2.00
								D+L (2)	3.00
							N=23	D+L (3)	3.45
									4.00
									4.45
		50%		100		(Stiff sandy silt)		M101 (2)	5.00
							N=26	D+L (4)	6.00
								M101 (3)	6.45
									7.00
									7.50
7.5m				60	40	Moderately strong yellowish grey moderately decomposed fine grained ASH-TUFF (Core stone)		TNW	
9.0m						Extremely weak greyish brown completely decomposed fine grained ASH-TUFF	N=27	D+L (5)	9.00
							N=29	D+L (6)	9.45
						(Stiff sandy silt)			10.00
10.9m									10.45
									10.90
				90	70	Strong grey slightly decomposed fine grained ASH-TUFF with closely spaced joints.			11.90
				100	80				13.00
		75%		100	100		Grade II	TNW	13.95
				100	100				14.75
				100	100				16.00
16.0m									
						BOTTOM OF HOLE AT 16.00 m			

Falling head test at 9-10 m

Piezometer at 15.5m

Disturbed Sample
 Undisturbed Sample
 Maizer Sample

N: N Value
 G: G.W.L.
 P: Permeability TEST

Date 19/12/95 to 22/12/95
 Sheet 1 of 1

RISING and FALLING HEAD PERMEABILITY TEST

PROJECT

Royal Hong Kong Yacht
Shelter Cove, Sai Kung

ARCHITECT

CONTRACTOR

ZENTHENGINEERING CO., LTD.

BOREHOLE NO.

BH- 2

DATE

19/12/95

Borehole

Drillhole

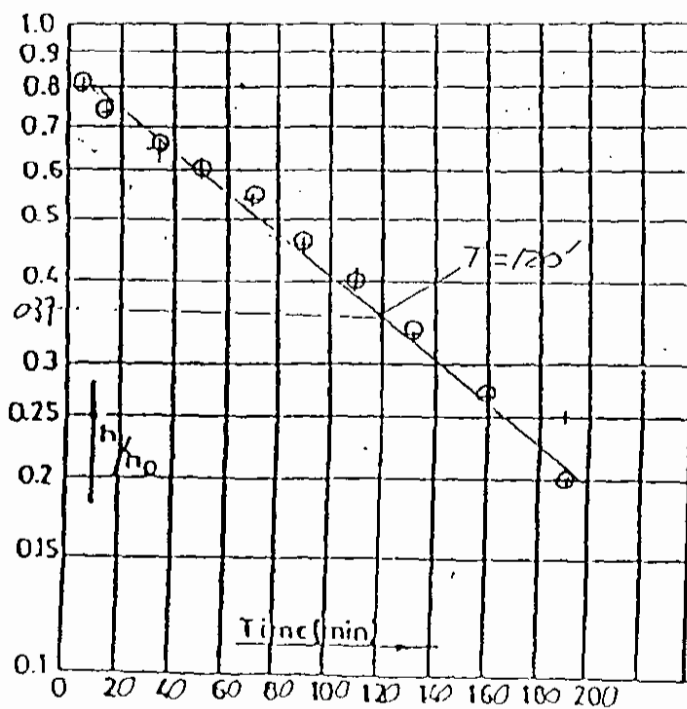
Date

Observer

Use only CLEAN water for the test
Has water been added during boring?
Yes/No

Fill in the boxes in the diagram
Internal diam.
of casing

Time on clock	Time elapsed min sec	d_1 Depth of water below top of casing	$h_t = (d_1 - d_2)$	h_t/h_0
	00	0	3.0	1.0
	10	0.2	2.8	0.93
	20	0.4	2.6	0.87
	50	0.6	2.4	0.80
	160	0.8	2.2	0.73
	320	1.0	2.0	0.67
	500	1.2	1.8	0.60
	700	1.4	1.6	0.53
	900	1.6	1.4	0.47
	1100	1.8	1.2	0.40
	1350	2.0	1.0	0.33
	1600	2.2	0.8	0.27
	1900	2.4	0.6	0.20
	2200	2.6	0.4	0.13



Casing above G.L.

Depths of other casings below G.L.

Depth of water below G.L. before test

Depth of smallest casing below G.L.

Depth of hole below G.L.

Diameter of hole below casing

Water table level

How this deduced?

$$K = \frac{d^2 \ln\left(\frac{2L}{D}\right) - 29.98 \times 2.95}{8 \cdot L \cdot T} = \frac{0.03186}{57600} = 5.5 \times 10^{-7} \text{ m}^3/\text{sec}$$

Remarks:

ZENITH ENGINEERING CO., LTD.

CLIENT :

CONTRACT NO. :

WORKS ORDER NO. :

DETAILS OF PIEZOMETER INSTALLATION

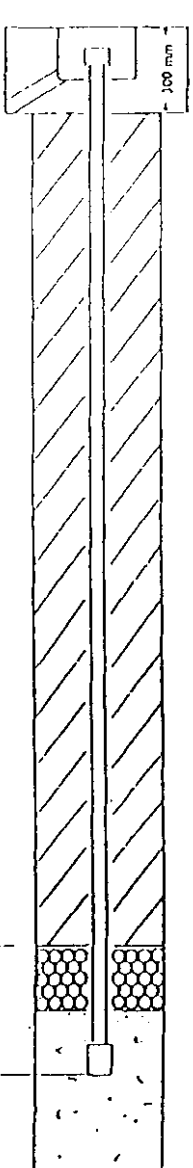
PROJECT :

CONSULTANT :

LOCATION: Royal Hong Kong Shelter Cove, Sai Kung, N.T.

DRILLHOLE NO : BH-2 GROUND LEVEL m.P.D. DATE DRILLED 19/12-22/12/95

DRILLHOLE DIA : 0.00m ^{HX} 7.5m ^{NX} 10.9m ^{TNW} 16.0m DATE INSTALLED : 22/12/95

APPROXIMATE GEOLOGY	REDUCED LEVEL (m.P.D.)	DEPTH (m)	PIEZOMETER DETAILS	REMARKS
(FILL)		0.00		
		0.60		
C.D. ASH-TUFF		10.90		
		13.20		
		14.70		
S.D. ASH-TUFF		15.50		
		16.00		End of hole

ADDITIONAL REMARKS : Not to scale



BENTONITE SEAL



SAND FILTER

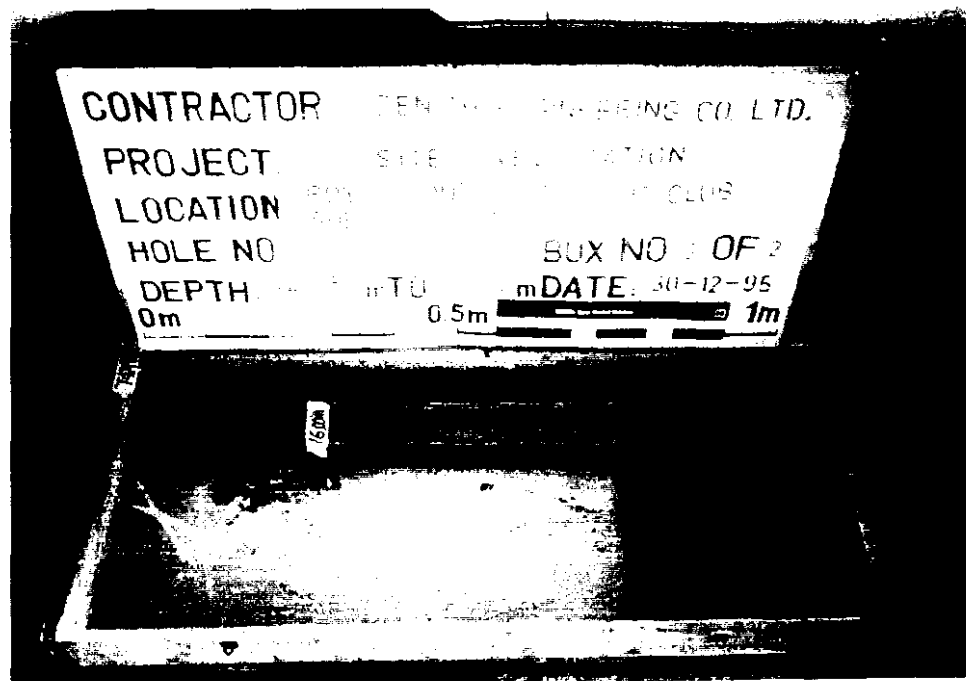
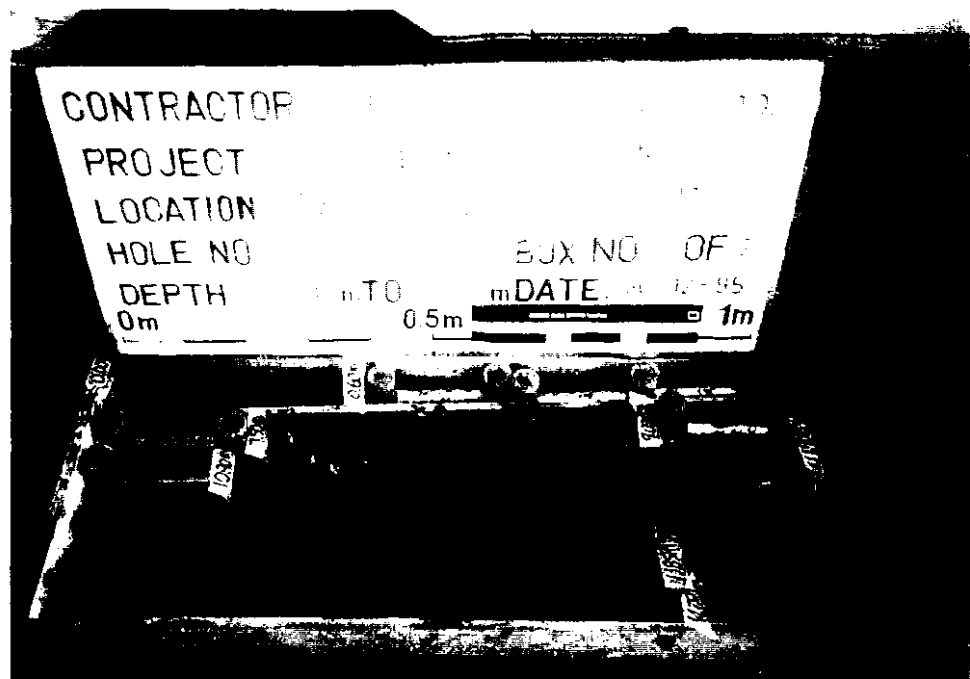


CEMENT BENTONITE GROUT

RECORD OF WATER TABLE MEASUREMENT

Project Royal Hong Kong Yacht Cove, Sai Kung, N.T.

[illegible]



Location Royal Hong Kong Yacht Shelter Cove, Sai Kung, N.T.
 Drill/Bore Hole No. BH-3 Surface elevation +10.00 m P.D.
 Total depth of hole 18.35 m Orientation Vertical
 Method Rotary Co-ordinate N

界力工程有限公司
 ZENITH ENGINEERING CO., LTD.

Depth (m) Size	Ground water	Water Rec'd %	Legend	Core Recov %	N D O %	Description	Blows "N" and Grade	Sample No.	
0.00									0.00
PX			- -			Firm orangish brown clayey silt	N=5	D+L (1)	1.00
			- -			(Residual soil derived from fine grained -ASH -TUFF)			1.45
			- -						2.00
		60%	- -	50				M101 (1)	3.00
			- -				N=6	D+L (2)	3.45
4.0m	4.0m		- -						4.00
			✓			Extremely weak yellowish brown completely decomposed fine Grained ASH -TUFF	N=12	D+L (3)	4.45
			✓	100				M101 (2)	5.00
			✓				N=15	D+L (4)	6.00
			✓						6.45
			✓				N=18	D+L (5)	7.00
		75%	✓	100		(Stiff Sandy silt)		M101 (3)	7.45
			✓						8.00
9.1m			✓						9.00
9.43m			✓	100	70	Extremely weak to weak brownish grey completely decomposed fine grained ASH- TUFF	N=20	TNW	9.10
			✓					D+L (6)	9.43
10.8m			✓			(very stiff sandy silt with slightly decomposed ASH-TUFF core stone at 9.1m - 9.43m and 10.8m - 11.43m)	205		9.95
11.43m			✓	100	75		0.1m	D-7	10.50
			✓					TNW	10.80
			✓	100				M101 (4)	11.43
			✓						11.50
13.0m			✓				N=43	D+L (8)	12.50
			✓						12.95
			✓	100	25	Strong Grey Slightly			13.00
			✓	100	20	Decomposed Fine Grained ASH-TUFF	Grade II	TNW	13.50
		85%	✓	100	30	With Closely To Medium Spaced Joints			14.60
			✓	100	80				15.70
			✓	100	37				16.80
18.35m			✓						18.35
						BOTTOM OF HOLE AT 18.35 m	Remarks : Double checked box by Geologist sure the rock is Grade II.		

FALLING HEAD TEST AT 8.0m - 9.0m

PIEZOMETER AT 13.0 m

Disturbed Sample
 Undisturbed Sample
 M. Maizer Sample

N: N Value
 G: G.W.L.
 P: Permeability TEST

Date 16/12/95 to 18/12/95
 Sheet 1 of 1

RISING and FALLING HEAD PERMEABILITY TEST

PROJECT Royal Hong Kong Yacht Sheiter Cove, Sai Kung	ARCHITECT CONTRACTOR ZENITH ENGINEERING CO., LTD.	BOREHOLE NO. BH-3 DATE 16/12/95
---	---	--

Borehole

Drillhole

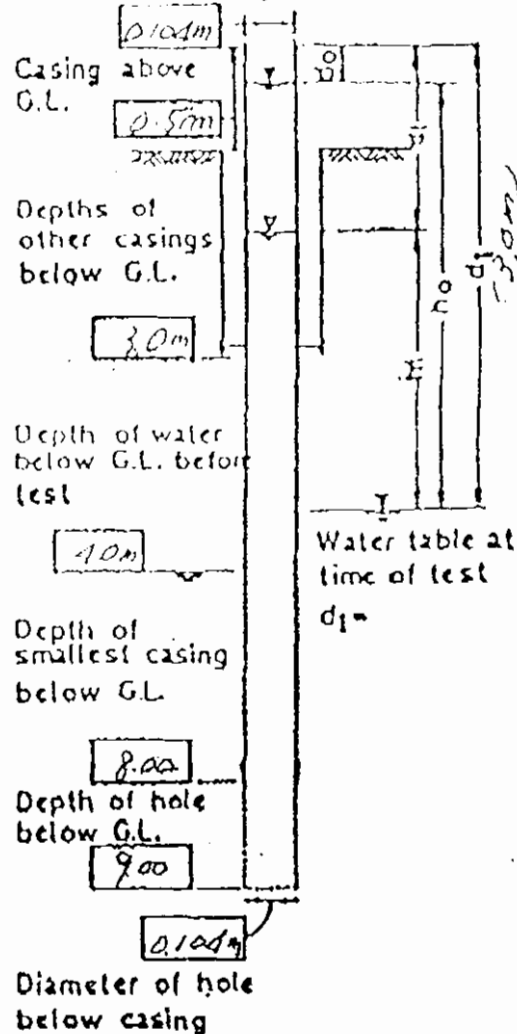
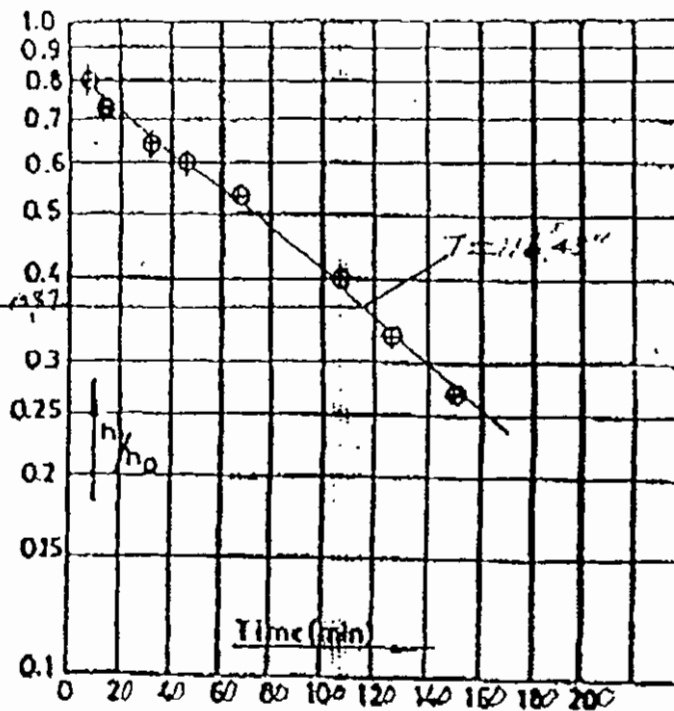
 Use only CLEAN water for the test
 Has water been added during boring?
 Yes/No

Date

Observer

 Fill in the boxes in the diagram
 Internal diam.
 of casing

Time on clock	Time elapsed of water below top of casing min sec	d ₁ - Depth of water below top of casing	h ₁ = (d ₁ - d ₁)	h ₁ /h ₀
	0.0	0	3.0	1.0
	1.00	0.2	2.8	0.93
	3.00	0.4	2.6	0.87
	4.00	0.6	2.4	0.80
	15.00	0.8	2.2	0.73
	30.00	1.0	2.0	0.67
	45.00	1.2	1.8	0.60
	65.00	1.4	1.6	0.53
	85.00	1.6	1.4	0.47
	105.00	1.8	1.2	0.40
	125.00	2.0	1.0	0.33
	150.00	2.2	0.8	0.27
	175.00	2.4	0.6	0.20
	200.00	2.6	0.4	0.13



Water table level.....

How this deduced?

$$K = \frac{\alpha^2 \ln\left(\frac{2L}{D}\right)}{8.4 \cdot T} = \frac{0.008 \times 2.95}{8 \times 116.45} = \frac{0.03186}{56024} = 5.69 \times 10^{-7} \text{ m}^2/\text{sec}$$

Remarks:

ZENITH ENGINEERING CO., LTD.

CLIENT :

CONTRACT NO. :

ORDER NO. :

DETAILS OF PIEZOMETER INSTALLATION

PROJECT :

CONSULTANT :

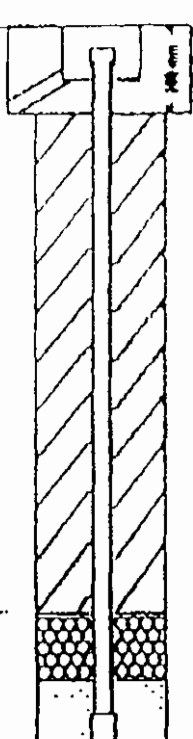
LOCATION: Royal Hong Kong Shelter Cove Sai Kung

BRIEHHOLE NO. : BH- 3 GROUND LEVEL : m P.D.

DATE DRILLED : 16/12/95-18/12/95

BRIEHHOLE DIA : 0.0m PX 3.0m HX 13.0m TNW

DATE INSTALLED : 18/12/95

APPROXIMATE GEOLOGY	REDUCED LEVEL (m P.D.)	DEPTH (m)	PIEZOMETER DETAILS	REMARKS
C.O. ASH-TUFF		0.00		
		10.70		
C.O. ASH-TUFF		12.20		
		13.00		
		13.50		
		15.00		
M/S.D. ASH-TUFF		18.35		End of hole
			ADDITIONAL REMARKS : Not to scale	
 BENTONITE SEAL  SAND FILTER  CEMENT BENTONITE GROUT				

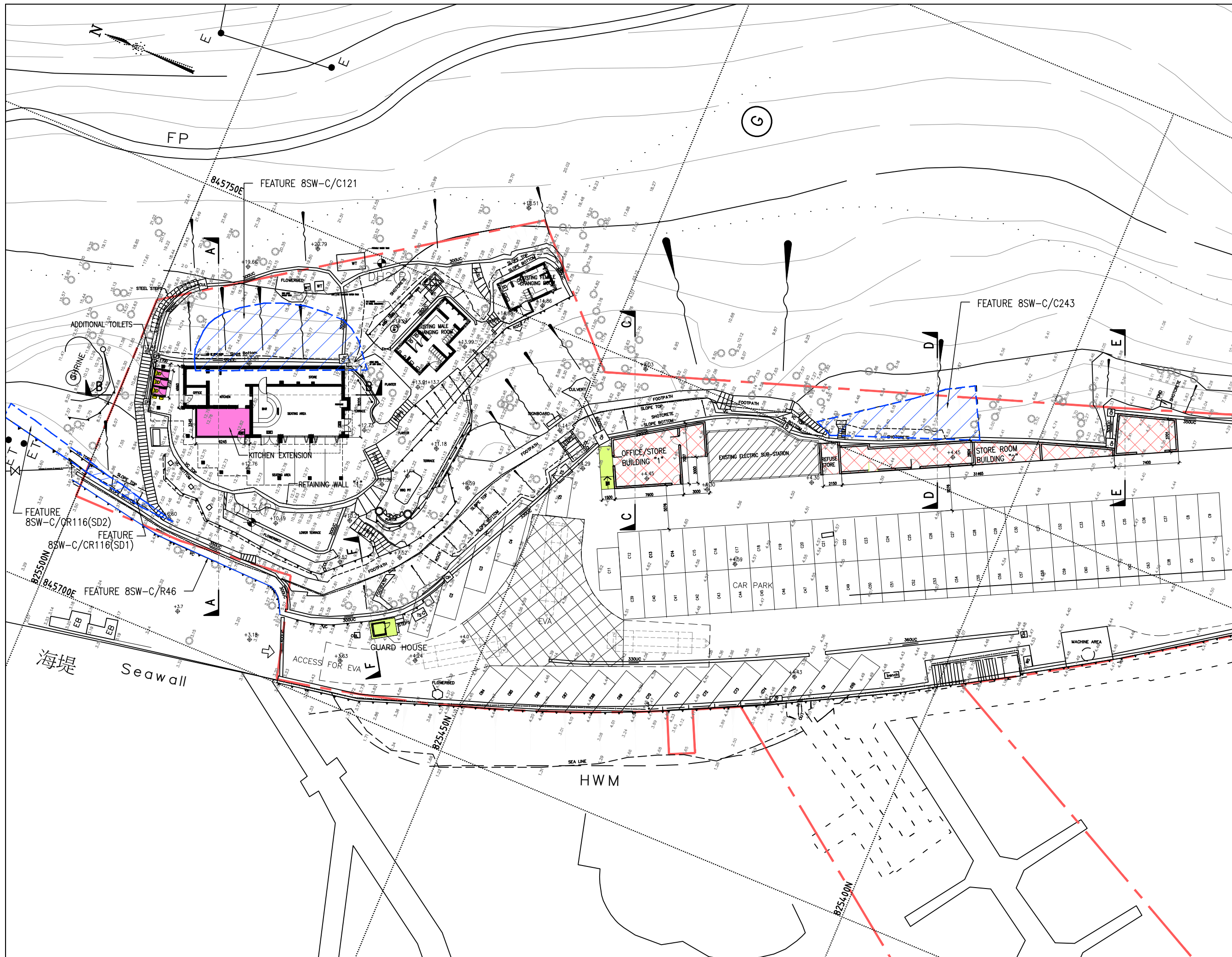
Project No. _____

Project Royal Hong Kong Yacht Cove, Sai Kung, N.T.

[illegible]

APPENDIX J

PROPOSED SITE FORMATION PLAN AND SECTIONS



NOTES:
DO NOT SCALE DRAWINGS.
ALL DIMENSIONS MUST BE VERIFIED AT THE WORK BY THE CONTRACTOR.
ALL PRINTS, SPECIFICATIONS AND THEIR COPYRIGHT ARE THE PROPERTY OF THE ARCHITECTS AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.

LEGEND

--- LOT BOUNDARY
DH2(P)
● EXISTING BOREHOLES

REVISION		
NO	DATE	DESCRIPTION

ARCHITECT
STUDIO | R&A
18/F | Xiu Hua Commercial Building
211-213 Jaffe Road | Wan Chai | HK
Tel: 3583-2000 | Fax: 8143-1130
Email: mail@studiorca.com

STUDIO | RAYMOND CHAU |
ARCHITECTURE | LIMITED

PROJECT NAME
SHELTER COVE
ROYAL HONG KONG YACHT CLUB
D.D. 212, LOT 341, SAI KUNG,
NEW TERRITORIES,
HONG KONG

DRAWING TITLE
PROPOSED SITE FORMATION PLAN WITH
PROPOSED GROUND INVESTIGATION

DRAWN BY	PT	CHECKED BY	PH
SCALE	1:100	DATE	NOV 2022
JOB No.	2161	DRAWING No.	SF01

NOTES:
DO NOT SCALE DRAWINGS.
ALL DIMENSIONS MUST BE VERIFIED AT THE WORK BY THE CONTRACTOR.
ALL PRINTS, SPECIFICATIONS AND THEIR COPYRIGHT ARE THE PROPERTY OF THE ARCHITECTS AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.

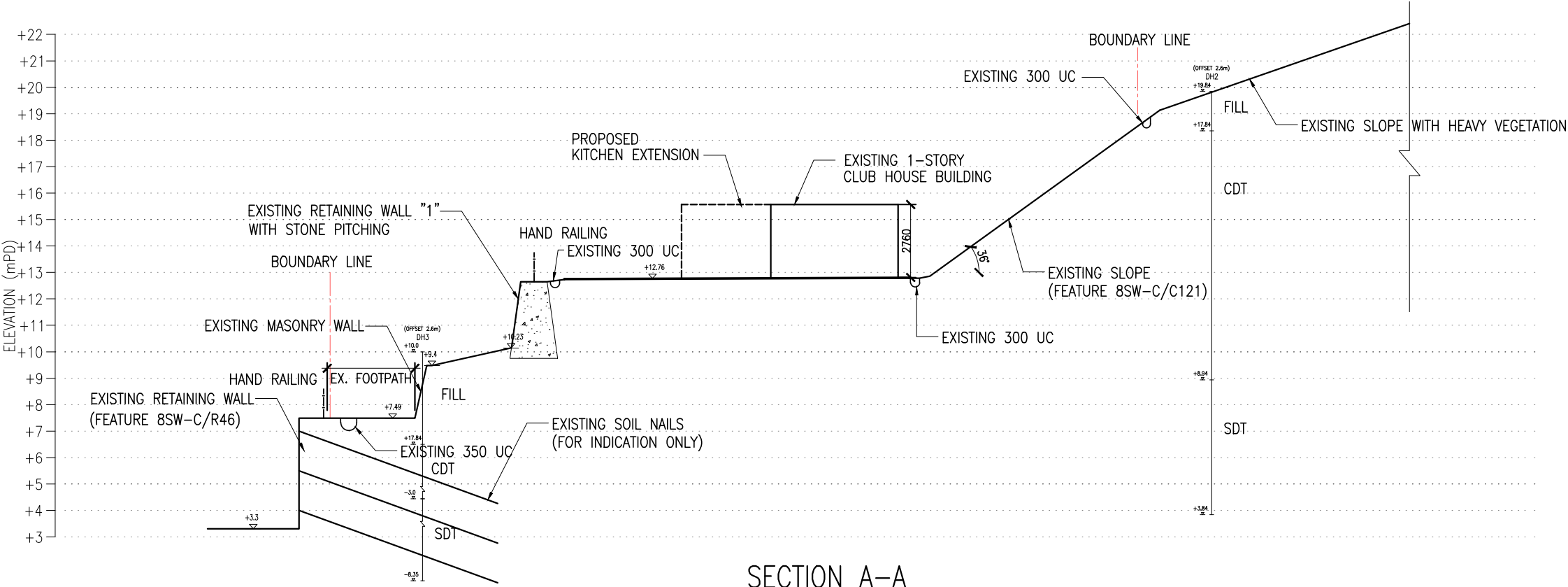
REVISION		
NO	DATE	DESCRIPTION

ARCHITECT
STUDIO | R&A
18/F | Xiu Hua Commercial Building
211-213 Jaffe Road | Wan Chai | HK
Tel: 3583-2000 | Fax: 8143-1130
Email: mail@studio^{ra}.com
STUDIO | RAYMOND CHAU |
ARCHITECTURE | LIMITED

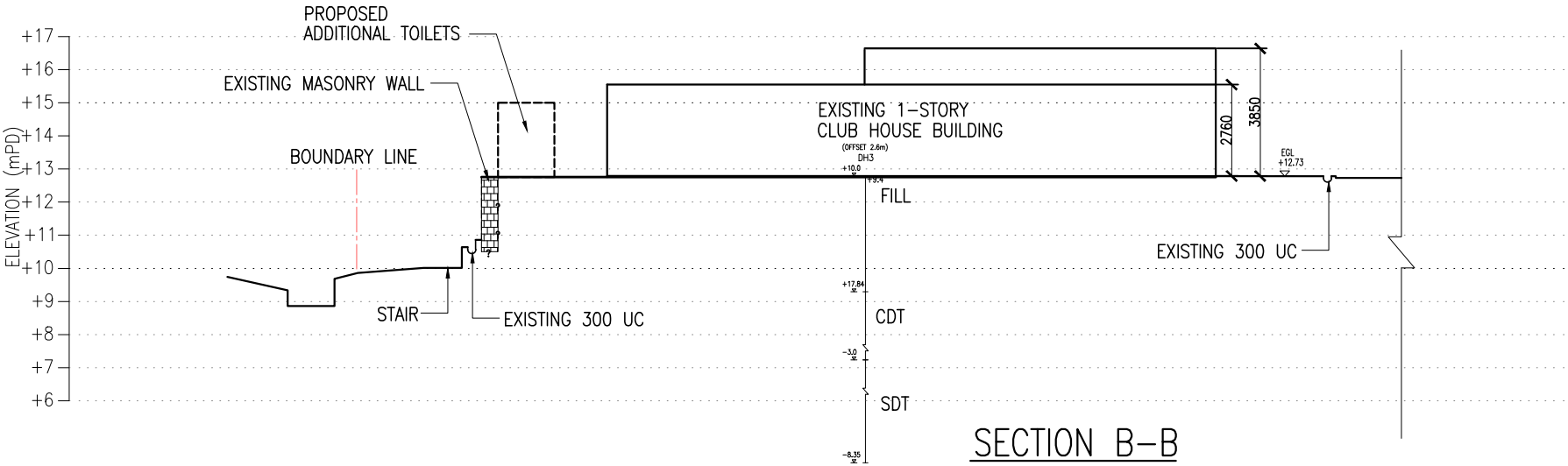
PROJECT NAME
SHELTER COVE
ROYAL HONG KONG YACHT CLUB
D.D. 212, LOT 341, SAI KUNG,
NEW TERRITORIES,
HONG KONG

DRAWING TITLE
SECTION A-A , SECTION B-B
AND SECTION C-C

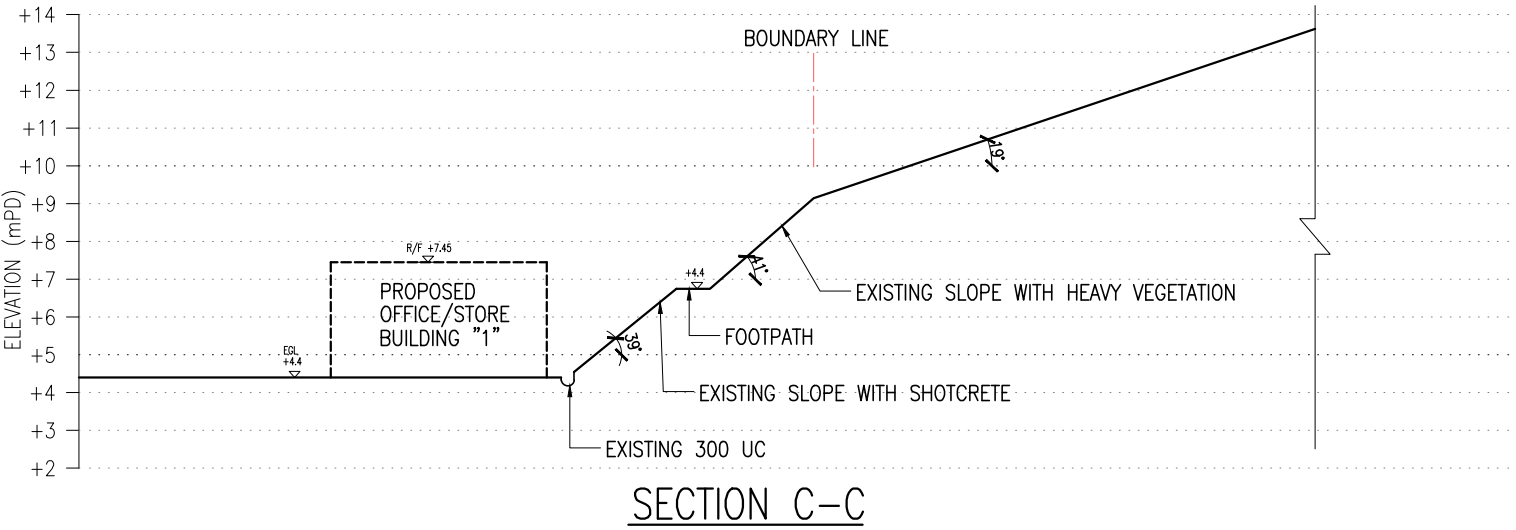
DRAWN BY	PT	CHECKED BY	PH
SCALE	1:200	DATE	NOV 2022
JOB No.	2161	DRAWING No.	SF02



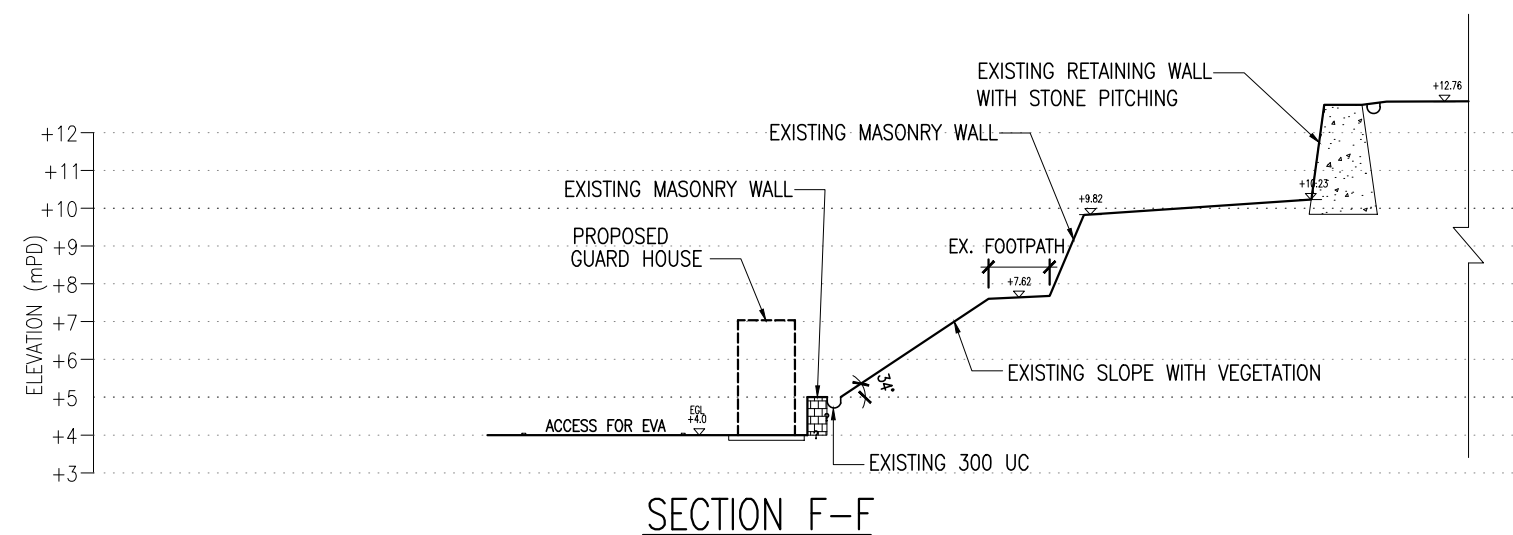
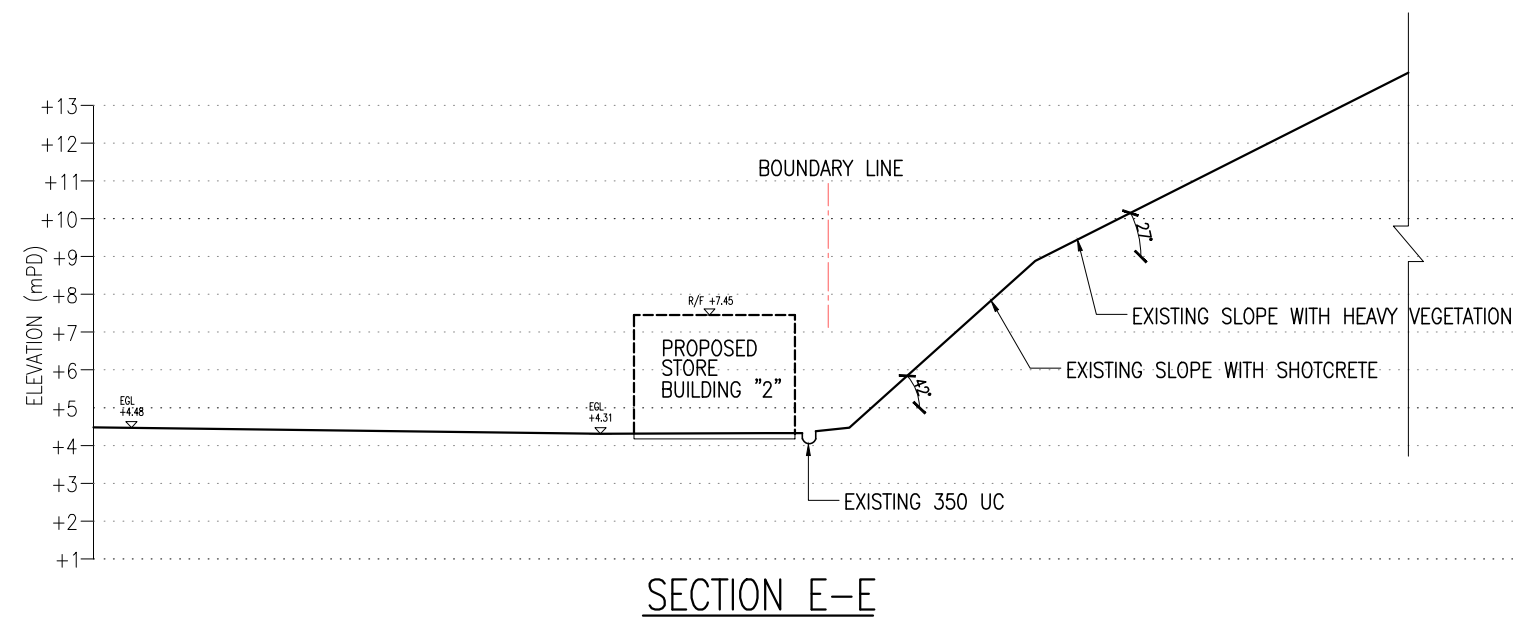
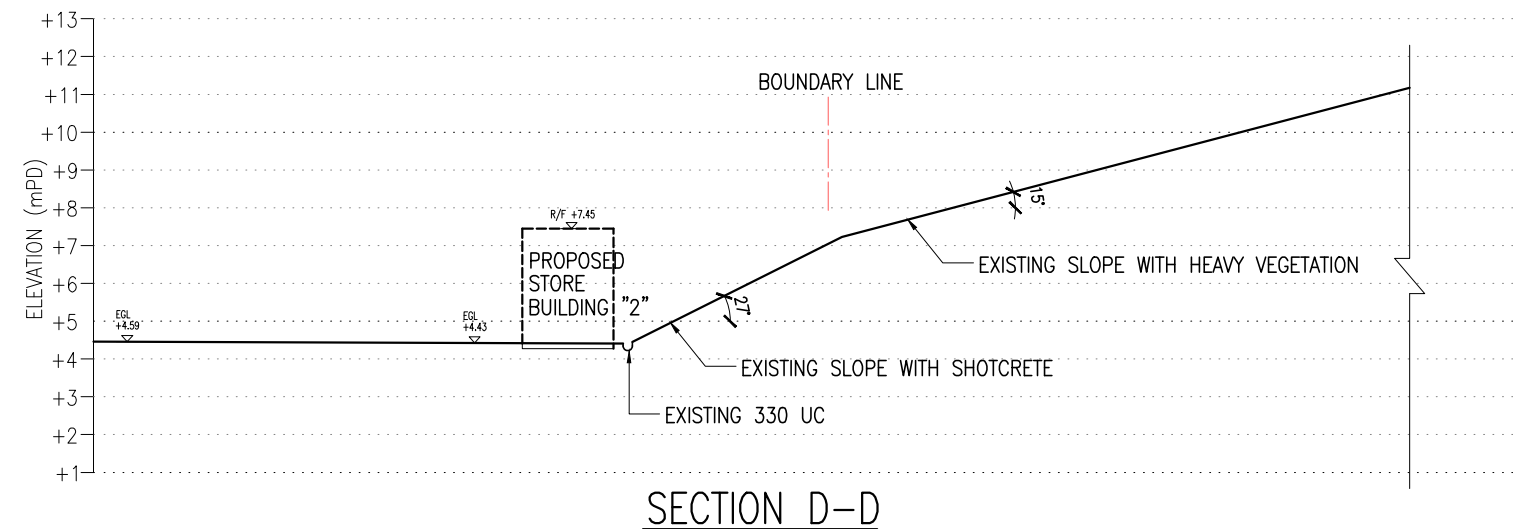
SECTION A-A



SECTION B-B



SECTION C-C



NOTES:

DO NOT SCALE DRAWINGS.

ALL DIMENSIONS MUST BE VERIFIED AT THE WORK BY THE CONTRACTOR.

ALL PRINTS, SPECIFICATIONS AND THEIR COPYRIGHT ARE THE PROPERTY OF THE ARCHITECTS AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.

REVISION		
NO.	DATE	DESCRIPTION

ARCHITECT

STUDIO | R&A

18/F | Xiu Hua Commercial Building
211-213 Jaffe Road | Wan Chai | HK
Tel: 3583-2000 | Fax: 8143-1130
Email: mail@studio^{ra}.com

STUDIO | RAYMOND CHAU |
ARCHITECTURE | LIMITED

PROJECT NAME

SHELTER COVE
ROYAL HONG KONG YACHT CLUB
D.D. 212, LOT 341, SAI KUNG,
NEW TERRITORIES,
HONG KONG

DRAWING TITLE

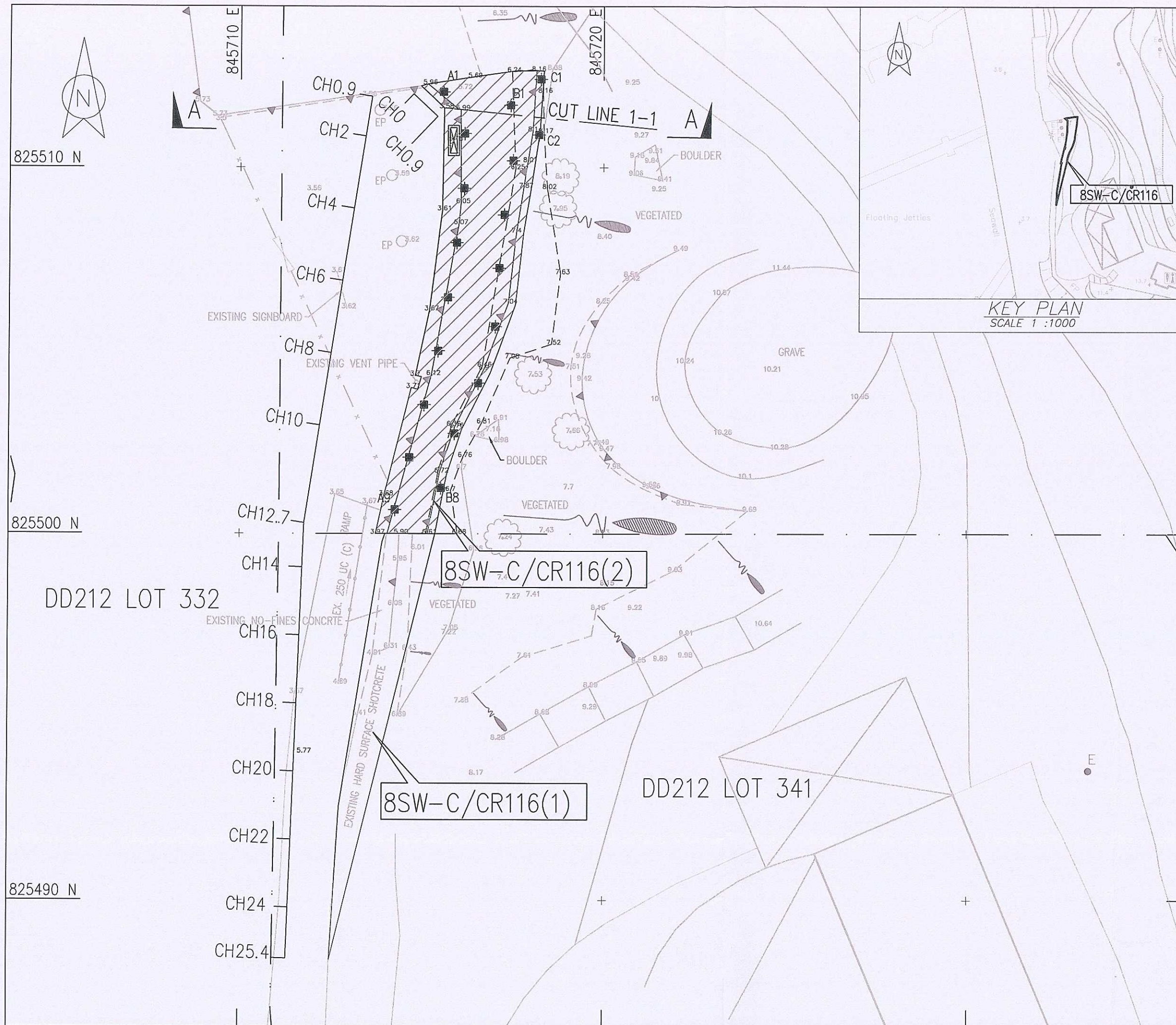
SECTION D-D, SECTION E-E
AND SECTION F-F

DRAWN BY	PT	CHECKED BY	PH
SCALE	1:100	DATE	2022.08.04
JOB No.	2161	DRAWING No.	SF03

APPENDIX K

RETRIVED RECORD PLANS FOR FEATURE NO.

8SW-C/CR116(SD2)



NOTES:

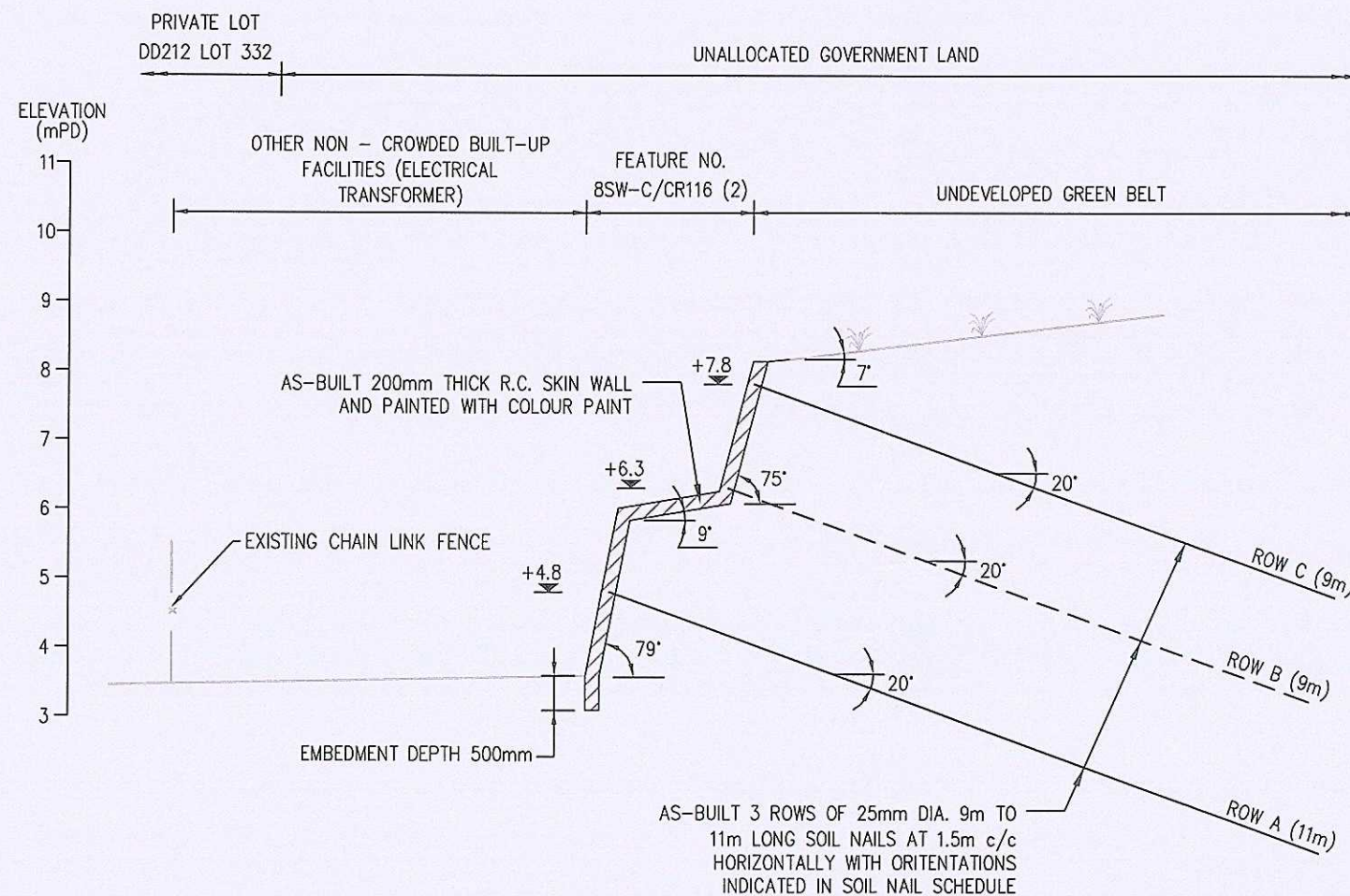
- THIS DRAWING WAS READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS, STANDARD, DRAWINGS THE SPECIFICATIONS AND INSTRUCTIONS ISSUED BY THE ENGINEER.
- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE SPECIFIED.
- ALL LEVELS ARE IN METRES ABOVE P.D.

LEGEND:

- FEATURE BOUNDARY
- PRIVATE LOT BOUNDARY
- AS-BUILT SOIL NAILS
- AS-BUILT SLOPE REGISTRATION SIGN PLATE
- AS-BUILT SKIN WALL AND PAINTED WITH COLOR PAINT
- CHAINAGE (m)
- SECTION MARK
- EX. 250 UC (C) EXISTING 250mm U-CHANNEL WITH COVER
- EXISTING TREE
- EXISTING GATE
- EXISTING CHAIN LINK FENCE
- EXISTING ELECTRIC POLE

KEY PLAN
SCALE 1:1000

		Company	Post	Date
Drawn	W.W. FU	FC	SURVEYOR	JUN 2022
Contract No. 9/LANDS/17				
Drawing no. 187-AS01		Rev. 0	Scale 1:100 (A3)	
Drawing Title Feature No. 8SW-C/CR116(2) ROYAL HONG KONG YACHT CLUB, PAK SHA WAN, SAI KUNG PLAN OF WORKS (AS-BUILT)				
Contractor FRASER CONSTRUCTION COMPANY LIMITED				
LANDS ADMINISTRATION OFFICE SLOPE MAINTENANCE SECTION				
 地政總署 LANDS DEPARTMENT				
				
CAD File:			Status:	



SECTION A - A

NOTES:

1. THIS DRAWING WAS READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS, STANDARD, DRAWINGS THE SPECIFICATIONS AND INSTRUCTIONS ISSUED BY THE ENGINEER.
2. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE SPECIFIED.
3. ALL LEVELS ARE IN METRES ABOVE P.D.

LEGEND:



AS-BUILT SKIN WALL AND PAINTED WITH COLOR PAINT

		Company	Post	Date
Drawn	W.W. FU	FC	SURVEYOR	JUN 2020
Contract No.				
9/LANDS/17				
Drawing no.		Rev.	Scale	
187-AS02		0	1:100 (A3)	
Drawing Title				
Feature No. 8SW-C/CR116(2) ROYAL HONG KONG YACHT CLUB, PAK SHA WAN, SAI KUNG SECTION (AS-BUILT)				
Contractor				
FRASER CONSTRUCTION COMPANY LIMITED				
LANDS ADMINISTRATION OFFICE SLOPE MAINTENANCE SECTION				
 地政總署 LANDS DEPARTMENT				
				
CAD File:		Status:		

30-JAN-2023 13:56 FROM TOWN PLANNING BOARD

TO DPO/SKIS



Your Ref: A/SK-HH/80

30 January 2023

RECEIVED

2023 JAN 30 P 1:54

TOWN PLANNING BOARD

The Secretary
Town Planning Board
15/F, North Point Government Offices
333 Java Road, North Point
Hong Kong

By Hand

Dear Sir,

Section 16 Planning Application

**Proposed Ancillary Guard House and Refuse Collection Point, Ancillary Storage
Facilities and Staff Office, Additional Toilets and Modification to the Kitchen for
Application No. A/SK-HH/80**

I refer to our letter submitted to the Town Planning Board dated 13 January 2023 with our further responses to the comments of Geotechnical Engineering Office (GEO) of the Civil Engineering and Development Department. We would now like to submit further information in response to some of the public comments, including the questions about stacking facilities for car parking spaces and whether the Proposed Scheme of the application can enhance the capacity for users especially on weekends. The responses are provided below: -

1. The practicality of the use of mechanical stacking facilities for parking is being considered. However, as the purpose of this Section 16 planning application is to utilise the permitted Gross Floor Area (GFA) under the lease, it is considered that the stacking facilities are outside the scope of this application and the existing lease.
2. There are currently inadequate storage facilities within the site and this application aims to improve the situation. With improved storage facilities, better management can be achieved.

We believe all comments have been sufficiently addressed and we have no further comments. The responses provided in this letter do not propose any material change to the application. We consider it is consistent with Town Planning Board's Guideline No. 32, and should be accepted and exempted from publication. Should you have any questions regarding this submission, please contact Ms Polly Lee at 2239 0301.

Yours faithfully,

Mark Bovaird
General Manager
Royal Hong Kong Yacht Club

c.c.: District Planning Office / Sai Kung and Islands
Attention: Ms Jane Kwan (email: jwkwan@pland.gov.hk)
and Ms Vicky Ma (email: vikma@pland.gov.hk)

ROYAL HONG KONG YACHT CLUB 香港遊艇會

KELLETT ISLAND, HONG KONG TEL: (852) 2832 2817 FAX: (852) 2239 0329

Previous S.16 Applications covering the Application Site

	Application No.	Applied Use(s)	Date of Consideration	Decision of the RNTPC/TPB	Approval Condition(s)
1.	A/SK-HH/3	To redevelop a toilet block and a store/staff room into a three-storey changing block	9.8.1996	Approved with condition(s)	(a)
2.	A/SK-HH/18	Distribution board and cable trenches	26.2.1999	Approved	N.A.
3.	A/SK-HH/19	Canopy and structures for an existing clubhouse	14.5.1999	Approved with condition(s)	(b)
4.	A/SK-HH/27	Utility installations (underground water tank & electricity cum utilities room)	22.11.2002	Approved with condition(s)	(a)

Approval Conditions:

- (a) Submission and implementation of landscaping proposals
- (b) Submission and implementation of tree preservation proposals

**Similar s.16 Applications within the “Recreation” zone on
the Hebe Haven OZP**

	Application No. and Proposed Use(s)	Location	Date of Consideration	Decision of the RNTPC/ TPB	Approval Conditions/ Reasons for Rejection
1.	A/SK-HH/63 Proposed Marina (Storage Racks for Boats/Dinghies)	Lot No. 1138 in D.D. 217 (Part), Pak Sha Wan, Sai Kung	12.12.2014	Approved with condition(s)	(a)
2.	A/SK-HH/79 Proposed Marina (Clubhouse)	Lot 1208 (Part) in D.D. 217, Pak Sha Wan, Sai Kung, New Territories	13.8.2021	Approved with condition(s)	(a) and (b)

Approval Conditions:

- (a) Submission and implementation of fire service installations and water supplies for fire-fighting
- (b) Submission of a drainage assessment and the implementation of the flood protection measures

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review

參考編號

Reference Number:

220927-153103-81592

提交限期

Deadline for submission:

05/10/2022

提交日期及時間

Date and time of submission:

27/09/2022 15:31:03

有關的規劃申請編號

The application no. to which the comment relates:

A/SK-HH/80

「提意見人」姓名/名稱

Name of person making this comment:

夫人 Mrs. Catriona Rogers

意見詳情

Details of the Comment :

This is to support the application of the Royal Hong Kong Yacht Club for various renovations and improvements to their Shelter Cove Facility.

The Club offers necessary support facilities and training to both members and non-members, enabling access to boats, the sea and an incredible and valuable recreational resource.

We have seen a huge increase recently in the interest of local Hong Kongers in the sea as a recreational facility, where they can find relief from the physical and mental pressures of living in an extremely densely populated urban environment

It is essential that services be provided to give people access to this wonderful natural asset of Hong Kong - the sea.

The current facilities at the Yacht Club have proved to be sufficient to date but are increasingly ageing and coming under pressure of numbers.

The proposed renovations are, in my opinion, vital for the future viability of the Club as a recreational facility.

16

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review

參考編號

Reference Number:

220928-115822-42467

提交限期

Deadline for submission:

05/10/2022

提交日期及時間

Date and time of submission:

28/09/2022 11:58:22

有關的規劃申請編號

The application no. to which the comment relates:

A/SK-HH/80

「提意見人」姓名/名稱

Name of person making this comment:

先生 Mr. LAI Kai Ming

意見詳情

Details of the Comment :

I strongly support this application with following reasons: this yachting and water sports facilities have been long established as part of the neighborhood and Hong Kong. Despite the challenging structure, it is well run and important to the Hong Kong water sports and yachting scenes which is one of Hong Kong's high standard national sports. The new lease allow the facilities to be upgraded and to open up for wider public as well as national sports team. The Royal Hong Kong Yacht Club (I.e. the Applicant) has proven track records to engage public and the wider Hong Kong society to the water sports making the best use of their facilities. The application addressed some historic issues of the facilities like lack of office and not ideal refuse collection point, these improvement will benefited to all future users of the facilities.

The Applicant has over 100 years reputable history in promoting Hong Kong's water sports and is the oldest yacht club in Asia. The renewal of lease will allow the Applicant to further open up and to "tell a positive Hong Kong story" as the government's priority. Hence I strongly support of this application.

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review

參考編號

Reference Number:

220930-000032-52618

提交限期

Deadline for submission:

05/10/2022

提交日期及時間

Date and time of submission:

30/09/2022 00:00:32

有關的規劃申請編號

The application no. to which the comment relates:

A/SK-HH/80

「提意見人」姓名/名稱

Name of person making this comment:

先生 Mr. William Wai Lam Cheung

意見詳情

Details of the Comment :

I support the proposed application for the following reasons:-

- The new lease allows the Yacht Club facilities to be accessible to eligible groups and by non-members. The ancillary facilities needs to be improved for the operation of the Yacht Club and to meet future demands.
- The application would enhance the exiting facilities at the club which is an advantage for future users especially with the opening up of the Yacht Club.
- The proposed Refuse Collection Point would help prevent wild boars from ravaging the collected refuse.

In addition, I believe the environmental impact of the proposed plan would be proportionate and reasonable in light of the benefits. In particular:

- The minor improvements to facilities would not result in increased traffic, sewage, landscaping, and environmental impact.
- The proposed one storey high structure would not cause undesirable visual impact.
- The proposed development involves only existing built-up land, it does not require cut down of any trees or intensive infrastructure work.
- There is currently no office facility on the site. The proposed ancillary staff office and storage would support services and operation of the marine facilities.

For the above reasons I support the application.

Thank you

William Cheung

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review

參考編號

Reference Number:

221001-173721-69375

提交限期

Deadline for submission:

05/10/2022

提交日期及時間

Date and time of submission:

01/10/2022 17:37:21

有關的規劃申請編號

The application no. to which the comment relates:

A/SK-HH/80

「提意見人」姓名/名稱

Name of person making this comment:

女士 Ms. Molson

意見詳情

Details of the Comment :

The plan submitted by the RHKYC is very sound. It will allow the club to comply with government lease requirements and to provide more facilities to members for the safe mooring of their boats. Recreational water activities are activities recommended and promoted by the Hong Kong Government. The RHKYC, as part of its activities, runs a number of outreach charitable programmes that enable young Hongkongers who cannot otherwise participate in these activities, the opportunity to learn, free of charge, how to sail and pursue other water-borne activities. These programmes have huge physical, mental, social and potentially career enhancing impact on these young people. The proposed scheme in the planning application will enhance the revenues to the Club from the provision of boat storage sites and enable the Club to further increase its charitable support to the community.

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review

參考編號

Reference Number:

221002-151404-23756

提交限期

Deadline for submission:

05/10/2022

提交日期及時間

Date and time of submission:

02/10/2022 15:14:04

有關的規劃申請編號

The application no. to which the comment relates:

A/SK-HH/80

「提意見人」姓名/名稱

Name of person making this comment:

先生 Mr. Peter Wilkinson

意見詳情

Details of the Comment :

I am writing in support of the application for several reasons:

+ I believe the encouragement by the HK Govt to open up the facilities to the wider public, especially youth sailors and paddlers, is the right step forward to give the Hong Kong public access to water sports in a safe and enjoyable manner. Safety when paddling or sailing on water is key, and there are many lower quality providers around. The RHKYC has a track record of providing opportunities to learn safely, and it is good they are expanding this

+ Enhancement of the existing facilities is a must given the extra people the opening up will encourage to come

+ The addition of the sampan service is key to make sure the transport access is adequate - many youth sailors and paddlers will not be driving

+ The plan does not require the removal of any trees and uses the existing space

I strongly support the submission

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review

參考編號

Reference Number:

221002-222843-79087

提交限期

Deadline for submission:

05/10/2022

提交日期及時間

Date and time of submission:

02/10/2022 22:28:43

有關的規劃申請編號

The application no. to which the comment relates:

A/SK-HH/80

「提意見人」姓名/名稱

Name of person making this comment:

女士 Ms. Lin Wan-Hsuan

意見詳情

Details of the Comment :

致城規會,基餘公眾利益,我個人贊成香港遊艇會提出此項規劃申請。因為開放公眾,勢必需要增加基礎設施。仔細閱讀香港遊艇會提出的平面圖及規劃,不會破壞周圍景觀,又可以開放給公眾使用,是雙贏。

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review

參考編號

221005-130807-48006

Reference Number:

提交限期

05/10/2022

Deadline for submission:

提交日期及時間

05/10/2022 13:08:07

Date and time of submission:

有關的規劃申請編號

A/SK-HH/80

The application no. to which the comment relates:

「提意見人」姓名/名稱

女士 Ms. Michelle YUEN

Name of person making this comment:

意見詳情

Details of the Comment :

I SUPPORT the subject planning application for the following reasons:

1. Need for Enhancement of Facilities

The Royal Hong Kong Yacht Club (RHKYC) facilities at the Shelter Cove have been in operation for over 30 years and there has been an increasing demand. With the new lease, the RHKYC is opening up to share its facilities with more eligible groups and non-members in promoting sports and recreation. Hence, there is a need to enhance the ancillary facilities for its operation and to meet future demands.

2. Need for Storage Facilities

There is currently insufficient storage facility on the site. Some of the equipment are stored without proper shelter due to lack of storage space. The proposed ancillary storage facilities are therefore essential (e.g. for storage of the safety equipment, replacement/maintenance tool kits, sails, paddles and oars, etc.) to support the operation of the marine facilities.

3. RCP to Upkeep Hygiene

A proper RCP is necessary to upkeep the hygiene of the place and prevent the wild boars from ravaging the collected refuse.

4. Need for Ancillary Office and Guardhouse

There is currently no office facility on the site. Together with the opening up of the RHKYC, there is a need for supporting services and operation by the marina staff to operate training programs, handle and manage the boats into and out of the water, etc. The proposed guard house of minimal size is an essential operational facility in security as well as providing leave-home-safe checking before entry to the RHKYC.

5. Need for Additional Toilets and Modification of the Kitchen

The existing wash rooms with limited flushing toilets can barely meet the needs especially on the race days, not to mention the lack of disable access. The three numbers of additional toilets are considered reasonable and not excessive.

The improvement to the kitchen area would provide a safer and more hygienic place for the existing eating area.

6. No Adverse Impact

Landscape – The proposed structures are within the existing site boundary of the RHKYC and without the need for any tree felling. No adverse landscape impact will be generated.

Visual and Environment – The single-storey structures within the site locating at the bottom of the slope and the proposed structures with heights lower than the existing substation would pose negligible visual change to the existing environment. No adverse visual impact is anticipated. The proposed structures are on the existing built-up land, without the need for cutting slopes. All the works will be carried out within the existing site boundary. Adverse environmental impact is not expected.

Traffic – There is no increase to the carparking spaces and hence no traffic impact arising from the proposed development.

The proposed facilities amounting to only 178sqm are small in scale and would not generate adverse impact to the environment. At the same time it represents a beneficial enhancement to the existing facilities to serve the existing users as well as the future eligible groups and public.

7. Conclusion

The proposed small scale structures in support of the existing marina use and enhancement of the facilities would not generate adverse impact to the surrounding environment and would help to improve the facilities in promoting sports and recreation while keeping the natural ambience within the existing boundary of the Shelter Cove marina.

The TPB members are sincerely hoped to grant favourable consideration to the application. The approval of which would render eligible groups and non-members to enjoy the facilities at RHKYC and help promoting sports in Hong Kong.

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review

參考編號

Reference Number:

221005-095846-17974

提交限期

Deadline for submission:

05/10/2022

提交日期及時間

Date and time of submission:

05/10/2022 09:58:46

有關的規劃申請編號

The application no. to which the comment relates:

A/SK-HH/80

「提意見人」姓名/名稱

Name of person making this comment:

夫人 Mrs. Stephanie B Van Eybergen

意見詳情

Details of the Comment :

Currently there is not enough storage for the sailing, rowing and boating equipment and the bath room and changing room facilities need to be renovated. This is a facility that serves as a great provider of outdoor recreation to young families and it is essential that the equipment is protected against the weather and environment.

☐ Urgent ☐ Return Receipt Requested ☐ Sign ☐ Encrypt ☐ Mark Subject Restricted ☐ Expand personal&publi



A/SK-HH/80 DD 212 Hebe Haven Yacht Club
02/10/2022 03:23

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
File Ref:

A/SK-HH/80

Lot 341 (Part) in D.D. 212, Che Keng Tuk, Sai Kung

Site area: About 5,800sq.m

Zoning: "Recreation"

Applied development: Ancillary Facilities for Existing Yacht Club / 75 Vehicle Parking

Dear TPB Members,

As required by the lease, 75 car parking spaces need to be provided at the Yacht Club. To incorporate the proposed ancillary buildings whilst meeting the fire safety requirements for Emergency Vehicular Access (EVA), some car parking spaces will be relocated. The approved car parking layout has been slightly modified but provision of 75 spaces as required by the lease will remain unchanged .

Looking at the layout the shocking issue is that so much space is taken up by the at grade parking. Even urban police stations are now using stacking facilities that reduce the space devoted to parking.

Furthermore, under the new lease being prepared, the Yacht Club facilities will be open to sharing with other eligible groups and by non-members.

So the club is to be subject to a revised lease. Why has the government department involved not taken the opportunity to address the inefficient land use? This would free up space that could be utilized to store equipment and other services that would encourage and assist in the sharing of the club facilities with the wider community.

Members will hopefully raise this issue.

Mary Mulvihill

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review

參考編號
Reference Number: 221005-171825-55854

提交限期
Deadline for submission: 05/10/2022

提交日期及時間
Date and time of submission: 05/10/2022 17:18:25

有關的規劃申請編號
The application no. to which the comment relates: A/SK-HH/80

「提意見人」姓名/名稱
Name of person making this comment: 先生 Mr. Blaauw

意見詳情
Details of the Comment :

The facility is already at near full capacity at the weekend and the proposals will do nothing to improve the situation, then or at other times and the proposals would appear a waste of money.

Detailed Departmental Comments

Detailed Comments from the District Lands Officer/Sai Kung, Lands Department:

- (a) Lot 341 and Extension thereto in D.D. 212 (“the Lot”) was granted to Royal Hong Kong Yacht Club (RHKYC) by way of private treaty grant dated 9.10.1993 registered as New Grant No. 8244 as varied or modified by two modification letters dated 1.12.2003 and 20.8.2007 and as extended by Conditions of Extension dated 6.12.2004 registered as New Grant No. 9754 (hereinafter collectively referred to as “the Government Lease”) for a yacht club and other ancillary recreational activities and a fixed pontoon system. The term of the Government Lease was already expired on 8.10.2014 and RHKYC remains in possession of the Lot by way of hold over as per the 14th hold over letter up to 8.3.2023. The salient development controls of the Government Lease are set out below:-
- | | |
|------------|---|
| SC (4)(a) | design and disposition clause; |
| SC (4)(b) | max. Gross Floor Area (“GFA”) not exceeding 500m ² or any such GFA as may be approved by the Director; |
| SC (4)(c) | max site coverage not exceeding 9% of the area of the Lot; |
| SC (4)(d) | no part of any building or other structure erected or to be erected on the lot shall exceed a height of 3.65 metres or such other height as may be approved by the Director, above the mean formation level on the land on which the building or structure stands; (<i>Modification Letter dated 1.12.2003</i>) |
| SC (27)(a) | not less than 75 spaces for motor vehicles; and |
| SC (27)(b) | a minimum of 25 spaces for storage of small boats; |
- (b) his Office cannot verify the GFA and site coverage of the existing building and the proposed development at the moment. The applicant should make sure that the information quoted in the planning submission is correct; and
- (c) according to their record, some of the existing structures are regarded by Buildings Department as unauthorized building works (“UBWs”). Their recent inspection reveals that the UBWs have been purged.

Recommended Advisory Clauses

- (a) to note the comments of the District Lands Officer/Sai Kung, Lands Department that if the subject application is approved by the Town Planning Board and depending on the terms and conditions of the new lease to be granted, the lot owner may require to apply for a lease modification to effect the proposal. However, there is no guarantee that such application will be approved by the Government. Such application, if eventually approved, will be subject to such terms and conditions as the Government considers appropriate at its discretion;
- (b) to note the comments of the Director of Fire Services that the applicant is advised to observe the requirements of emergency vehicle access as stipulated in Section 6, Part D of the Code of Practice for Fire Safety in Buildings 2011, which is administered by the Buildings Department;
- (c) to note the comments of the Director of Environmental Protection that the applicant is advised to make sure that:-
 - (i) all sewage produced from the application site (the Site) is connected to the septic tank with soakaway system being proposed; and
 - (ii) effluent discharge from the Site shall conform with the Water Pollution Control Ordinance requirements; and
- (d) to note the comments of the Chief Building Surveyor/Hong Kong East & Heritage, Buildings Department that:
 - (i) since the Site does not abut on any specified street under Building (Planning) Regulation (B(P)R) 18A, the development intensity of the site should be determined by the Building Authority (BA) under the B(P)R 19(3). The overall plot ratio (PR) and site coverage (SC) as a result of the proposed buildings should not exceed the permitted PR and SC determined by the BA;
 - (ii) the site shall be provided with means of obtaining access thereto from a street and emergency vehicle access in accordance with B(P)R 5 and 41(D) respectively;
 - (iii) all building works are subject to compliance with the Buildings Ordinance (BO) and allied regulations. An Authorized Person must be appointed to coordinate all buildings works;
 - (iv) formal submission under the BO is required for any proposed new works. Detailed comments under the BO will be provided at the building plan submission stage; and
 - (v) the granting of any planning approval should not be construed as an acceptance of any existing buildings works or unauthorized building works, if any, on the Site under the BO.