

2024年12月20日收到 • 城市規劃委員會  
只會在收到所有必要的資料及文件後才正式確認收到  
申請的日期。

This application is received on **20 DEC 2024**.  
The Council will formally acknowledge  
the receipt of the application only upon receipt  
of all the required information and documents.

Form No. S16-III  
表格第 S16-III 號

**APPLICATION FOR PERMISSION  
UNDER SECTION 16 OF  
THE TOWN PLANNING ORDINANCE  
(CAP. 131)**

根據《城市規劃條例》(第131章)  
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of Land  
and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas,  
or Renewal of Permission for such Temporary Use or Development\***

**適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行  
為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議\***

*\*Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.*

*\*其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。*

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:  
[https://www.tpb.gov.hk/en/plan\\_application/apply.html](https://www.tpb.gov.hk/en/plan_application/apply.html)

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：  
[https://www.tpb.gov.hk/tc/plan\\_application/apply.html](https://www.tpb.gov.hk/tc/plan_application/apply.html)

**General Note and Annotation for the Form**

**填寫表格的一般指引及註解**

# "Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made

「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2403035 17.12.2024 By Hand

Form No. S16-III 表格第 S16-III 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/SK-PK/303
	Date Received 收到日期	20 DEC 2024

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).  
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.  
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

### 1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Forever Sound Limited

### 2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Lawson David & Sung Surveyors Limited (羅迅測計師行有限公司)

### 3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lot 1122 & Ext. (Part) in D.D. 217 and Adjoining Government Land, House B5, Habitat, Pak Sha Wan, Sai Kung, N.T.
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 ..... 107 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Gross floor area 總樓面面積 ..... NA ..... sq.m 平方米 <input type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	..... 62 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約



(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Pak Kong and Sha Kok Mei Outline Zoning Plan No. S/SK-PK/11
(e) Land use zone(s) involved 涉及的土地用途地帶	Green Belt ("GB")
(f) Current use(s) 現時用途	Private Swimming Pool and Garden  (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

#### 4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 -

- ☒ is the sole "current land owner"<sup>#&</sup> (please proceed to Part 6 and attach documentary proof of ownership).  
是唯一的「現行土地擁有人」<sup>#&</sup> (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners"<sup>#&</sup> (please attach documentary proof of ownership).  
是其中一名「現行土地擁有人」<sup>#&</sup> (請夾附業權證明文件)。
- ☐ is not a "current land owner"<sup>#</sup>.  
並不是「現行土地擁有人」<sup>#</sup>。

- ☐ The application site is entirely on Government land (please proceed to Part 6).  
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

#### 5. Statement on Owner's Consent/Notification

##### 就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at ..... (DD/MM/YYYY), this application involves a total of ..... "current land owner(s)"<sup>#</sup>.  
根據土地註冊處截至 ..... 年 ..... 月 ..... 日的記錄，這宗申請共牽涉 ..... 名「現行土地擁有人」<sup>#</sup>。

(b) The applicant 申請人 -

- ☐ has obtained consent(s) of ..... "current land owner(s)"<sup>#</sup>.  
已取得 ..... 名「現行土地擁有人」<sup>#</sup>的同意。

Details of consent of "current land owner(s)"<sup>#</sup> obtained 取得「現行土地擁有人」<sup>#</sup>同意的詳情

No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified ..... “current land owner(s)”<sup>#</sup>  
已通知 ..... 名「現行土地擁有人」<sup>#</sup>。

Details of the “current land owner(s)” <sup>#</sup> notified 已獲通知「現行土地擁有人」 <sup>#</sup> 的詳細資料		
No. of ‘Current Land Owner(s)’ 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):  
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the “current land owner(s)” on \_\_\_\_\_ (DD/MM/YYYY)<sup>#&</sup>  
於\_\_\_\_\_ (日/月/年)向每一名「現行土地擁有人」<sup>#</sup>郵遞要求同意書<sup>&</sup>

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於\_\_\_\_\_ (日/月/年)在指定報章就申請刊登一次通知<sup>&</sup>
- ☐ posted notice in a prominent position on or near application site/premises on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於\_\_\_\_\_ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知<sup>&</sup>
- ☐ sent notice to relevant owners’ corporation(s)/owners’ committee(s)/mutual aid committee(s)/management office(s) or rural committee on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於\_\_\_\_\_ (日/月/年)把通知寄往相關的業主立案法團／業主委員會／互助委員會或管理處，或有關的鄉事委員會<sup>&</sup>

Others 其他

- ☐ others (please specify)  
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料



**6. Type(s) of Application 申請類別****(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas**

位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展

(For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B))

(如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)

(a) Proposed use(s)/development  
擬議用途/發展

(Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)

(b) Effective period of permission applied for  
申請的許可有效期☐ year(s) 年 .....☐ month(s) 個月 .....**(c) Development Schedule 發展細節表**Proposed uncovered land area 擬議露天土地面積 .....sq.m ☒ About 約Proposed covered land area 擬議有上蓋土地面積 .....sq.m ☐ About 約

Proposed number of buildings/structures 擬議建築物/構築物數目 .....

Proposed domestic floor area 擬議住用樓面面積 .....sq.m ☐ About 約Proposed non-domestic floor area 擬議非住用樓面面積 .....sq.m ☐ About 約Proposed gross floor area 擬議總樓面面積 .....sq.m ☐ About 約

Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)

.....

.....

.....

.....

**Proposed number of car parking spaces by types 不同種類停車位的擬議數目**

Private Car Parking Spaces 私家車車位 .....

Motorcycle Parking Spaces 電單車車位 .....

Light Goods Vehicle Parking Spaces 輕型貨車泊車位 .....

Medium Goods Vehicle Parking Spaces 中型貨車泊車位 .....

Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 .....

Others (Please Specify) 其他 (請列明) .....

**Proposed number of loading/unloading spaces 上落客貨車位的擬議數目**

Taxi Spaces 的士車位 .....

Coach Spaces 旅遊巴車位 .....

Light Goods Vehicle Spaces 輕型貨車車位 .....

Medium Goods Vehicle Spaces 中型貨車車位 .....

Heavy Goods Vehicle Spaces 重型貨車車位 .....

Others (Please Specify) 其他 (請列明) .....

Proposed operating hours 擬議營運時間			
.....			
.....			
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？	Yes 是	<input type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用))	
	No 否	<input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度)	
(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。)			
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動？	Yes 是	<input type="checkbox"/> Please provide details 請提供詳情 ..... ..... .....	
	No 否	<input type="checkbox"/>	
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程？	Yes 是	<input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍) <input type="checkbox"/> Diversion of stream 河道改道 <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 ..... m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 ..... m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 ..... m 米 <input type="checkbox"/> About 約	
	No 否	<input type="checkbox"/>	
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響？	On environment 對環境 On traffic 對交通 On water supply 對供水 On drainage 對排水 On slopes 對斜坡 Affected by slopes 受斜坡影響 Landscape Impact 構成景觀影響 Tree Felling 砍伐樹木 Visual Impact 構成視覺影響 Others (Please Specify) 其他 (請列明)		Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/>
	..... .....		



	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>
--	--

**(B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas**  
**位於鄉郊地區或受規管地區臨時用途/發展的許可續期**

(a) Application number to which the permission relates 與許可有關的申請編號	A/ <u>SK-PK</u> / <u>268</u>
(b) Date of approval 獲批給許可的日期	<u>18/02/2022</u> (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期	<u>18/02/2025</u> (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	Temporary Private Swimming Pool and Garden for a Period of 3 Years
(e) Approval conditions 附帶條件	<p><input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件</p> <p><input type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件</p> <p><input checked="" type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件：  <u>Implementation of the Drainage Proposal</u>  .....  .....</p> <p>Reason(s) for non-compliance: 仍未履行的原因：  <u>The Applicant has submitted the implementation record of the completed drainage works to the Planning Department on 6.12.2024 and approval from Drainage Services Department is pending.</u>  (Please use separate sheets if the space above is insufficient)  (如以上空間不足，請另頁說明)</p>
(f) Renewal period sought 要求的續期期間	<input checked="" type="checkbox"/> year(s) 年 <u>3</u> <input type="checkbox"/> month(s) 個月 .....





**8. Declaration 聲明**

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.  
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.

本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature

簽署



Cannis Lee

Name in Block Letters  
姓名（請以正楷填寫）

☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Associate Director (Planning)

Position (if applicable)  
職位（如適用）

Professional Qualification(s) ☒ Member 會員 / ☐ Fellow of 資深會員

專業資格

☐ HKIP 香港規劃師學會 /☐ HKIA 香港建築師學會 /☐ HKIS 香港測量師學會 /☐ HKIE 香港工程師學會 /☐ HKILA 香港園境師學會 /☐ HKIUD 香港城市設計學會☐ RPP 註冊專業規劃師

Others 其他 ..... MPA

on behalf of  
代表

Lawson David &amp; Sung Surveyors Limited

☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

17/12/2024

(DD/MM/YYYY 日/月/年)

**Remark 備註**

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

**Warning 警告**

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

**Statement on Personal Data 個人資料的聲明**

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and  
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
- (b) facilitating communication between the applicant and the Secretary of the Board/Government departments.  
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要	
(Please provide details in both English and Chinese <u>as far as possible</u> . This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.) (請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)	
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置／地址	Lot 1122 & Ext. (Part) in D.D. 217 and Adjoining Government Land, House B5, Habitat, Pak Sha Wan, Sai Kung, N.T.
Site area 地盤面積	107 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 62 sq. m 平方米 <input checked="" type="checkbox"/> About 約)
Plan 圖則	Approved Pak Kong and Sha Kok Mei Outline Zoning Plan No. S/SK-PK/11
Zoning 地帶	Green Belt ("GB")
Type of Application 申請類別	<input type="checkbox"/> Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____ <input checked="" type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 <input checked="" type="checkbox"/> Year(s) 年 <u>3</u> <input type="checkbox"/> Month(s) 月 _____
Applied use/ development 申請用途/發展	Temporary Private Swimming Pool and Garden for a Period of 3 years



(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	NA <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	NA <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	NA <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	NA <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	NA	
	Non-domestic 非住用	NA	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	NA	<input type="checkbox"/> (Not more than 不多於) m 米
		NA	<input type="checkbox"/> (Not more than 不多於) Storeys(s) 層
	Non-domestic 非住用	NA	<input type="checkbox"/> (Not more than 不多於) m 米
		NA	<input type="checkbox"/> (Not more than 不多於) Storeys(s) 層
(iv) Site coverage 上蓋面積	NA % <input type="checkbox"/> About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數  Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____		NA
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數  Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____ _____		NA

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	<u>Chinese</u> 中文	<u>English</u> 英文
<b><u>Plans and Drawings 圖則及繪圖</u></b>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<u>Location Plan, Lot Index Plan and Plan showing the Application Site and its Surrounding Area</u>		
<b><u>Reports 報告書</u></b>		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估（噪音、空氣及／或水的污染）	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<u>Drainage Proposal and Geotechnical Planning Review Report</u>		
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。





Ref: LDS/PLAN/7115

## **Section 16 Planning Application**

**Renewal of Planning Approval for Temporary Private Swimming Pool and Garden  
for a Period of 3 Years at Lot 1122 & Ext. (Part) in D.D. 217 and Adjoining Government  
Land, House B5, Habitat, Pak Sha Wan, Sai Kung, New Territories**

## **Planning Statement**

Applicant  
**Forever Sound Limited**

Prepared by  
**Lawson David and Sung Surveyors Limited**

December 2024

## **Executive Summary**

This planning statement is submitted to the Town Planning Board (the “Board”) to seek renewal of planning approval for proposed temporary private swimming pool and garden for a period of 3 years at Lot 1122 & Ext. (Part) in D.D. 217 and Adjoining Government Land, House B5, Habitat, Pak Sha Wan, Sai Kung, N.T. (the “Application Site”).

The Application Site, covering an area of about 107 sq.m. (including 62 sq.m. of Government land), falls within an area zoned “Green Belt” (“GB”) on the Approved Pak Kong and Sha Kok Mei Outline Zoning Plan (OZP) No. S/SK-PK/11 gazetted on 27.10.2006. According to the Notes of the OZP, temporary use not exceeding a period of 3 years requires planning permission from the Board.

The Application Site, or part of it, is the subject of two previously approved applications (Application Nos. A/SK-PK/126 and 268). The planning permission under last Application No. A/SK-PK/268 will be expired on 18.2.2025. The Applicant has partially complied with the approval condition of the last application on submission and implementation of the drainage proposal. While the drainage proposal had been approved by the Drainage Services Department (DSD) on 21.10.2024, the Applicant has completed the implementation of the approved drainage proposal and submitted implementation record of the drainage facilities to the Planning Department on 6.12.2024 and the approval from DSD is pending. Given the current planning approval expiring soon, the Applicant has therefore submitted this application for renewal of the current planning approval.

There will be no change in nature of use and development parameters of the proposed development from the last application, which includes a temporary private swimming pool with an area of about 35.8 sq.m. and depth of 1.1-1.6m and the remaining area of about 71.2 sq.m. will be used as private garden. The filtration plant equipment is placed at the southwestern corner of the garden. The private swimming pool and garden will be solely used by the residents of the adjoining house (House B5), which is owned by the Applicant.

The justifications of this application are:

1. The proposed development will not contravene the planning intention of “GB” zone;
2. The land on the Application Site is exclusively used by the Applicant;
3. The proposed development is considered compatible with surrounding land uses;
4. The Application Site is subject to prior planning approvals granted for the same uses;
5. The proposed development will not generate adverse drainage, traffic, environmental, visual and landscape impacts on the surrounding areas;
6. The proposed development is considered geotechnically feasible; and
7. The proposed development is in compliance with TPB-PG No.10.

In view of the justifications as presented in this planning statement, it is hoped that members of the Board and relevant Government departments will give favourable consideration to renew the planning approval for a period of 3 years.



## 行政摘要

此規劃報告書向城市規劃委員會(“城規會”)呈交，旨在支持在新界西貢白沙灣立德台 B5 座丈量約份第 217 約地段第 1122 號及增批部分(部分)及毗連政府土地(“申請地點”)，作為期三年的臨時私人泳池及花園用途(“擬議發展”)的規劃許可續期申請。

申請地點的面積約 107 平方米 (包括政府土地約 62 平方米)，座落於 2006 年 10 月 27 日刊憲的北港及沙角尾分區計劃大綱核准圖 (圖則編號：S/SK-PK/11)上的「綠化地帶」。根據該大綱圖的註釋，不超過三年土地或建築物的臨時用途或發展，須先向城規會提出申請。

申請地點或其部分涉及兩宗獲批准的規劃許可 (申請編號: A/SK-PK/126 及 268)。上次批給的規劃許可(申請編號: A/SK-PK/268)期限將於 2025 年 2 月 18 日屆滿。申請人已部分履行上次規劃許可有關提交及落實排水建議的附帶條件。申請人提交的排水建議於 2024 年 10 月 21 日獲渠務署批准，其後已落實排水建議工程，並於 2024 年 12 月 6 日向規劃署提交已完成的排水設施紀錄，現待渠務署批准。由於現時規劃許可的期限即將屆滿，申請人因此遞交是項規劃許可續期申請。

擬議發展的用途性質及發展參數與上次獲批申請相同，包括一個面積約 35.8 平方米及深度約 1.1 至 1.6 米的私人泳池，其餘位置(面積約 71.2 平方米)將會用作私人花園。該泳池的瀘水設備將設於私人花園的西南角。有關私人泳池及花園僅供申請人所擁有立德台 B5 座的住客使用。

這宗申請的理據為：

1. 擬議發展不會違背「綠化地帶」的規劃意向；
2. 申請地點土地只可供申請人使用；
3. 擬議發展與鄰近發展的土地用途協調；
4. 申請地點之前獲相同私人泳池及花園用途的規劃許可；
5. 擬議發展不會對附近地方構成不良的排水、交通、環境、視覺及園景的影響；
6. 擬議發展在土力工程層面上是可行的；及
7. 擬議發展符合城規會規劃指引編號 10 的要求。

基於本規劃報告書所述的理據，敬希 各城規會委員及有關政府部門能批准是項申請，作為期三年的臨時用途。

## **TABLE OF CONTENTS**

## **Page**

<b>1. INTRODUCTION</b> .....	<b>1</b>
1.1 Purpose	
1.2 Organization of the Planning Statement	
<b>2. SITE CONTEXT</b> .....	<b>1</b>
2.1 Location	
2.2 Existing Condition	
2.3 Surrounding Land Uses	
2.4 Accessibility	
2.5 Land Status	
<b>3. PLANNING CONTEXT</b> .....	<b>3</b>
3.1 Outline Zoning Plan	
3.2 Previous Applications	
3.3 Similar Application within the same “GB” zone	
3.4 Town Planning Board Guidelines No. 10 (TPB PG-No.10)	
<b>4. DEVELOPMENT PROPOSAL</b> .....	<b>4</b>
4.1 Renewal of Planning Approval	
4.2 Drainage Proposal	
4.3 Geotechnical Planning Review Report	
<b>5. PLANNING JUSTIFICATIONS</b> .....	<b>5</b>
5.1 Not Contravene the Planning Intention of “GB” zone	
5.2 Land Exclusively Used by the Applicant	
5.3 Compatible with Surrounding Land Uses	
5.4 Prior Planning Approvals Granted for the Same Use at the Application Site	
5.5 No Adverse Impacts on the Surrounding Areas	
5.6 Geotechnically Feasible	
5.7 Compliance with TPB PG-No.10	
<b>6. CONCLUSION</b> .....	<b>7</b>

## **List of Figures**

Figure 1	Location Plan
Figure 2	Lot Index Plan
Figure 3	The Application Site and its Surrounding
Figure 4	Indicative Layout Plan
Figure 5	Section Plan

## **List of Appendices**

Appendix 1	Approved Drainage Proposal and Approval Letter for Partial Compliance with Approval Condition of Last Application No. A/SK-PK/268
Appendix 2	Submission of Implementation Record of the Approved Drainage Proposal to Planning Department on 6.12.2024
Appendix 3	Approved Geotechnical Planning Review Report of Last Application No. A/SK-PK/268



## 1. Introduction

### 1.1 Purpose

Pursuant to Section 16 of the Town Planning Ordinance, this Planning Statement is submitted to the Town Planning Board (the “Board”) to seek renewal of planning approval for a temporary private swimming pool and garden for a period of 3 years at Lot 1122 & Ext. (Part) and adjoining Government land in D.D. 217, House B5, Habitat, Pak Sha Wan, Sai Kung, N.T. (hereafter referred to as “the Application Site”). **Figure 1** shows the location of Application Site and the Lot Index Plan indicating the concerned lot is shown per **Figure 2**.

The Application Site, covering an area of about 107 sq.m. (including about 62 sq.m. of Government land), falls within an area zoned “Green Belt” (“GB”) on the Approved Pak Kong and Sha Kok Mei Outline Zoning Plan (OZP) No. S/SK-PK/11 gazetted on 27.10.2006. According to the Notes of the OZP, temporary use not exceeding a period of 3 years requires planning permission from the Board.

The Application Site, or part of it, is the subject of two previous approved applications (Application Nos. A/SK-PK/126 and 268). The last planning permission (No. A/SK-PK/268) for temporary private swimming pool and garden was approved by the Board on 18.2.2022 and will be expired on 18.2.2025. The Application Site currently consists of the existing private swimming pool and private garden of the adjoining House B5, which is owned by the Applicant.

The Applicant has partially complied with the approval condition of the last application on submission and implementation of the drainage proposal. While the drainage proposal had been approved by the Drainage Services Department (DSD) on 21.10.2024, the Applicant has completed the implementation of the approved drainage proposal and submitted implementation record of the approved drainage proposal to the Planning Department (PlanD) on 6.12.2024. The approval from DSD on the drainage works is pending. With the current planning approval to be expired on 18.2.2025, the Applicant hereby seeks renewal of planning approval for a further period of 3 years. There will also be no change in the proposed site layout and nature of use from the last application.

### 1.2 Organization of Planning Statement

This planning statement is divided into 6 chapters. Chapter 1 is an introduction outlining the above background of the planning application. Chapter 2 will then illustrate the site context and land status followed by Chapter 3 which describes the planning context in details. Chapter 4 gives the particulars of the proposed development. Detailed accounts of planning justifications of the proposed development are presented in Chapter 5. The planning statement finally concludes with a summary in Chapter 6.

## 2. Site Context

### 2.1 Location

The Application Site is located at the enclosed backyard of the adjoining house (i.e. House B5) of Habitat, Pak Sha Wan, Sai Kung, New Territories, which is located at the east of Hiram’s Highway.

## 2.2 Existing Condition

The Application Site has a total area of about 107 sq.m. (including about 62 sq.m. of Government land) and is currently occupied by a private swimming pool and back garden of the adjoining house (i.e. House B5, Habitat, Pak Sha Wan). The filtration plant equipment is placed at the southwestern corner of the garden. The Application Site, along with the adjoining house, are fenced off.

## 2.3 Surrounding Land Uses

The surrounding areas are mainly rural in character intermixed with low-rise and low-density residential uses. The immediate north and south are private gardens of the nearby houses of Habitat while the residential development known as Ruby Chalet is situated at the west. To the east across Hiram's Highway is the Pak Sha Wan Tam Wah Ching Sea Activity Centre, which is a scout camp site for watersport recreational activities. To the further south sees several low-density residential developments such as Hebe's Villa, as well as the village settlement of Kau Sai San Tsuen located in an area zoned "Village Type Development" ("V").

## 2.4 Accessibility

The Application Site is located within an enclosed private backyard of the adjoining House B5 of Habitat and can only be accessed through the house. The House B5 is accessible by an internal access road within Habitat leading to Hiram's Highway. A plan showing the vehicular access to the House B5 is provided at **Figure 3**.

## 2.5 Land Status

According to the records of Land Registry, the subject lot is held under New Grant No. SK5684 and demised for pleasure garden purpose only.

The government land within the Application Site was previously covered by a Short Term Tenancy (STT) No. SX2971 but was terminated after the change in ownership in 2010. The Applicant acquired the House B5 in 2012 with the swimming pool and garden in use, in which they later received a warning letter from the Lands Department (LandsD) regarding the unlawful occupation of the said government land in 2018. To rectify the situation, the Applicant has later applied for a STT in 2018 for the use of government land. The Applicant was informed by the LandsD that the proposed STT area fell within the area zoned "GB" on the Approved Pak Kong and Sha Kok Mei OZP and the temporary use of the swimming pool and private garden required planning permission from the Board. On 18.2.2022, the Applicant has obtained planning approval (No. A/SK-PK/268) from the Board.

On 31.7.2023, the Applicant submitted an application for STT to the LandsD for regularization of the use of Government land. On the request of the LandsD, the Applicant has settled the initial toleration fees for tolerating the occupation of the government land from 2012 and administrative fee for STT. Meanwhile, LandsD stated that the STT application would only be further proceeded upon compliance of the approval condition of submission and implementation of the drainage proposal. The Applicant has kept close contact with the LandsD by informing them the progress of compliance with approval condition.



### 3. Planning Context

#### 3.1 Outline Zoning Plan

The Application Site falls within an area zoned “Green Belt” (“GB”) on the Approved Pak Kong and Sha Kok Mei OZP No. S/SK-PK/11 gazetted on 27.10.2006 (see **Figure 1**). The planning intention of “GB” zone is “primarily for defining the limits of urban and sub-urban development areas by natural features and to contain urban sprawl as well as to provide passive recreational outlets. There is a general presumption against development within this zone.”

According to the Notes of the OZP, temporary use or development of any land or building not exceeding a period of three years requires planning permission from the Board.

#### 3.2 Previous Applications

The Application Site, or part of it, is involved in 2 previously approved planning applications as follows:

Application No.	Applied Use	Decision	Decision Date
A/SK-PK/126	Temporary Private Swimming Pool for a Period of 3 Years	Approved with Conditions	29.8.2003
A/SK-PK/268	Temporary Private Swimming Pool and Garden for a Period of 3 Years	Approved with Conditions	18.2.2022

The Applicant has partially complied with the approval condition of the last application (No. A/SK-PK/268) i.e. the submission and implementation of a drainage proposal as follows:-

Conditions	Approval Date	Approval Letter
Submission of a drainage proposal	21.10.2024	see <b>Appendix 1</b>

The Applicant has completed the implementation of the approved drainage proposal and later submitted the implementation record of the drainage works (see **Appendix 2**) to PlanD on 6.12.2024. The approval from DSD is pending.

#### 3.3 Similar Application within the same “GB” Zone

A similar application for proposed temporary private swimming pool (Application No. A/SK-PK/111) was approved by the Board within the same “GB” zone of the Pak Kong and Sha Kok Mei OZP. The particulars of the approved application are summarized as below:

Application No.	Applied Use	Location	Site Area (m <sup>2</sup> )	Decision (Decision Date)
A/SK-PK/111	Proposed Temporary Private Swimming Pool for a Period of 3 Years	Lot 1112 & Ext. in D.D.217, Pak Sha Wan, Sai Kung, N.T.	93	Approved with Conditions (21.12.2001)

#### 3.4 Town Planning Board Guidelines No. 10 (TPB PG-No.10)

According to TPB PG-No.10, as the Application Site falls within the “GB” zone, the proposed development is subject to the following relevant planning criteria: -

- (a) The design and layout of any proposed development should be compatible with the surrounding area. The development should not involve extensive clearance of existing natural vegetation, affect the existing natural landscape, or cause any adverse visual impact on the surrounding environment;
- (b) The proposed development should not overstrain the capacity of existing and planned infrastructure such as sewerage, roads and water supply. It should not adversely affect drainage or aggravate flooding in the area; and
- (c) The proposed development should not be susceptible to adverse environmental effects from pollution sources nearby such as traffic noise, unless adequate mitigating measures are provided, and it should not itself be the source of pollution.

#### 4. Development Proposal

##### 4.1 Renewal of Planning Approval

The Applicant seeks renewal of planning approval to use the Application Site for temporary private swimming pool and garden for a period of 3 years. There would be no changes in the nature of the use and the development parameters from the last application (Application No. A/SK-PK/268), in which the private swimming pool occupies an area of about 35.8 sq.m. (about 1.1m to 1.6m in depth) with the remaining area used for private garden purpose. The layout plan and section plans are shown respectively in **Figures 4 and 5**.

The key development parameters of the application are shown below:-

Application Area	About 107 sq.m. (including about 62 sq.m. of Government land)
Swimming Pool Area	About 35.8 sq.m.
Depth of Swimming Pool	About 1.1 – 1.6m
Garden Area	About 71.2 sq.m.

The temporary private swimming pool and garden will be solely used by the residents of House B5, Habitat for leisure and landscape purposes only. The Application Site, together with adjoining House B5 is fenced off. The filtration plant equipment is placed near the southwest corner of the Application Site at the garden. The swimming pool water would be drained through the existing stormwater drainage system after filtration.

##### 4.2 Drainage Proposal

The drainage proposal submitted in compliance of the approval condition of the last application (No. A/SK-PK/268) has been approved by the DSD on 21.10.2024 (see **Appendix 1**). The Applicant has later completed the implementation of approved drainage proposal and submitted the record of provision of drainage facilities on site to PlanD on 6.12.2024 (see **Appendix 2**). Approval from DSD is pending.

Since the layout and development parameters of the proposed development remain unchanged, the Application will retain the same drainage design of the approved proposal by reinstating the drainage network and unblocking existing u-channels and catchpits.

##### 4.3 Geotechnical Planning Review Report (GPRR)

As a slope feature is situated at the immediate east of the Application Site, the Applicant has submitted a GPRR (see **Appendix 3**) for the last application (No. A/SK-PK/268), in which the

proposed development is considered feasible from geotechnical point of view. Since the layout and development parameters of the proposed development remain unchanged, the proposed development could be considered geotechnical feasible under the same condition.

## **5. Planning Justifications**

### **5.1 Not Contravene the Planning Intention of “GB” zone**

The Application Site falls within the “GB” zone on the Approved Pak Kong and Sha Kok Mei OZP No. S/SK-PK/11. While the planning intention of “GB” zone is primarily for defining the limits of urban and sub-urban development areas by natural features, the proposed development is a temporary use in nature and a passive use solely used by the residents of the adjoining house. Therefore, given the temporary nature of the proposed development, it will not jeopardize the long-term planning intention of the “GB” zone.

### **5.2 Land Exclusively Used by the Applicant**

The Application Site is located within an enclosed private backyard of the adjoining house and had been occupied for the applied uses since 2003. Since the Application Site can only be accessed from the adjoining house and fenced off at all other sides, it cannot be used separately by any users other than the Applicant, who is the owner of the House B5 and will not affect the local residents.

### **5.3 Compatible with Surrounding Land Uses**

The surrounding areas of the Application Site are mainly low-rise, low-density residential development and swimming pools and gardens are commonly observed in the locality. The proposed private swimming pool and garden are small in scale and therefore considered not incompatible with the existing uses and the local character of the area.

### **5.4 Prior Planning Approvals Granted for the Same Use at the Application Site**

The Application Site is the subject of 2 previous planning approvals (Nos. A/SK-PK/126 and 268). The last application (No. A/SK-PK/268) for the same use was approved by the Board for a period of 3 years on 18.2.2022. The Applicant has partially complied with the approval conditions of the last application with their submission of implementation of the drainage proposal currently pending approval from DSD. Since there is no change on the nature of use and the character of the surrounding areas, this application is considered acceptable within the subject “GB” zone and in line with the previous decision of the Board.

### **5.5 No Adverse Impacts on the Surrounding Areas**

Owing to the nature of the proposed use and small scale in development, no adverse impacts are anticipated on the surrounding areas, as discussed below:

#### Drainage

The submitted drainage proposal for the last application (No. A/SK-PK/268) was approved by DSD on 21.10.2024. While the implementation of the drainage facilities is under reviewed and pending approval by DSD, the Applicant will rectify the drainage facilities if there is any further comment from DSD. Meanwhile, given no flooding history of the Application Site and no change in nature and development parameters of the proposed development, the Applicant will maintain the existing drainage facilities on the Application Site. As such, no adverse drainage impact is anticipated.



### Traffic

Since the proposed development is small in scale and sole private use of the residents of adjoining house, no traffic will be generated from the proposed development. As such, it is unlikely to have adverse traffic impact on the surrounding areas.

### Environmental

The temporary private swimming pool and private garden will be solely used by the residents of adjoining house for leisure and landscape purposes only. The anticipated frequency of use of the swimming pool is low. There will not be additional lighting installed to serve the swimming pool. Thus, the proposed development will not induce any adverse environmental impact on the subject locality with no air, noise and light pollution anticipated.

### Visual and Landscape

The Application Site is situated in an area of rural landscape character comprising low-density houses. There is no tree or significant vegetation found in the Application Site. Since the current private swimming pool and garden has been built since 2003 with no significant change in nature and layout since then, the proposed development is considered compatible with its surrounding environment with no foreseeable adverse visual or landscape impact anticipated.

## 5.6 Geotechnically Feasible

The Applicant has submitted a GPRR for the last application (No. A/SK-PK/268) for the slope feature at the immediate east of the Application Site, which has demonstrated that the proposed development is considered to be feasible from geotechnical point of view. Given no change in nature of use and development parameters, the findings from the submitted GPRR would still be applicable for this application with no foreseeable geotechnical concerns.

## 5.7 Compliance with TPB PG-No.10

The Application Site falls within the "GB" zone on the Approved Pak Kong and Sha Kok Mei OZP, which is subject to TPB PG-No.10 as noted in Section 3.4 of this Planning Statement. The proposed development could be considered in compliance of the planning criteria stipulated in TPB PG-No.10 as follows: -

### (a) Compatibility of the Proposed Development

The proposed development is for the same uses as the previous planning approval (No. A/SK-PK/268), which is private swimming pool and garden. As swimming pools and gardens are commonly found in the similar low-rise residential developments and the proposed development is small in scale, the proposed development is considered compatible with the surrounding land uses.

### (b) Capacity of Existing and Planned Infrastructure

Given the small scale in development, the proposed development will not overstrain the capacity of existing and planned infrastructure such as sewage and water supply.

(c) Potential Environmental Impacts

As elaborated above, since the propose development is for private use and small in scale, no adverse drainage, traffic, environmental, visual and landscape impacts are anticipated from the proposed development.

As such, the proposed development can be deemed compatible with all the relevant planning criteria listed in TPB PG-No.10 and be considered a tolerable development within the “GB” zone at the Application Site.

## 6. Conclusion

The Application Site falls within “GB” zone on the Approved Pak Kong and Sha Kok Mei OZP No. S/SK-PK/11. The last application of the Application Site (No. A/SK-PK/268) for the same private swimming pool and garden uses was approved by the Board on 18.2.2022.

The Applicant has partially complied with the approval condition of the last application (No. A/SK-PK/268) on submission and implementation of a drainage proposal with the drainage proposal approved by DSD on 21.10.2024. While the Applicant has submitted the implementation record on 6.12.2024, the approval from DSD is still pending. As the previous planning approval will be expired on 18.2.2025, the Applicant has submitted this application to renew the current planning approval to continue the usage of the existing private swimming pool and garden.

There will be no change in the nature of use and development parameters from the last application. The existing private swimming pool and garden will be used solely by the residents of the adjoining house (House B5). In view of the existing site conditions and surrounding land uses, the proposed development is considered compatible with the surrounding developments and will not jeopardize the long-term planning intention of the “GB” zone given its temporary nature.

Given its previous approval records and the small scale in development, the proposed temporary use will not cause adverse environmental, drainage, traffic, visual and landscape impacts on the surroundings areas. The proposed development is therefore considered to be in compliance with TPB PG-No.10.

In view of the justifications stated herein, we sincerely hope that the Board will give favourable consideration to renew the planning approval of this application for a period of 3 years.

Lawson David & Sung Surveyors Limited  
December 2024

## Figures

---

- Figure 1 Location Plan
- Figure 2 Lot Index Plan
- Figure 3 The Application Site and Its Surrounding
- Figure 4 Indicative Layout Plan
- Figure 5 Section Plan





# Location Plan

(Extracted from Approved Pak Kong and Sha Kok Mei Outline Zoning Plan No. S/SK-PK/11)

Figure 1

1 : 7500



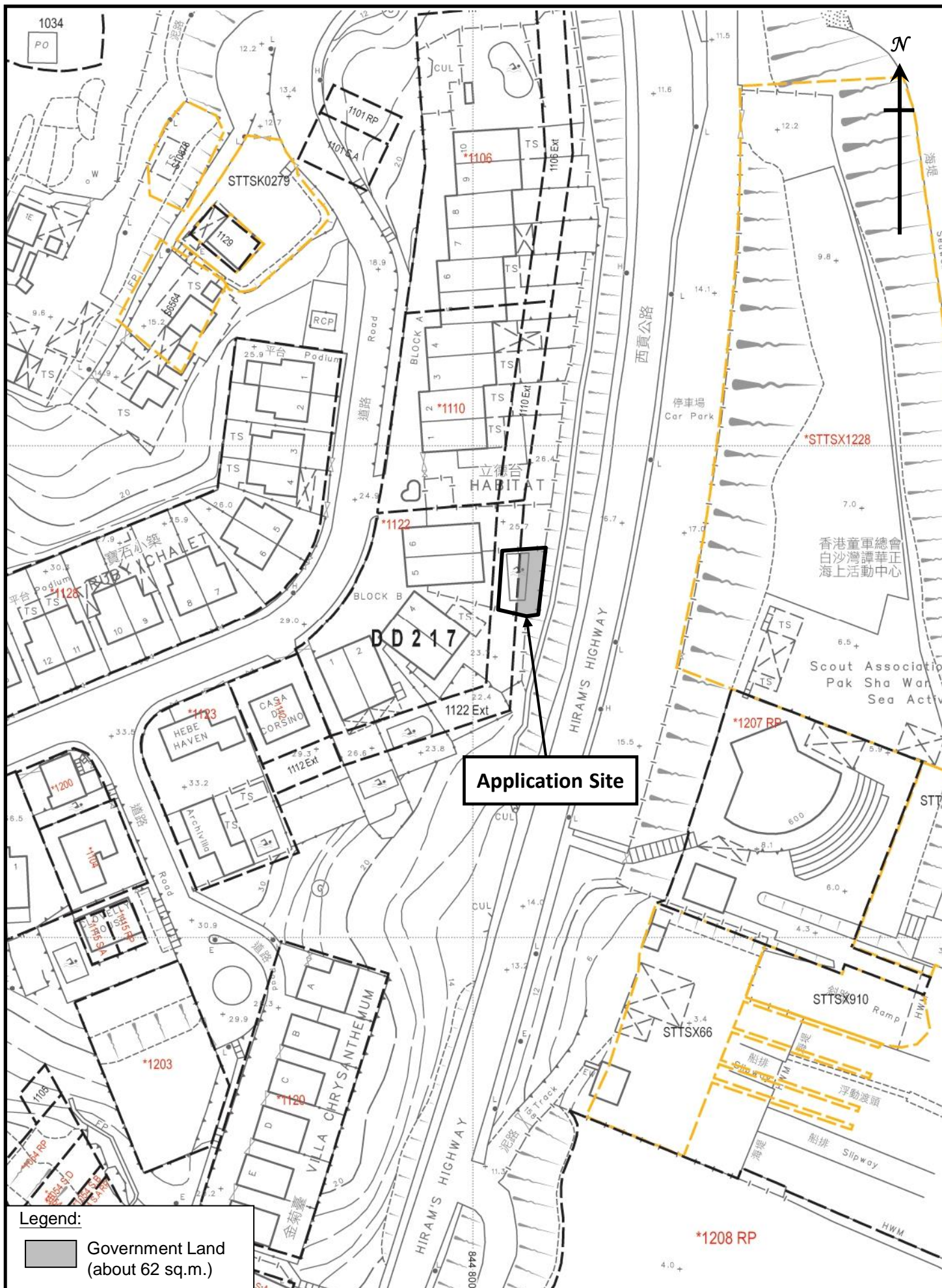
羅迅測計師行

**Lawson David & Sung**

SURVEYORS LIMITED

Property Consultants • Planning • Valuers • Auctioneers  
Estate Agency Licence No. C-006328





Lot Index Plan

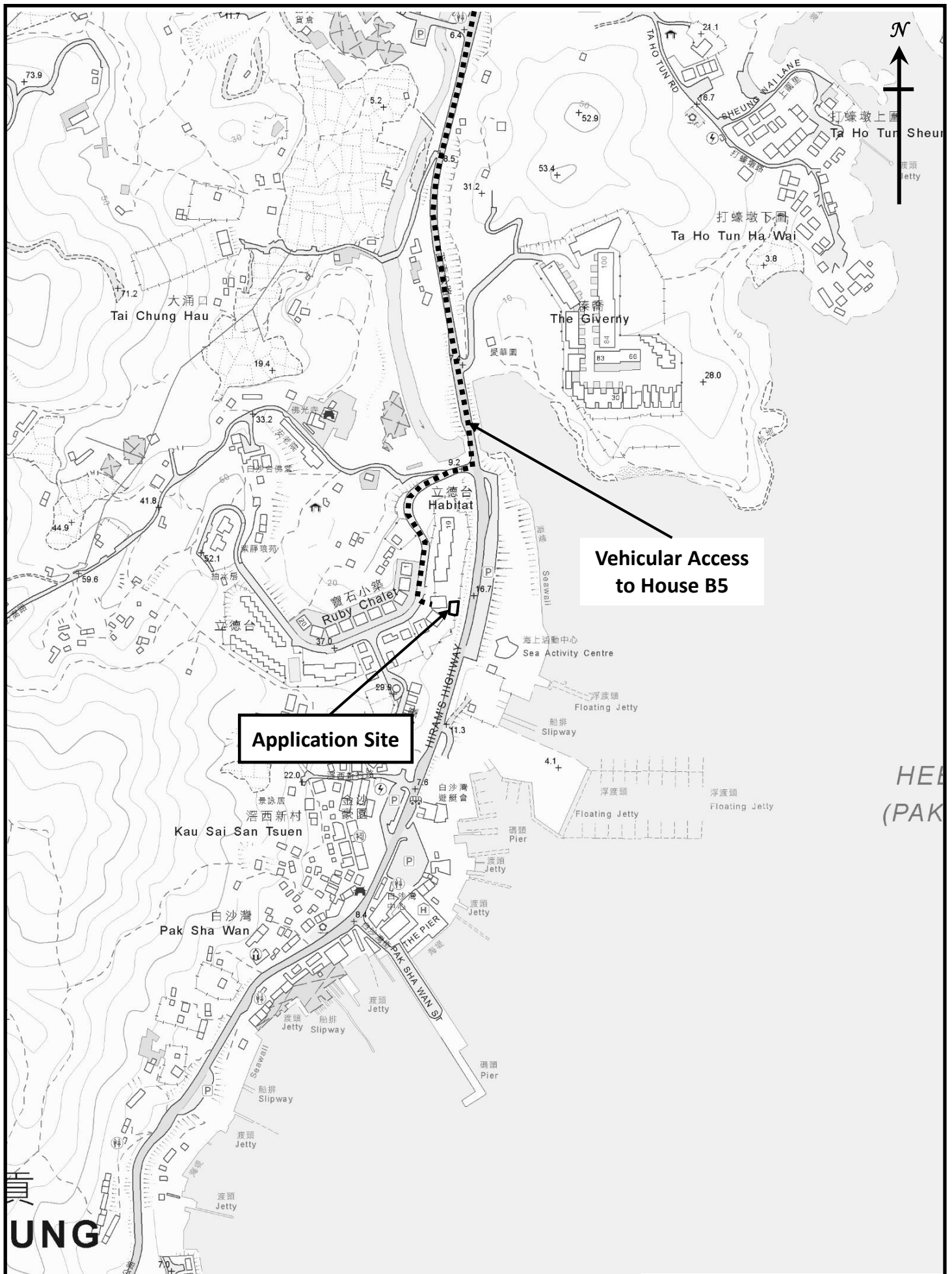
Figure 2

1 : 1000



羅迅測計師行  
**Lawson David & Sung**  
SURVEYORS LIMITED

Property Consultants • Planning • Valuers • Auctioneers  
Estate Agency Licence No. C-006328



The Application Site and Its Surrounding

Figure 3

1 : 5000



羅迅測計師行  
Lawson David & Sung

SURVEYORS LIMITED  
Property Consultants • Planning • Valuers • Auctioneers  
Estate Agency Licence No. C-006328





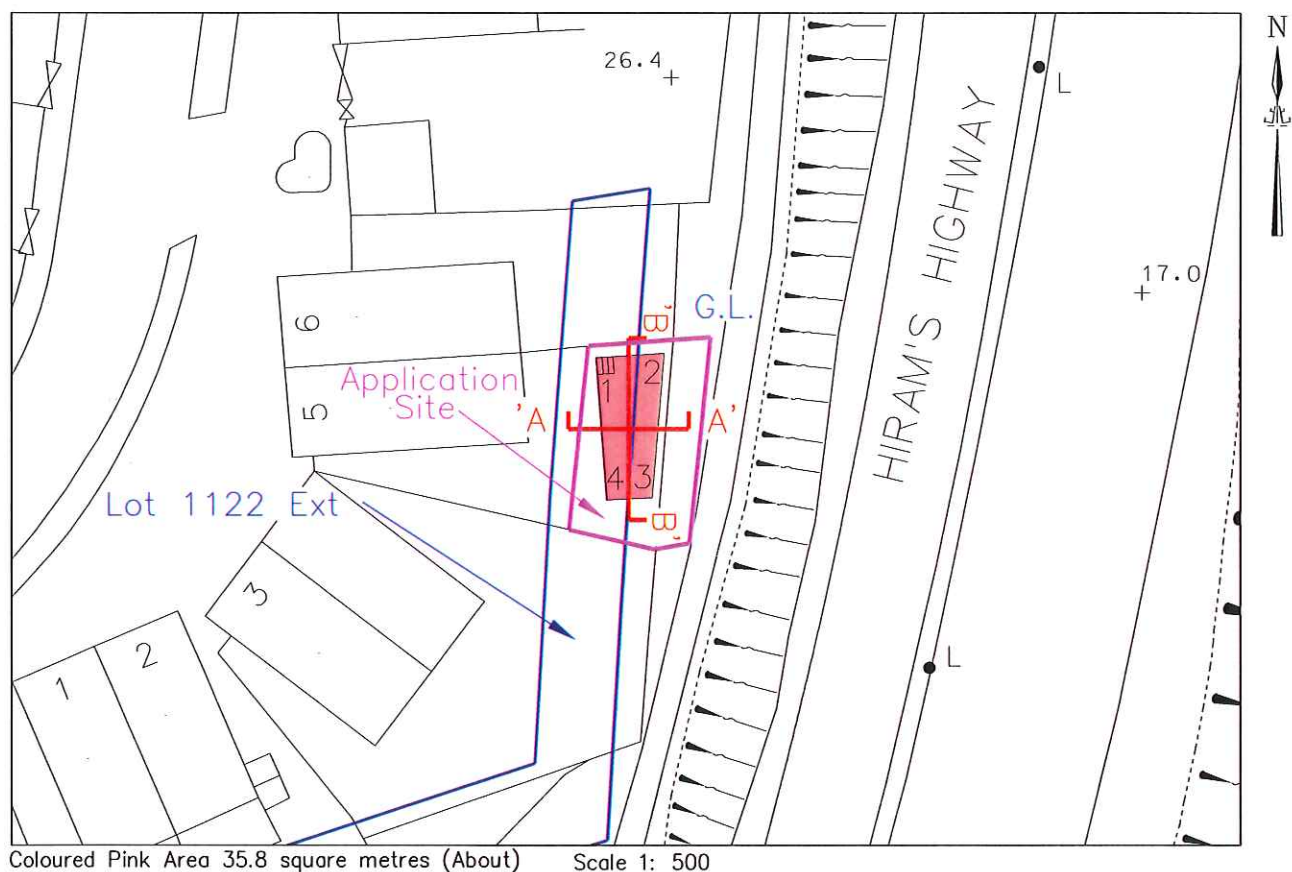
C K LAU SURVEYORS LIMITED

劉志光測量師行有限公司

Authorized Land Surveyors · Professional Surveyors

Land Boundary Surveys · Land Subdivision · Land Planning & Development

## Plan of Existing Swimming Pool on Lot 1122 Ext. and Government Land in D.D.217, Sai Kung



### Legend:

Steps	Artificial Slope	Open-sided Structure	Sections & Section Numbers
Spot Height	Contour	Gate	Application Site
Lamp Post	Building	Lot Boundary (For identification purpose)	

Pt.	Co-ordinate Data (1980 Datum)		Reduced Level (m)
	Northing (m)	Easting (m)	
1	825278.012	844806.771	25.797
2	825278.318	844811.298	25.791
3	825268.779	844810.496	25.732
4	825268.618	844807.464	25.744

Survey Sheet No.: 7-SE-200

Plan No.: SK/217/POOL/D1

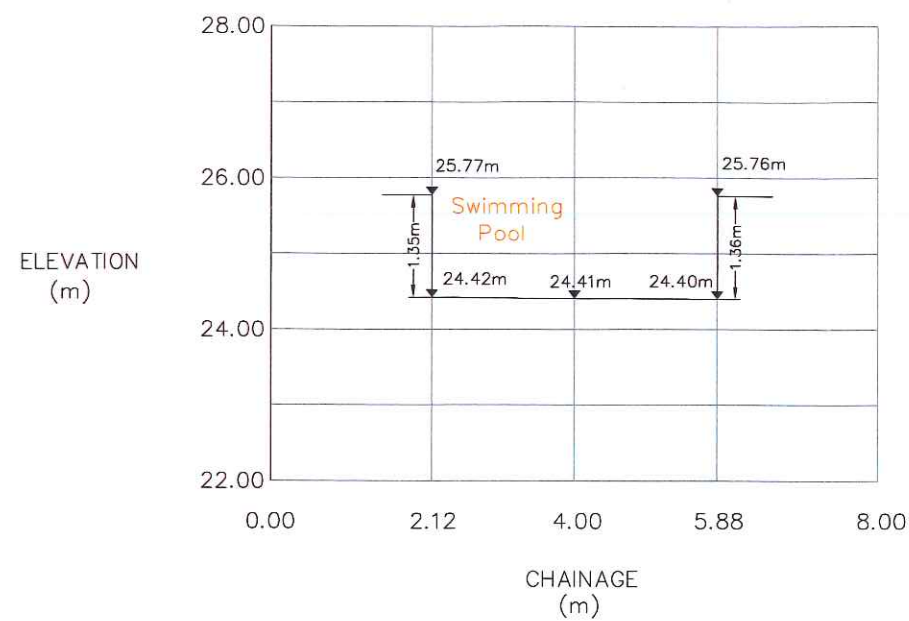
Certified by:

C. K. LAU MSc, FHKIS MRICS RPS(LS) ALS

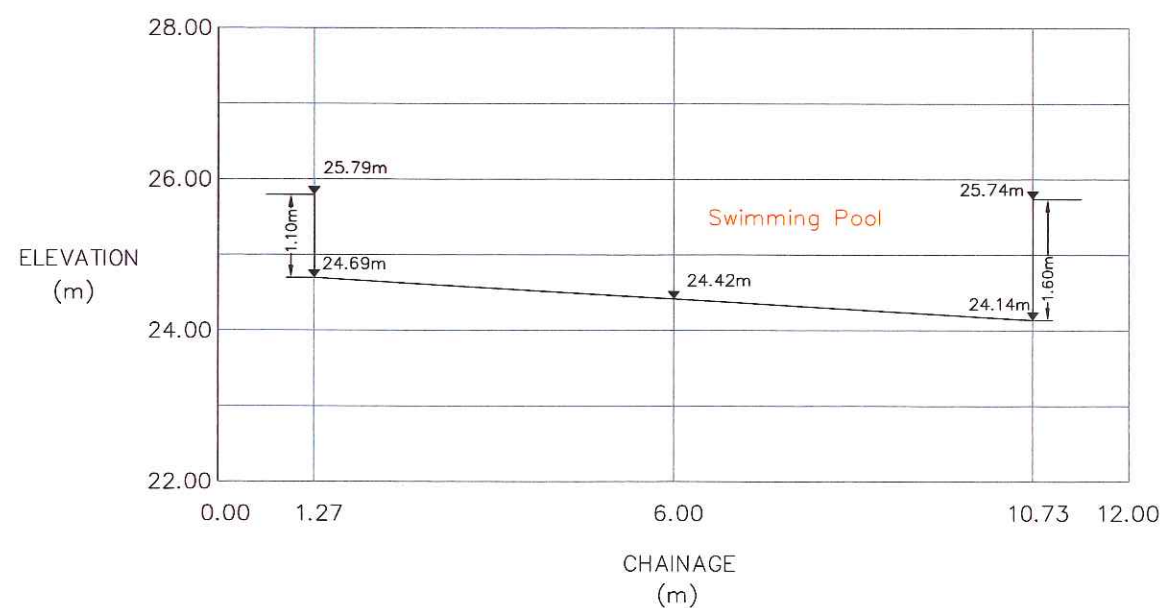
Authorized Land Surveyor

Date: 7th May 2019

Figure 4: Layout of the Swimming Pool



Section 'A - A'



Section 'B - B'

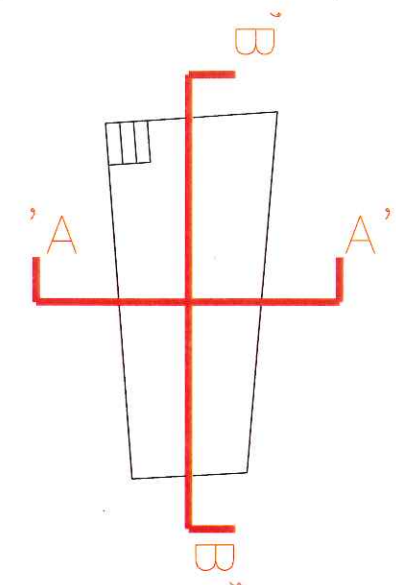
## Notes:

All levels are in meters above P.D.

## Legend:

25.76m Spot Level  
1.35m Depth of swimming pool

## Index (Not to Scale)



## Drawing Title:

Sectional Plan of Swimming Pool on Lot 1122 Ext and Government Land in D.D.217, Sai Kung

## Drawing No.:

SP/CKL\_2019\_059/Pool

Rev 00

Survey Date:  
April 2019

Scale:  
1:100 (A3)

Drawn by:  
Jason

Checked by:  
Ivan

## Certified by:

C. K. Lau  
MSc FHKIS MRICS  
MHKIU RPS(LS) ALS  
Authorized Land Surveyor  
Date: 7th May 2019

Figure 5: Sections of the Swimming Pool

## Appendix 1

---

Approved Drainage Proposal and Approval Letter for Partial Compliance with  
Approval Condition of Last Application No. A/SK-PK/268



**Drainage Design Report for  
Proposed Temporary  
Private Swimming Pool and Garden for  
a Period of 3 Years at  
Lot 1122 Ext and Adjoining Government Land in D.D. 217,  
House 5B, Habitat, Pak Sha Wan,  
Sai Kung, New Territories  
(2<sup>nd</sup> Resubmission)**

*Philip So & Associates Consulting Civil & Geotechnical Engineers Ltd.  
August 2024*

## **CONTENTS**

### **Responses to DSD's Comments**

1. Introduction	1
2. Drainage Design	2

## **FIGURE**

Figure 1      Site Location Plan

## **PHOTOS**

## **APPENDICES**

Appendix A	Hydraulic Checking
Appendix B	Drainage plan approved by Buildings Department on 8 July 1975 with BD Ref No.: 4/9098/74
Appendix C	Swimming pool (A&A Works) approved by Buildings Department on 28 Jun 1994 with BD Ref No.: 2-3/998/74

### **Responses to DSD's Comments**

DSD's Comments	Our responses to DSD's Comments
1) The applicant should demonstrate, with the support document, that the existing drainage system all the way down to the ultimate discharge point (i.e to the sea) has sufficient capacity and in good condition to cater for the surface runoff/water being discharged from the proposed development. However, such information is not covered in the revised report.	It is noted that swimming pool at House B5, Habitat, Pak Sha Wan has been approved by Building Authority on 28 Jun 1994, the overflow water from the swimming pool will be discharged through a $\phi 50$ over flow pipe to existing u-channel (see Vertical Line Diagram in Drawing No. P-1A in Appendix C). Although the dimension of the existing swimming pool is different from the approval drawing, the plan area of the existing swimming pool ( $35.7\text{m}^2$ ) is approximately the same as the approved swimming pool ( $35.9\text{m}^2$ ). As such, the existing drains are capable to discharge the overflow from the swimming pool.
2) According to the part print of the Buildings Department's approval drawing dated 8 July 1975, it appears that there is no swimming pool mentioned in the drawing. As such, we consider that the existing drainage system was not intended to deal with the discharge of the pool water at the time of approval. In view of additional flow being discharged to the existing drainage system, please critically review, with the supporting document, whether the existing drainage system is capable of dealing with the surface runoff/pool water being discharged from the proposed development.	Ditto.  In addition, discharge from the $\phi 50$ over flow pipe has been considered in the drainage checking.

DSD's Comments	Our responses to DSD's Comments
3) Please confirm whether there is any flow being discharged to the existing slope drainage system for the feature no. 7SE-D/C86.	No any flow being discharged to the existing slope drainage system for Feature No. 7SE-D/C86.
4) Please clarify the maintenance responsibilities of the reinstated 300mm U-channel.	Owners of Lot 1122 & 1122 Ext. in D.D. 217 are responsible for the maintenance of the 300 u-channel.
5) Please supplement site photos showing the current conditions of the existing 300mm U-channels and stepped U-channel as well as the associated catchpits for our consideration.	Site photos indicate that the existing u-channels and the associated catchpits are blocked and covered by dense vegetation. Dense vegetation shall be removed, and the u-channels and the associated catchpit shall be unblocked. Repair works for the drainage network shall be carried out by the lot owners if deterioration found.
6) Please be advised that limited desk-top checking by Government on the drainage proposal covers only the fundamental aspects of the drainage design. The AP shall ensure that his proposed drainage works will not cause any adverse drainage or environmental impact in the vicinity. The AP shall check and ensure that the proposed drainage works and the downstream drainage systems have adequate capacity and are in good condition to accommodate all discharge water collected from his lot and all upstream catchments. The lot owner shall be responsible to effect any subsequent upgrading of these proposed works and the downstream drainage systems in respect of design, construction and maintenance.	Noted.



## **1. Introduction**

Philip So & Associates Ltd. is appointed by the subject Lot owner to prepare the drainage proposal for the proposed temporary swimming pool to replace the existing swimming pool with the same dimensions at Lot 1122 Ext and Adjoining Government Land in D.D. 217, House 5B, Habitat, Pak Sha Wan, Sai Kung, New Territories

## **2. Drainage Design**

Site inspection reveals that the existing u-channels and catchpits situated along the existing wall toe of House B5 are blocked and covered by dense vegetation. The layout of the drains match with the drainage plan approved by Buildings Department on 8 July 1975 with BD Ref No.: 4/9098/74. The approval drawing is attached in Appendix B.

The concerned u-channels and the associated catchpits shall be unblocked. Repair works for the drainage network shall be carried out if deterioration found.

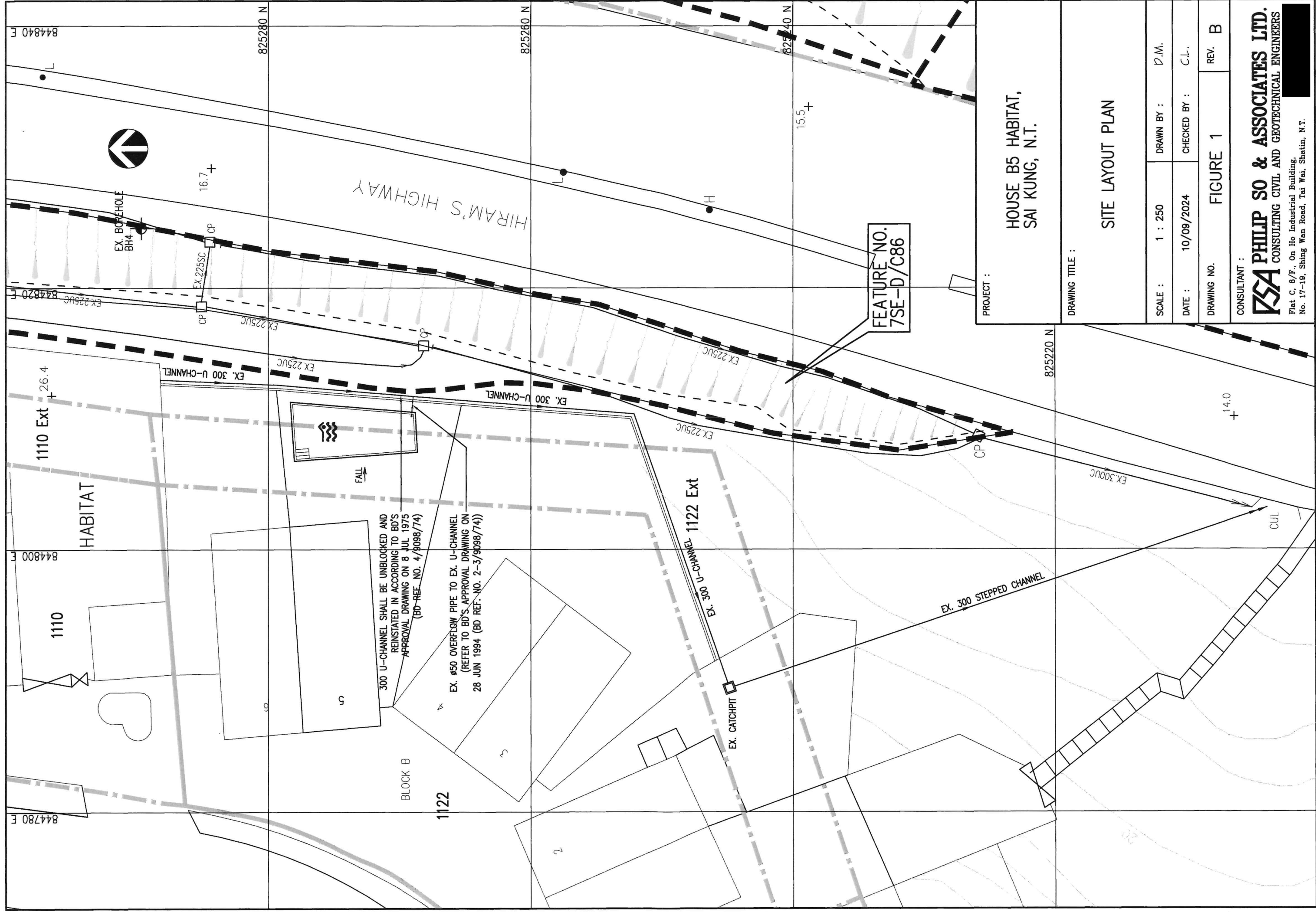
The hydraulic capacity of the existing surface drainage was checked by using “Rational Method” as recommended in “Geotechnical Manual for Slopes”. Runoff was calculated by assuming the runoff coefficient K to be 1.0 for concrete pavement areas and 0.30 for grassland area, and time of concentration was calculated by using Bransby William’s equation. The proposed drainage system was conservatively checked and designed for 1-in-50 years return period storm for Urban Drainage Branch System. The calculation and checking of the proposed surface drainage for the feature is presented in Appendix A.

Details of the proposed drainage works are presented in the Figure 1.

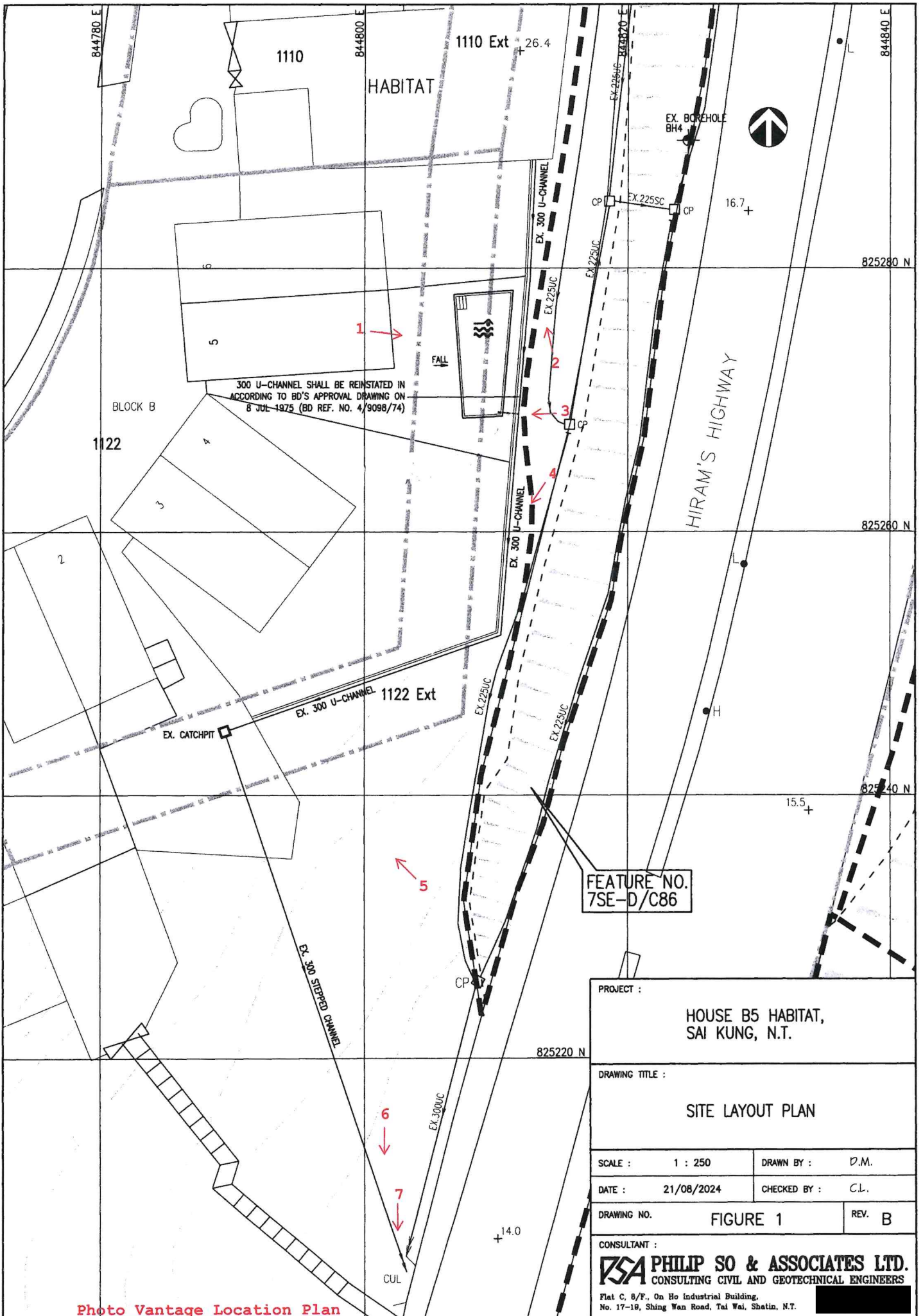
**FIGURE**

**Figure 1**  
Site Location Plan





## **PHOTOS**




PROJECT :		HOUSE B5 HABITAT, SAI KUNG, N.T.	
DRAWING TITLE :			
SITE LAYOUT PLAN			
SCALE : 1 : 250		DRAWN BY : D.M.	
DATE : 21/08/2024		CHECKED BY : C.L.	
DRAWING NO.		FIGURE 1	REV. B
CONSULTANT :			
 <b>PHILIP SO &amp; ASSOCIATES LTD.</b> CONSULTING CIVIL AND GEOTECHNICAL ENGINEERS			
Flat C, 8/F., On Ho Industrial Building, No. 17-19, Shing Wan Road, Tai Wai, Shatin, N.T.			

Photo Vantage Location Plan





Photo 1: Photo showing the existing swimming pool



Photo 2: Photo showing existing u-channel situated along the wall toe





Photo 3: Photo showing the existing 300UC and  $\phi 50$  over flow pipe

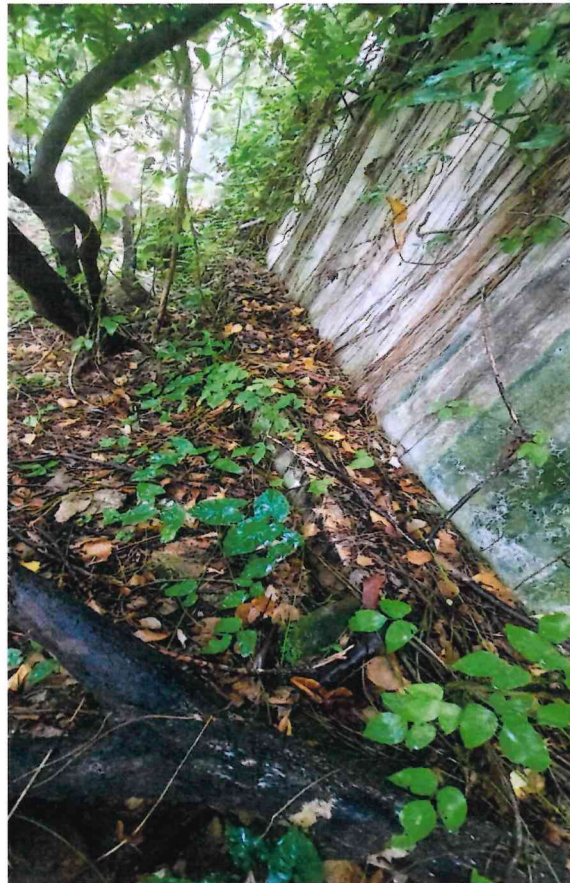


Photo 4: Photo showing the existing 300UC

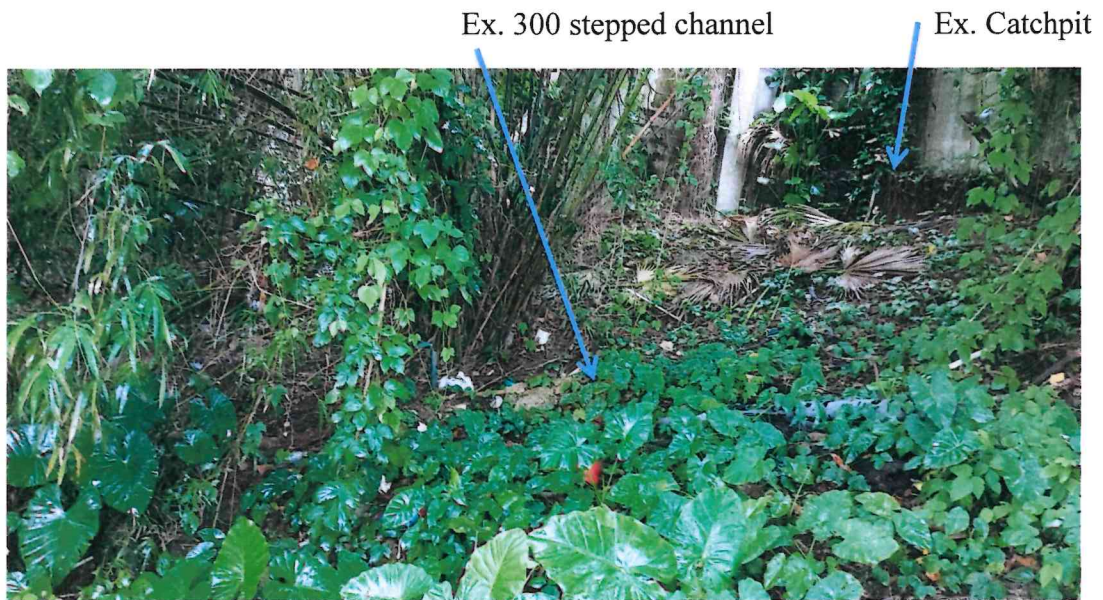


Photo 5: Photo showing the existing 300 stepped channel and catchpit



Photo 6: Photo showing the existing 300 stepped channel





Photo 7: Photo showing the existing outlet

## **Appendix A**

### Hydraulic Checking



### Design Parameters and Assumptions for Stormwater Drains

1. The design of surface drainage system is based on the guidelines given in the TGN43, Stormwater Drainage Manual & Corrigendum No. 1/2022
2. Concrete for the drainage channel shall be Grade 20D or better.
3. All design pipe are using concrete pipe / DI pipe
4. Maximum velocities of flow is 4.0 m/s.
5. The design intensity is based on a 50-years return period (Ref. Stormwater Drainage Manual 2018 p.137)  
The design intensity is based on a 10-years return period for temporary drains (Ref. Slope Manual 1984).
6. The flow in the catchment area is calculated using the 'Rational Method'.

The formula is  **$Q = k \times i \times A / 3600$**

where

Q	= Maximum Runoff (litres / sec)
i	= Design mean intensity of rainfall ( mm / hr )
A	= Area of catchment ( m <sup>2</sup> )
k	= Runoff coefficient
	*(Ref. Stormwater Drainage Manual 2018 P.37)
k	= 1 for paved area
	= 0.3 steep grassland with heavy soil
	= 0.2 steep sandy soil ground
	= 0.1 flat sandy soil ground

7. The time of concentration is calculated using the modified form of original Bransby - Williams equation.

$$t = 0.14465 \times L / ( H^{0.2} \times A^{0.1} )$$

where

t	= Time of concentration (min)
H	= Average fall ( m / 100m ) from the summit of catchment to the pt. of design.
A	= Area of catchment ( m <sup>2</sup> )
L	= Distance in ( m ) measured on the line of natural flow between the design section and that pt. of the catchment from which water would take the longest time to reach the design section.

8. The stormwater collected by the surface drainage system is connected to the existing public channels or manholes.
9. Area is divided into sub-catchment areas for the calculation of surface runoff. Runoff is collected by U-channels.

### Design of Pipes

The velocity of flow in pipe is calculated using the Manning's equation as follows :

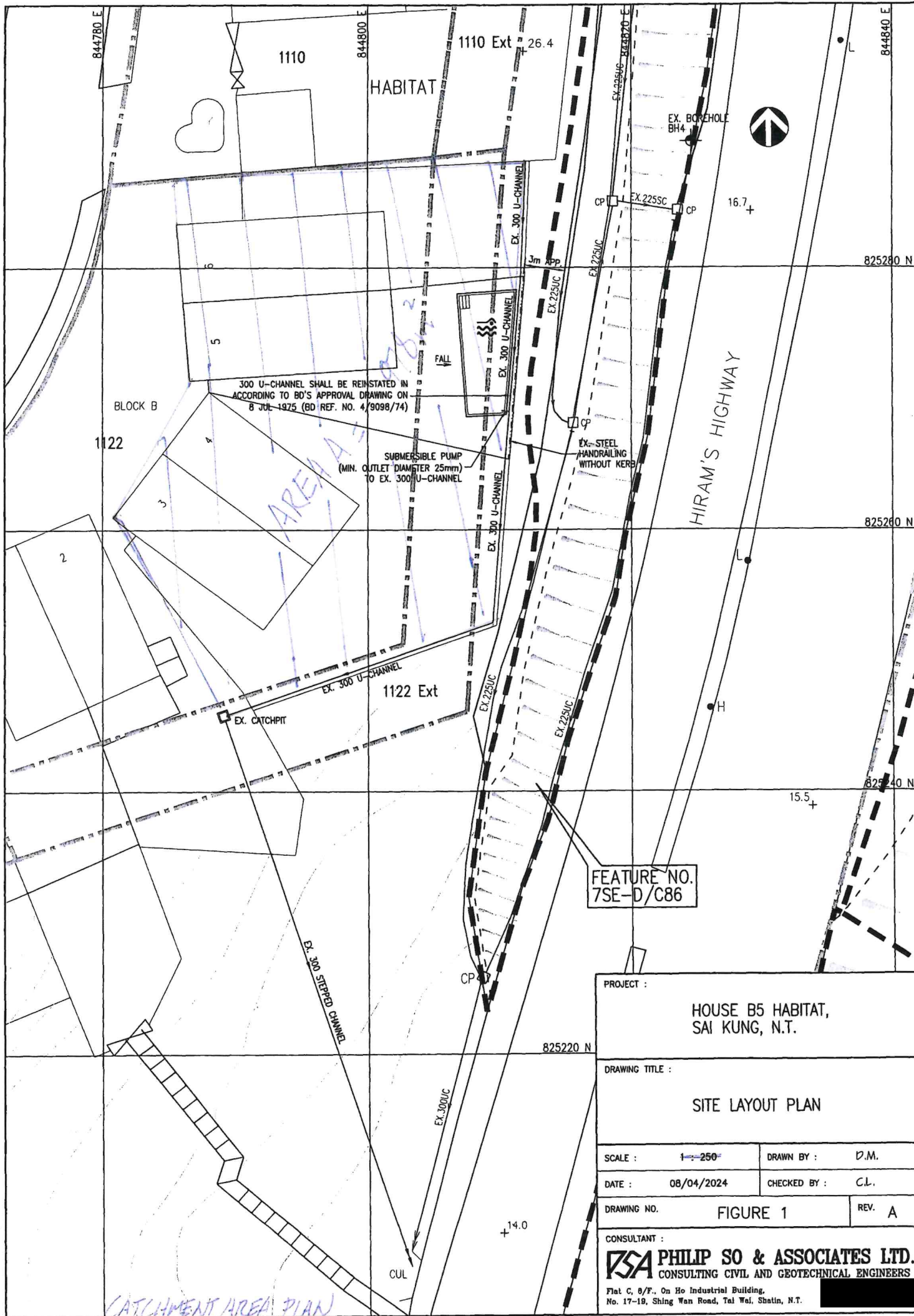
$$v = \frac{m^{2/3} \times s^{1/2}}{n}$$

where m = Hydraulic mean depth (i.e. d/4 for full flow)  
s = Gradient of pipe  
n = Roughness factor (0.013 for cement mortar finishing / DI Pipe)  
d = Diameter of pipe

Therefore, for laws of continuity, we have

$$Q = A \times v$$

$$\therefore d = \left( \frac{4Qn}{0.25^{2/3} \times \pi \times s^{1/2}} \right)^{3/8}$$



PROJECT :		HOUSE B5 HABITAT, SAI KUNG, N.T.	
DRAWING TITLE :			
SITE LAYOUT PLAN			
SCALE :	1:250	DRAWN BY :	D.M.
DATE :	08/04/2024	CHECKED BY :	C.L.
DRAWING NO.	FIGURE 1		REV. A
CONSULTANT :			
<b>PSA PHILIP SO &amp; ASSOCIATES LTD.</b> CONSULTING CIVIL AND GEOTECHNICAL ENGINEERS Flat C, 8/F., On Ho Industrial Building, No. 17-19, Shing Wan Road, Tai Wai, Shatin, N.T.			

2024-05-04 10:55:44

<b>PSA</b>	<b>PHILIP SO &amp; ASSOCIATES</b>			Date
Job Title	Habitat, Pak Sha Wan			
	Permanenet Drains			
Climate change factor increases =	16.0 %	HKO Headquarters		
Return period =	50 years	storm constant a = 451.3	b = 2.46	
<b>a) Channel Design</b>	c = 0.337			
<b>Catchment</b>	<b>A</b>	<b>UPVC Pipe</b>	<b>All</b>	
Area (m2)	978.0	-	-	
H(m/100m)	1.0	-	-	
L (m)	35.0	-	-	
t (min)	2.5	-	-	
i (mm/hr)	262.3	-	-	
k1	1.00	-	-	
Q (l/sec)	82.7	-	-	
Q (l/min)	4960	154	5114	
Channel	300U	UPVC Pipe	300U	
Capacity (l/min)	8000	154	8000	
Check	OK	OK	OK	

j) Capacity of Ex. Pipe : 50 DIA

A = 0.00196 m<sup>2</sup>                      s = 0.1  
 P = 0.15708 m                      n = 0.013      UPVC Pipe  
 m = 0.0125 m

$$v = \frac{m^{2/3} \times s^{1/2}}{n}$$

$$v = 1.31018 \text{ m/s}$$

$$Q = vA = 154 \text{ l/min} \quad \text{Capacity}$$

Table 3a – Storm Constants for Different Return Periods of HKO Headquarters

Return Period T (years)	2	5	10	20	50	100	200	500	1000
a	499.8	480.2	471.9	463.6	451.3	440.8	429.5	414.0	402.1
b	4.26	3.36	3.02	2.76	2.46	2.26	2.05	1.77	1.55
c	0.494	0.429	0.397	0.369	0.337	0.316	0.295	0.269	0.251

Table 3b – Storm Constants for Different Return Periods of Tai Mo Shan Area

Return Period T (years)	2	5	10	20	50	100	200
a	1743.9	2183.2	2251.3	2159.2	1740.1	1307.3	1005.0
b	22.12	27.12	27.46	25.79	19.78	12.85	7.01
c	0.694	0.682	0.661	0.633	0.570	0.501	0.434

Table 3c – Storm Constants for Different Return Periods of West Lantau Area

Return Period T (years)	2	5	10	20	50	100	200
a	2047.9	1994.1	1735.2	1445.6	1107.2	909.1	761.8
b	24.27	24.23	21.82	18.36	13.01	8.98	5.40
c	0.733	0.673	0.619	0.561	0.484	0.428	0.377

Table 3d – Storm Constants for Different Return Periods of North District Area

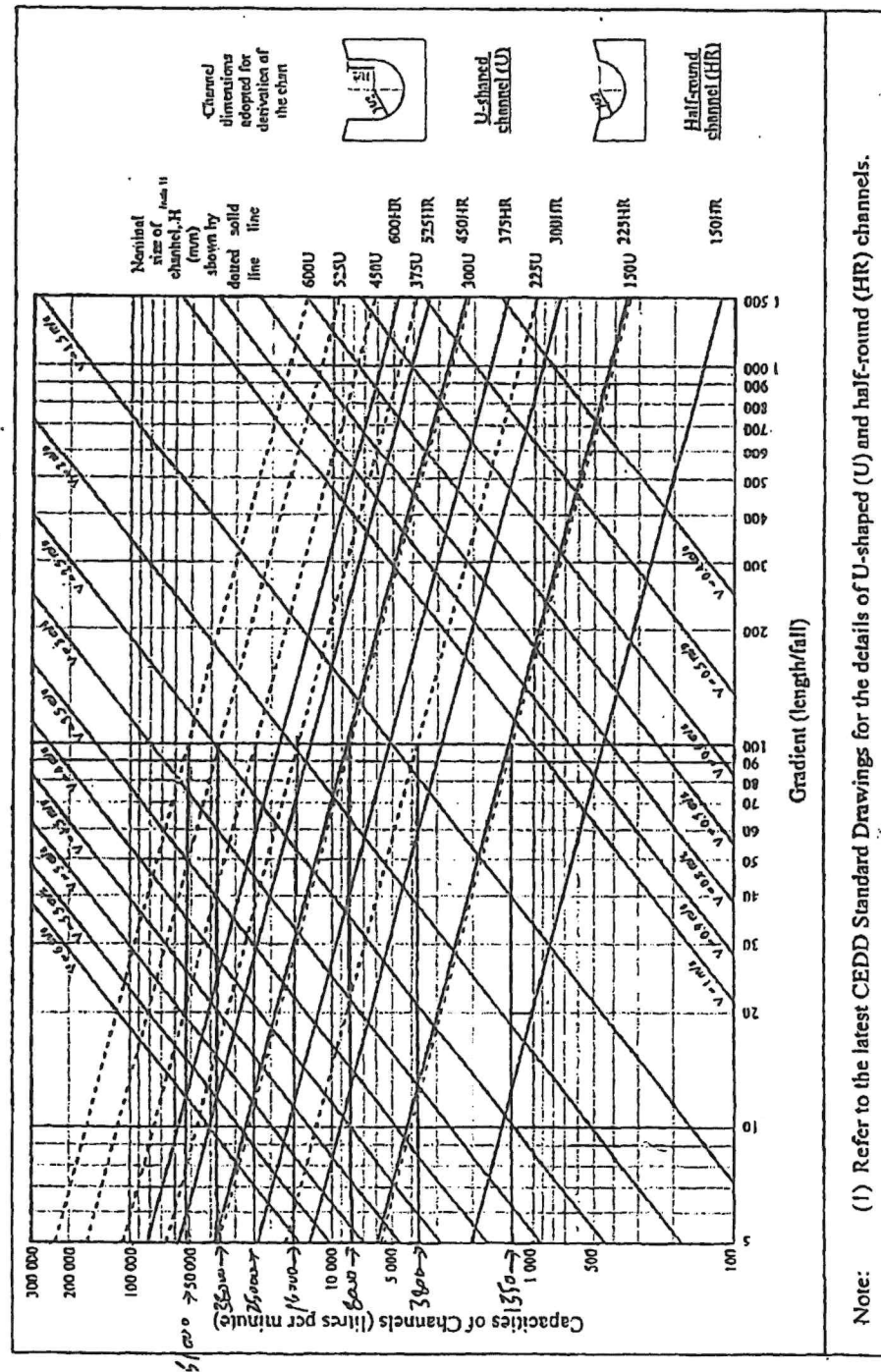
Return Period T (years)	2	5	10	20	50	100	200
a	1004.5	1112.2	1157.7	1178.6	1167.6	1131.2	1074.8
b	17.24	18.86	19.04	18.49	16.76	14.82	12.47
c	0.644	0.614	0.597	0.582	0.561	0.543	0.523



**GEO Technical Guidance Note No. 43 (TGN 43)**  
**Guidelines on Hydraulic Design of U-shaped and Half-round Channels on Slopes**

Issue No.: 1      Revision: -      Date: 05.06.2014      Page: 3 of 3

Figure 1 - Chart for the rapid design of U-shaped and half-round channels up to 600 mm



statistical distribution models include, but are not limited to, Log-normal, Pearson Type 3, Log-Pearson Type 3, Generalized Extreme Value (GEV), Generalized Pareto, Generalized Logistic and Gumbel.

#### 4.3.2 Variation of Rainfall

The mean annual rainfall from 1981 to 2010 in Hong Kong is about 2400mm. However, there are some variations in extreme rainfall across the Territory. For instance, Tai Mo Shan acquired with the highest mean annual rainfall of more than 3000mm. For some areas such as in North District, a relatively lower annual rainfall is recorded. It is revealed that orographic effect is the major reason for the large spatial variation of rainfall in Hong Kong. Similar pattern of variation has also been observed on different rainstorm durations. It is therefore recommended to adopt different synthetic rainstorms to reflect rainfall characteristics at various rainfall zones. The rainfall statistics at HKO Headquarters\* are recommended for application in the whole Territory except Tai Mo Shan area, West Lantau area and North District area. Different design rainfall profiles are established for Tai Mo Shan area, West Lantau area and North District area. Delineation of rainfall zones is presented in Figure 3 and digital files of the rainfall zones can also be downloaded at DSD webpage.

#### 4.3.3 Intensity-Duration-Frequency (IDF) Relationship

The rainfall statistics at HKO Headquarters\* are recommended for general application (except Tai Mo Shan area, West Lantau area and North District area) because of its long-term and good quality records. The recommended IDF Relationship is based on the GEV distribution model, which is the best-fit model for different rainstorm durations on average and also adopted by HKO, in the frequency analysis of the annual maximum rainfall recorded at HKO Headquarters\*. The relationships are presented in Table 2a and Figure 4a for various durations not exceeding 4 hours.

For Tai Mo Shan, West Lantau and North District areas, it is recommended to adopt the annual maximum rainfall for various durations recorded by the local rain gauges within the 3 areas in the statistical analysis. The distribution models which fit the respective durations the best are applied and regional frequency analysis of extreme rainfall has also been employed to develop the IDF Relationships. These relationships are presented in Tables 2b, 2c and 2d and Figures 4b, 4c and 4d for various durations not exceeding 4 hours.

The IDF data can also be expressed by the following algebraic equation for easy application:

$$i = \frac{a}{(t_d + b)^c}$$

where       $i$       = extreme mean intensity in mm/hr,  
                $t_d$       = duration in minutes ( $t_d \leq 240$ ), and  
                $a, b, c$  = storm constants given in Tables 3a, 3b, 3c and 3d.

\* See Notes 2 & 3 of Table 2a

For durations exceeding 4 hours, the rainfall depth instead of the mean intensity is normally used. The Depth-Duration-Frequency (DDF) Relationships for duration exceeding 4 hours are given in Tables 4a, 4b, 4c and 4d. The IDF data can be generated by dividing rainfall depth with duration.

#### 4.3.4 Storm Duration

The design rainstorm duration should make reference to the time of concentration or time to peak water level of the catchment under consideration as appropriate. The time of concentration is defined as the time for a drop of water to flow from the remotest point in the catchment to its outlet. For computational modeling analysis, a longer storm duration may be required if the recess arm of the hydrograph is required.

#### 4.3.5 Design Rainstorm Profile

The time distribution of the design rainstorm should be taken as:

- (a) For the Rational Method of runoff estimation, a uniformly distributed rainfall with an intensity determined by the IDF relationship should be used.
- (b) For other methods of runoff estimation and for storm durations equal to or shorter than 4 hours, a symmetrically distributed rainfall is recommended with the following formulation based on RO (1991):

$$F(t) = \begin{cases} \frac{a[b + 2(1-c)t]}{(2t+b)^{c+1}} & , \quad 0 \leq t \leq \frac{t_d}{2} \\ F(-t) & , \quad -\frac{t_d}{2} \leq t \leq 0 \end{cases}$$

- where  $F(t)$  = rate of rainfall or instantaneous intensity in mm/hr at time  $t$  (in minutes)
- $t_d$  = rainstorm duration (in minutes) ( $t_d \leq 240$ )
- $a, b, c$  = storm constants given in Tables 3a, 3b, 3c and 3d, which are the same as those given for the algebraic equation of the IDF relationship

The recommended rainstorm profiles for various return periods are given in Figures 5a, 5b, 5c and 5d and tabulation of the relationships are shown in Tables 5a, 5b, 5c and 5d. The connection between the tabulated data in Tables 5a, 5b, 5c and 5d and the curves in Figures 5a, 5b, 5c and 5d is elaborated in Figure 6.

For storm durations longer than 4 hours, the rainstorm profile can be derived from the IDF or DDF relationship for the portions outside the middle 4 hours.

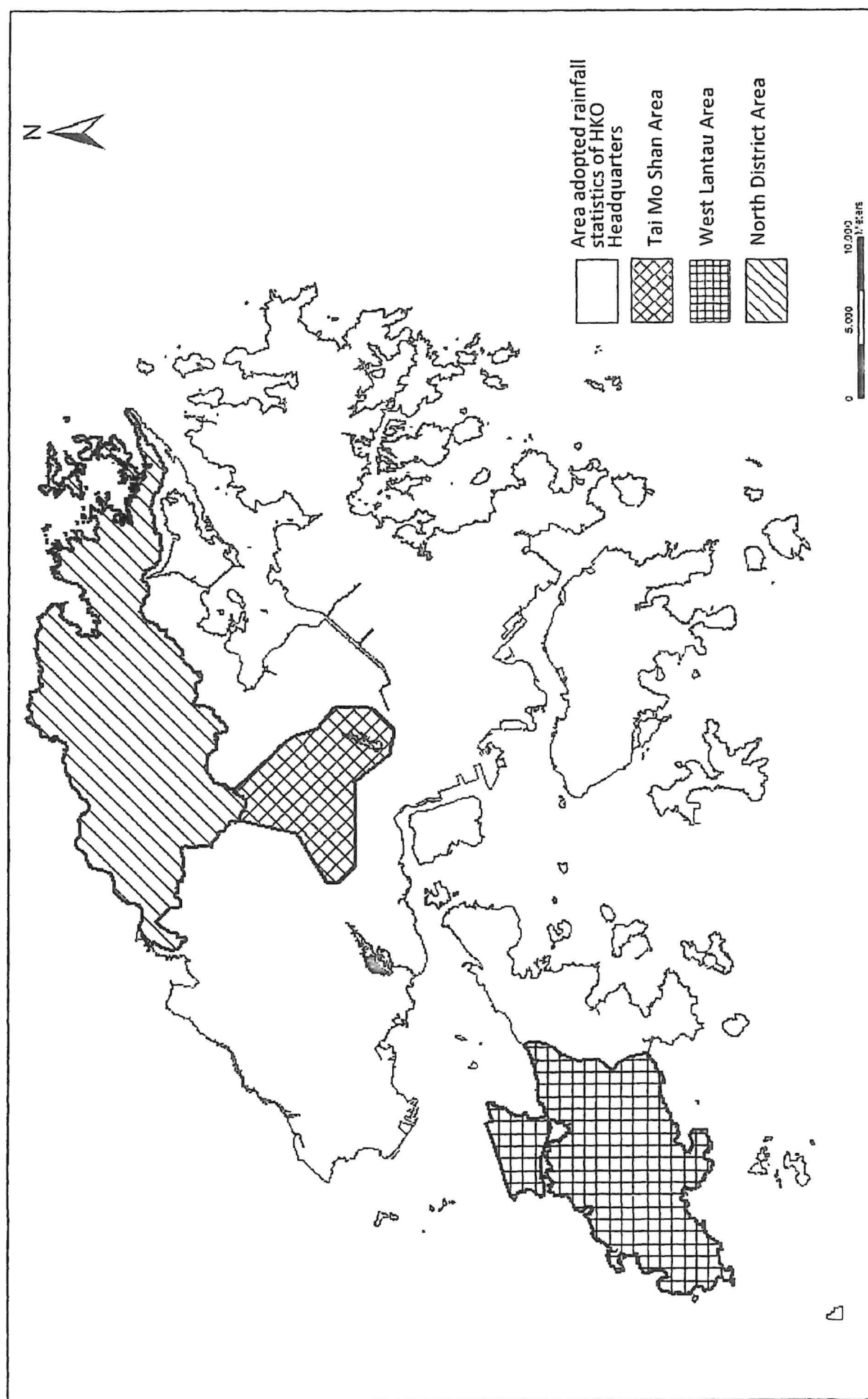


Figure 3 Delineation of Rainfall Zones



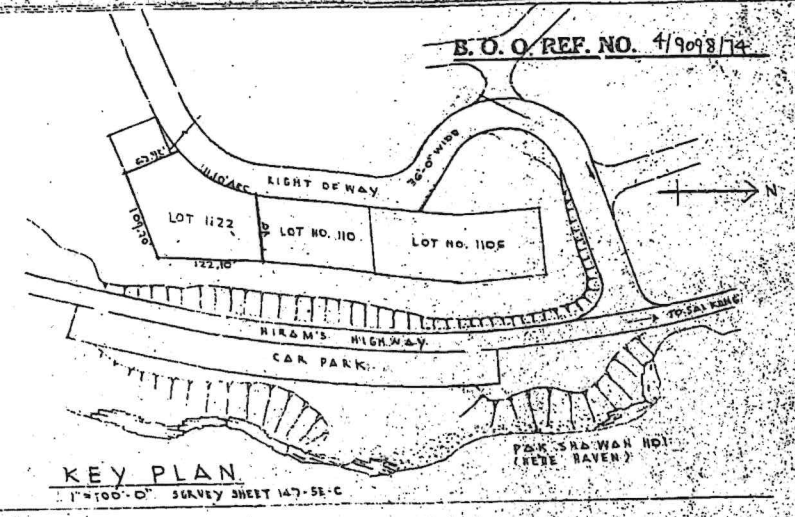
## **Appendix B**

Drainage plan approved by Buildings Department

on 8 July 1975

with BD Ref No.: 4/9098/74

B.O.O. REF. NO. 4/9018/74



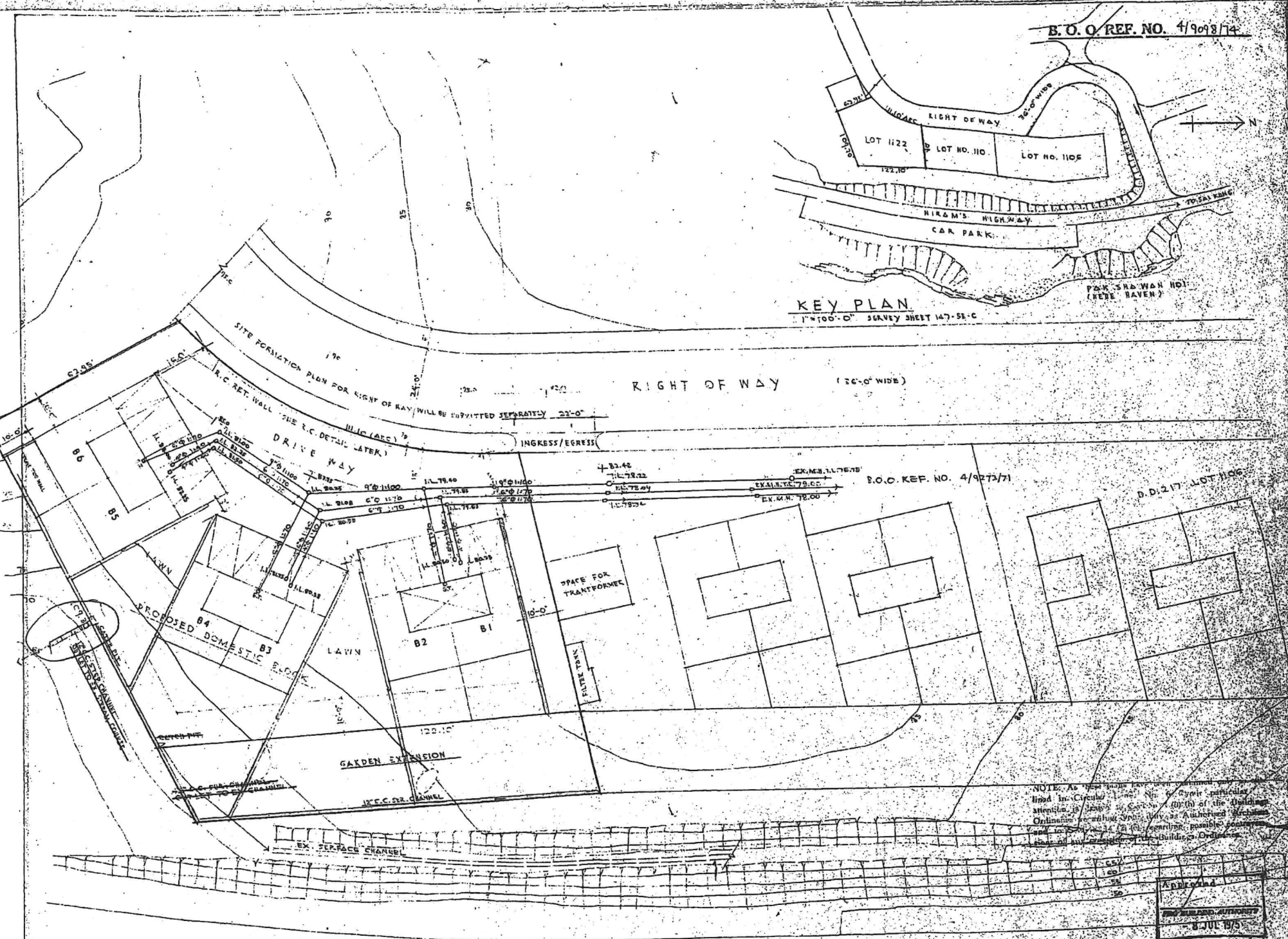
KEY PLAN  
1"=100'-0" SEE SHEET 147-55-C

NOTES

1. ALL PIPES UNDER BUILDING TO BE CAST IRON.
2. FLOOR DRAIN SHOULD BE PROVIDED FOR ALL LAVATORIES.
3. 2" - 0" (FOR 4" 0) RADIUS BENDS SHOULD BE PROVIDED AT FOOT OF ALL SOIL & WASTE PIPE.
4. TAR YARN RINGS SHOULD BE PROVIDED AT EVERY PIPE JOINTS BETWEEN SOCKET & SPIGOT & COVERED WITH 1:1 CEMENT MOTOR.
5. ALL MANHOLE TO BE RENDERED WITH WATER-PROOFING INTERNALLY & WITH 9" CEM. CONC. BEDDING.
6. MANHOLE INSIDE THE BUILDING TO BE DOUBLE SEALED HEAVY GREASE C.I. COVER.
7. ALL BENDS IN SOIL & WASTE PIPES SHOULD HAVE THE LARGEST PRACTICABLE RADIUS OF CURVATURE.
8. ALL MANHOLES COVERS TO BE SUBJECTED TO TRAFFIC TO HAVE HEAVY DUCT COST IRON COVERS.

INDICATIONS

C.I.S.P.	CAST IRON SOIL PIPE
C.I.W.P.	CAST IRON WASTE PIPE
C.I.R.W.P.	CAST IRON RAIN WATER PIPE
G.I.V.P.	GALVANIZED IRON VENT PIPE
F.D.	FLOOR DRAIN
B.S.	BRASS STRAINER
G.T.	GULLY TRAP
B.I.G.T.	BACK INLET GULLY TRAP
A.S.P.	ANTI-SYPHONAGE PIPE
M.H.	MAN HOLE
---	APPROVED WORK TO BE OMITTED



BLOCK PLAN 1/8"=1'-0"

PROPOSED APARTMENT HOUSES ON D.D. 217  
LOT 1122 PAK SHA WAN, N.T.

DESIGNED BY	REVISION	KEY PLAN & BLOCK PLAN
DRAWN BY		SCALE: 1/8"=1'-0"
CHECKED BY		DATE OF ISSUE: 13 MAY 1975
DATE: OCT/75		

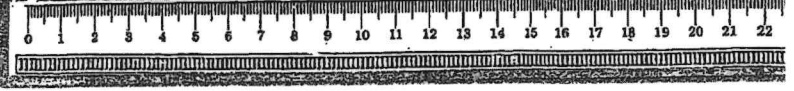
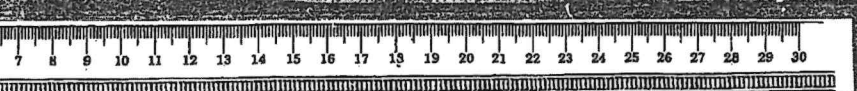
RECEIVED AT  
MAY 13 12 04 75

CHIEF ARCHITECT  
OFFICE OF M.O.

HSIN-YIEN ARCHITECTS & ASSOCIATES  
147-55-C  
147-55-C

AMENDED PLAN  
DRAINAGE PLAN

APPROVED  
8 JUL 1975

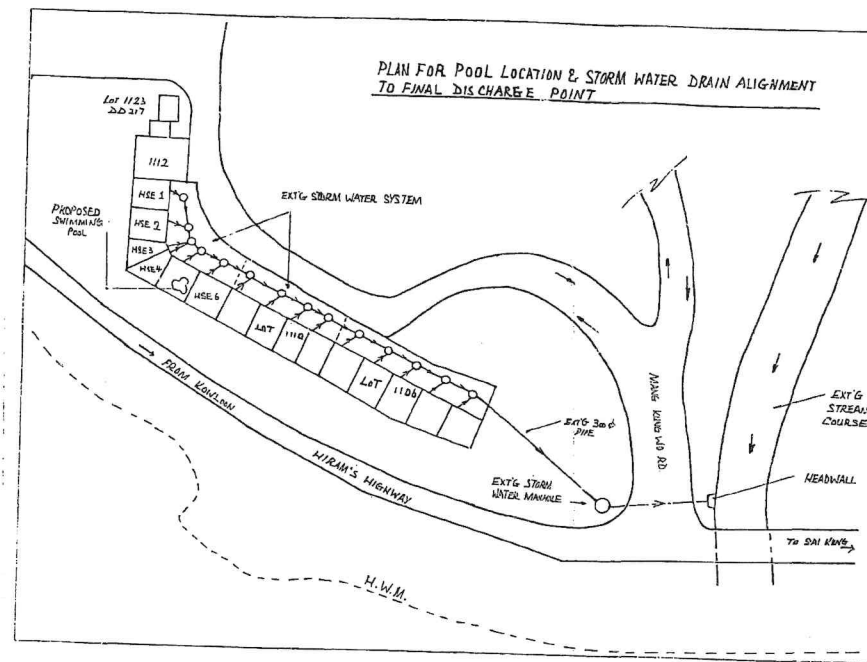
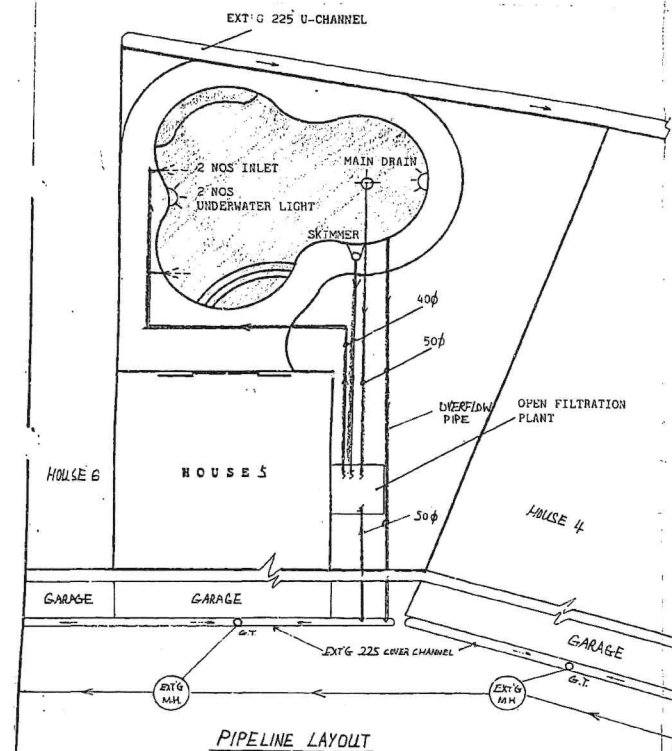
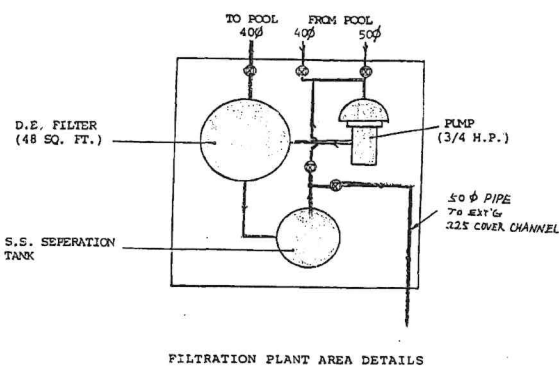


## **Appendix C**

Swimming pool (A&A Works) approved by

Buildings Department

On 28 Jun 1994 with BD Ref No.: 2-3/9098/74

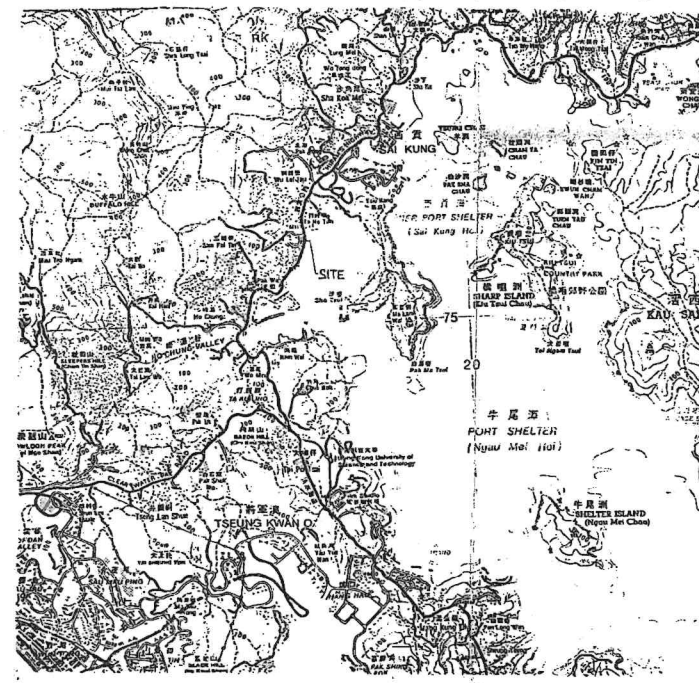
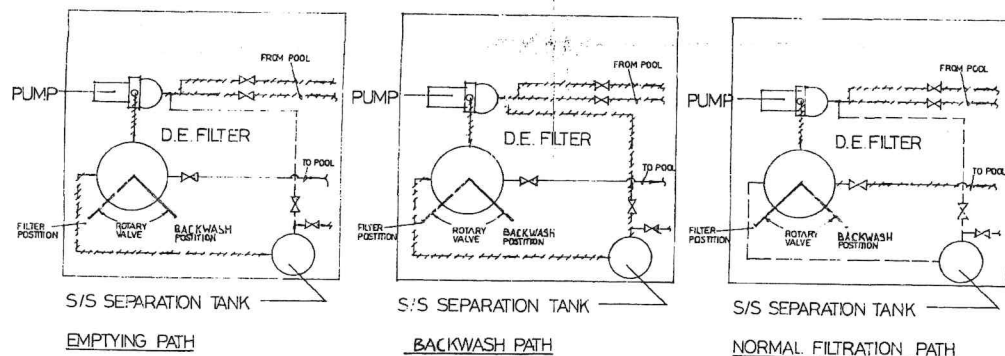


# GENERAL NOTES: FILTRATION SYSTEM

- Swimming Pool capacity to be 50000 Litres.
- Filtration Turnover rate at least to be 6.4 Hours.
- Filtration backwash rate to be 183 Litres/Min.
- The supply source pipe is G.I. pipe to B.S. 1387 class 'B'. All other piping is UPVC pipe to B.S. 3505 class 'D'.
- The backwash water from the filter will be treated in the stainless steel separation tank where backwash waste will be deposited in the double-walled polypropylene bag of the S/S separation tank and to be discharged into drain after-wards. Whereas the water will be cleanly filtered by the tank and then the filter before returning the pool.
- Pool water will be discharged to Existing 225 U-CHANNEL through 50Ø UPVC pipe in the event that the pool needs to be emptied by the pool pump which has a Max. output of 40 Litres/Min. (Emptying is limited to a maximum of one time per year).
- Pool water will be maintained at all time to a standard of purity whereby E. Coli shall be absent in 100 c.c. of water, the turbidity will not exceed 2PPM Free chlorine will be within 1-2 PPM, and PH value will be within 7.2 - 7.6.
- Existing U.C. channel capacity figure 8.7 of the GCO manual for slopes is 3000 Litres/Min.
- Approximate water consumption per month  
= Pool Area x Average Total Evaporation  
= 37 M<sup>2</sup> x 0.150M/Month  
= 5.6 M<sup>3</sup>/Month

## SCHEMATIC DIAGRAM

- GENERATING PIPE
- CONTROL VALVE OPEN POSITION
- CONTROL VALVE CLOSE POSITION



R. M. Kennard (Sg) P. M. H. C. E.  
REGISTERED CIVIL ENGINEER  
REGISTERED STRUCTURAL ENGINEER  
AUTHORIZED PERSON

A 26 MAY 94 DRAINAGE DISCHARGE DETAIL ADD  
NO. DATE AMENDMENT



SWIMMING POOLS • WATER FEATURES

Job Title  
SWIMMING POOL AT  
HOUSE B5, HABITAT  
HEBE HAVEN SAI KUNG, N.T.  
LOT 1122 DD 217

B.O.D. Ref.  
Drawn by  
Checked by  
Date MARCH 94  
Scale AS SHOWN

Drawing Title  
SWIMMING POOL  
FILTRATION SYSTEM

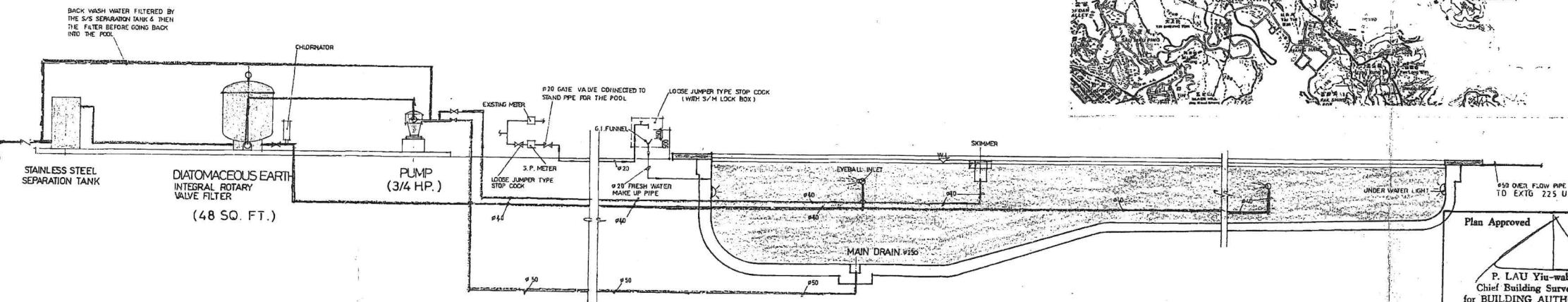
Job Number  
CP J009/94

Sheet  
Drawing Number  
P-1A

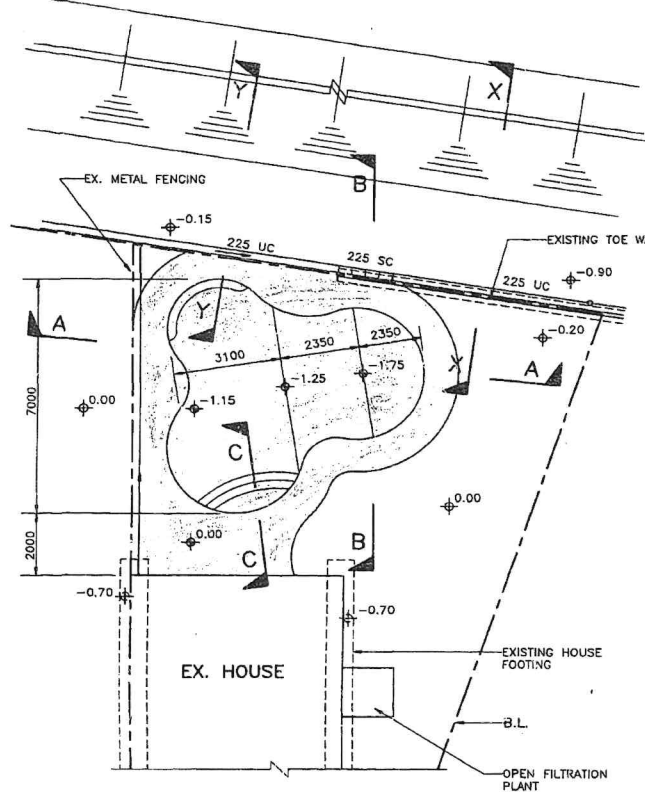
THE OWNERSHIP OF THE  
COPYRIGHT IN THIS DRAWING  
IS RETAINED BY CENTURY  
POOLS LTD. WHOSE CONSENT  
MUST BE OBTAINED BEFORE  
ANY USE OR REPRODUCTION  
OF THE DRAWING OR ANY  
PART THEREOF CAN BE MADE.

VERTICAL LINE DIAGRAM NOT TO SCALE

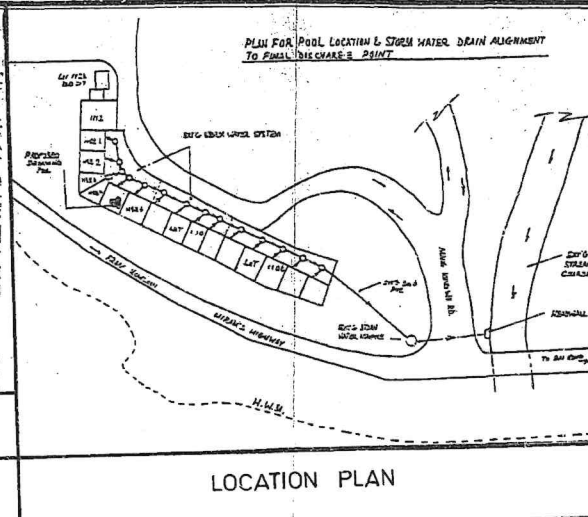
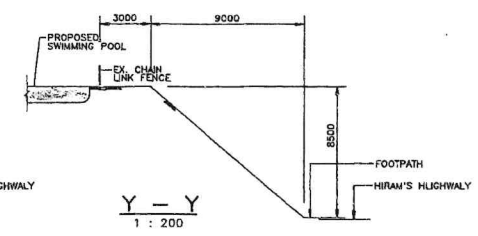
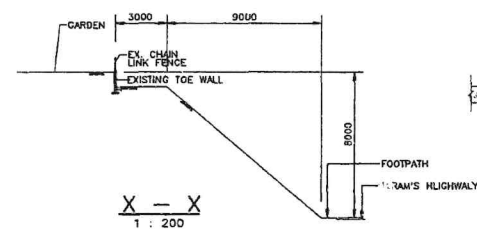
RECEIVED BY  
3 32 PM '94  
GENERAL POOL WATER  
DRAINAGE DEPARTMENT  
BUSINESS DEPARTMENT





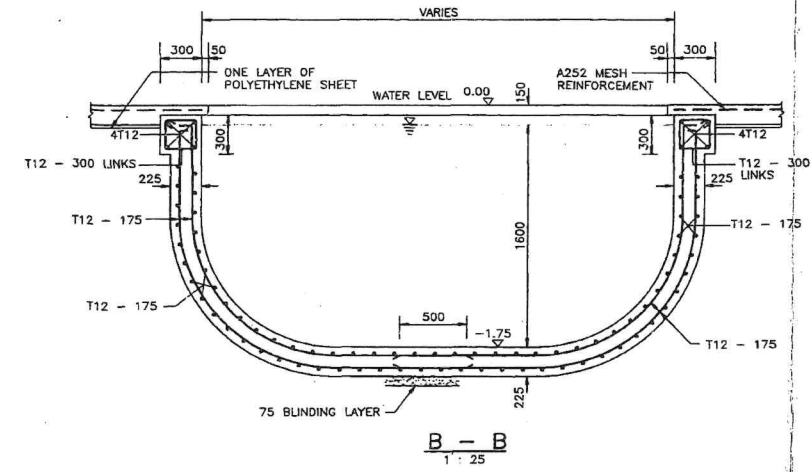
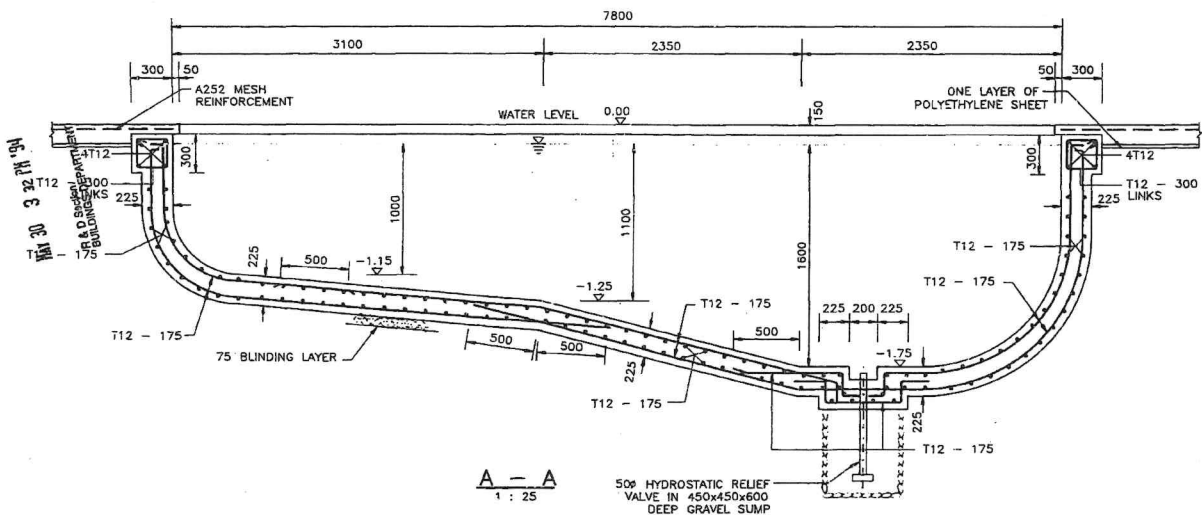
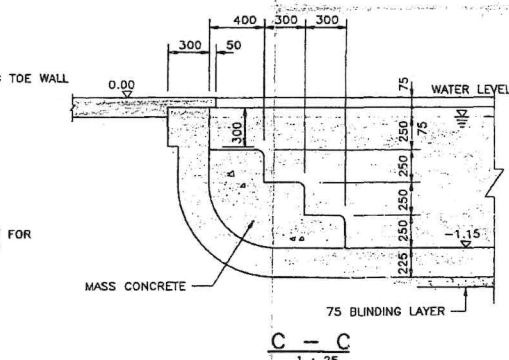
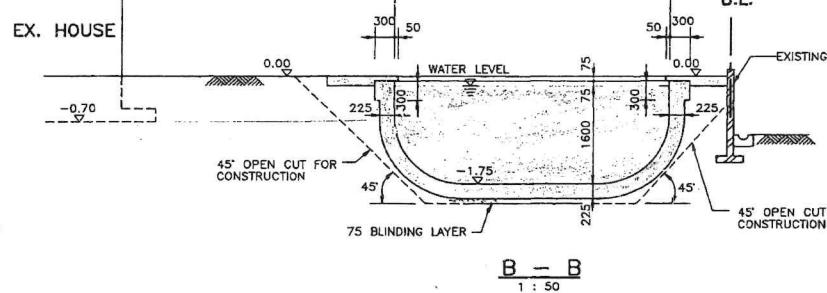
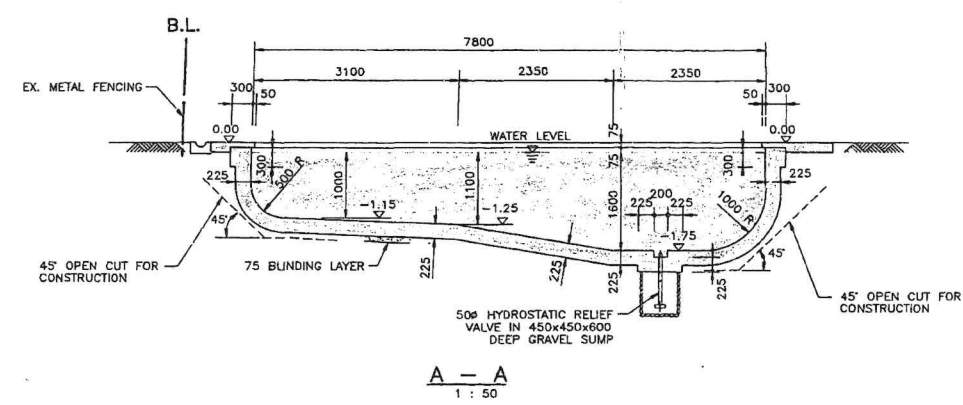


- LEGEND :-
- FOOTING LEVEL
  - EXISTING LEVEL
  - PROPOSED LEVEL
  - BOUNDARY LINE
  - EX. FOOTING
  - EXISTING 150 H.R. CHANNEL
  - EXISTING SLOPE



- Notes
1. ALL DIMENSIONS ARE IN MILLIMETRES
  2. FOR DRAINAGE AND PUMPING DETAILS REFER TO DRG. NO. P-1
  3. HYDROSTATIC RELIEF VALVE TO BE USED TO RELIEVE ANY UPLIFT PRESSURE CAUSED BY POSSIBLE UPRISING OF GROUND WATER IN THE EMPTY POOL CONDITION
  4. ALL LEVELS ARE IN METRES REFERRING TO EXISTING GARDEN LEVEL
  5. NO DANGEROUS GOODS WILL BE USED IN THE SWIMMING POOL FILTRATION PLANT SYSTEM
  6. CONCRETE FOR POOL SHALL BE GUNITE CONCRETE TO B.S. 5337 CL. 28 WITH MIN. CRUSHING STRENGTH 30 N/mm<sup>2</sup> AT 28 DAYS. AND SHALL BE EQUIVALENT TO GRADE 300.
  7. ALL BLINDING LAYER SHALL BE GRADE 15P CONCRETE 75 THK. MIN.
  8. CONCRETE COVER:  
EXTERNAL FACE OF POOL 75  
OTHERS 40
  9. ONE TEST PANEL SHALL BE SHOT PER EACH 40m<sup>2</sup> OR PART THERE OF NINE CYLINDERS Ø 100x150 SHALL BE TAKEN FROM EACH PANEL. THREE CYLINDERS TO BE TESTED AT 7 DAYS. THREE CYLINDERS TO BE TESTED AT 28 DAYS. THREE ADDITIONAL CYLINDERS TO BE TAKEN AND HELD IN RESERVE.
  10. REINFORCEMENT SHALL BE HIGH TENSILE DEFORMED BARS DENOTED BY "T" COMPLYING WITH B.S. 4449.
  11. ALLOWABLE SOIL BEARING CAPACITY = 80 kN/m<sup>2</sup>. FOUNDING CONDITION SHALL BE INSPECTED, PRIOR TO CONCRETING OF BLINDING LAYER, BY AP OR RSE
  12. FILLING MATERIAL TO BE PROPERLY COMPACTED.

Rev	Description of Revision	Date	By
A	ADDITIONAL TOPOGRAPHICAL INFORMATION ADDED	5/94	S.O.



Plan Approved  
F. LAU Yu-wah  
Chief Building Surveyor  
for BUILDING AUTHORITY  
28 JUN 1994

CENTURY POOLS LTD.

R.M. Kennard BSc (Eng) PhD FICE  
CHARTERED CIVIL ENGINEER  
REGISTERED STRUCTURAL ENGINEER  
AUTHORIZED PERSON

Harris & Sutherland  
Consulting Engineers

15th Floor, Cornwell House, 28 Tong Chung Street, Quarry Bay, Hong Kong  
Tel: 8505760

Date	MARCH, 1994	Designed	C.L.	Drawn	MC
Scale	AS SHOWN	Checked		Approved	

Project  
HOUSE B5, HABITAT,  
SAI KUNG,  
NEW TERRITORIES

Title  
BUILDING PLAN  
&  
REINFORCEMENT DETAILS

Drawing No.	G939.37 / 01	Revision	A
-------------	--------------	----------	---



規 劃 署

西貢及離島規劃處  
新界沙田上禾輦路1號  
沙田政府合署15樓



Planning Department

Sai Kung and Islands District Planning Office  
15/F, Sha Tin Government Offices,  
1 Sheung Wo Che Road, Sha Tin,  
New Territories

來函檔號 Your Reference PSA0569/24/21082/M  
本署檔號 Our Reference TPB/A/SK-PK/268  
電話號碼 Tel. No.: [REDACTED]  
傳真機號碼 Fax No.: [REDACTED]

21 October 2024

Philip So & Associates Ltd.  
Flat C, 8/F, On Ho Industrial Building  
No. 17-19 Shing Wan Road  
Tai Wai, Sha Tin  
New Territories  
(Attn.: Mr. SO Chi Wai)

Dear Mr. SO,

**Temporary Private Swimming Pool and Garden  
for a Period of 3 Years in "Green Belt" Zone,  
Lot 1122 & Ext. (Part) in D.D. 217 and Adjoining Government Land,  
House B5, Habitat, Pak Sha Wan, Sai Kung  
(Application No. A/SK-PK/268)**

**Submission of Revised Drainage Proposal  
for Partial Compliance with Approval Condition**

I refer to your submission dated 10.9.2024 for partial compliance with the approval condition of the captioned planning application, i.e. the submission and implementation of a drainage proposal to the satisfaction of the Director of Drainage Services or of the Town Planning Board (TPB).

I am pleased to inform you that the Director of Drainage Services has no further comment on the submission. In this regard, the approval condition of the captioned application is considered partially complied with. Please note that full compliance with the approval condition rests upon the implementation of the drainage proposal to the satisfaction of the Director of Drainage Services or of the TPB. For the avoidance of doubt, I would like to point out that the approval condition of application No. A/SK-PK/268 has not been fully complied with for the time being.

Should you have any queries, please contact Mr. Adrian CHIU of this Office at [REDACTED].

Yours sincerely,

( Walter W. N. KWONG )  
for and on behalf of Director of Planning

C.C.

CE/MS, DSD (Attn.: Mr. Henry YEUNG) (Fax: [REDACTED])

WWNK/TK/AC/BL/bl

## Appendix 2

---

Submission of Implementation Record of the Approved Drainage Proposal to  
Planning Department on 6.12.2024



PHILIP SO & ASSOCIATES LTD.  
CONSULTING CIVIL AND GEOTECHNICAL ENGINEERS  
Flat C, 8/F., On Ho Industrial Building, No. 17-19 Shing Wan Road, Tai Wai, Shatin, N.T.

Our Ref.: PSA0794/24/21082/M  
TPD Ref.: TPB/A/SK-PK/268  
Date: 6<sup>th</sup> December 2024

**Town Planning Board**

15/F., North Point Government Offices  
333 Java Road  
North Point  
Hong Kong

Attn: Mr. Walter Kwong (TPG/SKIs1)  
(By Courier)

Dear Sir,

**Re.: Temporary Private Swimming Pool and Garden for a Period  
of 3 Years in "Green Belt" Zone, Lot 1122 & Ext. (Part) in D.D. 217 and  
Adjoining Government Land, House B5, Habitat, Pak Sha Wan, Sai  
Kung**

I refer to your letter dated 21 October 2024, please be informed that the reinstatement of drainage works have been completed. Enclosed herewith 2 sets of record photo showing the completion of works for your perusal.

Should you have any queries, please contact the undersigned at [REDACTED]

Thank you for your kind attention.

Yours faithfully,

  
\_\_\_\_\_  
**So Chi Wai**  
Registered Structural Engineer

PS/CL/bf  
Encl.

cc. Chow Enterprise Group / CEG Capital Mr. Fred Hui w/e

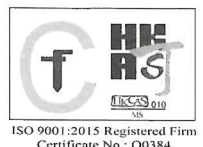






Photo 1



Photo 2



Photo 3



Photo 4





Photo 5



Photo 6



Photo 7

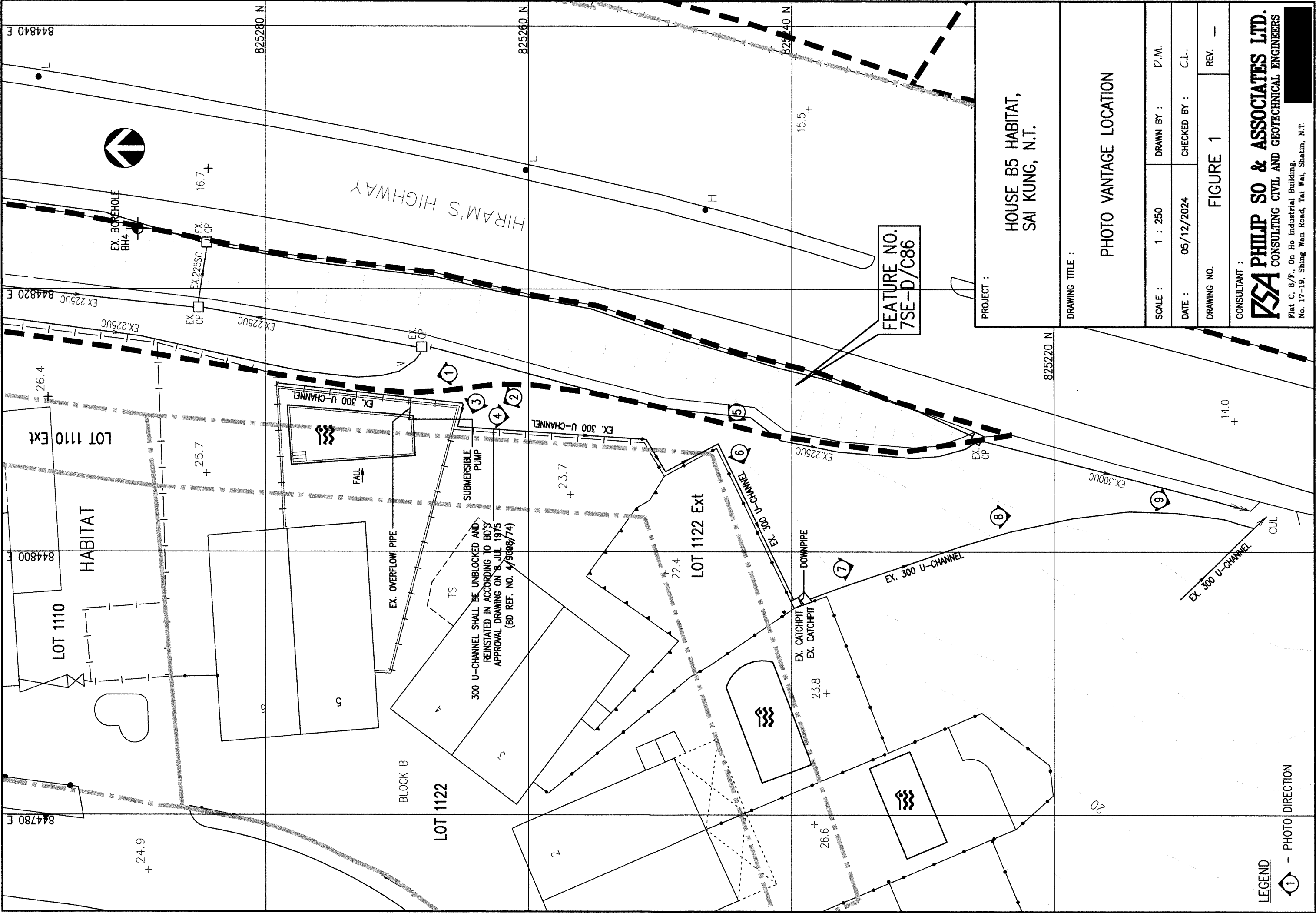


Photo 8





Photo 9



## Appendix 3

---

Approved Geotechnical Planning Review Report of Last Application  
No. A/SK-PK/268

**Proposed Temporary  
Private Swimming Pool and Garden for  
a Period of 3 Years at  
Lot 1122 Ext and Adjoining Government Land in D.D. 217,  
House 5B, Habitat, Pak Sha Wan,  
Sai Kung, New Territories**

*Philip So & Associates Consulting Civil & Geotechnical Engineers Ltd.  
December 2021*



## CONTENTS

1.	INTRODUCTION .....	1
2.	THE SITE AND THE FEATURES .....	2
3.	DESK STUDY .....	3
4.	IMPACTS OF PROPOSED WORKS ON EXISTING SLOPES .....	4-6
4.	CONCLUSION .....	7

## FIGURES

Figure 1	Site Location Plan
Figure 2	Sections
Figure 3	Geological Map

## APPENDIX

Appendix A	Photographs
Appendix B	SIMAR Record - Feature No. 7SE-D/C86
Appendix C	Slope Records Retrieved from CEDD - Feature No. 7SE-D/C86
Appendix D	Extraction of Previous GI Records Prepared by Enpack (Hong Kong) Limited in Sep 1997

## **1. INTRODUCTION**

Philip So & Associates Ltd. is appointed by the subject Lot owner to prepare the Geotechnical Planning Review Report (GPRR) for the proposed temporary swimming pool to replace the existing swimming pool with the same dimensions at Lot 1122 Ext and Adjoining Government Land in D.D. 217, House 5B, Habitat, Pak Sha Wan, Sai Kung, New Territories

This GPPR is made based on desk study and review of available documentary information for the proposed “Temporary Private Swimming Pool and Garden” for a period of 3 years.

The geology and site conditions are described. Potential geotechnical constraints are identified in the assessment.

## **2. THE SITE AND THE FEATURES**

The site is at a relatively flat terrace at Pak Sha Wan, New Territories. According to the available SIS records obtained from Geotechnical Engineering Office (GEO), there is a registered geotechnical feature No. 7SE-D/C86 lies in the vicinity of the site (see Photos 1 to 3 given in Appendix A). The general view of the existing swimming pool on site is shown in Photo 4 given in Appendix A.

Based on the SIMAR report, the Highways Department is responsible for the maintenance of the said feature. A copy of the SIMAR report and slope records are enclosed in Appendix B and C respectively. The location of the said feature is presented in Figure 1.

### **2.1 Existing Geotechnical Feature**

#### **Feature No. 7SE-D/C86**

The Feature is situated due east of the site. According to SIS records, the Feature is a cut slope of about 115m long. The maximum height of the cut slope is 8.5m with an average angle of 60° inclining to horizontal. With reference to the SIMAR record retrieved from Land Department, Highways Department is responsible for maintenance of this Feature. The “proposed swimming pool and garden” will be situated on the slope crest area. An existing road with heavy traffic density is situated at the slope toe

### **3. DESK STUDY**

Desk study has been carried out to search and review the existing building records, previous ground investigation data and geotechnical study reports kept by the Geotechnical Information Unit (GIU) of Geotechnical Engineering Office (GEO) and the Buildings Department (BD).

Ground investigation was carried out at the toe of Feature No. 7SE-D/C86 for a private project, namely "272DS-Port Shelter Sewerage, Stage 2 Tai Chung Hau and Pak Sha Wan Sewerage", with ground investigation report prepared by Enpack (Hong Kong) Limited in Sep 1997. The borehole records indicated that the Feature toe comprises highly decomposed Tuff (HDT) overlaid by a thin layer of Fill (see Appendix D).

#### **3.1 Geological Maps**

The geology of the Study Area is shown on the Hong Kong Geological Survey (HKGS) Map Sheet 7 (Sha Tin), 1:20,000-scale HGM20 series. The local geology of the Study Area is presented in Figure 3 and described below.

##### **3.1.1 Solid Geology**

The 1:20,000 scale geological maps indicated that regional area around the Site is underlain by coarse ash crystal tuff, (Krl\_cat) of the Long Harbour Formation.



#### **4. IMPACTS OF PROPOSED WORKS ON EXISTING SLOPES**

A registered slope feature No. 7SE-D/C86 is located due east of the site. According to the SIS record, the maximum height of the feature is about 8.5m with 115m long measured along its toe. The average slope gradient is about 60 degrees to the horizontal. As the feature has stood for a long time without evidence of major distress or instability, it is expected that this feature will continue to be in a stable condition under the present condition. Nevertheless, the stability has to be checked with respect to the “proposed swimming pool and garden”, based on the subsurface conditions and shear strength parameters of soil/rock obtained from site specific ground investigation.

##### **4.1 PORTION OF SLOPE FEATURE NO. 7SE-D/C86 AFFECTED BY THE PROPOSED SWIMMING POOL AND GARDEN**

###### **4.1.1 General**

The slope Feature No. 7SE-D/C86 does not need to be modified in the proposed usage, however its stability condition has to be assessed.

In order to fulfill the above-mentioned objective, a comprehensive investigation programme will be implemented comprising the following:-

- a) Detailed ground investigation including in-situ and laboratory soil testing to identify the soil parameters together with the monitoring of groundwater table, by sinking vertical drillholes and/or trial pits on site;
- b) Establishment of geological and hydrogeological model based on the findings from topographic survey and the ground investigation works.

## **4.2 General Approaches for Site Formation, ELS, Superstructure and Foundation Design**

Judging from the site conditions and the proposed swimming pool and garden, the following approaches shall be adopted for the future site formations, ELS, and structure design and foundation design:-

- a) To assess the effects to the adjacent roads and the subject slope feature due to the proposed swimming pool and garden and to provide adequate upgrading measures as necessary;
- b) To design the temporary excavation and lateral support works in order to minimize adverse effects onto the adjacent roads and the feature due to the proposed structural works. Sheetpile wall or other methods are feasible options for ELS works.
- c) To provide shallow foundation is considered necessary in order to support the future pool structure.
- d) To assess the stability of the existing feature and to provide adequate upgrading measures as necessary.

## **4.3 Site Formation, Structure and Foundation Approach**

The proposed works comprise swimming pool and garden.

Ground investigation works including trial pits and/or vertical boreholes shall be sunk to confirm the thickness of the soil stratum and the groundwater table level. Soil sampling and laboratory testing shall be conducted in order to identify the soil parameters for different types of soil in the subject site.

Stability assessment for the feature, including the ELS shall be checked to ensures the subject feature will not affect the nearby public road. Adequate upgrading measures, such as installation of soil nails in the slope or installation of soldier pipe wall along the slope crest shall be provided as necessary if the feature cannot fulfill the current engineering standards.

## 5. CONCLUSION

Based on the above discussion, it can be concluded that the proposed development is considered to be feasible from geotechnical point of view. The construction would be straight forward unlikely posting particular problems to the surrounding area under careful planning, proper execution and vigilant supervision.

It is essential to search and review the background information of adjacent building, geotechnical feature and underground services within and in the vicinity of the site. Ground investigation is proposed to reveal/confirm the subsoils and the ground regime within and in the vicinity of the site as well as to determine the engineering properties of subsoils and rock. The ground investigation field works should be preceded under supervision of suitably qualified engineers and technically competent persons conforming the requirements specified in the "Code of Practice for Site Supervision 2009" published by the BD.

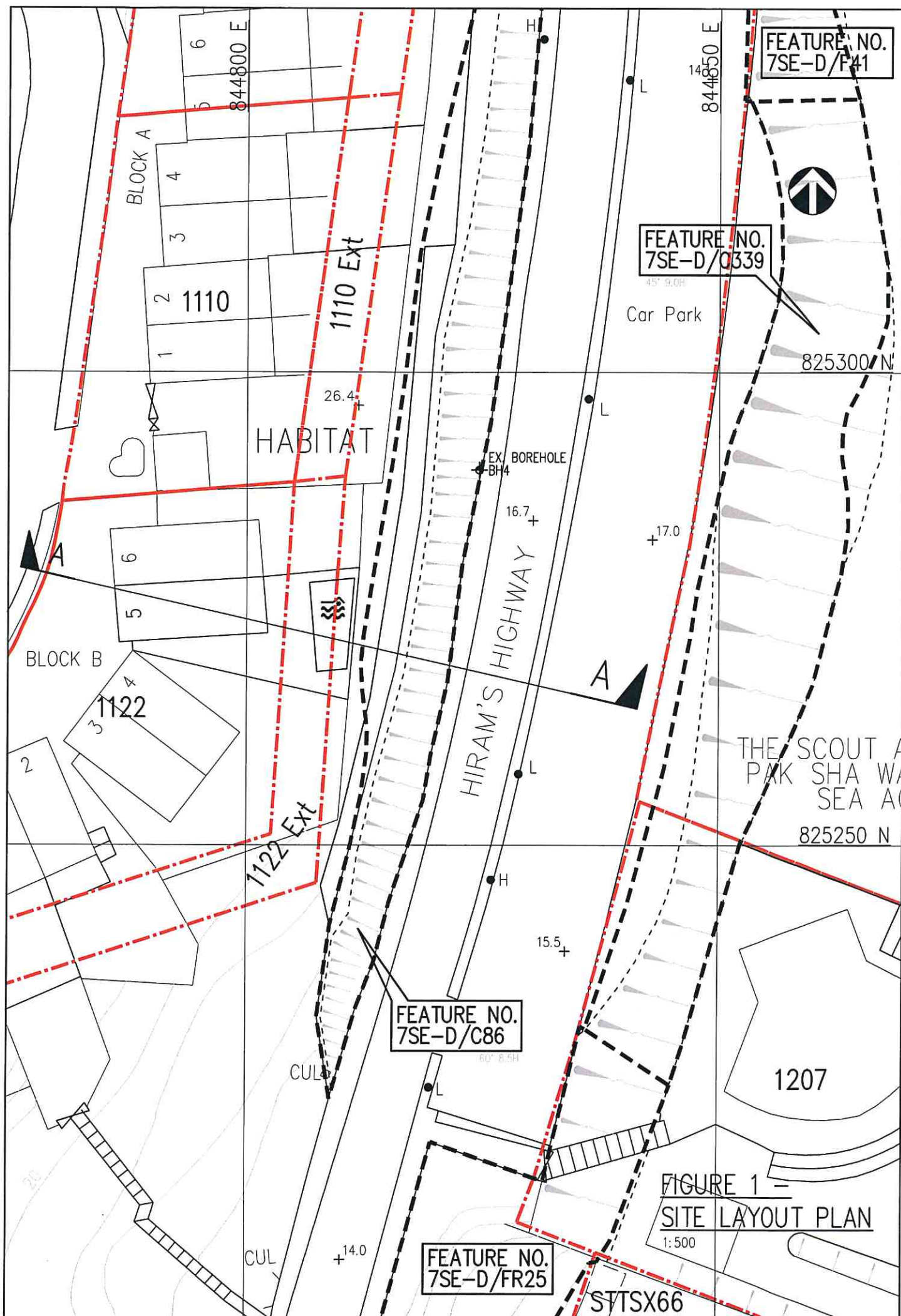
For safety and cost effective, the foundation design and slope stability assessment and excavation planning as well as the design of strengthening measures as necessary should be based on geological horizons inferred from the ground investigation results, groundwater table interpreted from the piezometer/standpipe monitoring records and geotechnical parameters determined and adopted by field and laboratory testing.

A comprehensive precautionary monitoring program including settlement markers, tilting, vibration check points as well as groundwater observation wells shall be implemented to ensure demolition of existing substructure and construction of the proposed swimming pool and garden to be carried out in a safe manner.



## FIGURES

**Figure 1**  
Site Location Plan



## **Figure 2**

Sections



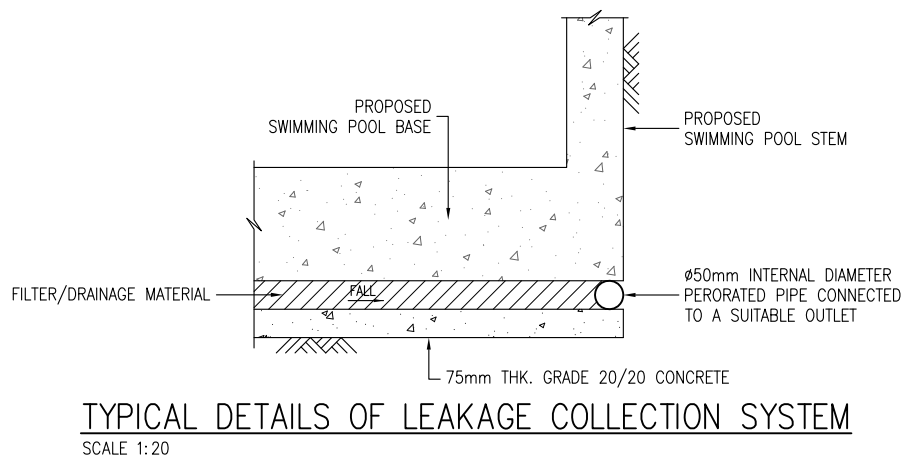
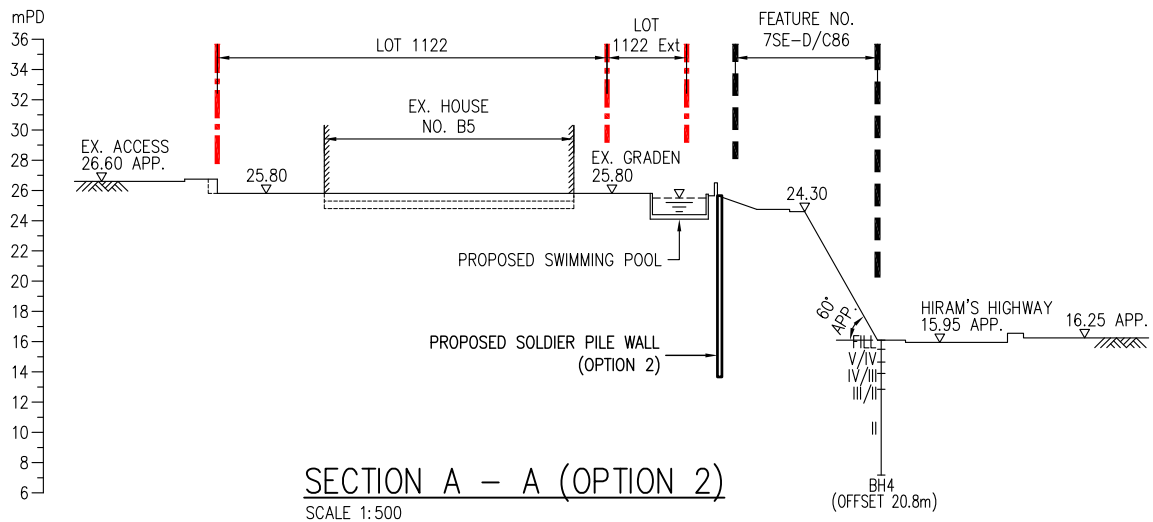
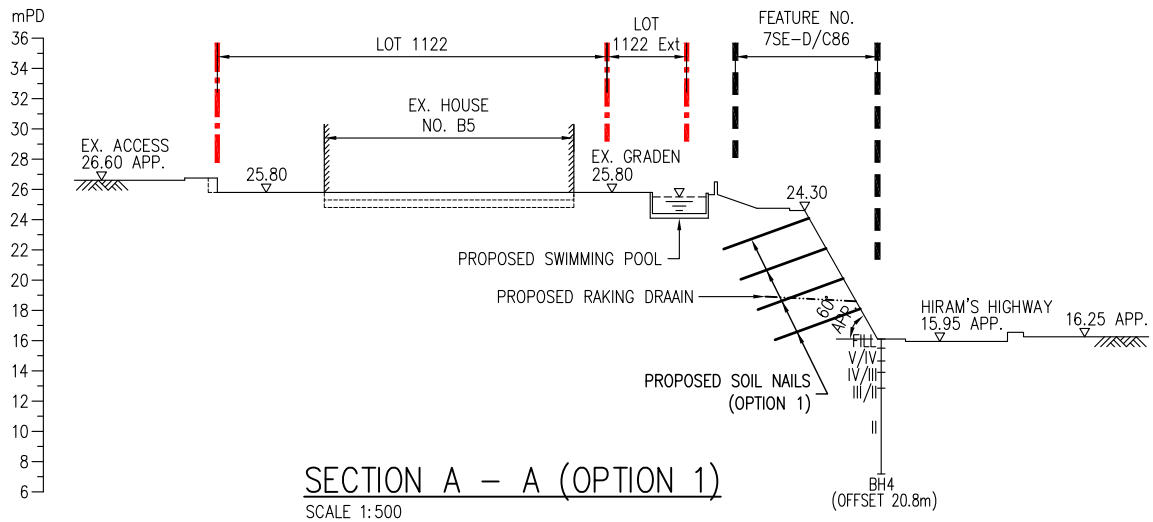
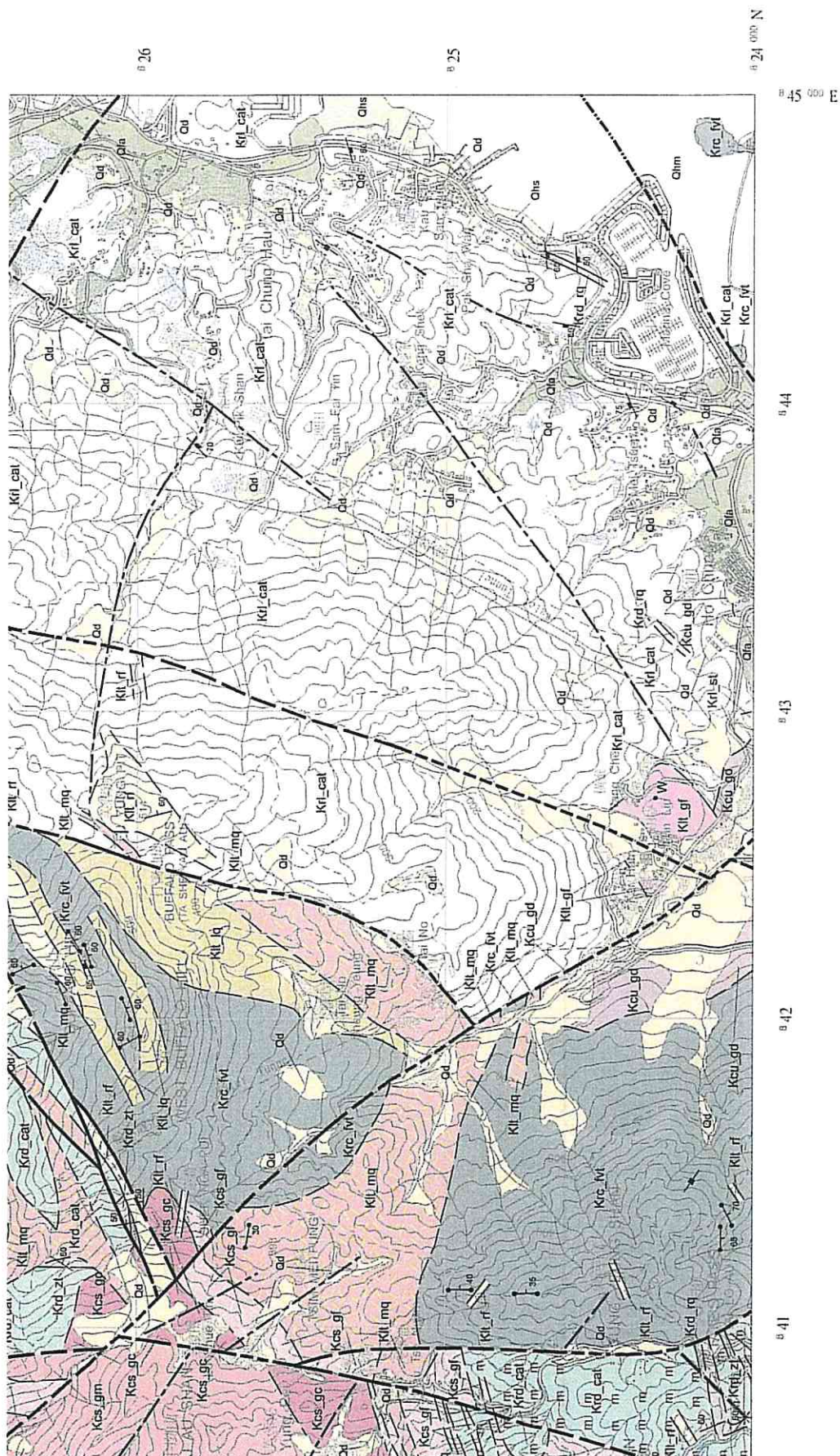


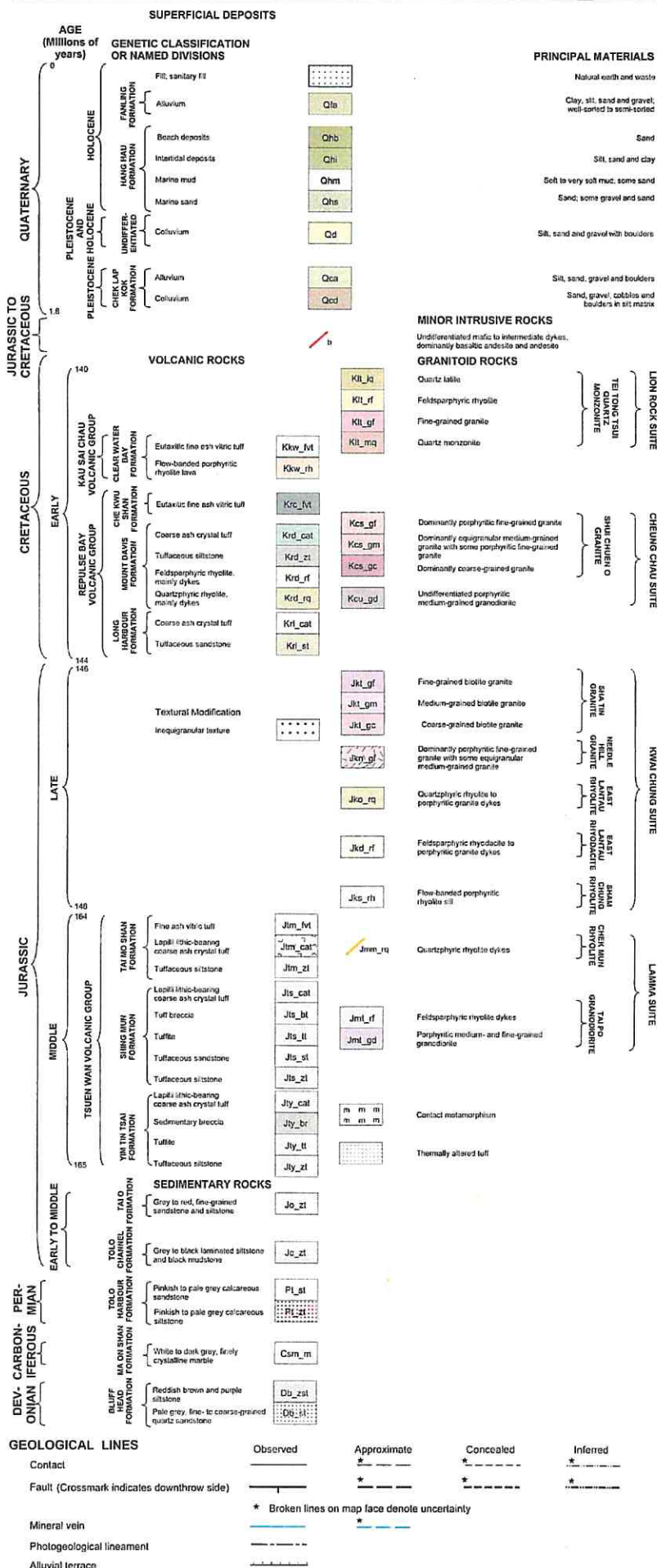
FIGURE 2 – SECTIONS AND TYPICAL DETAILS

**Figure 3**  
Geological Map





Scale 1:20 000





## BASIC INFORMATION

Location: S of J/N B/T HABITAT & HIRAM'S HIGHWAY, SK

Date of Formation: pre-1977

Date of Construction/  
Modification:

Approximate Coordinates: Easting : 844820 Northing : 825295

## CONSEQUENCE-TO-LIFE CATEGORY

Facility at Crest: Densely-used playground

Distance of Facility from Crest (m): 0

Facility at Toe: Road/footpath with heavy traffic density

Distance of Facility from Toe (m): 0

Consequence-to-life Category: 2

Remarks: N/A

## SLOPE PART

(1) Max. Height (m): 8.5 Length (m): 115 Average Angle (deg): 60

## WALL PART

N/A

## **Appendix A**

### Photographs



Photo 1: Photo showing the southern portion of Feature No. 7SE-D/C86



Photo 2: Photo showing the mid portion of Feature No. 7SE-D/C86





Photo 3: Photo showing the northern portion of Feature No. 7SE-D/C86



Photo 4: General view of existing swimming pool on site



## **Appendix B**

SIMAR Record - Feature No. 7SE-D/C86

**Slope Maintenance Responsibility Report**

(7SE-D/C86)

**ESTATE MANAGEMENT SECTION  
LANDS DEPARTMENT****List of Slope Maintenance Responsibility Area(s)**

<b>1</b>	<b>7SE-D/C86</b>	<b>Sub-Division</b>		Not Applicable
	<b>Location</b>	ADJOINING HIRAM'S HIGHWAY NEAR SPOT LEVEL 16.7		
	<b>Responsible Lot/Party</b>	Highways Department	<b>Maintenance Agent</b>	Highways Department
	<b>Remarks</b>	For enquiries about the maintenance of this slope / sub-division of the slope, please contact the Maintenance Agent directly.		

- End of Report -






**Notes:**

- (i) The location plan in Annex is for identification purposes of slope(s) only.
- (ii) The slope(s) as listed in the Slope Maintenance Responsibility Report may not be shown on the location plan in Annex.

The use of this report and plan is subject to the terms and conditions set out under the respective Disclaimers, Copyright Notice and Privacy Policy displayed on the Slope Maintenance Responsibility Information System webpage at <http://www.slope.landsd.gov.hk/smr/s/disclaimer>. The contents of this report and plan, including but not limited to all text, graphics, drawings, diagrams and compilation of data or other materials are protected by copyright. The users of this report and plan acknowledge that the Government of the Hong Kong Special Administrative Region is the owner of all copyright works contained in this report and plan. Any reproduction, adaptation, distribution, dissemination or making available of any copyright works contained in this report and plan to the public is strictly prohibited unless prior written authorization is obtained from the Lands Department.

Search Criteria: 7SE-D/C86



-  Slope Area(s)  
 Search Location  
 Slope(s) Maintained by Government  
 Slope(s) Maintained by Private Party/Parties  
 Slope(s) Maintained by Government and Private Party/Parties



**ESTATE MANAGEMENT SECTION  
LANDS DEPARTMENT**

This Plan is **NOT TO SCALE** and intended for **IDENTIFICATION** only. All information shown on this plan **MUST** be verified by field survey.

Printed on: 18/12/2021

The use of this report and plan is subject to the terms and conditions set out under the respective Disclaimers, Copyright Notice and Privacy Policy displayed on the Slope Maintenance Responsibility Information System webpage at <http://www.slope.landsd.gov.hk/smrri/disclaimer>. The contents of this report and plan, including but not limited to all text, graphics, drawings, diagrams and compilation of data or other materials are protected by copyright. The users of this report and plan acknowledge that the Government of the Hong Kong Special Administrative Region is the owner of all copyright works contained in this report and plan. Any reproduction, adaptation, distribution, dissemination or making available of any copyright works contained in this report and plan to the public is strictly prohibited unless prior written authorization is obtained from the Lands Department.

Search Criteria: 7SE-D/C86

## **Appendix C**

Slope Records Retrieved from CEDD - Feature No. 7SE-D/C86



## MAINTENANCE RESPONSIBILITY

Government Feature    Party: HyD    Agent: HyD

## DETAILS OF SLOPE / RETAINING WALL

Date of Inspection: 01-02-2011

Data Source: EI(HyD)

Slope Part Drainage: (1) Position: Berm    Size(mm): 225  
(2) Position: Crest    Size(mm): 225  
(3) Position: Stepped    Size(mm): 225  
(4) Position: Toe    Size(mm): 225

Wall Part Drainage: N/A

## SLOPE PART

Slope Part (1)

Surface Protection (%): Bare: 0    Vegetated: 60    Chunam: 0    Shotcrete: 0    Other Cover: 40

Material Description: Material type: Soil    Geology: N/A

Berm: No. of Berms: 1    Min. Berm Width (m): 0.6

Weepholes: Size (mm): N/A    Spacing (m): N/A

## WALL PART

N/A

## SERVICES

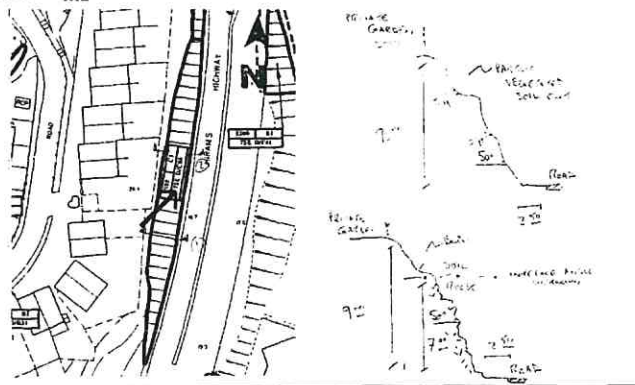
- (1) Utilities Type: Cable Size(mm): 0 Location: Toe Remark: Size cannot be determined
- (2) Utilities Type: Electricity Size(mm): 0 Location: Toe Remark: Size cannot be determined
- (3) Utilities Type: Water Main Size(mm): 200 Location: Toe Remark: N/A

## STAGE 1 STUDY REPORT

Inspected On: 15-04-1997

Weather: Mainly Fine

District: ME



Section No: 1-1

Height(m): H1 : 10 , H2 : 0

Type of Toe Facility: Road/footpath with heavy traffic density

Distance from Toe(m): 0

Type of Crest Facility: Densely-used playground

Distance from Crest(m): 0

Consequence Category: 2

Engineering Judgement: P

Section No: 2-2

Type of Toe Facility: Road with moderate traffic

Distance from Toe(m): 0

Type of Crest Facility: Heavily used playground

Distance from Crest(m): 0

Consequence Category: 2

Engineering Judgement: P

Sign of Seepage:	Slope : No signs of seepage Wall : N/A
Criterion A satisfied:	N
Sign of Distress:	Slope : Reasonable (near crest, mid-portion, at toe) Wall : N/A
Criterion D satisfied:	N
Non-routine maintenance required:	N
Note:	N/A
Masonry wall/Masonry facing:	N
Note:	N/A
Consequence category (for critical section):	2
Observations:	N/A
Emergency Action Required:	N
Action By:	N/A

### ACTION TO INITIATE PREVENTIVE WORKS

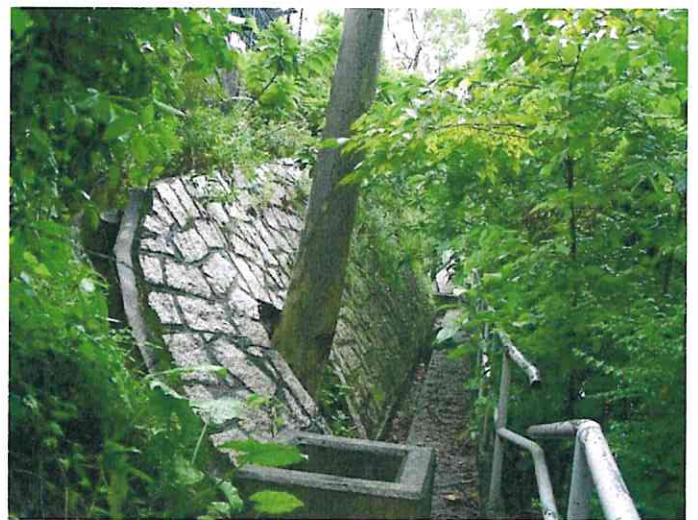
Criterion A/Criterion D:	N/A
Action By:	N/A
Further Study:	Y
Action By:	Mixed

### OTHER EXTERNAL ACTION

Check / repair Services:	N
Action By:	N/A
Non-routine Maintenance:	N
Action By:	N/A



**PHOTO**







## **Appendix D**

Extraction of Previous GI Records Prepared by Enpack (Hong Kong)  
Limited in Sep 1997

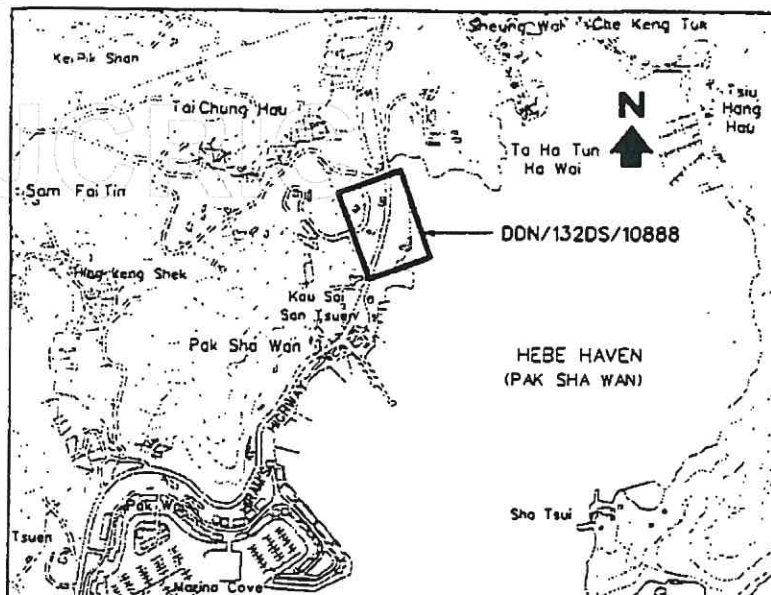


ENPACK (HONG KONG) LIMITED Civil Engineers & Contractors Astoria Building, 8th Floor, 24 Ashley Road Kowloon, Hong Kong										DRILLHOLE RECORD					HOLE NO. <b>BH 4</b>	
CONTRACT NO. <b>GE/95/10</b>										SHEET <b>1</b> of <b>1</b>						
PROJECT <b>272DS - Port Shelter Sewerage, Stage 2, Ground Investigation.</b>																
METHOD <b>RC</b>							CO-ORDINATES <b>E 844824.56 N 825289.67</b>					W.O. No <b>GE/95/10.58</b>				
MACHINE & No. <b>DR 61</b>												DATE: <b>10/09/97 to 12/09/97</b>				
FLUSHING MEDIUM <b>WATER</b>							ORIENTATION <b>VERTICAL</b>					GROUND LEVEL <b>16.57 mPD</b>				
Drilling Progress	Casing size	Water level (m) Shift start/end	T.C.R.(%)	S.C.R.(%)	R.Q.D.(%)	F.I.	Tests	Samples	Reduced Level	Depth (m)	Legend	Grade	Description			
10/9	PX							I.P.	0.50	15.97	0.60		Light yellowish brown (7.5YR/6/6), slightly silty fine to coarse SAND with some subangular fine to medium gravel sized concrete brick and rock fragments. (FILL)			
1			44	0	0	NI		12-101	0.60			IV	Weak, yellowish brown to light grey, highly decomposed fine ash crystal TUFF, highly fractured.			
2			96	72	36	15.0		1.40	15.12	1.45		IV	From 0.95-1.40m : No recovery inferred as completely to highly decomposed tuff.			
3		0.80m at 18:00				> 20						III	Moderately strong to locally weak, light grey locally yellowish brown, moderately decomposed fine ash crystal TUFF.			
4		2.45m at 08:00	100	92	85	3.0		2.70	14.37	2.20		IV	Joints are closely to locally very closely spaced, rough, planar and undulating very narrow (<6mm), iron and manganese stained, dipping at subhorizontal, 30°-40° and 65°.			
5									13.32	3.25		II	From 2.00-2.20m : Weak, highly decomposed and highly fractured.			
6			100	100	100			3.65					Moderately strong to strong, dark grey spotted black and white, moderately to slightly decomposed fine ash crystal TUFF.			
7								4.60					Joints are closely to medium, locally very closely spaced, rough, planar, extremely narrow to very narrow (<2mm), iron stained, locally kaolin infilled (<2mm), dipping at subhorizontal, 30°, 50° and 60°-75°.			
8		0.40m at 18:00											Strong to very strong, dark grey spotted, white and black, slightly decomposed fine ash crystal TUFF.			
9		3.05m at 08:00	100	100	100	5.6		5.65					Joints are medium to widely locally closely spaced, rough, planar, extremely narrow (<1mm), locally iron stained, dipping at 25°, 30° and 65°-70°.			
10								7.65	8.92				End of investigation hole at 8.92m.			

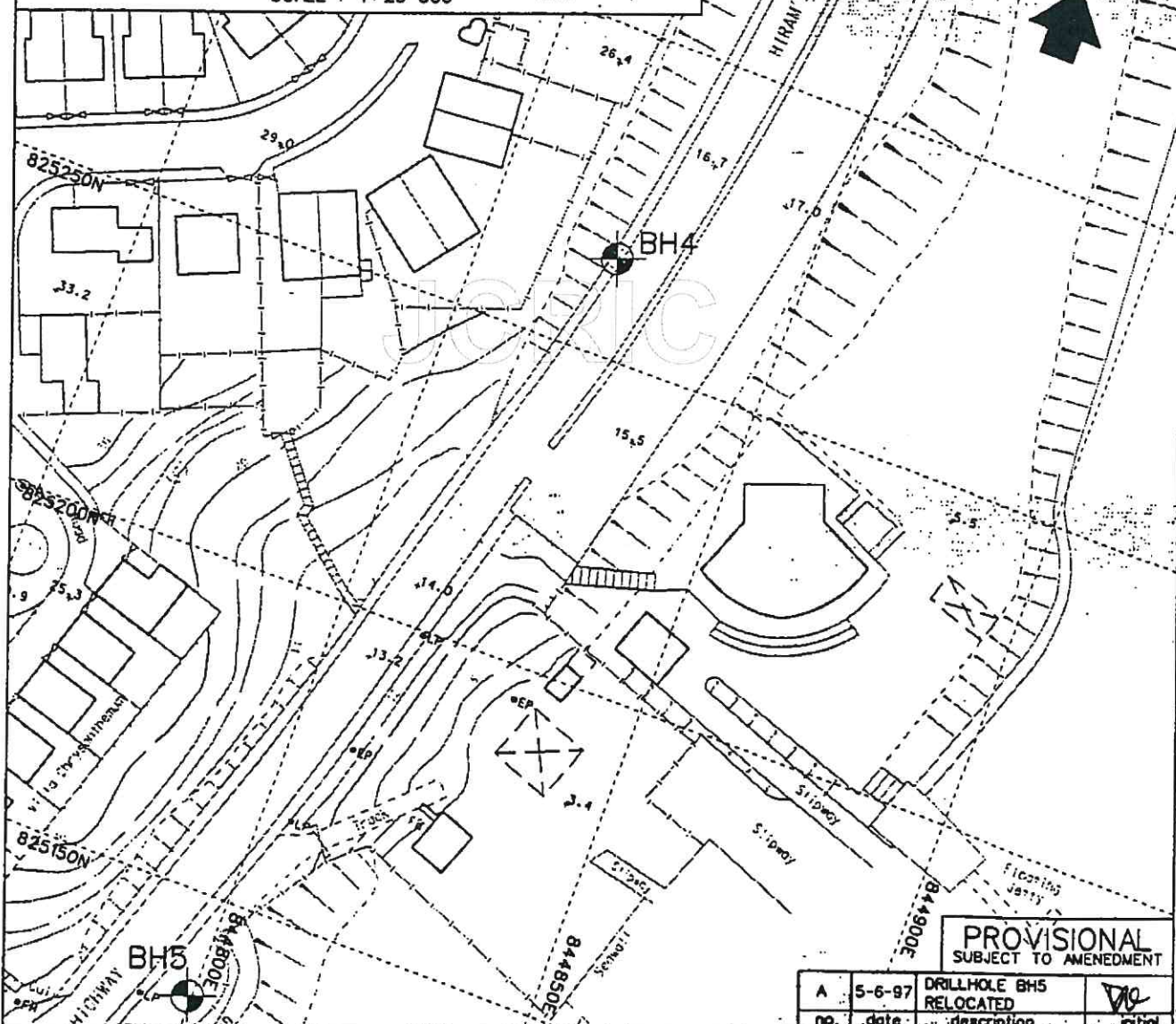
Small Disturbed Sample Piston Sample U75 Undisturbed Sample U100 Undisturbed Sample Mazier Sample SPT Liner Sample Water Sample	Standard Penetration Test In-situ Vane Shear Test Permeability Test Impression Packer Test Packer Test Piezometer Tip Observation Well Tip	LOGGED <u>C. Rigby</u> DATE <u>13/9/97</u> CHECKED <u>C.K. Chan</u> DATE <u>16/9/97</u>	REMARKS 1) One standpipe piezometer installed at 8.50m depth. 2) Prior to drilling an inspection pit was excavated by hand to 0.50m depth. 3) Core loss in core run from 0.60-1.40m : assumed to be grade V/IV tuff.
---	--	--	---





### KEY PLAN

SCALE 1:20 000



PROVISIONAL  
SUBJECT TO AMENDMENT

title  
PORT SHELTER SEWERAGE, STAGE 2  
-TAI CHUNG HAU AND PAK SHA WAN  
SEWERAGE  
  
SITE INVESTIGATION  
- LOCATION OF DRILLHOLE  
FOR PIPE JACKING

drawn by  
(SIGNED) H.T. TANG  
date  
15-4-97  
  
approved  
(SIGNED) S.K. WONG  
date  
15-4-97  
  
office  
SEWERAGE PROJECTS DIVISION

A	5-6-97	DRILLHOLE BH5 RELOCATED	initial
no.	date	description	initial
drawing no. DDN/132DS/10888A			scale 1:1000 OR AS SHOWN
DRAINAGE SERVICES DEPARTMENT HONG KONG			



羅迅測計師行  
**Lawson David & Sung**  
SURVEYORS LIMITED



**RICS**  
The mark of  
property professionalism worldwide



**宋梓華**  
**Sung Tze Wah**  
FRICS FHKIS MSISV MCIREA ACIARB RPS (GP)

**李霧儀**  
**Lee Mo Yi**  
MPIA RPP MUDD BA (Hons)

**吳恆廣**  
**Ng Hang Kwong, BBS**  
FRICS FHKIS RPS (GP)  
Honorary World Valuer (WAVO)

**林桂金**  
**Daniel K.K. Lam**  
MRICS MHKIS MCIREA RPS(GP) BSc

**宋樹鴻**  
**Sung Shu Hung**  
FRICS MHKIS RPS (GP) MCIREA  
MHIREA BSc (Hons)

**趙慧姿**  
**Chiu Wai Chi**  
MRICS MSc BBus (MK1g)

**Consultant :**

**陳志凌**  
**Elwyn C. Chan**  
RPE PMgr CEnv FIHE FCIQB MICE  
MHKIE MSOE FCMI MCIArb MSc

**劉志光**  
**Lau Chi Kwong**  
FHKIS FRICS ALS MHKIS RPS(LS) MSc

**潘孝維**  
**Pun How Wai**  
MRIBA

**By Email and Post**

Date : 23 December 2024

Your Ref.: TPB/A/SK-PK/303

Our Ref. : LDS/PLAN/7115

Secretary  
Town Planning Board  
15/F, North Point Government Offices  
333 Java Road  
North Point, Hong Kong

Dear Sir/Madam,

**Renewal of Planning Approval for Temporary Private Swimming Pool and Garden for a Period of 3 Years at Lot 1122 & Ext. (Part) in D.D. 217 and Adjoining Government Land, House B5, Habitat, Pak Sha Wan, Sai Kung, N.T.**

**(Application No. A/SK-PK/303)**

We refer to the captioned application submitted to the Town Planning Board on 17.12.2024.

We write to clarify that the Applicant has complied with approval conditions (i.e. submission and implementation of a drainage proposal) of the last application (No. A/SK-PK/268). On 20.12.2024, the Applicant has received a discharge letter from the Planning Department for approval condition for implementation of drainage proposal under last application. Therefore, there are no outstanding conditions attached to the last planning permission.

Should there be any queries, please contact our Miss Cannis Lee or Mr. Jeremy Poon at [REDACTED]

Yours faithfully,  
For and on behalf of

**Lawson David & Sung Surveyors Limited**

*Lawson David & Sung*



c.c. DPO/SK&Is (Attn.: Mr. Adrian Chiu) – By Email  
Client

*Your Assets for Growth*

香港中環雲咸街1-3號南華大廈1601室  
Room 1601, South China Building, 1-3 Wyndham Street, Central, Hong Kong.

Website : [www.LawsonSurveyors.com](http://www.LawsonSurveyors.com)





羅迅測計師行  
**Lawson David & Sung**  
SURVEYORS LIMITED



**RICS**  
The mark of  
property professionalism worldwide

Appendix Ib of RNTPC  
Paper No. A/SK-PK/303

宋梓華  
**Sung Tze Wah**  
FRICS FHKIS MSISV MCIREA ACIarb RPS (GP)

李霧備  
**Lee Mo Yi**  
MPIA RPP MUDD BA (Hons)

吳恆廣  
**Ng Hang Kwong, BBS**  
FRICS FHKIS RPS (GP)  
Honorary World Valuer (WAVO)

林桂金  
**Daniel K.K. Lam**  
MRICS MHKIS MCIREA RPS(GP) BSc

宋樹鴻  
**Sung Shu Hung**  
FRICS MHKIS RPS (GP) MCIREA  
MHIREA BSc (Hons)

趙慧姿  
**Chiu Wai Chi**  
MRICS MSc BBus (MK1g)

Consultant :

陳志凌  
**Elwyn C. Chan**  
RPE PMgr CEnv FIHE FCIOS MICE  
MHKIE MSOE FCMI MCIArb MSc

劉志光  
**Lau Chi Kwong**  
FHKIS FRICS ALS MHKIS RPS(LS) MSc

潘孝維  
**Pun How Wai**  
MRIBA

**By Email and Post**

Date : 7 February 2025  
Your Ref.: TPB/A/SK-PK/303  
Our Ref.: LDS/PLAN/7115

Secretary  
Town Planning Board  
15/F, North Point Government Offices  
333 Java Road, North Point, Hong Kong

Dear Sir/Madam,

**Renewal of Planning Approval for Temporary Private Swimming Pool and Garden for a Period of 3 Years at Lot 1122 Ext (Part) in D.D. 217 and Adjoining Government Land, House B5, Habitat, Pak Sha Wan, Sai Kung, N.T.**

**(Application No. A/SK-PK/303)**

We refer to the comments from Highways Department, Lands Department and Buildings Department and submit herewith our response in **Table 1** for your consideration.

Since the application boundary would be set back to avoid encroachment on the works area of Dualling of Hiram's Highway from Marina Cove to Sai Kung Town (HH2) and the slope boundary area of HyD Slope No. 7SE-D/C86, the application area would be reduced from about 107 sq.m. to 96 sq.m. (including about 51 sq.m. of Government land). Other development parameters will remain unchanged. Replacement pages (Pages 2 and 10) of the Application Form are also attached for your reference.

We would also like to clarify that the Lot No. under application should be Lot 1122 Ext (Part) in D.D.217 and Adjoining Government Land, House B5, Habitat, Pak Sha Wan, Sai Kung, N.T.

Should there be any queries, please contact our Miss Cannis Lee at [REDACTED].

Yours faithfully,  
For and on behalf of  
**Lawson David & Sung Surveyors Limited**

Encl.  
c.c. DPO/SK&Is (Attn.: Mr. Adrian Chiu) – By Email  
Client

*Your Assets for Growth*

香港中環雲咸街1-3號南華大廈1601室  
Room 1601, South China Building, 1-3 Wyndham Street, Central, Hong Kong.  
Email : [REDACTED] Website : [www.LawsonSurveyors.com](http://www.LawsonSurveyors.com)

**Table 1: Responses to Comments from Government Departments on Planning Application No. A/SK-PK/303 (4 February, 2025)**

COMMENTS	RESPONSES
<b>1. Major Works Project Management Office, Highways Department</b>	
<p>(i) We observed that a minor portion of the application site overlaps with the works area of our project Dualling of Hiram's Highway from Marina Cove to Sai Kung Town (HH2).</p> <p>Please be informed that works area of HH2 project was gazetted and authorized in 2021 and the overlapped areas will be used for the construction of the HH2 project. The applicant may wish to review and revise the boundary of the application site without encroaching onto the works area of the HH2 project.</p>	<p>(i) The application boundary would be set back to avoid encroachment on the works area of Dualling of Hiram's Highway from Marina Cove to Sai Kung Town (HH2). A set of revised plans (see <b>Figures 1A to 4A</b>) is attached for your reference.</p>
<b>2. Chief Highway Engineer/New Territories East, Highways Department</b>	
<p>(i) From slope maintenance point of view, the polygon the "application site" should exclude the slope boundary area of HyD slope no. 7SE-D/C86.</p>	<p>(i) The application boundary would be set back to exclude the slope boundary area of HyD slope no. 7SE-D/C86. A set of revised plans (see <b>Figures 1A to 4A</b>) is attached for your reference.</p>
<b>3. District Lands Officer/Sai Kung, Lands Department</b>	
<p>(i) The application site comprises Lot No. 1122 Ext. in D.D. 217. The New Grant No. 5684 governing Lot No. 1122 in D.D. 217 for private residential purposes, whereas the Extension to Lot No. 1122 in D.D. 217 granted by way of Extension Letter dated 13.9.1975 and 21.11.1975 is restricted for pleasure garden purposes only and no structure, other than boundary walls and fences shall be erected. Government land is also involved.</p>	<p>(i) Noted.</p>

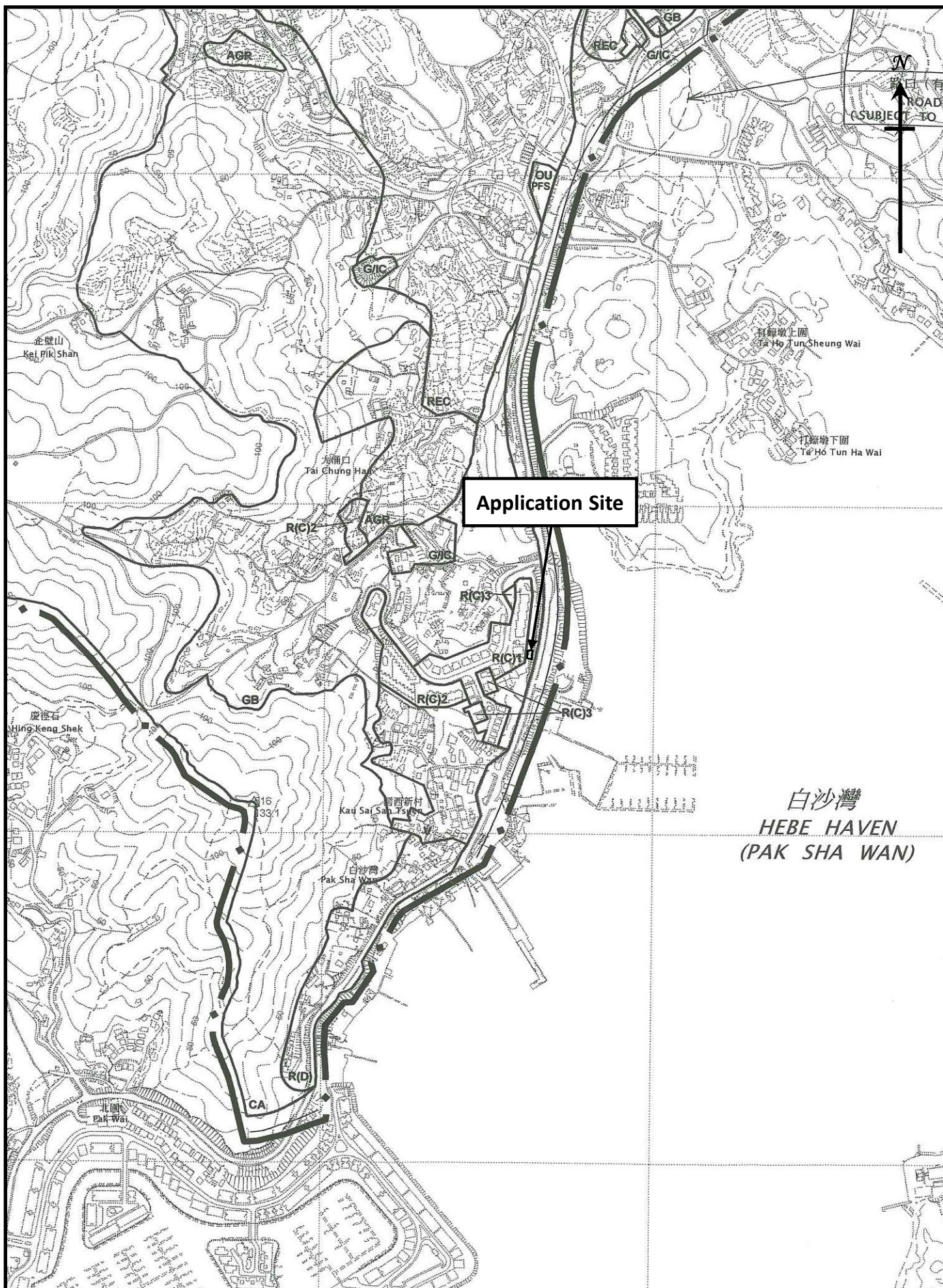


COMMENTS	RESPONSES
(ii) The private lot is not covered by any Short Term Waiver (STW). An application for STW to permit the structure erected (i.e. a portion of a swimming pool) has been submitted by the registered owner of House B5 of Lot No. 1122 in D.D. 217 and the Extensions Thereto and is being processed by this office.	(ii) Noted.
(iii) The Government land in the application site was previously covered by ex-Short Term Tenancy (STT) No. SX2971 for the purposes of private garden and swimming pool. Ex-STT No. SX2971 commencing on 29.8.2003 was terminated with effect from 21.10.2010 due to change of ownership of House B5 of Lot No. 1122 in D.D. 217 and the Extensions Thereto. An application for reissue of garden STT to cover the same land area has been submitted by the registered owner of House B5 and is being processed by this office.	(iii) Noted.
(iv) The following irregularities covered by the subject planning application were revealed:  <u>Unauthorised structure within the said private lot covered by the planning application</u>  There is unauthorized structure (i.e. a portion of a swimming pool) on the private lot. The lot owner should immediately rectify/regularize the lease breaches and this office reserves the rights to take necessary lease enforcement action against the breaches without further notice.	(iv)  The owner of House B5 of Lot No. 1122 in D.D. 217 and the Extensions Thereto has submitted an application for STW to permit the erection of a swimming pool to the Lands Department (LandsD). The owner will follow up with the LandsD on the STW application should this application be approved.

COMMENTS	RESPONSES
<p><u>Unlawful occupation of Government land adjoining the said private lot with unauthorised structure covered by the planning application</u></p> <p>The Government land within the application site has been fenced off/ illegally occupied with unauthorised structure (i.e. a portion of a swimming pool) without any permission. Any occupation of Government land without Government's prior approval is an offence under Cap. 28. This office reserves the rights to take necessary land control action against the illegal occupation of Government land without further notice.</p>	<p>The owner of House B5 of Lot No. 1122 in D.D. 217 and the Extensions Thereto has submitted an application for STT for the purpose of swimming pool and private garden to the LandsD. The owner will follow up with the LandsD on the STT application should this application be approved.</p>
<p>(v) If the planning application is approved, the applications for STW and STT will be considered by the Government in its capacity as a landlord and there is no guarantee that they will be approved. The STW and STT, if approved, will be subject to such terms and conditions including the payment of waiver fee/rent and administrative fee as considered appropriate by LandsD. Besides, given the proposed use is temporary in nature, only erection of temporary structure(s) will be considered.</p>	<p>(v) Noted.</p>
<p>(vi) It was observed that a minor portion of the application site overlapped with the works area of HyD's project, namely "PWP Item No. 6806TH Dualling of Hiram's Highway from Marina Cove to Sai Kung Town". Works area of the said project was gazetted and authorized in 2021 and the overlapped areas would be used for the</p>	<p>(vi) The application boundary would be set back to avoid encroachment on the works area of Dualling of Hiram's Highway from Marina Cove to Sai Kung Town (HH2). A set of revised plans (see <b>Figures 1A to 4A</b>) is attached for your reference.</p>

COMMENTS	RESPONSES
<p>construction of the said project. HyD advised that the applicant might wish to review and revise the boundary of the application site without encroaching onto the works area of the said project. A site plan showing the overlapping area of the application site and the works area of the said project is enclosed at Appendix I.</p>	
<p><b>4. Chief Building Surveyor/Hong Kong East &amp; Heritage, Buildings Department</b></p>	
<p>(i) All building works including construction of swimming pool on leased land are subject to compliance with the BO and allied regulations. AP must be appointed to coordinate all building works.</p>	<p>(i) The Applicant will appoint an AP to follow up with the building works in accordance with the requirements under the Building Ordinance.</p>
<p>(ii) There is no building plan approved by the Building Authority (BA) regarding the existing swimming pool. As such, the existing swimming pool is considered as an UBW against which enforcement action may be taken by the BA to effect their removal in accordance with BD's enforcement policy against UBW as necessary.</p>	<p>(ii) See our response in 4(i) above.</p>
<p>(iii) The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW, if any, on the Site under the BO.</p>	<p>(iii) Noted.</p>





# Location Plan

(Extracted from Approved Pak Kong and Sha Kok Mei Outline Zoning Plan No. S/SK-PK/11)

Figure 1A

1 : 7500



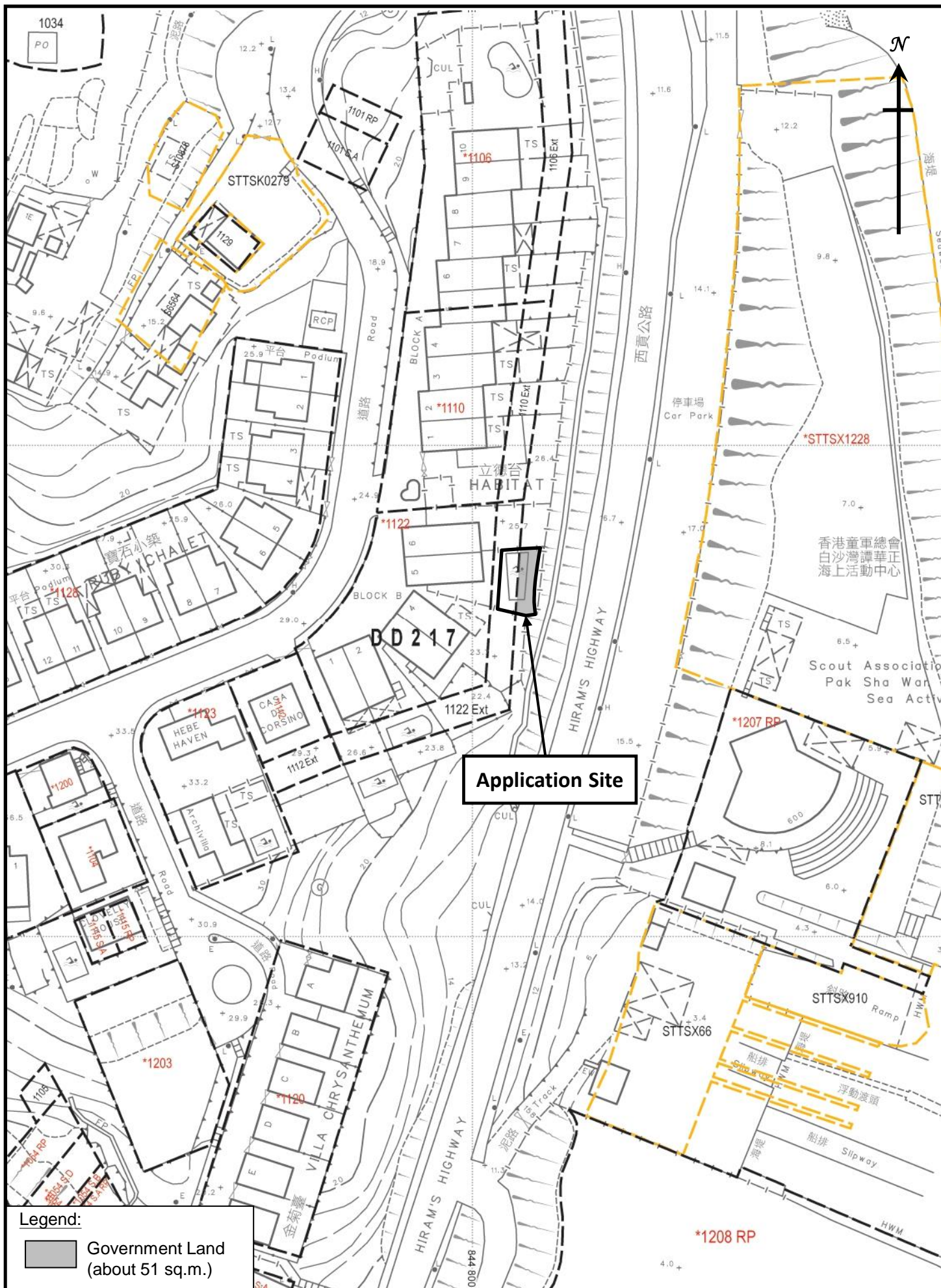
羅迅測計師行

Lawson David & Sung

SURVEYORS LIMITED

Property Consultants • Planning • Valuers • Auctioneers  
Estate Agency Licence No. C-006328





Lot Index Plan

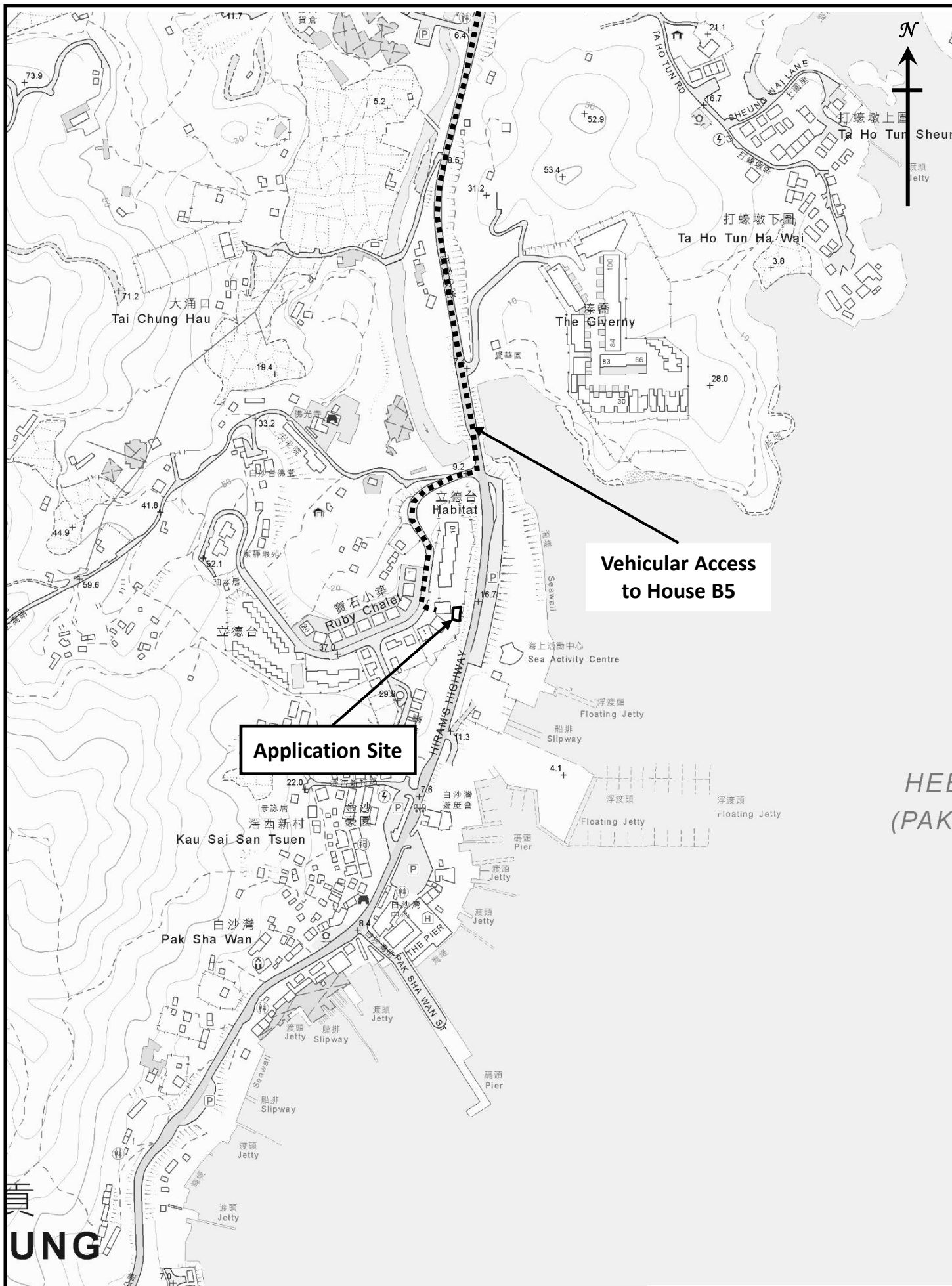
Figure 2A

1 : 1000



羅迅測計師行  
Lawson David & Sung

SURVEYORS LIMITED  
Property Consultants • Planning • Valuers • Auctioneers  
Estate Agency Licence No. C-006328



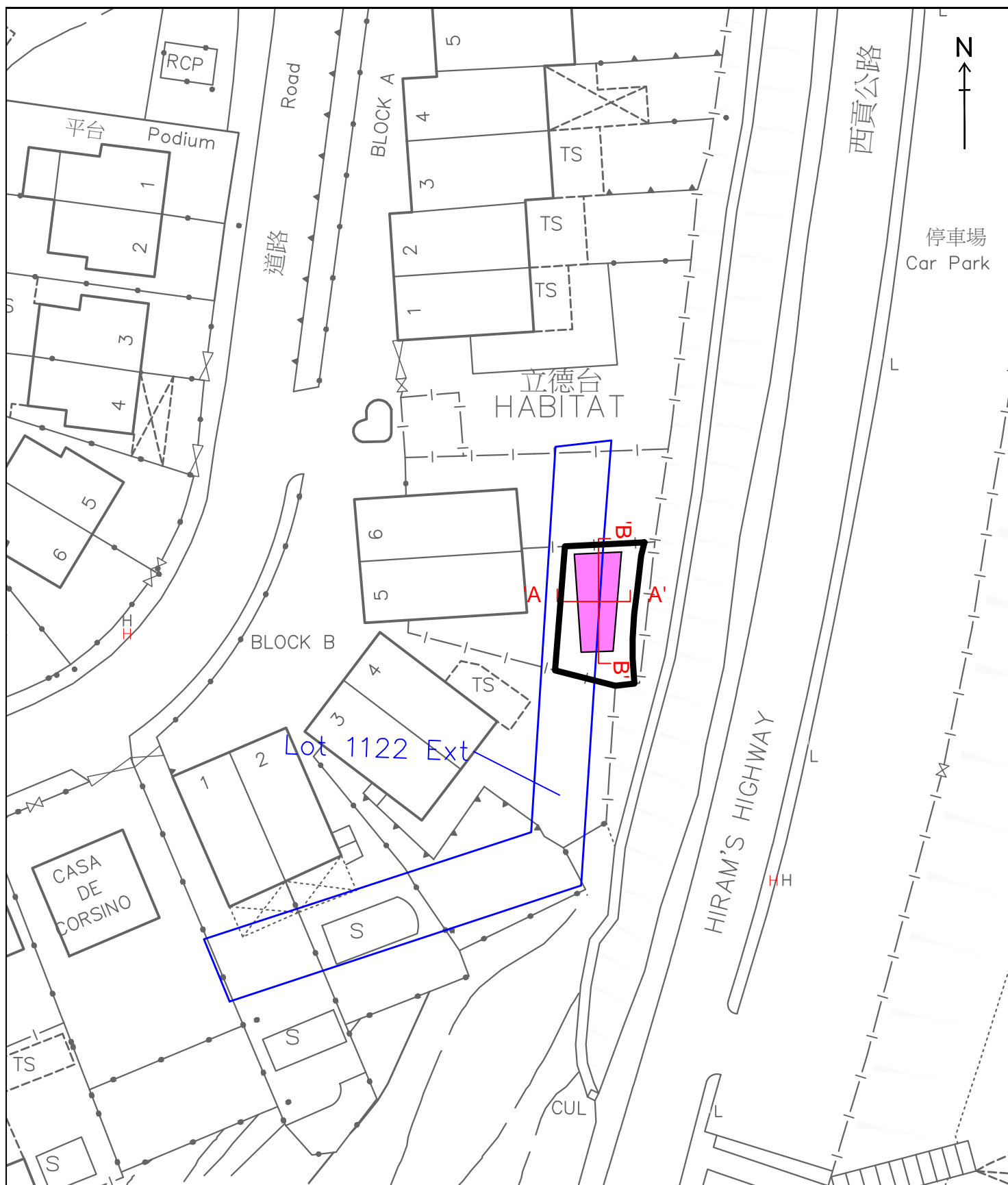
The Application Site and Its Surrounding

Figure 3A

1 : 5000



羅迅測計師行  
Lawson David & Sung  
SURVEYORS LIMITED  
Property Consultants • Planning • Valuers • Auctioneers  
Estate Agency Licence No. C-006328



**Legend:**

- Application Site (Area: about 96 sq.m.)
- Lot Boundary (For Identification Purpose)
- Swimming Pool (Area: about 35.8 sq.m.)
- AA' Sections & Section Numbers

**Layout of the Swimming Pool**

Figure 4A

Scale 1:500



羅迅測計師行  
**Lawson David & Sung**  
SURVEYORS LIMITED  
Property Consultants • Planning • Valuers • Auctioneers  
Estate Agency Licence No. C-006328



For Official Use Only 請勿填寫此欄	Application No. 申請編號	
	Date Received 收到日期	

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).  
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.  
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

<b>1. Name of Applicant 申請人姓名/名稱</b>	
( <input type="checkbox"/> Mr. 先生 / <input type="checkbox"/> Mrs. 夫人 / <input type="checkbox"/> Miss 小姐 / <input type="checkbox"/> Ms. 女士 / <input checked="" type="checkbox"/> Company 公司 / <input type="checkbox"/> Organisation 機構 )	
Forever Sound Limited	
<b>2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)</b>	
( <input type="checkbox"/> Mr. 先生 / <input type="checkbox"/> Mrs. 夫人 / <input type="checkbox"/> Miss 小姐 / <input type="checkbox"/> Ms. 女士 / <input checked="" type="checkbox"/> Company 公司 / <input type="checkbox"/> Organisation 機構 )	
Lawson David & Sung Surveyors Limited (羅迅測計師行有限公司)	
<b>3. Application Site 申請地點</b>	
(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lot 1122 Ext (Part) in D.D. 217 and Adjoining Government Land, House B5, Habitat, Pak Sha Wan, Sai Kung, N.T.
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 ..... 96 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Gross floor area 總樓面面積 ..... NA ..... sq.m 平方米 <input type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	..... 51 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約



<b>Gist of Application 申請摘要</b> (Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.) (請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)	
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置／地址	Lot 1122 Ext (Part) in D.D. 217 and Adjoining Government Land, House B5, Habitat, Pak Sha Wan, Sai Kung, N.T.
Site area 地盤面積	96 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 51 sq. m 平方米 <input checked="" type="checkbox"/> About 約)
Plan 圖則	Approved Pak Kong and Sha Kok Mei Outline Zoning Plan No. S/SK-PK/11
Zoning 地帶	Green Belt ("GB")
Type of Application 申請類別	<input type="checkbox"/> Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____  <input checked="" type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 <input checked="" type="checkbox"/> Year(s) 年 <u>3</u> <input type="checkbox"/> Month(s) 月 _____
Applied use/ development 申請用途/發展	Temporary Private Swimming Pool and Garden for a Period of 3 years

**Relevant Extract of Town Planning Board Guidelines for  
Application for Development within Green Belt Zone  
under Section 16 of the Town Planning Ordinance  
(TPB PG-No. 10)**

The relevant assessment criteria are as follows:

- (a) there is a general presumption against development in the “Green Belt” (“GB”) zone;
- (b) applications for new development in the “GB” zone will only be considered in exceptional circumstances and must be justified with very strong planning grounds. The scale and intensity of the proposed development including the plot ratio, site coverage and building height should be compatible with the character of surrounding areas;
- (c) applications for New Territories Exempted House with satisfactory sewage disposal facilities and access arrangements may be approved if the application sites are in close proximity to existing villages and in keeping with the surrounding uses, and where the development is to meet the demand from indigenous villagers;
- (d) the design and layout of any proposed development should be compatible with the surrounding area. The development should not involve extensive clearance of existing natural vegetation, affect the existing natural landscape, or cause any adverse visual impact on the surrounding environment;
- (e) the proposed development should not overstrain the capacity of existing and planned infrastructure such as sewerage, roads and water supply. It should not adversely affect drainage or aggravate flooding in the area;
- (f) the proposed development should not overstrain the overall provision of government, institution and community facilities in the general area; and
- (g) any proposed development on a slope of hillside should not adversely affect slope stability.

**Relevant Extracts of Town Planning Board Guidelines  
on Renewal of Planning Approval and Extension of Time for Compliance  
with Planning Conditions for Temporary Use or Development  
(TPB PG-No. 34D)**

1. The criteria for assessing applications for renewal of planning approval include:
  - (a) whether there has been any material change in planning circumstances since the previous temporary approval was granted (such as a change in the planning policy/land-use zoning for the area) or a change in the land uses of the surrounding areas;
  - (b) whether there are any adverse planning implications arising from the renewal of the planning approval (such as pre-emption of planned permanent development);
  - (c) whether the planning conditions under previous approval have been complied with to the satisfaction of relevant Government departments within the specified time limits;
  - (d) whether the approval period sought is reasonable; and
  - (e) any other relevant considerations.
2. Under normal circumstances, the approval period for renewal should not be longer than the original validity period of the temporary approval. In general, the Town Planning Board (the Board) is unlikely to grant an approval period exceeding three years unless there are strong justifications and the period is allowed for under the relevant statutory plans. Depending on the circumstances of each case, the Board could determine the appropriate approval period, which may be shorter than the time under request.

**Previous s.16 Applications covering the Application Site**

<b>Application No. and Proposed Use</b>	<b>Date of Consideration</b>	<b>Decision of RNTPC</b>	<b>Approval Condition</b>
A/SK-PK/126 Private Swimming Pool for a Temporary Period of Three Years	29.8.2003	Approved	Nil
A/SK-PK/268 Temporary Private Swimming Pool and Garden for a Period of Three Years	18.2.2022	Approved	(a)

**Approval Condition**

- (a) Submission and implementation of a drainage proposal



**Similar s.16 Application within the same “GB” Zone on  
the Pak Kong and Sha Kok Mei OZP**

<b>Application No. and Proposed Use</b>	<b>Location</b>	<b>Date of Consideration</b>	<b>Decision of the RNTPC/ TPB</b>	<b>Approval Conditions</b>
A/SK-PK/111 Proposed Temporary Private Swimming Pool for a Period of Three Years	Lot 1112 Ext in D.D. 217, Pak Sha Wan, Sai Kung, New Territories	21.12.2001	Approved with conditions [Revoked on 21.6.2002]	(a) to (d)

**Approval Conditions:**

- (a) Submission and implementation of landscaping proposals
- (b) Submission of geotechnical assessment and implementation of geotechnical proposals
- (c) Revocation of planning approval if conditions not complied with by a given date
- (d) Reinstatement of the application site to amenity area upon expiry of the planning permission

**Government Departments' General Comments**

**1. Land Administration**

Comments of the District Lands Officer/Sai Kung, Lands Department:

- (a) no objection to the application;
- (b) the Site comprises Lot No. 1122 Ext. in D.D. 217. The New Grant No. 5684 governing Lot No. 1122 in D.D. 217 for private residential purposes, whereas the Extension to Lot No. 1122 in D.D. 217 granted by way of Extension Letter dated 13.9.1975 and 21.11.1975 is restricted for pleasure garden purposes only and no structure, other than boundary walls and fences shall be erected. Government land (GL) is also involved;
- (c) the private lot is not covered by any Short Term Waiver (STW). An application for STW to permit the structure erected (i.e. a portion of a swimming pool) has been submitted by the registered owner of House B5 of Lot No. 1122 in D.D. 217 and the Extensions Thereto and is being processed by this office;
- (d) the GL in the Site was previously covered by ex-Short Term Tenancy (STT) No. SX2971 for the purposes of private garden and swimming pool. Ex-STT No. SX2971 commencing on 29.8.2003 was terminated with effect from 21.10.2010 due to change of ownership of House B5 of Lot No. 1122 in D.D. 217 and the Extensions Thereto. An application for reissue of garden STT to cover the same land area has been submitted by the registered owner of House B5 and is being processed by this office;

**Unauthorised structure within the said private lot covered by the planning application**

- (e) there is unauthorized structure (i.e. a portion of a swimming pool) on the private lot. The lot owner should immediately rectify/regularize the lease breaches and this office reserves the rights to take necessary lease enforcement action against the breaches without further notice;

**Unlawful occupation of GL adjoining the said private lot with unauthorised structure covered by the planning application**

- (f) the GL within the Site has been fenced off or illegally occupied with unauthorised structure (i.e. a portion of a swimming pool) without any permission. Any occupation of GL without Government's prior approval is an offence under Cap. 28. This office reserves the rights to take necessary land control action against the illegal occupation of GL without further notice; and
- (g) if the planning application is approved, the applications for STW and STT will be considered by the Government in its capacity as a landlord and there is no guarantee that they will be approved. The STW and STT, if approved, will be subject to such terms and conditions including the payment of waiver fee/rent and administrative fee as

considered appropriate by LandsD. Besides, given the proposed use is temporary in nature, only erection of temporary structure(s) will be considered.

## **2. Environment**

Comments of the Director of Environmental Protection:

- (a) no objection to the application;
- (b) according to the Applicant, the swimming pool water would be filtered and disposed via the existing storm drain. Backwash from the filter would be treated by gravity separation followed by proper handling and disposal of separated solid waste whereas the separated water portion would be re-filtered then internally circulated into the swimming pool; and
- (c) on the above basis, no adverse water quality impact arising from the proposed swimming pool is anticipated.

## **3. Landscape**

Comments of the Chief Town Planner/Urban Design & Landscape, Planning Department:

- (a) no comment on the captioned renewal application from landscape planning perspective;
- (b) with reference to the aerial photo of 2023, it is observed that the Site is situated in an area of miscellaneous rural fringe landscape character predominated by low-rise residential houses and tree groups. The proposed use is considered not incompatible with the surrounding setting and landscape character; and
- (c) based on site photos record dated 31.12.2024, it is noted that the Site is already developed. Moreover, the Executive Summary in **Appendix Ia** states that “there will be no change in the nature of use and development parameters of the propose development from the last application” (No. A/SK-PK/268), hence further significant landscape impact arising from the renewal application is not anticipated.

## **4. Traffic**

Comments of the Chief Highway Engineer/Major Works Project Management Office, Highways Department (HyD):

- (a) no adverse comments on the application from Dualling of Hiram's Highway from Marina Cove to Sai Kung Town project perspective; and
- (b) other comments are in the advisory clauses at **Appendix VII**.

Comment of the Chief Highway Engineer/New Territories East, HyD:

no comment on the application from slope maintenance point of view provided that the slope boundary area of HyD slope no. 7SE-D/C86 is excluded from the application boundary.

**5. Drainage**

Comment of the Chief Engineer/Mainland South, Drainage Services Department:

no comment on the application from drainage viewpoint as there shall be no public drainage issue involved.

**6. Building Matters**

Comments of the Chief Building Surveyor/New Territories East (2) and Rail, Buildings Department:

- (a) no in-principle objection under the Building Ordinance (BO) to the renewal application subject to the following comments;
- (b) all building works including construction of swimming pool on leased land are subject to compliance with the BO and allied regulations. Authorized person must be appointed to coordinate all building works;
- (c) there is no building plan approved by the Building Authority (BA) regarding the existing swimming pool. As such, the existing swimming pool is considered as unauthorised building works (UBW) against which enforcement action may be taken by the BA to effect their removal in accordance with Building Department's enforcement policy against UBW as necessary; and
- (d) the granting of any planning approval should not be construed as an acceptance of any existing building works or UBW, if any, on the Site under the BO.

**7. Geotechnical**

Comments of the Head of Geotechnical Engineering Office, Civil Engineering and Development Department:

- (a) no adverse geotechnical comment on the application; and
- (b) other comments are in the advisory clauses at **Appendix VII**.

**8. Food and Environmental Hygiene**

Comments of the Director of Food and Environmental Hygiene:



- (c) no adverse comment on the application; and
- (d) other comments are in the advisory clauses at **Appendix VII**.

**9. Other Departments**

The following departments have no objection to/comment on the application:

- (a) Director of Fire Services;
- (b) Commissioner for Transport;
- (c) Chief Engineer/Construction, Water Supplies Department;
- (d) Director of Agriculture, Fisheries and Conservation;
- (e) Director of Electrical and Mechanical Services;
- (f) Chief Engineer (Works), Home Affairs Department (HAD); and
- (g) District Officer/Sai Kung, HAD

**Recommended Advisory Clauses**

- (a) to note the comments of the Director of Food and Environmental Hygiene that:
- (i) under the Swimming Pools Regulation (Cap 132 sub. leg.), private swimming pools which serve more than 20 residential units and which are accessible to the public require a swimming pool licence from Food and Environmental Hygiene Department (FEHD). No person shall take any part in the management of a swimming pool and the establishment or maintenance of which has not been licensed. However, the Regulation does not apply to any swimming pool which serves not more than 20 residential units and to which the public have no access; and
  - (ii) no FEHD's facilities will be affected and such activity and operation shall not cause any environmental nuisance and pest infestation to the surrounding;
- (b) to note the comments of the Chief Highway Engineer/Major Works Project Management Office, Highways Department (HyD) that given the application is in proximity to the works boundary of the Dualling of Hiram's Highway from Marina Cove to Sai Kung Town (HH2) project, the applicant is reminded to seek advice from HyD and coordinate with the contractor of the HH2 project regarding any works related to the subject application that may interface with the HH2 project; and
- (c) to note the comments of the Head of Geotechnical Engineering Office, Civil Engineering and Development Department that given the proposed swimming pool is located at the crest of slope (Feature No. 7SE-D/C86), it would appear to pose a threat to the slope if extreme care and control is not exercised in the planning, design, construction or supervision of the works. The applicant should refer to the "Code of Practice on Monitoring and Maintenance of Water-carrying services Affecting Slopes (ETWB 2006)" which provides good technical guideline for the proposed works, such as the Section nos. 3.1 and 8 stated that for a new water-carrying services, they should be kept as far away as possible from the area within which leakage could affect slope.