

2024年 8月 2 6日

此文件在 _____ 收到，城市規劃委員會
只會在收到所有必要的資料及文件後才正式確認收到
申請的日期。

26 AUG 2024

Form No. S16-II
表格第 S16-II 號

This document is received on _____
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

**APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP. 131)**

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

**Applicable to Proposal Only Involving Construction of
“New Territories Exempted House(s)”**

適用於只涉及興建「新界豁免管制屋宇」的建議

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.tpb.gov.hk/tc/plan_application/apply.html

General Note and Annotation for the Form
填寫表格的一般指引及註解

“Current land owner” means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill “NA” for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2402023

19/8

By hand

Form No. S16-II 表格第 S16-II 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A / TP / 698
	Date Received 收到日期	26 AUG 2024

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會 (下稱「委員會」) 秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☒ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☐ Organisation 機構)

CHANG KAM LUN (張錦麟)

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

MANSFIELD ENGINEERING CONSULTANT COMPANY

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lot Nos. 83 S.C RP and 470 S.D, in D.D. 21, San Uk Ka Village, Tai Po, New Territories 大埔新屋家村丈量約份第21約地段第83號C分段餘段及第470號D分段
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<p>120.7</p> <p><input checked="" type="checkbox"/> Site area 地盤面積 (See Appendix II for details) sq.m 平方米 <input checked="" type="checkbox"/> About 約 (65.03 x 3)</p> <p><input checked="" type="checkbox"/> Gross floor area 總樓面面積 = 195.09 sq.m 平方米 <input type="checkbox"/> About 約</p>
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	NIL sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Tai Po Outline Zoning Plan No. S/TP/30 (Gazetted on 08/07/2022)
(e) Land use zone(s) involved 涉及的土地用途地帶	Green Belt (GB)
(f) Current use(s) 現時用途	Vacant site (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. “Current Land Owner” of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

☒ is the sole “current land owner”[#] (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」[#] (請繼續填寫第 6 部分，並夾附業權證明文件)。

☐ is one of the “current land owners”[#] (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」[#] (請夾附業權證明文件)。

☐ is not a “current land owner”[#].
並不是「現行土地擁有人」[#]。

☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification 就土地擁有人的同意/通知土地擁有人的陳述

(a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of “current land owner(s)”[#].
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」[#]。

(b) The applicant 申請人 –

☐ has obtained consent(s) of “current land owner(s)”[#].
已取得 名「現行土地擁有人」[#]的同意。

Details of consent of “current land owner(s)” [#] obtained 取得「現行土地擁有人」 [#] 同意的詳情		
No. of “Current Land Owner(s)” 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified "current land owner(s)"#
已通知 名「現行土地擁有人」#。

Details of the "current land owner(s)"# notified 已獲通知「現行土地擁有人」#的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼/處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on (DD/MM/YYYY)#&
於 (日/月/年)向每一名「現行土地擁有人」#郵遞要求同意書&

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on (DD/MM/YYYY)&
於 (日/月/年)在指定報章就申請刊登一次通知&
- ☐ posted notice in a prominent position on or near application site/premises on (DD/MM/YYYY)&
於 (日/月/年)在申請地點/申請處所或附近的顯明位置貼出關於該申請的通知&
- ☐ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on (DD/MM/YYYY)&
於 (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會&

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Development Proposal 擬議發展計劃			
(a) Name(s) of indigenous villager(s) (if applicable) 原居民姓名 (如適用)	CHANG KAM LUN (張錦麟)		
(b) 原居民所屬的原居鄉村 (如適用) The related indigenous village of the indigenous villager(s) (if applicable)	SHA LO TUNG CHEUNG UK VILLAGE 沙羅洞張屋村		
(c) Proposed gross floor area 擬議總樓面面積	195.09 sq.m 平方米 <input type="checkbox"/> About 約		
(d) Proposed number of house(s) 擬議房屋幢數	1	Proposed number of storeys of each house 每幢房屋的擬議層數	3
(e) Proposed roofed over area of each house 每幢房屋的擬議上蓋面積	65.03 sq.m 平方米	Proposed building height of each house 每幢房屋的擬議高度	8.23 m 米
(f) Proposed use(s) of uncovered area (if any) 露天地方 (倘有) 的擬議用途	OPEN SPACE / GARDEN (Please illustrate on plan the total number and dimension of each car parking space, and/or location of septic tank, where applicable) (請在圖則上顯示, 並註明車位總數, 以及每個車位的長度和寬度及/或化糞池的位置 (如適用))		
(g) Any vehicular access to the site/subject building? 是否有車路通往地盤/有關建築物?	Yes 是 <input type="checkbox"/> No 否 <input checked="" type="checkbox"/>	<input type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) <input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示, 並註明車路的闊度)	
(h) Can the proposed house(s) be connected to public sewer? 擬議的屋宇發展能否接駁至公共污水渠?	Yes 是 <input type="checkbox"/> No 否 <input checked="" type="checkbox"/>	(Please indicate on plan the sewerage connection proposal. 請用圖則顯示接駁公共污水渠的路線) (Please indicate on plan the location of the proposed septic tank. 請用圖則顯示化糞池的位置)	

7. Impacts of Development Proposal 擬議發展計劃的影響

If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures.

如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。

<p>Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?</p>	<p>Yes 是 <input type="checkbox"/> Please provide details 請提供詳情</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>No 否 <input checked="" type="checkbox"/></p>																														
<p>Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程?</p>	<p>Yes 是 <input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地/池塘界線，以及河道改道、填塘、填土及/或挖土的細節及/或範圍)</p> <p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約</p> <p>No 否 <input checked="" type="checkbox"/></p>																														
<p>Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?</p>	<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> </table> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>	On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
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Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													

8. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

- SEE JUSTIFICATIONS IN APPENDIX III -

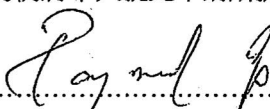
9. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.
本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature

簽署



YIP FOOK WAH, RAYMOND

Name in Block Letters

姓名（請以正楷填寫）

☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

PROJECT CONSULTANT

Position (if applicable)

職位（如適用）

Professional Qualification(s)

專業資格

☐ Member 會員 / ☐ Fellow of 資深會員☐ HKIP 香港規劃師學會 /☐ HKIA 香港建築師學會 /☐ HKIS 香港測量師學會 /☐ HKIE 香港工程師學會 /☐ HKILA 香港園境師學會 /☐ HKIUD 香港城市設計學會☐ RPP 註冊專業規劃師

Others 其他

on behalf of

代表

MANSFIELD ENGINEERING CONSULTANT COMPANY

☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

16/08/2024

(DD/MM/YYYY 日/月/年)

**Remark 備註**

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
- (b) facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要	
(Please provide details in both English and Chinese <u>as far as possible</u> . This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.) (請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)	
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置／地址	Lot Nos. 83 S.C RP and 470 S.D, in D.D. 21, San Uk Ka Village, Tai Po, New Territories 大埔新屋家村丈量約份第21約地段第83號C分段餘段及 第470號D分段
Site area 地盤面積	120.7 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 sq. m 平方米 <input type="checkbox"/> About 約)
Plan 圖則	Tai Po Outline Zoning Plan No. S/TP/30 大埔分區計劃大綱草圖編號 S/TP/30
Zoning 地帶	"GREEN BELT" 「綠化地帶」
Applied use/ development 申請用途／發展	New Territories Exempted House 新界豁免管制屋宇 <input checked="" type="checkbox"/> Small House 小型屋宇
(i) Proposed Gross floor area 擬議總樓面面積	195.09 sq.m 平方米 <input type="checkbox"/> About 約
(ii) Proposed No. of house(s) 擬議房屋幢數	1
(iii) Proposed building height/No. of storeys 建築物高度／層數	8.23 m 米 <input checked="" type="checkbox"/> (Not more than 不多於) 3 Storeys(s) 層

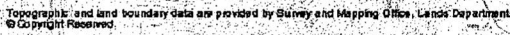
Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件

	<u>Chinese</u> 中文	<u>English</u> 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input checked="" type="checkbox"/>
LOCATION PLAN (APPENDIX I); SMALL HOUSE PLAN (APPENDIX II);		
STORMWATER DRAINAGE PLAN (APPENDIX V); CURRENT SITE PHOTOGRAPH (APPENDIX VI).		
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估（噪音、空氣及／或水的污染）	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input type="checkbox"/>

Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

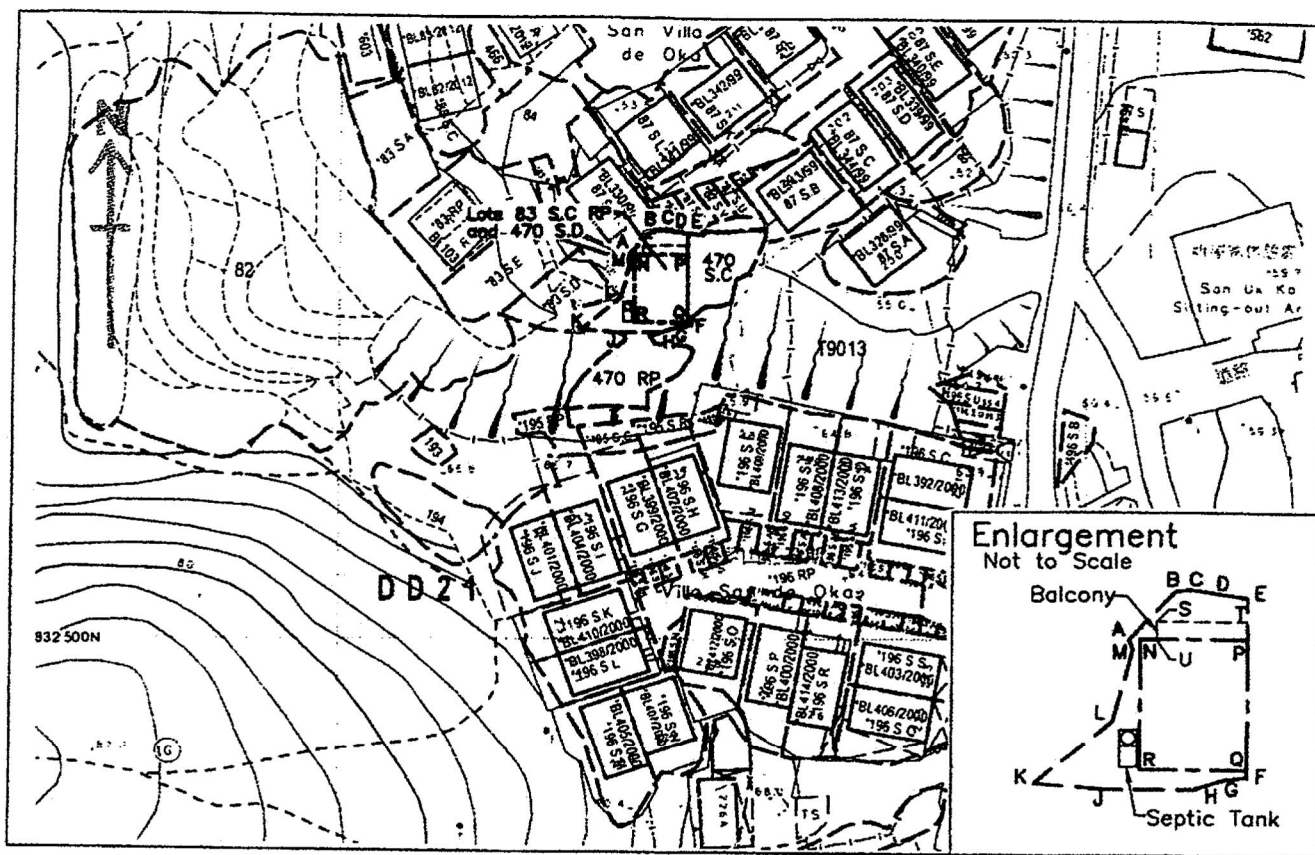
註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。



LOCATION: LAKE

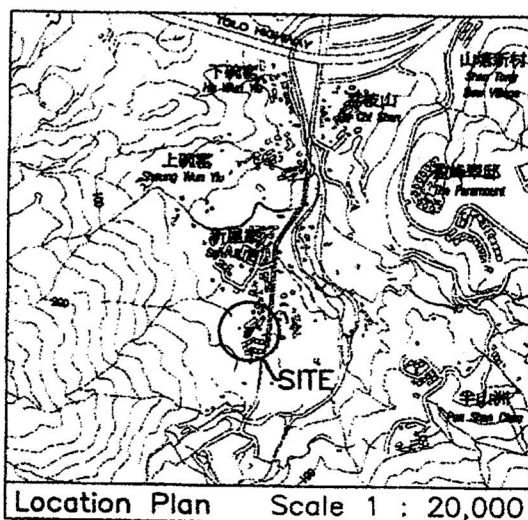
APPENDIX II

Proposed Small House Location Plan - D.D. 21



Survey Sheet No.: 7-NW-14C

Scale 1 : 1,000



Location Plan Scale 1 : 20,000

San Uk Ka

Lot Nos. 83 S.C. RP & 470 S.D.

Boundary Dimensions: (Area = 120.7 sqm)

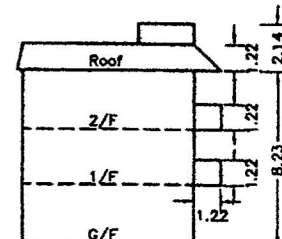
From	To	Bearing (d-m-s)	Distance (m)	Pt.	N	E
A	B	43°05'47"	4.619	A	832552.605	834839.082
B	C	84°00'16"	1.046	B	832555.978	834842.238
C	D	98°02'58"	1.595	C	832556.087	834843.278
D	E	98°17'32"	2.136	D	832555.864	834844.857
E	F	180°00'00"	12.516	E	832555.556	834846.971
F	G	262°34'33"	1.725	F	832543.040	834846.971
G	H	250°06'29"	1.976	G	832542.817	834845.260
H	I	270°00'00"	5.833	H	832542.145	834843.402
I	J	275°11'15"	4.747	I	832542.145	834837.569
J	K	49°56'08"	6.792	J	832542.574	834832.842
K	L	14°46'47"	5.170	K	832546.946	834838.040
L	M	337°16'51"	0.716	L	832551.944	834839.359

Proposed Small House Dimensions: (Area = 65.03 sqm)

From	To	Bearing (d-m-s)	Distance (m)	Pt.	N	E
N	P	90°00'00"	7.112	N	832552.674	834839.859
P	Q	180°00'00"	9.144	P	832552.674	834846.971
Q	R	270°00'00"	7.112	Q	832543.530	834846.971
R	N	00°00'00"	9.144	R	832543.530	834839.859

Proposed Balcony Dimensions: (Area = 7.32 sqm)

From	To	Bearing (d-m-s)	Distance (m)	Pt.	N	E
S	T	90°00'00"	6.000	S	832553.894	834840.971
T	U	180°00'00"	1.220	T	832553.894	834846.971
U	V	270°00'00"	6.000	U	832552.674	834846.971
V	S	00°00'00"	1.220	V	832552.674	834840.971



Henry H K Chan

BSc MRICS FHKIS RPS(LSD)

Authorized Land Surveyor

G/F, No. 2 Yan Wo Lane, Tai Po, New Territories

Plan No. : HC-13018/H02 Date: 26 June 2014

Tel: 2638-1313 Fax: 2638-1328

Application Site: Lots 83 S.C RP and 470 S.D in D.D. 21, San Uk Ka, Tai Po, N.T.

Justifications

(i) Background Information:

The Application is with the same proposal of planning application No. A/TP/662 for proposed house (New Territories Exempted House) development, which was approved by the Rural and New Town Planning Committee on 3.5.2019 with approval conditions and validity till 3.5.2023. Despite the planning permission was granted, District lands Office/Tai Po of lands Department could not issue the formal basic terms offer to the applicant before the expiry date due to objections were received upon posting notice. The application was then required to go through a three-tier mechanism adopted since 1.9.2017 by lands Department for proper handling of the Small House applications and the objections to the applications. While the posting notice is the final stage to reach the approval of the application and it was unexpectedly objections received, the applicant could not submit application S.16A for extension of time for commencement of development in accordance with the Town Planning Board Guideline No. 350 under s.16A of the Town Planning Ordinance (Cap.131) due to lapse of planning permission expiry on 3.5.2023.

(ii) Justifications:

Apart from the background information given above, the justifications for substantiate the application are as follows:

- a) The applicant is an indigenous villager of a recognized village of Tai Po District of who is eligible to apply for a Small House grant under the current Small House policy, and was also the applicant of the same application site under Application No. A/TP/662 previously approved with conditions by RNTPC on 3.5.2019;
- b) There hasn't been any material change in planning circumstances since the original permission was granted on 3.5.2019 in terms of the planning policy/land-use zoning of the application site;

- c) According to the "Notes" of Approved Tai Po Outline Zoning Plan No. A/TP/30 (Gazetted on 8.7.2022), it is unlikely any adverse planning implications on the previous approval with conditions to the proposed development ;
- d) the site is flat and not covered by mature trees thus significant impact by the proposed development on the existing landscape resources is not anticipated;
- e) The application site is located in the "Village Environs" (VE) of San Uk Ka and is an in-fill site to the village proper to form a new village cluster with the adjoining New Territories Exempted Houses;
- f) The proposed Small House is located within the village 'environs' ('VE') of San Uk Ka Village and there is a general shortage of land in meeting the demand for Small House development in "V" zone at San Uk Ka Village;
- g) The proposed development would not cause any visual and environmental impacts on the surrounding areas as the Site is now vacant with no trees or vegetation;
- h) The proposed development is compatible with the surrounding area mainly occupied by Small House in terms of land use, scale design and layout;
- i) There are 34 similar applications (No. A/TP/266, 274, 278, 282, 286, 287, 300, 302, 303, 320, 347, 353, 363, 380, 401, 424, 425, 464 to 477, 525, 537 and 641) in the vicinity of San Uk Ka village approved by the Board. As such, approval of the application would not set a bad precedent in the "GB" zone; and
- j) The uncovered area of the Site will be properly landscaped for the use of open space or garden purpose.

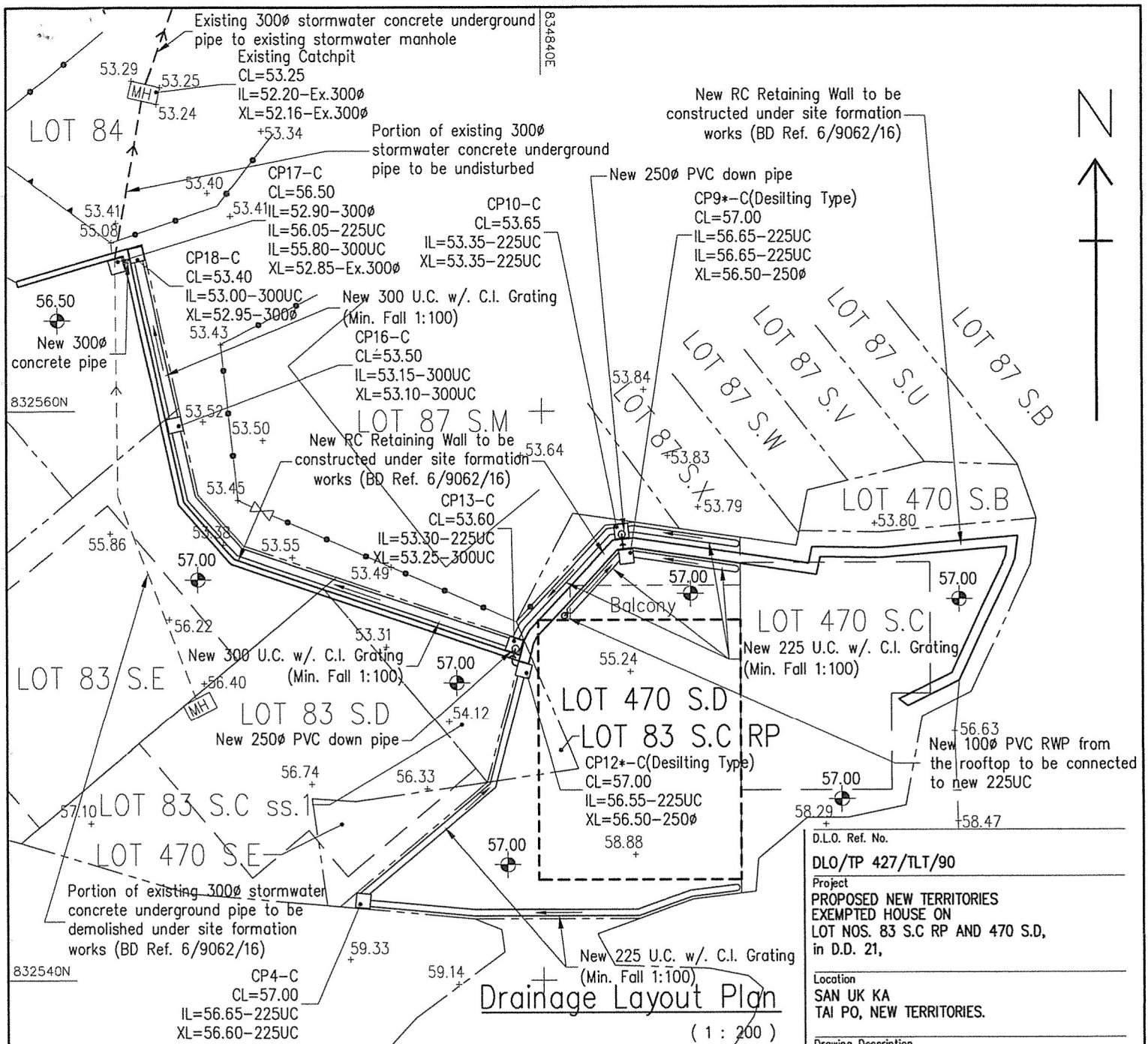
(1 : 200)

2020 RELEASE UNDER E.O. 14176

Tj – Proposed *Trachelospermum jasminoides* – 絡石
(Total 10m linear length about)

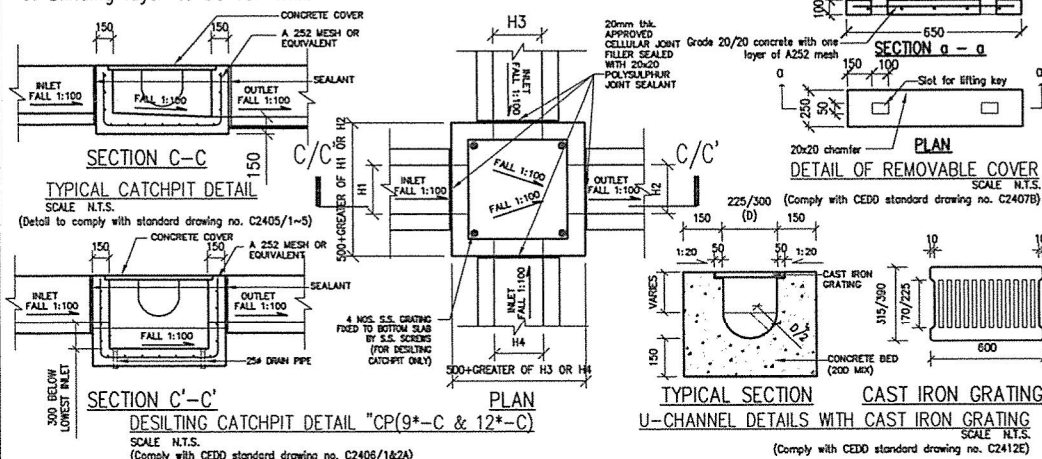
/

**MANSFIELD
ENGINEERING
CONSULTANT Co.**



GENERAL NOTES:

1. The proposed stormwater drainage works, whether within or outside the lot boundary, shall be constructed and maintained by the lot owner at his own expense. For works to be undertaken outside the lot boundary, prior consent from DLO and/or relevant private lot owners shall be sought.
2. Consent from the owner / maintenance party shall be sought for the proposed drainage connection to the existing channel in vicinity of the site.
3. All dimensions are in millimeters.
4. Foundation of all manholes varies with site condition and should be determined on site by the engineer.
5. Concrete grade to be 30D/20 design mix and comply with CS1.
6. Blinding layer to be 15P mix.



D.L.O. Ref. No.

DLO/TP 427/TLT/90

Project

PROPOSED NEW TERRITORIES
EXEMPTED HOUSE ON
LOT NOS. 83 S.C RP AND 470 S.D,
in D.D. 21,

Location

SAN UK KA
TAI PO, NEW TERRITORIES.

Drawing Description

STORMWATER DRAINAGE PROPOSAL
(TPB S16-II APPLICATION)
DRAINAGE LAYOUT PLANS
TYPICAL DETAILS AND NOTES

Date

AUG 9 2024

Scale

AS SHOWN

Drawn

KS

Designed

KS

Checked

KS

Approved

CAD Ref

Job Number

TP/22841

Drawing Number

SD-01

Rev.

/

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ENGINEERING
CONSULTANT Co.**



Application Site

Current Site Situation (14.08.2024)

此文件在_____收到。城市規劃委員會
只會在收到所有必要的資料及文件後才正式確認收到
申請的日期。

27 AUG 2024

This document is received on _____
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-II
表格第 S16-II 號

APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP. 131)

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

Applicable to Proposal Only Involving Construction of
“New Territories Exempted House(s)”

適用於只涉及興建「新界豁免管制屋宇」的建議

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.tpb.gov.hk/tc/plan_application/apply.html

General Note and Annotation for the Form
填寫表格的一般指引及註解

“Current land owner” means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill “NA” for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

240 2022

19/8

By hand

Form No. S16-II 表格第 S16-II 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/TP/699
	Date Received 收到日期	27 AUG 2024

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☒ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☐ Organisation 機構)

PANG KA HONG (彭家康)

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

MANSFIELD ENGINEERING CONSULTANT COMPANY

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	The Remaining Portion of Lot 83, in D.D. 21, San Uk Ka Village, Tai Po, New Territories. 大埔新屋家村丈量約份第21約地段第83號餘段
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<p>121.6</p> <p><input checked="" type="checkbox"/> Site area 地盤面積 (See Appendix II for details) 121.6 sq.m 平方米 <input checked="" type="checkbox"/> About 約 (65.03 x 3)</p> <p><input checked="" type="checkbox"/> Gross floor area 總樓面面積 =195.09 sq.m 平方米 <input type="checkbox"/> About 約</p>
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	NIL sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Tai Po Outline Zoning Plan No. S/TP/30 (Gazetted on 08/07/2022)
(e) Land use zone(s) involved 涉及的土地用途地帶	Green Belt (GB)
(f) Current use(s) 現時用途	Vacant site (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 -

☒ is the sole "current land owner" (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」(請繼續填寫第 6 部分，並夾附業權證明文件)。

☐ is one of the "current land owners" (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」(請夾附業權證明文件)。

☐ is not a "current land owner".
並不是「現行土地擁有人」。

☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上(請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

(a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)".
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」。

(b) The applicant 申請人 -

☐ has obtained consent(s) of "current land owner(s)".
已取得 名「現行土地擁有人」的同意。

Details of consent of "current land owner(s)" obtained 取得「現行土地擁有人」同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified "current land owner(s)"[#]
已通知 名「現行土地擁有人」[#]。

Details of the "current land owner(s)" [#] notified 已獲通知「現行土地擁有人」 [#] 的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on (DD/MM/YYYY)^{#&}
於 (日/月/年)向每一名「現行土地擁有人」[#]郵遞要求同意書[&]

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on (DD/MM/YYYY)[&]
於 (日/月/年)在指定報章就申請刊登一次通知[&]
- ☐ posted notice in a prominent position on or near application site/premises on (DD/MM/YYYY)[&]
於 (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知[&]
- ☐ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on (DD/MM/YYYY)[&]
於 (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關係的鄉事委員會[&]

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Development Proposal 擬議發展計劃			
(a) Name(s) of indigenous villager(s) (if applicable) 原居民姓名 (如適用)	PANG KA HONG (彭家康)		
(b) 原居民所屬的原居鄉村 (如適用) The related indigenous village of the indigenous villager(s) (if applicable)	TAI PO TSENG TAU VILLAGE 大埔井頭村		
(c) Proposed gross floor area 擬議總樓面面積	195.09 sq.m 平方米 <input type="checkbox"/> About 約		
(d) Proposed number of house(s) 擬議房屋幢數	1	Proposed number of storeys of each house 每幢房屋的擬議層數	3
(e) Proposed roofed over area of each house 每幢房屋的擬議上蓋面積	65.03 sq.m 平方米	Proposed building height of each house 每幢房屋的擬議高度	8.23 m 米
(f) Proposed use(s) of uncovered area (if any) 露天地方 (倘有) 的擬議用途	OPEN SPACE / GARDEN (Please illustrate on plan the total number and dimension of each car parking space, and/or location of septic tank, where applicable) (請在圖則上顯示, 並註明車位總數, 以及每個車位的長度和寬度及/或化糞池的位置 (如適用))		
(g) Any vehicular access to the site/subject building? 是否有車路通往地盤/有關建築物?	Yes 是 <input type="checkbox"/> No 否 <input checked="" type="checkbox"/>	<input type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) <input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示, 並註明車路的闊度)	
(h) Can the proposed house(s) be connected to public sewer? 擬議的屋宇發展能否接駁至公共污水渠?	Yes 是 <input type="checkbox"/> No 否 <input checked="" type="checkbox"/>	(Please indicate on plan the sewerage connection proposal. 請用圖則顯示接駁公共污水渠的路線) (Please indicate on plan the location of the proposed septic tank. 請用圖則顯示化糞池的位置)	

7. Impacts of Development Proposal 擬議發展計劃的影響

If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures.

如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。

<p>Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?</p>	<p>Yes 是 <input type="checkbox"/> Please provide details 請提供詳情</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>No 否 <input checked="" type="checkbox"/></p>																															
<p>Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程?</p>	<p>Yes 是 <input type="checkbox"/></p> <p>No 否 <input checked="" type="checkbox"/></p>	<p>(Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地/池塘界線，以及河道改道、填塘、填土及/或挖土的細節及/或範圍)</p> <p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約</p>																														
<p>Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?</p>	<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> </table> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>		On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
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Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																														

8. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

- SEE JUSTIFICATIONS IN APPENDIX III -

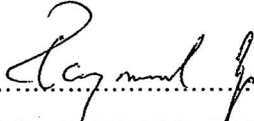
9. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.

本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署


.....
YIP FOOK WAH, RAYMOND

Name in Block Letters
姓名（請以正楷填寫）

☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

PROJECT CONSULTANT

Position (if applicable)
職位（如適用）

Professional Qualification(s)
專業資格

☐ Member 會員 / ☐ Fellow of 資深會員

☐ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他

on behalf of
代表

.....
MANSFIELD ENGINEERING CONSULTANT COMPANY

☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

.....
16/08/2024

..... (DD/MM/YYYY 日/月/年)

**Remark 備註**

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置／地址	The Remaining Portion of Lot 83, in D.D. 21, San Uk Ka Village, Tai Po, New Territories. 大埔新屋家村丈量約份第21約地段第83號餘段		
Site area 地盤面積	121.6	sq. m 平方米	<input checked="" type="checkbox"/> About 約
	(includes Government land of 包括政府土地	sq. m 平方米	<input type="checkbox"/> About 約)
Plan 圖則	Tai Po Outline Zoning Plan No. S/TP/30 大埔分區計劃大綱草圖編號 S/TP/30		
Zoning 地帶	"GREEN BELT" 「綠化地帶」		
Applied use/ development 申請用途／發展	New Territories Exempted House 新界豁免管制屋宇 <input checked="" type="checkbox"/> Small House 小型屋宇		
(i) Proposed Gross floor area 擬議總樓面面積	195.09	sq.m 平方米	<input type="checkbox"/> About 約
(ii) Proposed No. of house(s) 擬議房屋幢數	1		
(iii) Proposed building height/No. of storeys 建築物高度／層數	8.23	m 米	<input checked="" type="checkbox"/> (Not more than 不多於)
	3	Storeys(s) 層	

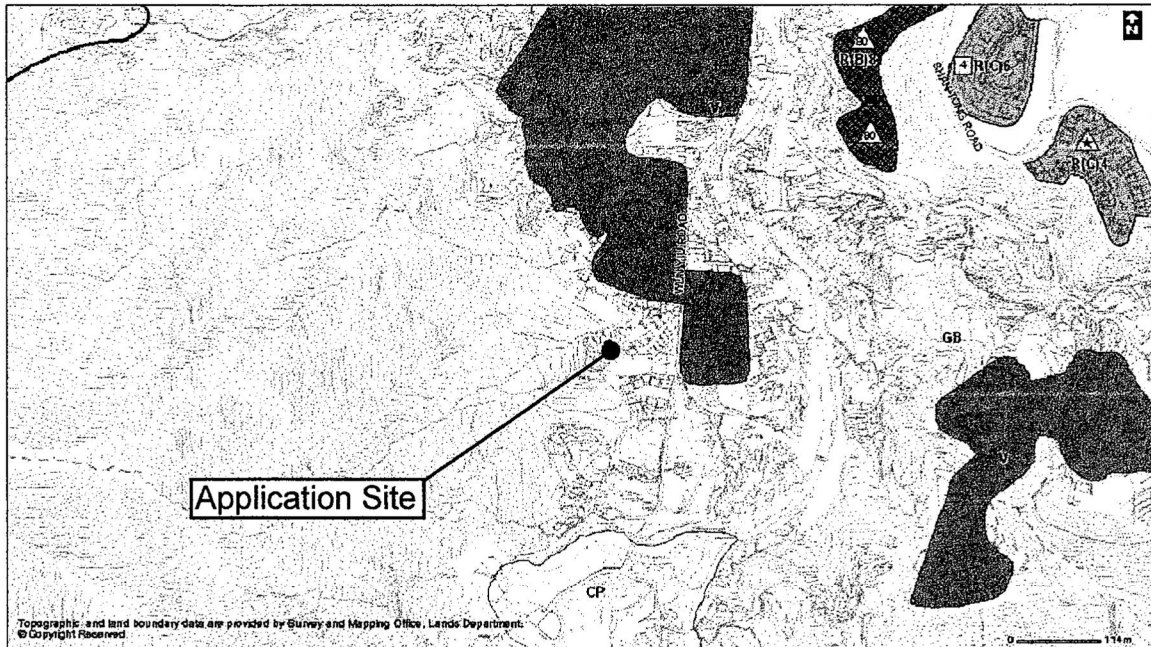
Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件

	<u>Chinese</u> 中文	<u>English</u> 英文
<u>Plans and Drawings 圖則及繪圖</u>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
LOCATION PLAN (APPENDIX I); SMALL HOUSE PLAN (APPENDIX II);		
STORMWATER DRAINAGE PLAN (APPENDIX V); CURRENT SITE PHOTOGRAPH (APPENDIX VII)		
<u>Reports 報告書</u>		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
GEOTECHNICAL INVESTIGATION REPORT (APPENDIX VI)		

Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號

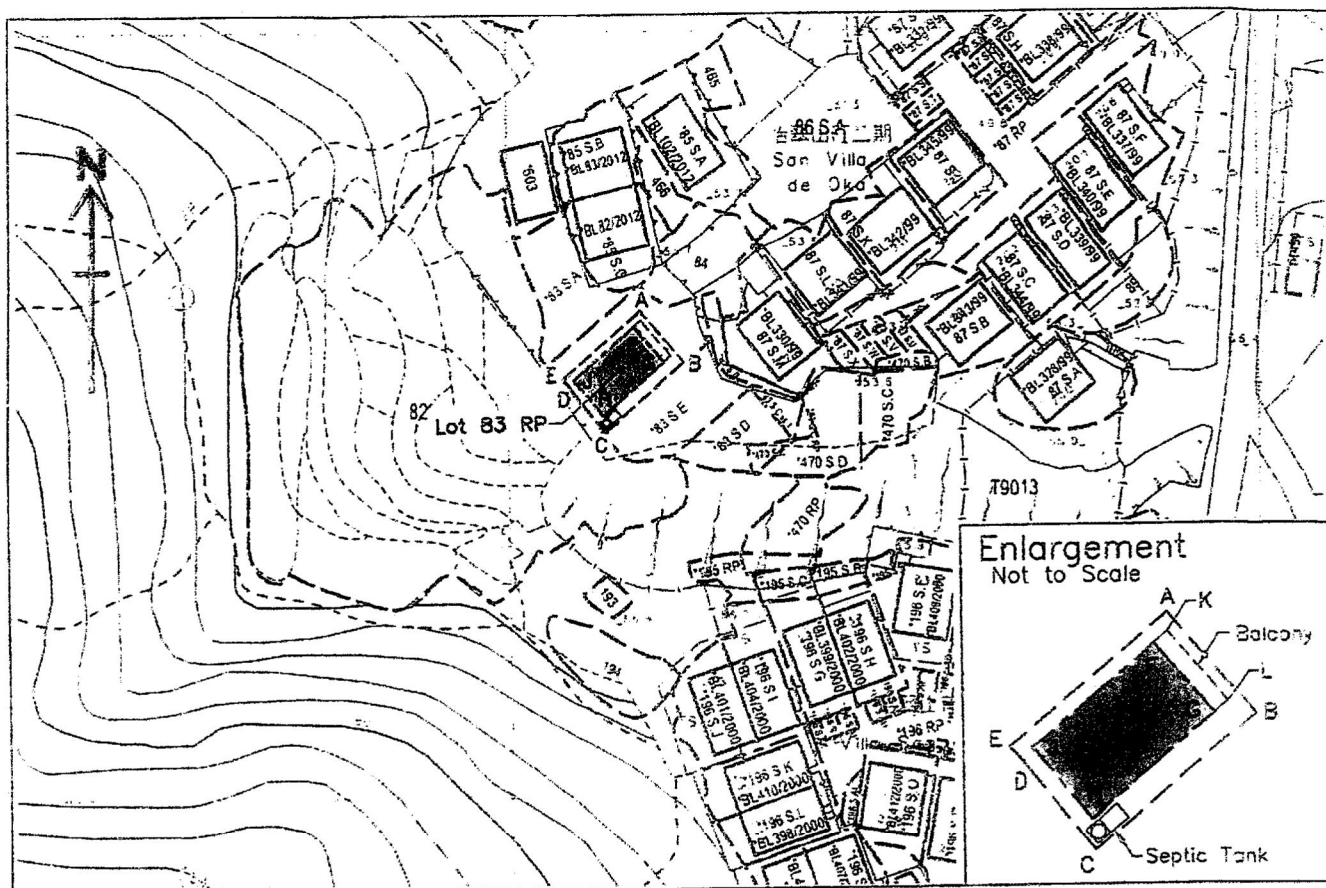
Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。



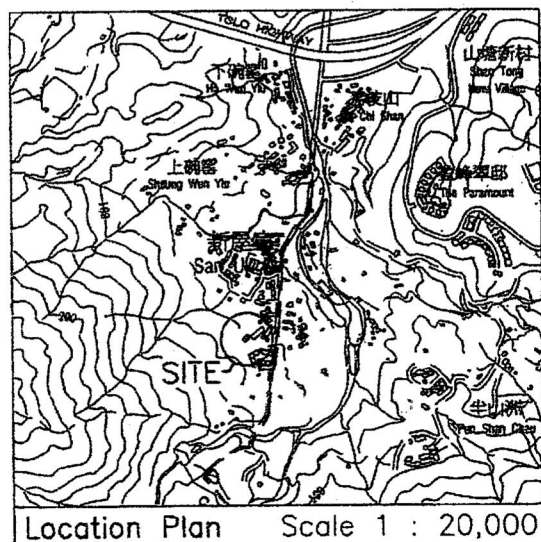
LOCATION PLAN (Scale 1 : 10000)

Proposed Small House Location Plan - D.D. 21



Survey Sheet No.: 7-NW-14D

Scale 1 : 1,000



Plan prepared by:
Henry Chan Surveyors Limited

SAN UK KA

Lot No. 83 RP

Boundary Dimensions: (Area = 121.6 sqm)

(Plan No. LBP/TP/005/1848/D1 refers)

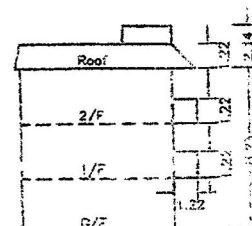
From	To	Bearing (d-m-s)	Distance (m)	Pt.	N	E
A	B	139°56'08"	8.839	A	832 563.731	834 817.785
B	C	229°56'08"	13.869	B	832 556.966	834 823.474
C	D	321°29'46"	7.339	C	832 548.039	834 812.860
D	E	315°51'10"	1.507	D	832 553.783	834 808.291
E	A	49°56'08"	13.776	E	832 554.864	834 807.242

Proposed House Dimensions: (Area = 65.03 sqm)

From	To	Bearing (d-m-s)	Distance (m)	Pt.	N	E
F	G	139°56'08"	6.096	F	832 561.673	834 816.892
G	H	229°56'08"	10.668	G	832 557.008	834 820.816
H	J	319°56'08"	6.096	H	832 550.141	834 812.651
J	F	49°56'08"	10.668	J	832 554.807	834 808.728

Proposed Balcony Dimensions: (Area = 7.44 sqm)

From	To	Bearing (d-m-s)	Distance (m)	Pt.	N	E
K	L	139°56'08"	6.096	K	832 562.458	834 817.826
L	G	229°56'08"	1.220	L	832 557.793	834 821.749
G	F	319°56'08"	6.096	G	832 557.008	834 820.816
F	K	49°56'08"	1.220	F	832 561.673	834 816.892



Henry H K Chan
BSc FHKIS RPS(LSD)
Authorized Land Surveyor

G/F, No. 2 Yan Wo Lane, Tai Po, New Territories

Rev. B: For Building Licence Application
Plan No. HC-13018/H04B Date: 15 January 2020
Tel: 2638-1513 Fax: 2638-1020

Application Site: Lot 83 RP in D.D. 21, San Uk Ka, Tai Po, N.T.

Justifications

(i) Background Information:

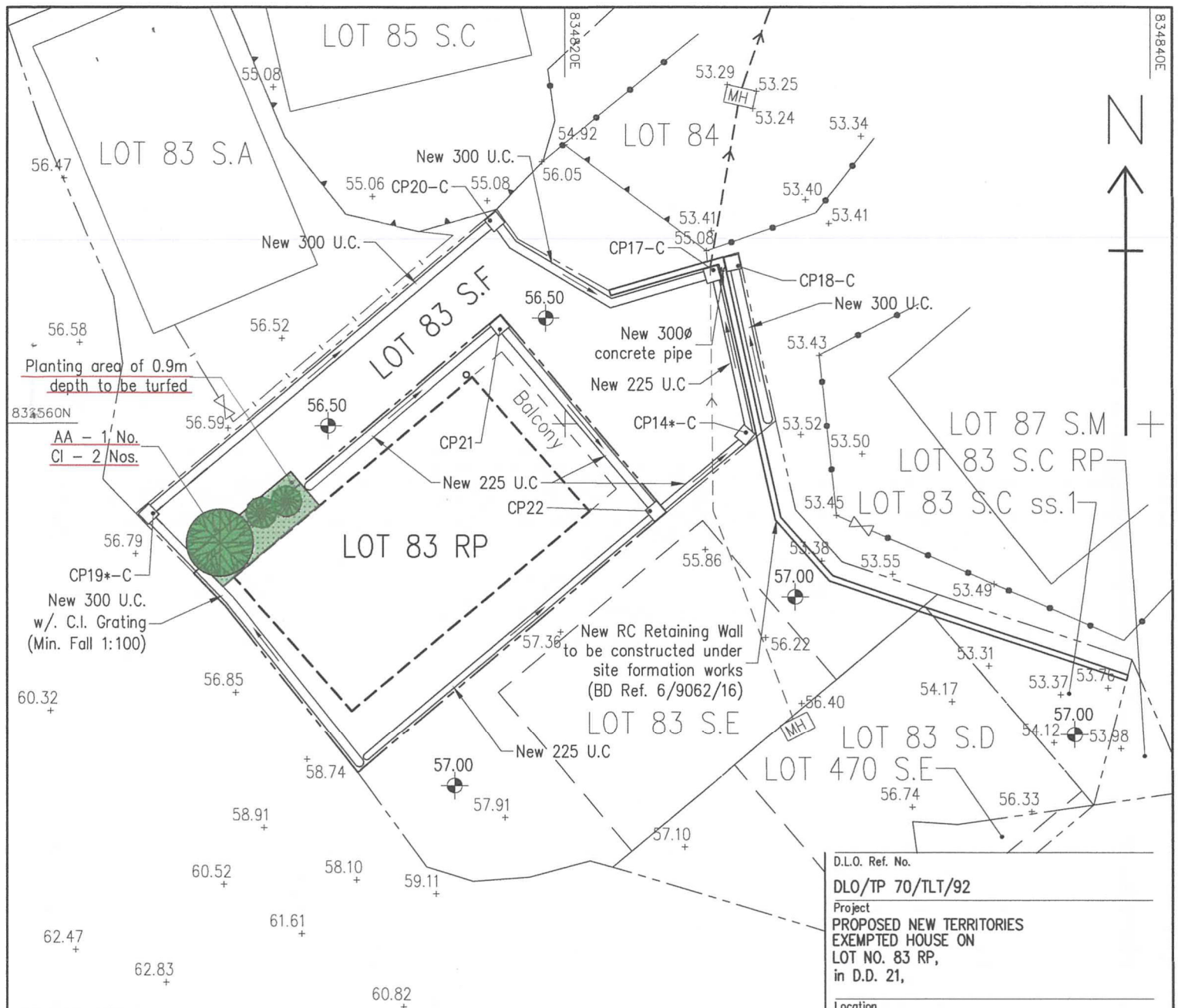
The Application is with the same proposal of planning application No. A/TP/571 for proposed house (New Territories Exempted House) development, which was approved by the Rural and New Town Planning Committee on 13.3.2015 with approval conditions and validity till 13.3.2019. Despite the planning permission was granted, District Lands Office/Tai Po of Lands Department could not issue the formal basic terms offer to the applicant before the expiry date. Hence, the applicant submitted S.16A application No. A/TP/571-1 for an extension of time for commencement of the proposed New Territories Exempted House development and the application was approved by TPB on 30.1.2019 with the same approval conditions till 13.3.2022. However, District Lands Office/Tai Po still could not issue the approval basic terms offer to the applicant before the expiry date, the applicant needed to submit application no. A/TP/571-2 for further extension of time for commencement of the proposed development till 13.3.2023 and was approved by the TPB on 2.3.2022. While the application site involved a Building License, District Lands Office/Tai Po needed to consult Legal Advisory and Conveyancing Office for legal advices on the legal documentation procedures before issuance of the basic terms offer to the applicant but unexpectedly it cannot be concluded upon or before the expiry date of final extension of time for commencement of the proposed NTEH development.

(ii) Justifications:

Apart from the background information given above, the justifications for substantiate the application are as follows:

- a) The applicant is an indigenous villager of a recognized village of Tai Po District, and was also the applicant of the same application site under Application No. A/TP/571 previously approved with conditions by RNTPC on 13.3.2015;

- b) There hasn't been any material change in planning circumstances since the original permission was granted (13.3.2015) in terms of the planning policy/land-use zoning of the application site;
- c) According to the "Notes" of Approved Tai Po Outline Zoning Plan No. A/TP/30 (Gazetted on 8.7.2022), it is unlikely any adverse planning implications on the previous approval with conditions to the proposed development;
- d) The site is flat and not covered by mature trees thus significant impact by the proposed development on the existing landscape resources is not anticipated;
- e) The application site is flat land would not encroach onto the existing cut slope;
- f) The commencement of development is delayed due to Lands Department had adopted more cautious approach in examination on the indigenous villager status of the applicant and land administration procedures in legal advisory on the land status of the application site;
- g) The delay of commencement of development is beyond the control of the applicant, the applicant had submitted the application with all requisite documents & plans to meet the requirements of District Lands Office/Tai Po of Lands Department; the application site is located in the "Village Environs" (VE) of San Uk Ka and is an in-fill site to the village proper to form a new village cluster with the adjoining New Territories Exempted Houses; and
- h) There was a structure covered by a Building License No. 103 and a house ruin could be traced on the application site and no significant trees were found on the site from the aerial photos of 2010 and 2013.



Landscape Planting Plan

(1 : 200)

LEGEND :



AA – Proposed Archontophoenix Alexandrae – 假檳榔
(Total 1 no. with min. 2.8m ht.)



CI – Proposed Chrysalidocarpus lutescens – 散尾葵
(Total 2 nos. with min. 1.5m ht.)

D.L.O. Ref. No.

DLO/TP 70/TLT/92

Project

PROPOSED NEW TERRITORIES
EXEMPTED HOUSE ON
LOT NO. 83 RP,
in D.D. 21,

Location

SAN UK KA
TAI PO, NEW TERRITORIES.

Drawing Description

LANDSCAPE PROPOSAL
(TPB S16-II APPLICATION)
LANDSCAPING PLANTING PLAN

Date

AUG 9 2024

Scale

AS SHOWN

Drawn

KS

Designed

KS

Checked

KS

Approved

CAD Ref

Job Number

TP/22842

Drawing Number

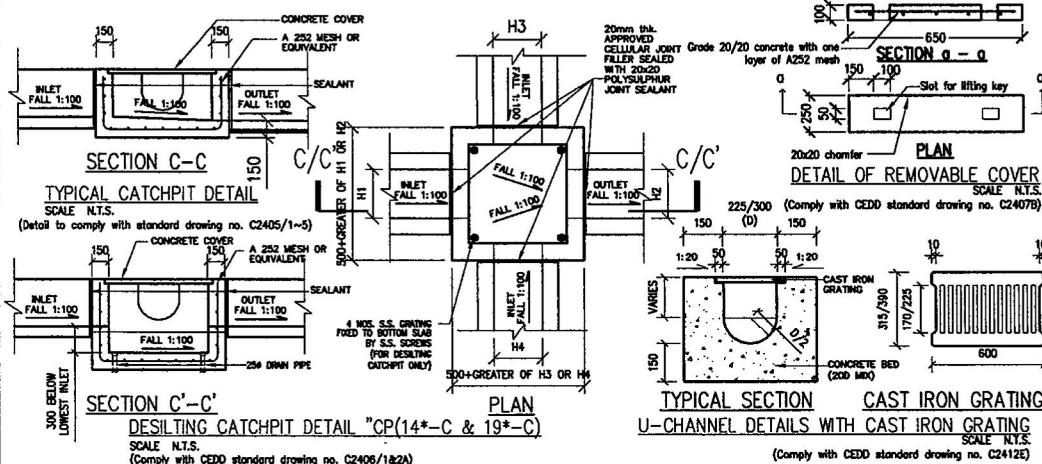
LP-01

Rev.

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**MANSFIELD
ENGINEERING
CONSULTANT Co.**

Date	Scale
AUG 9 2024	AS SHOWN
Drawn	KS
Designed	KS
Checked	KS
Approved	
CAD Ref	
Job Number	
TP/22842	
Drawing Number	Rev.
SD-01	/



**MANSFIELD
ENGINEERING
CONSULTANT Co.**

Mansfield Engineering Consultant Company

Civil / Geotechnical / Structural Engineering consultant

GEOTECHNICAL INVESTIGATION REPORT

For S16-II Application of NTEH Development

on Lot No. 83 RP,

in D.D. 21,

San Uk Ka,

Tai Po,

New Territories.

DLO Ref. no.: DLO/TP 70/TLT/92

August, 2024

(1st Edition)

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4. Slope Stability Analysis
5. Summary and Conclusion

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- Appendix B Reduced Site Formation Approval Plans
- Appendix C Part Plan and Section of Lot No. 83 RP
- Appendix D Slope Stability Analysis – Slope/W
- Appendix E Plates

1. Introduction

1.1 Background

Town planning application S16-II for a single detached 3-storey N.T. Exempted Village House (NTEH) on Lot No. 83 RP, in D.D. 21, San Uk Ka, Tai Po, New Territories is proposed. According to the planning decision made by the members of Town Planning Board (TPB) under TPB case no. A/TP/571-2 stated, a geotechnical investigation report should be prepared and submitted to the TPB and to the satisfaction of the board or the GEO/CEDD. Although this application is an individual fresh submission, previous planning conditions should be applicable in view of all the subjective materials with respect to the S16-II application are remain unchanged.

1.2 Scope

The aim of this report is first to review the current site environment. Subsequently, a study of the proposed site formation works as approved by the Buildings Department is performed. Afterward, an assessment of existing slope stability along the critical ground profile in the vicinity of the application site is then carried out. Furthermore, the necessary geotechnical remedial works (if any) identified is recommended at the final part of this report.

2 Site Description

The proposed site area comprises one block of 3-storey NTEH with site area of approximate 122m². The subject site is located on an undeveloped leveled ground where located nearly 138m away from the junction of San Uk Ka rural access and Wu Yiu Road, Tai Po.

During site observation, the proposed NTEH will be founded over a leveled ground (Plate 1) with ground level of +56.5mPD. An existing natural slope of about 9.7m is observed at immediate south to west side of the site (Plate 2). Two blocks of detached single NTEH are revealed to the north end of the site where founded on platform levels of +56.5 and +55.1 respectively (Plate 3). During the site observation, there is no trace of filling works encountered near the toe of the existing slope and within the application site (Plate 4). An existing registered slope feature 7NW-D/C 427 was recorded to the existing slope at nearest 16.8m apart from the southern-east direction of the application site (see part plan in Appendix A). Meanwhile, no any building/structure/formation work is discovered neither within the boundary of this registered slope feature (Plate 5) nor at the toe of the slope (Plate 6).

3 Approved Site Formation Proposal

3.1 The Site Formation

Site formation works for the total five blocks of new NTEH were submitted and approved by the Buildings Department on 28 March 2022 under BD reference number BD 6/9062/16. A copy of reduced approval plans is attached in Appendix B for easy reference. From the plan, a series of new R.C./Mass concrete retaining walls are proposed to be erected along the north to east boundaries of the site in order to form an elevated platform for the accommodation of the five blocks of NTEH. On the other hand, several periphery stormwater drains are also proposed to intercept the surface runoff from surrounding of the application site. There is no slope remedial/upgrade work required to the proposed NTEH development in particular to the existing slope where situated to the south and south-east of the application site.

By referring to the Section 7 -7 of the approval plan, the gradient of the existing slope to the south-east bound of the application site is measured about 28° to 30° horizontally. Moreover, according to the part plan of Lot 83 RP and the Section 7' – 7' in Appendix C, a platform within inaccessible premises is situated at the crest of the existing slope and at about 18m away from the south to south-west of the application site.

3.2 Recommendation on Design Parameters

According to approval plan of drawing number SF-02, a set of soil shear strength parameters was accepted and approved by the Buildings Department. The adopted soil parameters were tabulated as following and a part-print of the approval plan is attached in Appendix B for reference.

<i>Soil Type</i>	<i>c' (kPa)</i>	<i>φ' (deg)</i>	<i>γ (kN/m³)</i>
Colluvium	3	35	19
CDT	3	35	19

4. Slope Stability Analysis

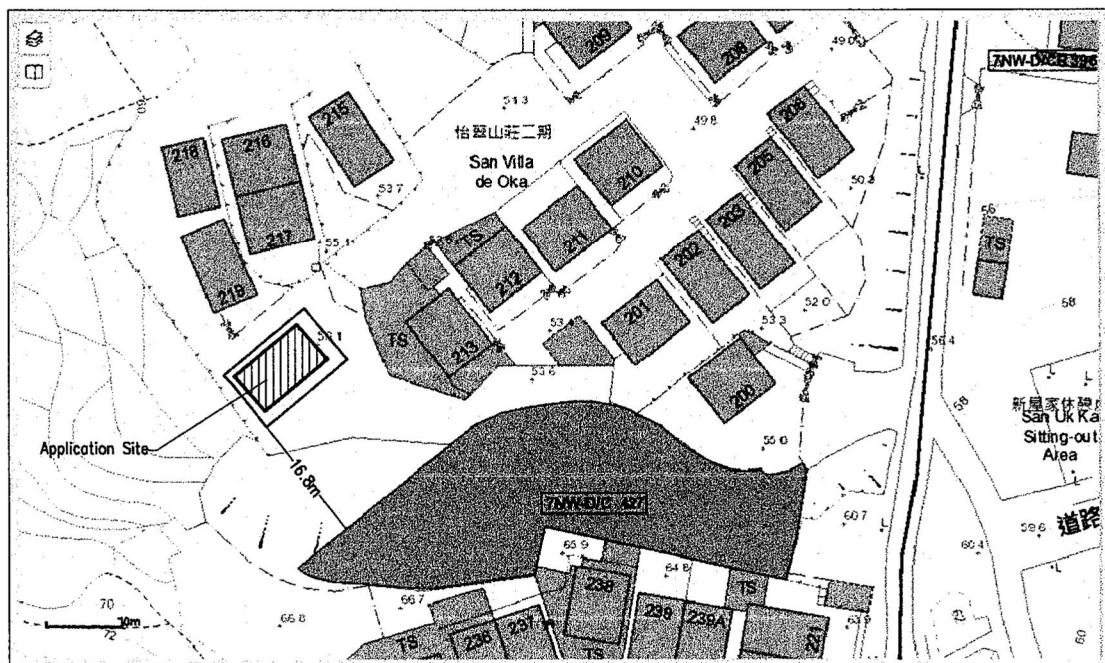
In order to investigate the overall stability of the existing slope to the south-east of the application site, stability analysis by means of BD pre-approved program "SLOPE/W" and the Morgenstern-Price method was adopted to check whether any slope remedial/upgrade works should be made. As from the analysis attached in Appendix D indicates, Grid and Radius method was used and surcharge load of 5kPa was imposed at the platform of existing inaccessible premises at the crest of the study slope. Design ground water table was assumed at two-third of the overall slope height and at one-third of retaining height of the new retaining wall. After the computation, the analyzed lowest FoS value of 1.508 is generated which is far greater than the prescribed safety value of 1.4. Thus, the overall stability of the existing slope is confirmed.

5. Summary and Conclusion

Site observation to the current site environment was carried out and there is no filling works encountered along the toe of the existing slope as well as within the boundary of the application site. The surface and subsurface condition of the proposed site have been investigated and studied through the BD approved site formation plans (BD 6/9062/16) of which a set of design soil strength parameters is adopted. Slope stability analysis for the existing slope along the critical ground profile to the south-west of the application site is carried out by SLOPE/W in associated with Morgenstern-Price method. According to the generated lowest safety factor value indicated, it can be seen that the status of the existing slope is within the safety margin and no remedial/upgrade work is necessary.

APPENDIX A

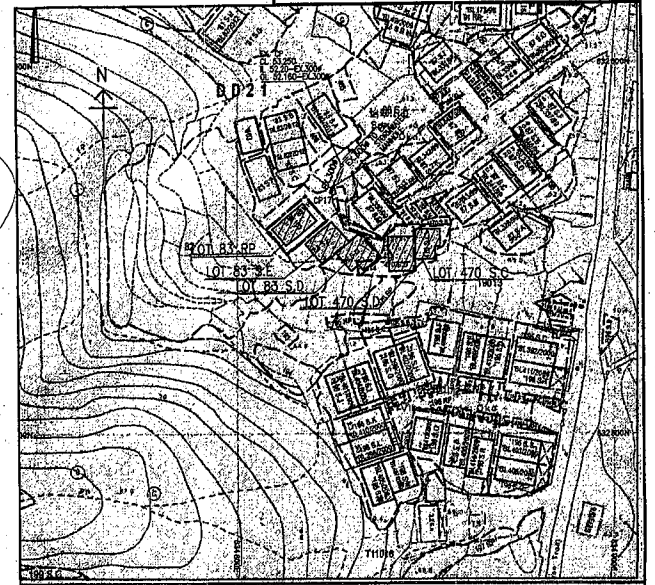
Part Plan of SIS Feature 7NW-D/C 427



Part Plan of SIS Feature - 7NW-D/C 427

APPENDIX B

Reduced Site Formation Approval Plans



BLOCK PLAN 1:1000

- LEGENDS :-**
- LOT BOUNDARY
 - HOUSE BOUNDARY
 - EXISTING HOUSE
 - FINAL FORMATION LEVEL
 - RETAINING WALL TOP LEVEL
 - RETAINING WALL BASE LEVEL
 - PROPOSED 225/300 COVERED CHANNEL (REFER TO CEDD DRG. C24112 & C24130)
 - PROPOSED 225 STEP CHANNEL (REFER TO CEDD DRG. C24116)
 - PROPOSED 250/300 CONC. PIPE (REFER TO CEDD DRG. C24111 & C24130)
 - PROPOSED 150# PERFORATED PIPE
 - PROPOSED CONCRETE STRUCTURE
 - PROPOSED DRAINAGE WORK
 - PROPOSED CUT
 - PROPOSED FILL
 - PROPOSED TEMPORARY CUT SLOPE
 - PROPOSED CUT SLOPE SURFACE HYDROSEDED
 - PROPOSED CATCHMENT UNDERGROUND SURFACE FLUSH WITH GROUND (REFER TO CEDD DRG. C2407)
 - PROPOSED CATCHMENT (REFER TO CEDD DRG. C2408)
 - PROPOSED CATCHMENT WITH TRAP (REFER TO CEDD DRG. C2408)
 - PROPOSED CATCHMENT WITH TRAP SURFACE FLUSH WITH GROUND (REFER TO CEDD DRG. C2408 & C2407)
 - EXISTING TRIAL PIT
 - 1100# RAILING/FENCE
 - GATE
 - SETTLEMENT MARKER ON GROUND ADJACENT TO PROPOSED 225/300
 - EXTENT OF UNAUTHORIZED SITE FORMATION WORKS TO BE REMOVED

EXISTING RETAINING WALL TO BE DEMOLISHED AND THE EXISTING FILL WITHIN AND IN THE VICINITY OF THE SITE TO BE REMOVED. TOP IS (RICE STREAM) TO CONFORM THE EXTENT OF EXISTING FILL ON SITE AND THE EXISTING FILL TO BE TOTALLY REMOVED. EXISTING RETAINING WALL AND ASSOCIATED STRUCTURES TO BE REMOVED BY THIS SITE FORMATION CONTRACTOR UNDER THIS SUBMISSION.

EXISTING RETAINING WALL TO BE DEMOLISHED AND THE EXISTING FILL WITHIN AND IN THE VICINITY OF THE SITE TO BE REMOVED. TOP IS (RICE STREAM) TO CONFORM THE EXTENT OF EXISTING FILL ON SITE AND THE EXISTING FILL TO BE TOTALLY REMOVED. EXISTING RETAINING WALL AND ASSOCIATED STRUCTURES TO BE REMOVED BY THIS SITE FORMATION CONTRACTOR UNDER THIS SUBMISSION.

now, this plan has been processed on a curtailed check basis under the centralized processing system as promulgated in PNAP ADM-10. The duties of the authorized person, registered structural engineer and/or registered geotechnical engineer concerned as specified under section 4(3)(b) and the provision of section 14(2)(c) of the Buildings Ordinance are of particular relevance in this regard.

Revision	Date	Description	BY	Checked
B	JAN 2022	LOTS 83 S.C RP, 83 S.F, 83 RP, 470 S.C & 470 S.D ADDED AND REDRAWN	AT	CSL
A	MAY 2019	MINOR AMENDMENT	AT	CSL

Design Checked	Name	Initial
Designed	C.S.L.	
Drawn	S.W.	
Date	A.T.	
MAY 2019	Scale 1:100	CAD. Ref. C761SFD1

PROPOSED VILLAGE HOUSES, LOTS 83 S.C ss1, 83 S.C RP, 83 S.D, 83 S.E, 83 S.F, 83 RP, 470 S.C, 470 S.D & 470 S.E, IN DD21, SAN UK KA, TAI PO, N.T.

SITE FORMATION PLAN

Dwg. No.	Rev.
SF-01	B

(Signature)
 Dr. LAU Chee Sing
 BSc PhD CEng MICE MStruct MUKIB
 Authorized Person
 Registered Structural Engineer

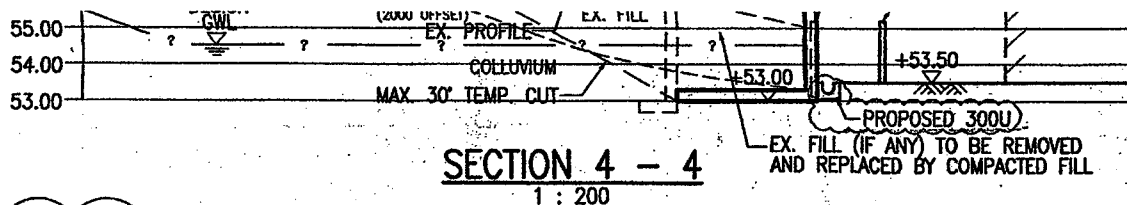
(Signature)
 LAM TAT SHING
 BEng MSc(Eng) CEng
 MICE MStruct MUKIB
 RPE(CV, GE, ST)
 Registered Geotechnical Engineer

Plan Approved
(Signature)
 TSE Kam-ming, Franco
 Senior Building Surveyor
 for BUILDING AUTHORITY
 28 MAR 2022

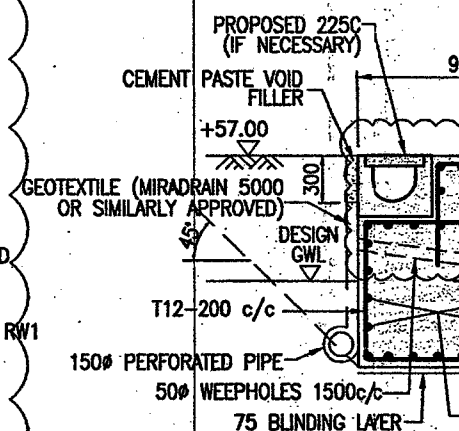
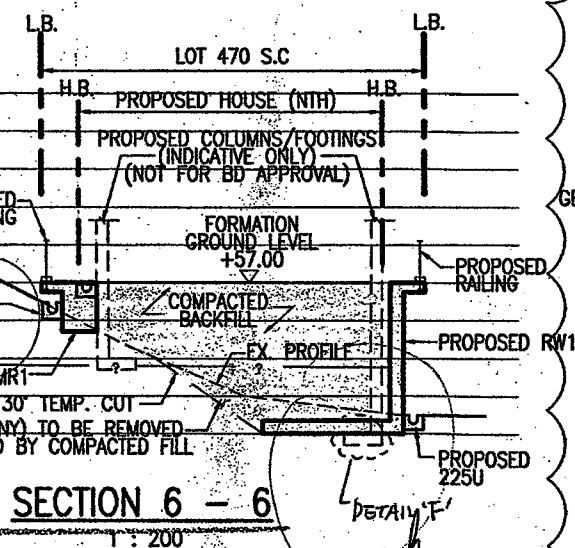
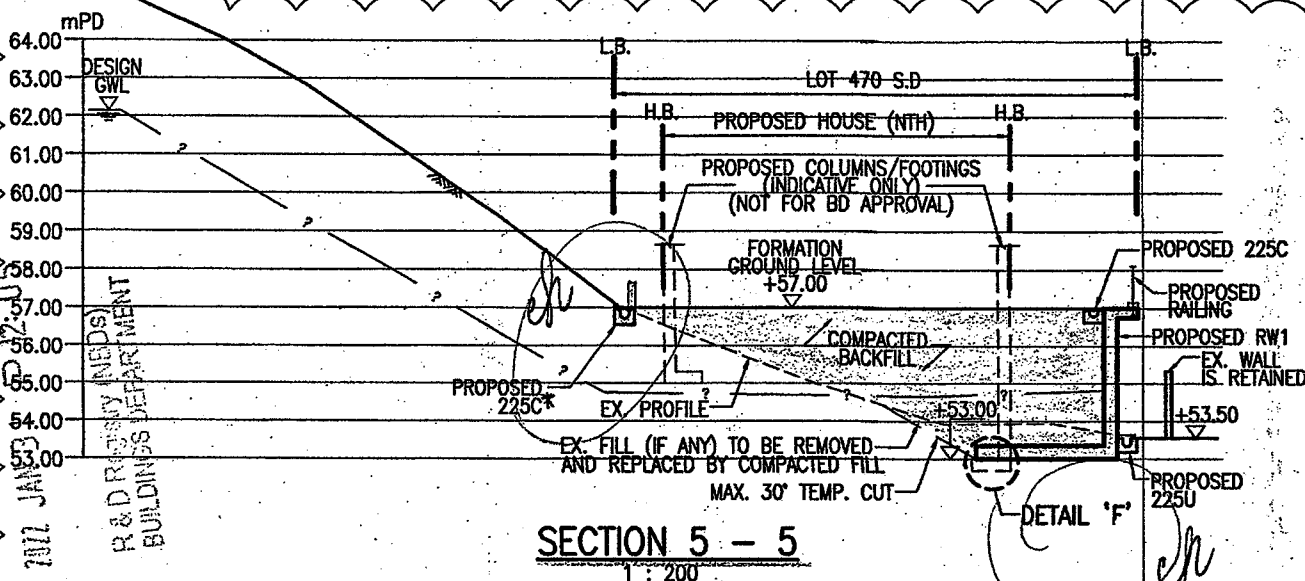
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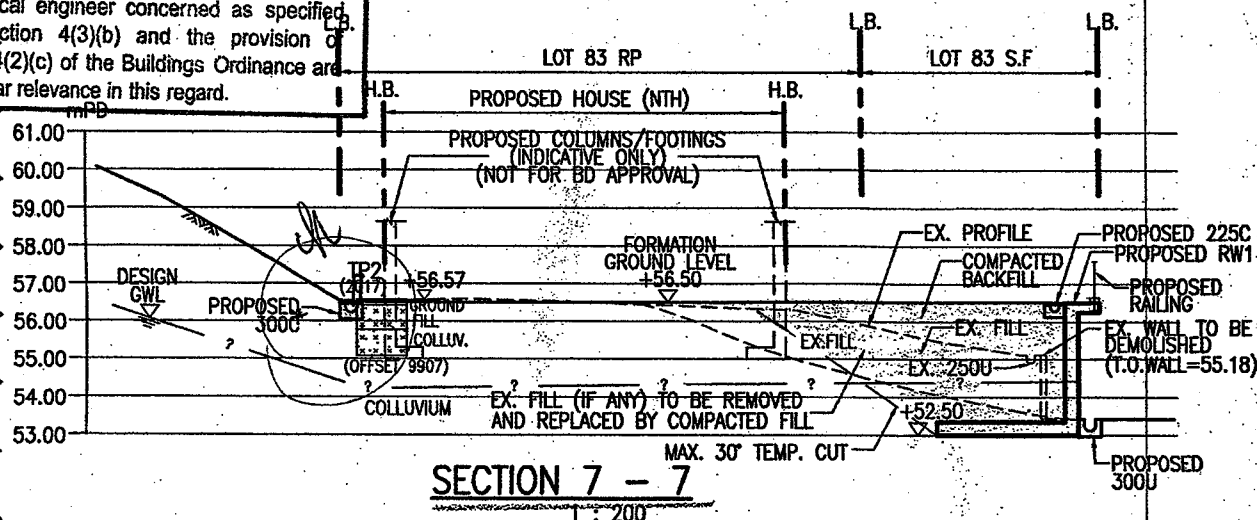
DETAIL C



RECEIVED BY

MASS CONCRETE FI
N.T.S.

Note: This plan has been processed on a curtailed check basis under the centralized processing system as promulgated in PNAP ADM-19. The duties of the authorized person, registered structural engineer and/or registered geotechnical engineer concerned as specified under section 4(3)(b) and the provision of section 14(2)(c) of the Buildings Ordinance are of particular relevance in this regard.



- (IV) RSE/RGE AND RC TO DISCUSS THE INSTRUMENT RESPONSE AND REVIEW THE EFFECTIVENESS OF THE RESPONSE ACTION.
- (V) RSE/RGE TO AGREE WITH RC ON THE EMERGENCY PLAN DETAILING THE MEASURES TO BE TAKEN UPON REACHING "ACTION LEVEL".
- (VI) ANY CONSTRUCTION ACTIVITIES MAY BE SUSPENDED IF THE RESPONSE ACTION HAS BEEN IMPLEMENTED AND ON THE ADVICE OF THE RSE/RGE AS NECESSARY.
- (VII) RSE/RGE TO REVIEW THE METHOD STATEMENTS OF SITE FORMATION WORKS TO DETERMINE WHETHER MODIFICATION TO THE CONSTRUCTION METHODS IS REQUIRED TO PREVENT ACTION LEVEL FROM BEING REACHED.
- "ACTION LEVEL"
- (I) ALL WORKS THAT WILL CAUSE GROUND MOVEMENT ARE TO BE CEASED.
- (II) RC TO NOTIFY AND CARRY OUT A JOINT SITE INSPECTION WITH THE RSE/RGE IMMEDIATELY. THE BD AND THE RELEVANT PARTIES SHOULD BE NOTIFIED IMMEDIATELY.
- (III) RC TO IMPLEMENT THE NECESSARY EMERGENCY MEASURES IN ACCORDANCE WITH THE AGREED EMERGENCY PLAN.
- (IV) RC TO SUBMIT AN INCIDENT REPORT TO RSE/RGE AND THE BD DETAILING THE FULL HISTORY OF THE MOVEMENT AND REMEDIAL/EMERGENCY MEASURES IMPLEMENTED.
- (V) RSE/RGE TO REVIEW THE INCIDENT AND AGREE WITH RC ON FURTHER REMEDIAL AND PREVENTIVE MEASURES TO ENABLE RESUMPTION OF THE SUSPENDED WORKS.
- (VI) CONSTRUCTION ACTIVITIES SHOULD NOT BE RESUMED UNTIL THE NECESSARY REMEDIAL AND PREVENTIVE MEASURES HAVE BEEN COMPLETED TO THE SATISFACTION OF THE BD.
- (VII) IF THE TRIGGER VALUES AND RESPONSE ACTION ARE REVISED, THE AMENDED PLANS SHOULD BE

SUBMITTED TO THE BD FOR APPROVAL. THE SUSPENDED CONSTRUCTION ACTIVITIES SHOULD NOT BE RESUMED UNTIL THE AMENDED PLANS ARE APPROVED BY THE BA AND CONSENT IS GIVEN.

THE "ACTION LEVEL" RESPONSE ACTION SHOULD BE TAKEN IF ANY OF THE FOLLOWING SITUATION OCCURS:

- UNDUE SETTLEMENT AS INDICATED IN ANY CHECK POINTS (E.G. AN INCREASE OF 5MM BETWEEN TWO CONSECUTIVE DAILY READINGS).
- SIGN OF DISTRESS OR DAMAGES OBSERVED IN ANY ADJACENT STRUCTURES AND/OR UTILITIES.

GENERAL NOTES

- ALL DIMENSIONS ARE IN mm UNLESS OTHERWISE SPECIFIED.
- ALL LEVELS ARE IN mPD UNLESS OTHERWISE SPECIFIED.
- THE PROPOSED VILLAGE HOUSE IS N.T. EXEMPTED HOUSE AND IS NOT FOR B.D.'S APPROVAL. SEPTIC TANK AND SOAKAWAY PIT ARE NOT FOR B.D.'S APPROVAL. ALL FOOTINGS OF HOUSE TO BE FOUND ON UNDISTURBED GROUND.
- 75mm THK. PRESCRIBED MIX GRADE 10P BLINDING LAYER TO BE PROVIDED UNDERNEATH CONCRETE BASE.
- CONCRETE FOR MASS CONCRETE STRUCTURE AND CATCHPIT/CHANNEL TO BE GRADE 30D, TO CS1:2010 EXCEPT CLAUSE 7.1.
- BENCHING DETAIL TO BE IN ACCORDANCE WITH DETAIL SHOWN IN "GEOTECHNICAL MANUAL FOR SLOPES" BY GEO. DETAIL OF U-CHANNEL TO COMPLY WITH FIG. 8.8 AND FIG. 8.11 "GEOTECHNICAL MANUAL FOR SLOPES" BY GEO. DETAIL OF CATCHPIT SHOULD FOLLOW CEDD'S STANDARD DRAWING NO. C2405. DETAIL OF SANDTRAP TO COMPLY WITH FIG. 8.4 "GEOTECHNICAL MANUAL FOR SLOPES" BY GEO. RETAINING WALL TO COMPLY WITH GEO GUIDE 1 - GUIDE TO RETAINING WALL DESIGN.
- FOR WORKS TO BE CARRIED OUT OUTSIDE THE LOT BOUNDARIES INCLUDING DRAINAGE WORKS, THE LOT OWNER SHALL BE RESPONSIBLE FOR THE RELOCATION AND MAINTENANCE OF SUCH WORKS AS AND WHEN REQUIRED BY THE GOVERNMENT.
- ALL DISTURBED NATURAL GROUND TEMPORARY CUT SLOPES ON CONSTRUCTION OF RETAINING WALLS, STEP CHANNEL, SAND TRAPS AND FOOTINGS TO BE REINSTATED, BACKFILLED AND COMPACTED IN ACCORDANCE WITH NOTES STATED AND SURFACES TURFED.
- THE REACTIVE ALKALI OF CONCRETE EXPRESSED AS THE EQUIVALENT SODIUM OXIDE PER METRE OF CONCRETE SHOULD NOT EXCEED 3.0kg WHEN DETERMINED IN ACCORDANCE WITH THE SPECIFICATION ITEMS GIVEN IN APPENDIX A OF PNAP 180 (APP-74).
- FOR ALL COMPLETED PERMANENT SLOPES AND RETAINING WALLS FOR WHICH THE OWNERS OF THE DEVELOPMENT HAVE MAINTENANCE RESPONSIBILITY, THE INFORMATION REQUESTED IN PNAP:168 & 189 BE SUBMITTED TOGETHER WITH THE FORM BA14 (ADV-8 & APP-79).
- A252 MESH TO BE PROVIDED TO ALL MASS CONCRETE FILL WITH 50mm COVER STEEL MESH TO COMPLY WITH CS2 2012 AND SHALL HAVE A LAP OF 300mm MIN.
- BEFORE CONNECTION OF THE PROPOSED DRAINAGE TO THE EXISTING DRAIN OUTSIDE BOUNDARY, CONDITIONS AND ROUTING OF THE CHANNELS SHOULD BE CONFIRMED TO BE PROPER FOR CONNECTION.
- DISTURBANCE DUE TO SITE FORMATION WORKS TO THE SURROUNDING LOTS EXISTING FEATURES AND BUILDINGS SHOULD BE AVOIDED.
- THE R.C. DESIGN SHALL COMPLY WITH HK BUILDING REGULATION AND COP FOR STRUCTURAL USE OF CONCRETE 2013. STEELWORKS DESIGN SHALL COMPLY WITH COP FOR STRUCTURAL USE OF STEEL 2011.
- FOR WORKS TO BE CARRIED OUT OUTSIDE LOT BOUNDARY, PERMISSION SHOULD BE GIVEN BY LOT OWNERS FOR PRIVATE LOTS AND DLO FOR GOVERNMENT LANDS.
- FOR U-CHANNELS AND CATCHPITS CLOSE TO FOOTPATHS, CONCRETE COVER OR GRATING SHOULD BE PROVIDED. DETAILS OF COVER FOR CATCHPIT AND U-CHANNEL SHOULD COMPLY WITH CEDD'S STANDARD DRAWING NO. C2405 TO C2407 AND C2412 RESPECTIVELY. COVER SURFACE TO BE FLUSHED WITH GROUND SURFACE. ALL REMOVABLE CATCHPIT COVER ARE INDICATED FOR INFORMATION ONLY. *EXPANSION JOINT TO BE PROVIDED TO ALL CHANNELS OF MINIMUM SPACING OF 10m.*
- NO GAS/WATER MAINS NOR EXISTING BUILDING IN THE PROXIMITY OF THE LOT TO BE AFFECTED. EX. LAMP POST AND FOOTPATH SHOULD BE RELOCATED FOR CONSTRUCTION OF RETAINING WALL AND SHOULD BE REINSTATED.
- ALL TEMPORARY CUT SLOPE FOR OPEN CUT EXCAVATION TO BE LIMITED TO 30° MAXIMUM.
- THE AP TO MAKE SURE THE EX. DRAIN HAS SPARE CAPACITY AND IN GOOD CONDITIONS FOR THE PROPOSED CONNECTION.
- THE AP SHOULD ENSURE THAT ANY OBSTRUCTION OR DISTURBANCE TO THE NEARBY STREAM COURSE AFFECTING THE EMBANKMENT STABILITY IS PROHIBITED AT ANY TIME DURING AND AFTER CONSTRUCTION OF THE SMALL HOUSE.
- DRAINAGE WORKS OUTSIDE SITE BOUNDARY ARE FOR BUILDING AUTHORITY'S INFORMATION ONLY, BUT NOT FOR BA'S APPROVAL.
- FOR WORK OUTSIDE LOT BOUNDARY, PERMISSION FROM RELEVANT AUTHORITY'S (INCLUDING DLO/TP) PRIVATE LOT OWNERS SHOULD BE OBTAINED BEFORE APPLYING FOR CONSENT FOR COMMENCEMENT OF THE WORKS.

NOTES ON FILLING

- SURFACES ON WHICH FILL IS TO BE PLACED SHALL BE STRIPPED OFF ALL TOP SOIL AND VEGETATION. THE STRIPPED SURFACES SHALL BE TRIMMED AND BENCHED IN STEPS BEFORE FILL IS PLACED.
- FILL SHALL BE CLEAN GRANULAR MATERIALS. BOULDERS OR ROCK FRAGMENTS LARGER THAN 75mm SHALL BE REMOVED. FILL SHALL NOT CONTAIN UNSUITABLE MATERIAL SUCH AS TOP SOIL, ROOTS, TREE STUMPS OR RUBBISH IN GENERAL.
- FILL SHALL BE PLACED AND COMPACTED IN HORIZONTAL LAYERS APPROPRIATE TO THE COMPACTION PLANT, BUT NOT GREATER THAN 300mm THICK. COMPACTION REQUIREMENT TO SECTION 6 OF GS FOR CIVIL ENGINEERING WORKS (2006).
- FILL AREAS SHALL BE BUILT UP HORIZONTALLY AND EVENLY OVER THE WIDTH AND PLACED SO THAT ROLLED SURFACES SHED WATER.
- IT MAY BE NECESSARY TO CONSTRUCT THE SLOPE SLIGHTLY OVERSIZE AND TO TRIM BACK AFTERWARDS, IN ORDER TO MEET THE ABOVE COMPACTION REQUIREMENTS AT THE EDGES OF THE SLOPE.
- WHERE CEMENT STABILISED FILL IS SPECIFIED, THE FILL MATERIAL SHALL BE THOROUGHLY MIXED WITH 12% BY VOLUME OF PORTLAND CEMENT.
- THE INSITU FIELD DRY DENSITIES OF COMPACTED MATERIALS FORMING THE PERIPHERAL PORTION OF AN EARTH FILL SLOPE SHALL BE NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY DESCRIBED IN ITEM 9 BELOW.
- THE MAXIMUM DRY DENSITY AND OPTIMUM MOISTURE CONTENT SHALL BE DETERMINED IN ACCORDANCE WITH THE STANDARD GIVEN IN GEOSPEC 3.
- THE INSITU FIELD DENSITY AND MOISTURE CONTENT SHALL BE DETERMINED IN ACCORDANCE WITH GEOSPEC 3. TO DETERMINE THE RELATIVE COMPACTION ACHIEVED. THE NUMBER OF DETERMINATIONS SHALL BE IN ACCORDANCE WITH PRACTICE NOTE APP15 (PNAP55) APPENDIX A.
- ALL TESTS SHALL BE CARRIED OUT BY OR UNDER THE DIRECTION OF THE AUTHORISED PERSON OR REGISTERED STRUCTURAL ENGINEER OR BY AN INDEPENDENT TESTING AGENCY.
- RECORD SHALL BE KEPT IN ACCORDANCE WITH PRACTICE NOTE APP15 (PNAP55) OR GEOSPEC 3.

TABLE 18

- ALL SPACER BARS SHALL BE THE SAME SIZE AS THE MAIN BAR AND SPACED AT 1000mm c/c UNLESS OTHERWISE STATED.
- THE ANCHORAGE LENGTH OF THE STARTER BARS SHALL COMPLY WITH COP STRUCTURAL USE OF CONCRETE 2013.
- RECORDS OF HOUSE FOOTING CONSTRUCTION (UNDERNEATH WALL BASE) TO BE SUBMITTED TO BD/GEO PRIOR TO SUBMISSION OF BA14.
- DESIGN AND STABILITY CHECK OF RETAINING WALL SHOULD MAKE REFERENCE TO GEOGUIDE 1. MIN. FACTOR OF SAFETY OF RETAINING WALL AGAINST SLIDING=1.5, OVERTURNING=2.0 AND BEARING CAPACITY=6.0.
- DESIGN SOIL PARAMETERS:

SOIL	COHESION c'	INTERNAL FRICTION ϕ'	BULK DENSITY
COLLUVIUM	3 kPa	35°	19KN/m ³
CDT	3 kPa	35°	19KN/m ³

HEAVY RAINFALL PRECAUTIONS

- SURFACE WATER FLOWING INTO THE SITE FROM UPHILL SHALL BE INTERCEPTED AND DISCHARGED FROM THE SITE TO AN INDICATED SAFE DISCHARGE POINT. AT EACH INTERSECTION AND ABRUPT CHANGE IN DIRECTION OF SURFACE DRAINAGE WORKS SHALL BE KEPT CLEAR OF DEBRIS.
- WHERE PARTIALLY COMPLETED DRAINAGE WORKS DISCHARGE WITHIN THE SITE A TEMPORARY CONDUIT SHALL BE PROVIDED. ALL DRAINAGE WORKS SHALL BE KEPT CLEAR OF DEBRIS.
- ALL EARTHWORKS PLATFORMS SHALL BE GRADED (FOR FILL, THE SURFACE SHALL ALSO BE SEALED BY ROLLING OR OTHERWISE) TO ENSURE RUN-OFF AND AVOID PONDING.
- DURING EXCAVATION, A METHOD OF WORKING SHALL BE ADOPTED IN WHICH THE MINIMUM OF BARE SOIL IS EXPOSED AT ANY TIME. EXCAVATION TO FORM THE FINAL SHALL BE FOLLOWED UP IMMEDIATELY WITH SURFACE PROTECTION AND DRAINAGE WORKS AND THE FACE PANEL SIZE SHALL BE SMALL ENOUGH TO PERMIT THIS.
- WHERE TEMPORARY BARE EARTH SLOPE FACES ARE UNAVOIDABLE THEY SHALL BE PROTECTED WITH HEAVY DUTY SHEETING ADEQUATELY SECURED AT THE EDGES, SEALED AT CREST, AND LAPPED AT JOINTS. WHERE SLOPE FACES ARE TO BE TEMPORARILY EXPOSED FOR MORE THAN TWO WEEKS TEMPORARY DRAINS SHALL BE INSTALLED IN ADDITION TO SURFACING.
- TRENCHES ON OR ADJACENT TO SLOPES SHALL BE EXCAVATED WITH EXTREME CARE IN SHORT SECTIONS AT A TIME. PRECAUTIONS SHALL BE TAKEN TO PREVENT WATER ENTERING AND COLLECTING IN THE TRENCH.
- WATER TABLE INSIDE EXCAVATED TRENCH SHALL NOT BE PUMPED AWAY AND ALL WORKS WITHIN THE EXCAVATED AREA SHOULD BE CEASED UNTIL THE WATER TABLE IS LOWERED NATURALLY.

Revision	Date	Description	BY	Checked
		Name	Initial	
Design Checked		C.S.L.		
Designed		S.W.		
Drawn		A.T.		
Date	DEC. 2021	Scale	1 : 100	CAD. Ref. C761SF02

Project: **PROPOSED VILLAGE HOUSES, LOTS 83 sC ss1, 83 sC RP, 83 sD, 83 sE, 83 sF, 83 RP, 470 sC, 470 sD & 470 sE, IN DD21, SAN UK KA, TAI PO, N.T.**

Title	
SITE FORMATION PLAN	
Drp. No.	SF-02
Rev.	-

Dr. LAU Chee Sing
BSc PhD CEng MICE MStructE MHKIB
Authorized Person
Registered Structural Engineer

LAM TAT SHING
BEng Msc(Eng) CEng
MICE MStructE MHKIB
RPE(CVL, GEL, STL)
Registered Geotechnical Engineer

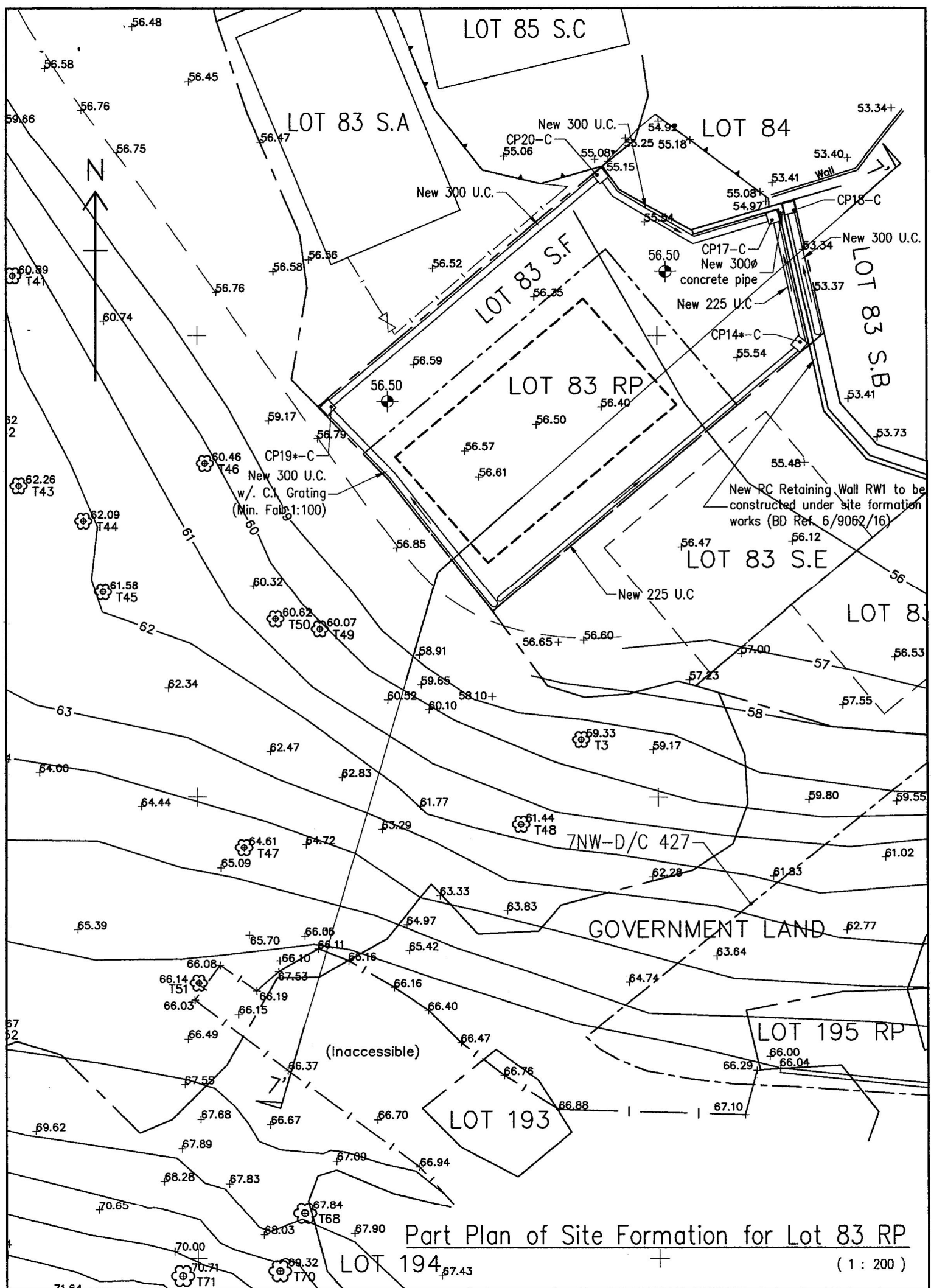
Plan Approved

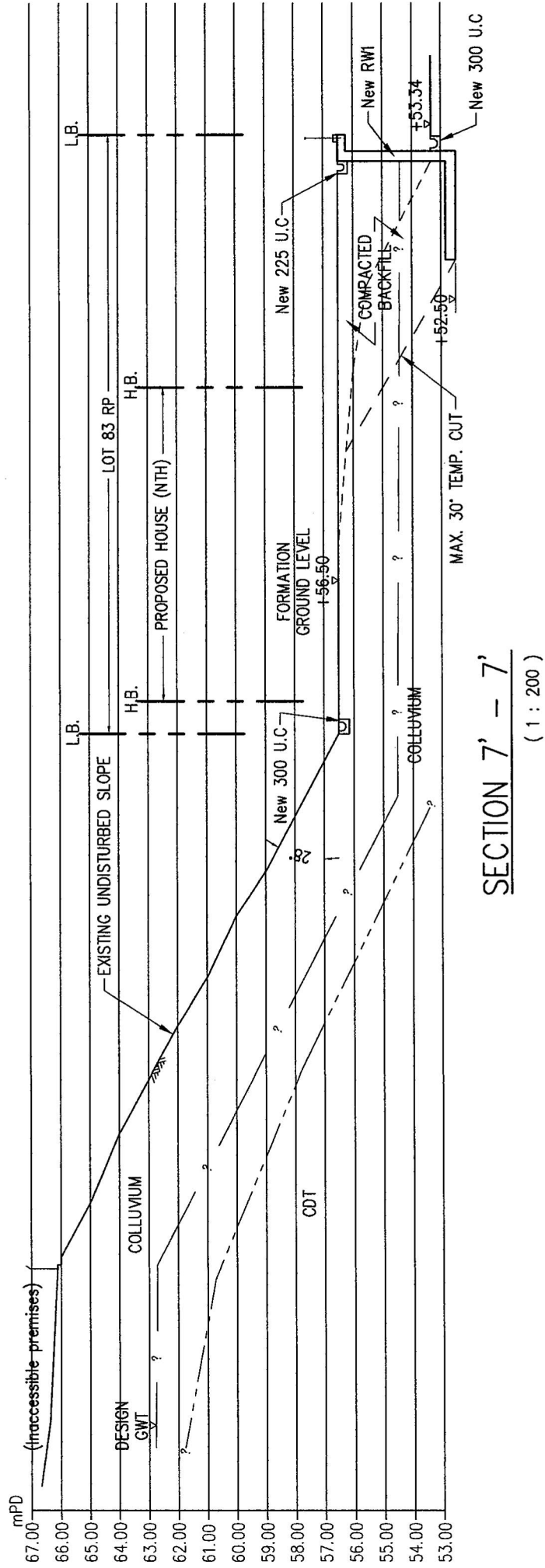
TSE Kam-ming, Franco
Senior Building Surveyor
for BUILDING AUTHORITY

28 MAR 2022

APPENDIX C

Part Plan and Section of Lot No. 83 RP



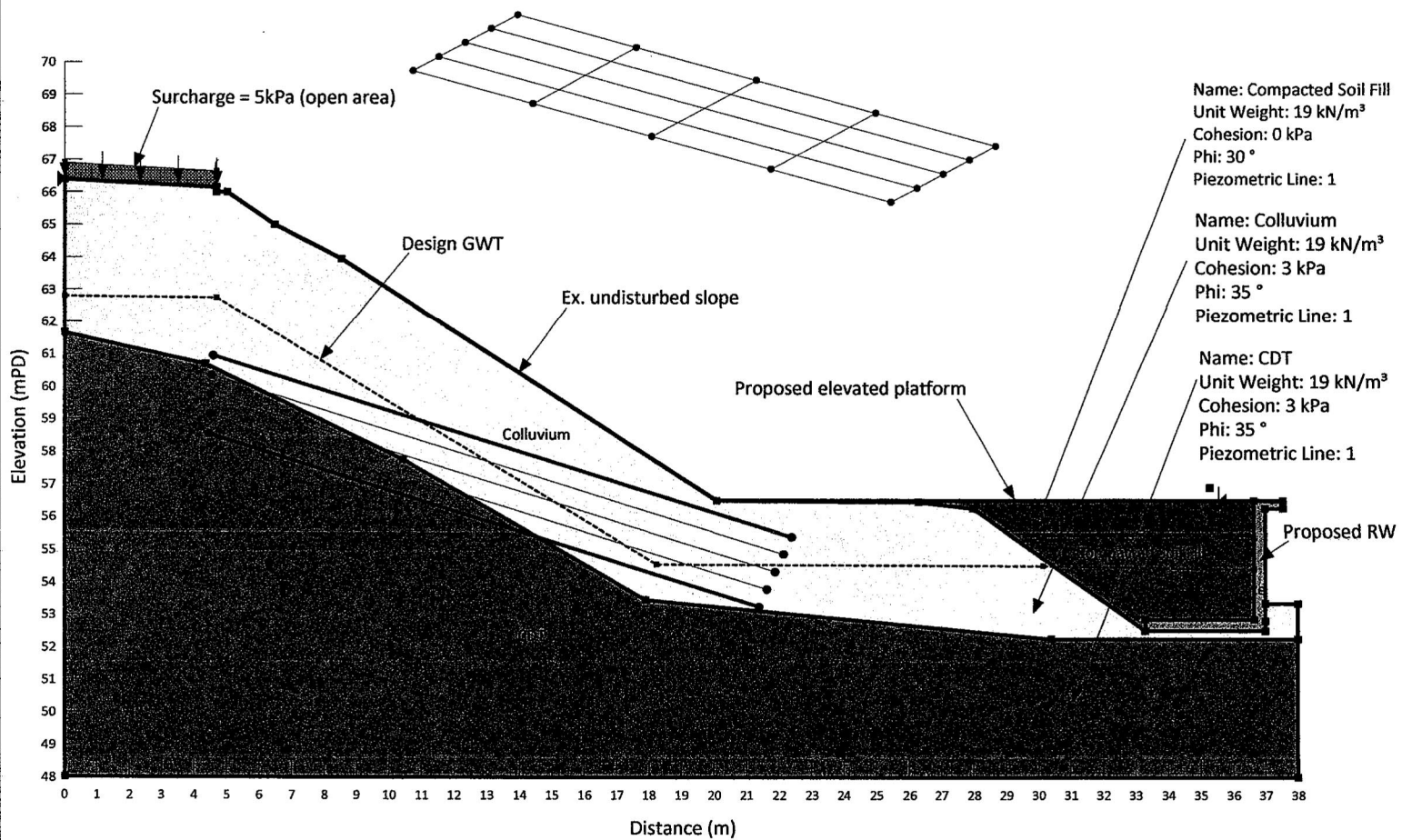


SECTION 7' - 7'
(1 : 200)

APPENDIX D

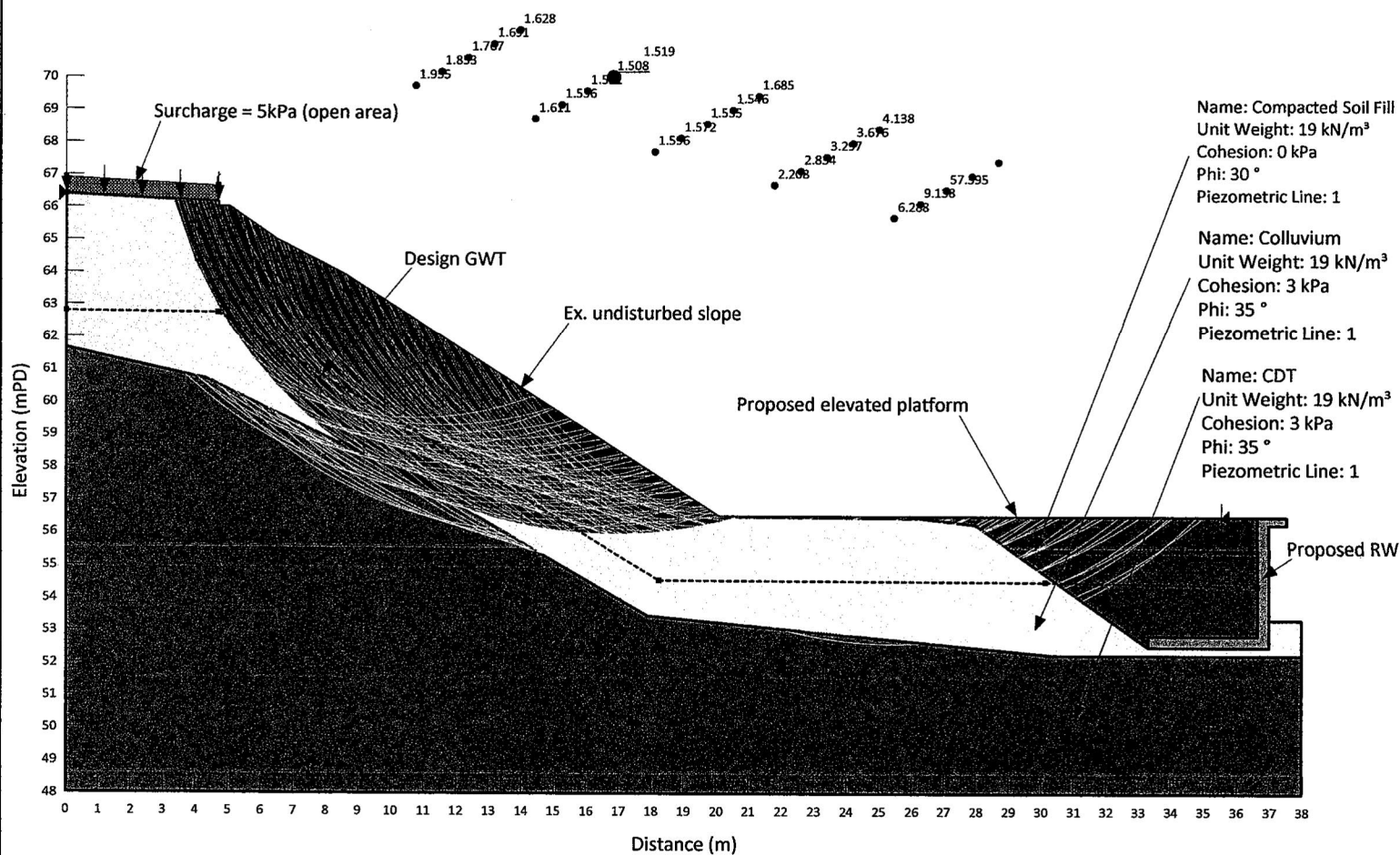
Slope Stability Analysis – Slope/W

Slope Stability Analysis of Existing Slope near Lot No. 83 RP, D.D. 21, San Uk Ka, Tai Po, N.T.



SECTION 7'- 7'

Slope Stability Analysis of Existing Slope near Lot No. 83 RP, D.D. 21, San Uk Ka, Tai Po, N.T.



SECTION 7'- 7'

Slope Stability Analysis near Lot No. 83 RP, D.D. 21, San Uk Ka, Tai Po, N.T.

DATESTAMP 10/8/2024

TIMESTAMP 20:36:22

3=METHOD 125=NO. OF SLIP SURFACES 5=NO. OF RADII 2=SIDE FUNCTION TYPE

19.7253=X-COOR. 68.5854=Y-COOR. COMPUTED AXIS

SLIP NO.	X- COORD.	Y- COORD.	RADIUS	ITERATION NO.	LAMBDA	FACTOR OF SAFETY (MOMENT)	FACTOR OF SAFETY (FORCE)
1	25.481	65.706	10.763	1	0.0000	114.0348749	134.2116459
1	25.481	65.706	10.763	6	0.0000	119.8300450	102.1831718
1	25.481	65.706	10.763	3	0.0232	119.8179459	119.8166221
2	25.481	65.706	11.350	1	0.0000	14.2476853	17.6281323
2	25.481	65.706	11.350	6	0.0000	15.6288804	12.7480719
2	25.481	65.706	11.350	3	0.1309	15.6089021	15.5998547
3	25.481	65.706	11.937	1	0.0000	8.2585168	10.5100782
3	25.481	65.706	11.937	6	0.0000	9.4527010	7.5284284
3	25.481	65.706	11.937	3	0.1731	9.4307143	9.4299755
4	25.481	65.706	12.525	1	0.0000	6.1703430	8.0242035
4	25.481	65.706	12.525	6	0.0000	7.3424888	5.7440049
4	25.481	65.706	12.525	3	0.1926	7.3207926	7.3192745
5	25.481	65.706	13.112	1	0.0000	5.1184679	6.7808821
5	25.481	65.706	13.112	7	0.0000	6.3091830	4.8647466
5	25.481	65.706	13.112	3	0.2032	6.2884793	6.2861225
6	26.285	66.136	11.412	1	0.0000	999.0000000	999.0000000
6	26.285	66.136	11.412	100	0.0000	999.0000000	999.0000000
6	26.285	66.136	11.412	100	0.0000	999.0000000	999.0000000
7	26.285	66.136	12.000	1	0.0000	25.0642000	31.1258665
7	26.285	66.136	12.000	6	0.0000	27.3144457	22.1607009
7	26.285	66.136	12.000	3	0.0807	27.2901851	27.2897151
8	26.285	66.136	12.588	1	0.0000	11.3754816	14.5653236
8	26.285	66.136	12.588	6	0.0000	12.9255796	10.2280306
8	26.285	66.136	12.588	3	0.1352	12.8988292	12.8982746
9	26.285	66.136	13.175	1	0.0000	7.7574486	10.1618438
9	26.285	66.136	13.175	6	0.0000	9.1645762	7.1207564
9	26.285	66.136	13.175	3	0.1634	9.1376121	9.1362635
10	26.285	66.136	13.763	0	0.0000	998.0000000	998.0000000
10	26.285	66.136	13.763	0	0.0000	998.0000000	998.0000000
10	26.285	66.136	13.763	0	0.0000	998.0000000	998.0000000
11	27.089	66.565	12.062	1	0.0000	999.0000000	999.0000000
11	27.089	66.565	12.062	100	0.0000	999.0000000	999.0000000
11	27.089	66.565	12.062	100	0.0000	999.0000000	999.0000000
12	27.089	66.565	12.650	1	0.0000	52.8566120	65.5851384
12	27.089	66.565	12.650	6	0.0000	57.4237510	46.5132935
12	27.089	66.565	12.650	3	0.0393	57.3948709	57.4000967
13	27.089	66.565	13.238	0	0.0000	998.0000000	998.0000000
13	27.089	66.565	13.238	0	0.0000	998.0000000	998.0000000
13	27.089	66.565	13.238	0	0.0000	998.0000000	998.0000000
14	27.089	66.565	13.826	0	0.0000	998.0000000	998.0000000
14	27.089	66.565	13.826	0	0.0000	998.0000000	998.0000000
14	27.089	66.565	13.826	0	0.0000	998.0000000	998.0000000
15	27.089	66.565	14.413	0	0.0000	998.0000000	998.0000000

15	27.089	66.565	14.413	0	0.0000	998.0000000	998.0000000
15	27.089	66.565	14.413	0	0.0000	998.0000000	998.0000000
16	27.893	66.995	12.712	1	0.0000	999.0000000	999.0000000
16	27.893	66.995	12.712	100	0.0000	999.0000000	999.0000000
16	27.893	66.995	12.712	100	0.0000	999.0000000	999.0000000
17	27.893	66.995	13.300	0	0.0000	998.0000000	998.0000000
17	27.893	66.995	13.300	0	0.0000	998.0000000	998.0000000
17	27.893	66.995	13.300	0	0.0000	998.0000000	998.0000000
18	27.893	66.995	13.888	0	0.0000	998.0000000	998.0000000
18	27.893	66.995	13.888	0	0.0000	998.0000000	998.0000000
18	27.893	66.995	13.888	0	0.0000	998.0000000	998.0000000
19	27.893	66.995	14.476	0	0.0000	998.0000000	998.0000000
19	27.893	66.995	14.476	0	0.0000	998.0000000	998.0000000
19	27.893	66.995	14.476	0	0.0000	998.0000000	998.0000000
20	27.893	66.995	15.064	0	0.0000	998.0000000	998.0000000
20	27.893	66.995	15.064	0	0.0000	998.0000000	998.0000000
20	27.893	66.995	15.064	0	0.0000	998.0000000	998.0000000
21	28.697	67.425	13.362	0	0.0000	998.0000000	998.0000000
21	28.697	67.425	13.362	0	0.0000	998.0000000	998.0000000
21	28.697	67.425	13.362	0	0.0000	998.0000000	998.0000000
22	28.697	67.425	13.950	0	0.0000	998.0000000	998.0000000
22	28.697	67.425	13.950	0	0.0000	998.0000000	998.0000000
22	28.697	67.425	13.950	0	0.0000	998.0000000	998.0000000
23	28.697	67.425	14.538	0	0.0000	998.0000000	998.0000000
23	28.697	67.425	14.538	0	0.0000	998.0000000	998.0000000
23	28.697	67.425	14.538	0	0.0000	998.0000000	998.0000000
24	28.697	67.425	15.126	0	0.0000	998.0000000	998.0000000
24	28.697	67.425	15.126	0	0.0000	998.0000000	998.0000000
24	28.697	67.425	15.126	0	0.0000	998.0000000	998.0000000
25	28.697	67.425	15.714	0	0.0000	998.0000000	998.0000000
25	28.697	67.425	15.714	0	0.0000	998.0000000	998.0000000
25	28.697	67.425	15.714	0	0.0000	998.0000000	998.0000000
26	21.799	66.716	10.630	1	0.0000	2.0412957	2.2262439
26	21.799	66.716	10.630	5	0.0000	2.2098698	2.0324306
26	21.799	66.716	10.630	3	0.4567	2.2076903	2.2155872
27	21.799	66.716	11.216	1	0.0000	2.1437810	2.4361710
27	21.799	66.716	11.216	5	0.0000	2.4170121	2.1388505
27	21.799	66.716	11.216	3	0.4024	2.4152290	2.4148563
28	21.799	66.716	11.803	1	0.0000	2.2369171	2.6263729
28	21.799	66.716	11.803	5	0.0000	2.6005946	2.2328786
28	21.799	66.716	11.803	3	0.3820	2.5986900	2.5978695
29	21.799	66.716	12.389	1	0.0000	2.2939034	2.7657183
29	21.799	66.716	12.389	6	0.0000	2.7392580	2.2921664
29	21.799	66.716	12.389	3	0.3632	2.7376526	2.7317342
30	21.799	66.716	12.976	1	0.0000	2.1847368	2.6891155
30	21.799	66.716	12.976	6	0.0000	2.7027511	2.2218564
30	21.799	66.716	12.976	3	0.3426	2.7047423	2.6969661
31	22.603	67.146	11.279	1	0.0000	2.6006721	2.8861987
31	22.603	67.146	11.279	5	0.0000	2.8378612	2.5702594
31	22.603	67.146	11.279	3	0.3757	2.8338607	2.8316173
32	22.603	67.146	11.866	1	0.0000	2.5605819	2.9437768
32	22.603	67.146	11.866	5	0.0000	2.8934374	2.5355972

32	22.603	67.146	11.866	3	0.3605	2.8897054	2.8890907
33	22.603	67.146	12.453	1	0.0000	2.5826264	3.0595306
33	22.603	67.146	12.453	5	0.0000	3.0011002	2.5579757
33	22.603	67.146	12.453	3	0.3498	2.9971093	2.9959205
34	22.603	67.146	13.040	1	0.0000	2.5628777	3.1074276
34	22.603	67.146	13.040	6	0.0000	3.0547220	2.5449962
34	22.603	67.146	13.040	3	0.3372	3.0511507	3.0446570
35	22.603	67.146	13.627	1	0.0000	2.4144701	2.9844085
35	22.603	67.146	13.627	6	0.0000	2.9758998	2.4376732
35	22.603	67.146	13.627	3	0.3220	2.9751082	2.9666128
36	23.407	67.575	11.929	1	0.0000	3.5350074	3.9921333
36	23.407	67.575	11.929	5	0.0000	3.8539693	3.4359728
36	23.407	67.575	11.929	3	0.3303	3.8467900	3.8464220
37	23.407	67.575	12.516	1	0.0000	3.1573466	3.6743980
37	23.407	67.575	12.516	5	0.0000	3.5590916	3.0852780
37	23.407	67.575	12.516	3	0.3250	3.5525499	3.5515133
38	23.407	67.575	13.103	1	0.0000	3.0339198	3.6284031
38	23.407	67.575	13.103	5	0.0000	3.5129886	2.9698522
38	23.407	67.575	13.103	3	0.3211	3.5059318	3.5040693
39	23.407	67.575	13.690	1	0.0000	2.8821707	3.5170169
39	23.407	67.575	13.690	6	0.0000	3.4280081	2.8413608
39	23.407	67.575	13.690	3	0.3120	3.4217167	3.4146882
40	23.407	67.575	14.277	1	0.0000	2.6905130	3.3430653
40	23.407	67.575	14.277	6	0.0000	3.3017458	2.6926002
40	23.407	67.575	14.277	3	0.3022	3.2974295	3.2880140
41	24.211	68.005	12.579	1	0.0000	5.1584527	5.9145635
41	24.211	68.005	12.579	5	0.0000	5.5801591	4.9020269
41	24.211	68.005	12.579	3	0.2819	5.5695184	5.5684234
42	24.211	68.005	13.166	1	0.0000	4.0098438	4.7205883
42	24.211	68.005	13.166	5	0.0000	4.4918438	3.8525065
42	24.211	68.005	13.166	3	0.2901	4.4814396	4.4795501
43	24.211	68.005	13.753	1	0.0000	3.5947576	4.3346230
43	24.211	68.005	13.753	6	0.0000	4.1430791	3.4749117
43	24.211	68.005	13.753	3	0.2906	4.1324029	4.1268103
44	24.211	68.005	14.340	1	0.0000	3.2784599	4.0275735
44	24.211	68.005	14.340	6	0.0000	3.8869029	3.2044314
44	24.211	68.005	14.340	3	0.2871	3.8770599	3.8691697
45	24.211	68.005	14.927	1	0.0000	3.0163166	3.7674261
45	24.211	68.005	14.927	6	0.0000	3.6841647	2.9922102
45	24.211	68.005	14.927	4	0.2817	3.6758883	3.6693448
46	25.016	68.435	13.229	1	0.0000	8.1917351	9.5006138
46	25.016	68.435	13.229	5	0.0000	8.7634369	7.6041264
46	25.016	68.435	13.229	3	0.2237	8.7486224	8.7458768
47	25.016	68.435	13.816	1	0.0000	5.2789005	6.2781449
47	25.016	68.435	13.816	5	0.0000	5.8637020	4.9785947
47	25.016	68.435	13.816	3	0.2526	5.8484573	5.8451209
48	25.016	68.435	14.404	1	0.0000	4.3275248	5.2581540
48	25.016	68.435	14.404	6	0.0000	4.9602189	4.1303558
48	25.016	68.435	14.404	3	0.2608	4.9451347	4.9383469
49	25.016	68.435	14.991	1	0.0000	3.7774309	4.6704324
49	25.016	68.435	14.991	6	0.0000	4.4605224	3.6564586
49	25.016	68.435	14.991	3	0.2624	4.4464347	4.4374768

50	25.016	68.435	15.578	1	0.0000	3.4146455	4.2899201
50	25.016	68.435	15.578	6	0.0000	4.1505635	3.3536909
50	25.016	68.435	15.578	4	0.2614	4.1377534	4.1301842
51	18.117	67.726	10.497	1	0.0000	1.4745206	1.6212200
51	18.117	67.726	10.497	4	0.0000	1.6026082	1.4587337
51	18.117	67.726	10.497	3	0.6586	1.5962996	1.5987657
52	18.117	67.726	11.082	1	0.0000	1.4693969	1.6479309
52	18.117	67.726	11.082	4	0.0000	1.6265320	1.4521972
52	18.117	67.726	11.082	4	0.6598	1.6200080	1.6219743
53	18.117	67.726	11.668	1	0.0000	1.4451537	1.6511709
53	18.117	67.726	11.668	5	0.0000	1.6357398	1.4369788
53	18.117	67.726	11.668	3	0.6055	1.6326593	1.6330089
54	18.117	67.726	12.254	1	0.0000	1.4217288	1.6607068
54	18.117	67.726	12.254	5	0.0000	1.6644367	1.4343536
54	18.117	67.726	12.254	3	0.5368	1.6668436	1.6660493
55	18.117	67.726	12.840	1	0.0000	1.4063756	1.6814260
55	18.117	67.726	12.840	5	0.0000	1.7096640	1.4447618
55	18.117	67.726	12.840	3	0.4863	1.7173322	1.7158139
56	18.921	68.156	11.146	1	0.0000	1.4668692	1.5937691
56	18.921	68.156	11.146	4	0.0000	1.5779048	1.4530183
56	18.921	68.156	11.146	3	0.6574	1.5720668	1.5727745
57	18.921	68.156	11.732	1	0.0000	1.4525225	1.6113348
57	18.921	68.156	11.732	4	0.0000	1.5926970	1.4371789
57	18.921	68.156	11.732	4	0.6633	1.5867410	1.5879632
58	18.921	68.156	12.318	1	0.0000	1.4900384	1.6936846
58	18.921	68.156	12.318	5	0.0000	1.6816266	1.4844032
58	18.921	68.156	12.318	3	0.5759	1.6800740	1.6798988
59	18.921	68.156	12.904	1	0.0000	1.4886407	1.7335824
59	18.921	68.156	12.904	5	0.0000	1.7417767	1.5050625
59	18.921	68.156	12.904	3	0.5054	1.7449904	1.7439711
60	18.921	68.156	13.490	1	0.0000	1.4860516	1.7716674
60	18.921	68.156	13.490	5	0.0000	1.8048600	1.5285595
60	18.921	68.156	13.490	3	0.4579	1.8124708	1.8107984
61	19.725	68.585	11.796	1	0.0000	1.4644803	1.5743560
61	19.725	68.585	11.796	4	0.0000	1.5607441	1.4521802
61	19.725	68.585	11.796	3	0.6553	1.5553176	1.5547333
62	19.725	68.585	12.382	1	0.0000	1.4895443	1.6449896
62	19.725	68.585	12.382	4	0.0000	1.6308927	1.4781550
62	19.725	68.585	12.382	3	0.6291	1.6273736	1.6344658
63	19.725	68.585	12.969	1	0.0000	1.5687627	1.7814873
63	19.725	68.585	12.969	5	0.0000	1.7736489	1.5672586
63	19.725	68.585	12.969	3	0.5331	1.7733138	1.7727826
64	19.725	68.585	13.555	1	0.0000	1.5840465	1.8443726
64	19.725	68.585	13.555	5	0.0000	1.8561752	1.6045273
64	19.725	68.585	13.555	3	0.4712	1.8596959	1.8586392
65	19.725	68.585	14.141	1	0.0000	1.5810005	1.8838029
65	19.725	68.585	14.141	5	0.0000	1.9200282	1.6286231
65	19.725	68.585	14.141	3	0.4291	1.9272907	1.9258385
66	20.530	69.015	12.446	1	0.0000	1.4677620	1.5627404
66	20.530	69.015	12.446	4	0.0000	1.5510072	1.4567395
66	20.530	69.015	12.446	3	0.6513	1.5459283	1.5443699
67	20.530	69.015	13.033	1	0.0000	1.5748354	1.7398507

67	20.530	69.015	13.033	4	0.0000	1.7315651	1.5691766
67	20.530	69.015	13.033	3	0.5703	1.7300082	1.7392041
68	20.530	69.015	13.619	1	0.0000	1.6831869	1.9160919
68	20.530	69.015	13.619	5	0.0000	1.9114058	1.6853109
68	20.530	69.015	13.619	3	0.4884	1.9116766	1.9110016
69	20.530	69.015	14.205	1	0.0000	1.7105468	1.9968753
69	20.530	69.015	14.205	5	0.0000	2.0084399	1.7322950
69	20.530	69.015	14.205	3	0.4404	2.0114607	2.0103473
70	20.530	69.015	14.791	1	0.0000	1.6919366	2.0174754
70	20.530	69.015	14.791	5	0.0000	2.0552532	1.7428478
70	20.530	69.015	14.791	3	0.4038	2.0618671	2.0606228
71	21.334	69.445	13.096	1	0.0000	1.5867863	1.6960542
71	21.334	69.445	13.096	4	0.0000	1.6877914	1.5795278
71	21.334	69.445	13.096	3	0.5791	1.6851519	1.6879532
72	21.334	69.445	13.683	1	0.0000	1.7147122	1.9034406
72	21.334	69.445	13.683	5	0.0000	1.8989471	1.7156921
72	21.334	69.445	13.683	3	0.4793	1.8987067	1.8963470
73	21.334	69.445	14.269	1	0.0000	1.8259892	2.0882636
73	21.334	69.445	14.269	5	0.0000	2.0841102	1.8314156
73	21.334	69.445	14.269	3	0.4452	2.0844510	2.0837894
74	21.334	69.445	14.855	1	0.0000	1.8683704	2.1903961
74	21.334	69.445	14.855	5	0.0000	2.1964586	1.8883656
74	21.334	69.445	14.855	3	0.4120	2.1984285	2.1973396
75	21.334	69.445	15.442	1	0.0000	1.8181567	2.1729354
75	21.334	69.445	15.442	5	0.0000	2.2071116	1.8679205
75	21.334	69.445	15.442	3	0.3832	2.2124966	2.2110330
76	14.435	68.736	10.364	1	0.0000	1.5255154	1.7498549
76	14.435	68.736	10.364	5	0.0000	1.7235079	1.5063049
76	14.435	68.736	10.364	4	0.6529	1.7166925	1.7257383
77	14.435	68.736	10.949	1	0.0000	1.4542488	1.6978024
77	14.435	68.736	10.949	5	0.0000	1.6826897	1.4480647
77	14.435	68.736	10.949	3	0.5989	1.6790375	1.6797361
78	14.435	68.736	11.533	1	0.0000	1.3881623	1.6426127
78	14.435	68.736	11.533	5	0.0000	1.6428757	1.3993234
78	14.435	68.736	11.533	3	0.5647	1.6430833	1.6428750
79	14.435	68.736	12.118	1	0.0000	1.3400963	1.6031694
79	14.435	68.736	12.118	5	0.0000	1.6189181	1.3672389
79	14.435	68.736	12.118	3	0.5369	1.6225907	1.6217374
80	14.435	68.736	12.703	1	0.0000	1.3050241	1.5732038
80	14.435	68.736	12.703	5	0.0000	1.6041358	1.3481708
80	14.435	68.736	12.703	3	0.5108	1.6110474	1.6097132
81	15.239	69.166	11.013	1	0.0000	1.5142843	1.7102226
81	15.239	69.166	11.013	5	0.0000	1.6867192	1.4969638
81	15.239	69.166	11.013	4	0.6507	1.6803704	1.6866135
82	15.239	69.166	11.599	1	0.0000	1.4422137	1.6627943
82	15.239	69.166	11.599	5	0.0000	1.6468214	1.4330637
82	15.239	69.166	11.599	3	0.6181	1.6426550	1.6433790
83	15.239	69.166	12.184	1	0.0000	1.3706906	1.6030385
83	15.239	69.166	12.184	4	0.0000	1.6005854	1.3762892
83	15.239	69.166	12.184	3	0.5833	1.6002381	1.6003347
84	15.239	69.166	12.769	1	0.0000	1.3140703	1.5553905
84	15.239	69.166	12.769	4	0.0000	1.5673483	1.3357172

84	15.239	69.166	12.769	3	0.5539	1.5707349	1.5701207
85	15.239	69.166	13.354	1	0.0000	1.2749823	1.5231466
85	15.239	69.166	13.354	4	0.0000	1.5491532	1.3111330
85	15.239	69.166	13.354	3	0.5293	1.5558046	1.5546927
86	16.044	69.595	11.663	1	0.0000	1.4928691	1.6658927
86	16.044	69.595	11.663	4	0.0000	1.6457544	1.4762466
86	16.044	69.595	11.663	4	0.6468	1.6396378	1.6416939
87	16.044	69.595	12.249	1	0.0000	1.4345413	1.6331174
87	16.044	69.595	12.249	4	0.0000	1.6171953	1.4231992
87	16.044	69.595	12.249	4	0.6503	1.6125697	1.6192086
88	16.044	69.595	12.834	1	0.0000	1.3597489	1.5728371
88	16.044	69.595	12.834	4	0.0000	1.5682815	1.3617901
88	16.044	69.595	12.834	3	0.6008	1.5671469	1.5673316
89	16.044	69.595	13.419	1	0.0000	1.2967989	1.5196104
89	16.044	69.595	13.419	4	0.0000	1.5284214	1.3140668
89	16.044	69.595	13.419	3	0.5712	1.5310308	1.5305205
90	16.044	69.595	14.004	1	0.0000	1.2578672	1.4906850
90	16.044	69.595	14.004	4	0.0000	1.5138917	1.2902413
90	16.044	69.595	14.004	3	0.5362	1.5210591	1.5197544
91	16.848	70.025	12.313	1	0.0000	1.4745127	1.6264436
91	16.848	70.025	12.313	4	0.0000	1.6095138	1.4605699
91	16.848	70.025	12.313	3	0.6461	1.6039066	1.6076906
92	16.848	70.025	12.899	1	0.0000	1.4335097	1.6117321
92	16.848	70.025	12.899	4	0.0000	1.5962565	1.4219622
92	16.848	70.025	12.899	4	0.6513	1.5913957	1.5958438
93	16.848	70.025	13.484	1	0.0000	1.3544503	1.5504407
93	16.848	70.025	13.484	4	0.0000	1.5441460	1.3531976
93	16.848	70.025	13.484	4	0.6486	1.5422130	1.5520993
94	16.848	70.025	14.069	1	0.0000	1.2908999	1.4987475
94	16.848	70.025	14.069	4	0.0000	1.5051528	1.3042395
94	16.848	70.025	14.069	3	0.5803	1.5076607	1.5071033
95	16.848	70.025	14.655	1	0.0000	1.2644259	1.4894032
95	16.848	70.025	14.655	4	0.0000	1.5134978	1.2969523
95	16.848	70.025	14.655	3	0.5282	1.5215935	1.5200700
96	17.652	70.455	12.963	1	0.0000	1.4586726	1.5931435
96	17.652	70.455	12.963	4	0.0000	1.5786540	1.4465641
96	17.652	70.455	12.963	3	0.6481	1.5734871	1.5757456
97	17.652	70.455	13.549	1	0.0000	1.4332044	1.5939045
97	17.652	70.455	13.549	4	0.0000	1.5788636	1.4214551
97	17.652	70.455	13.549	3	0.6543	1.5738441	1.5796280
98	17.652	70.455	14.134	1	0.0000	1.3523266	1.5314949
98	17.652	70.455	14.134	4	0.0000	1.5241373	1.3494516
98	17.652	70.455	14.134	4	0.6542	1.5216468	1.5293480
99	17.652	70.455	14.720	1	0.0000	1.3082170	1.5082837
99	17.652	70.455	14.720	4	0.0000	1.5155036	1.3215630
99	17.652	70.455	14.720	3	0.5675	1.5189734	1.5181466
100	17.652	70.455	15.305	1	0.0000	1.2920874	1.5160867
100	17.652	70.455	15.305	4	0.0000	1.5433554	1.3269901
100	17.652	70.455	15.305	3	0.5116	1.5521168	1.5505087
101	10.753	69.746	10.231	1	0.0000	1.7042643	1.9599717
101	10.753	69.746	10.231	5	0.0000	1.9556965	1.7096203
101	10.753	69.746	10.231	3	0.4725	1.9550252	1.9546549

102	10.753	69.746	10.815	1	0.0000	1.6766975	1.9438590
102	10.753	69.746	10.815	5	0.0000	1.9536171	1.6960273
102	10.753	69.746	10.815	3	0.4488	1.9550098	1.9544443
103	10.753	69.746	11.399	0	0.0000	998.0000000	998.0000000
103	10.753	69.746	11.399	0	0.0000	998.0000000	998.0000000
103	10.753	69.746	11.399	0	0.0000	998.0000000	998.0000000
104	10.753	69.746	11.983	0	0.0000	998.0000000	998.0000000
104	10.753	69.746	11.983	0	0.0000	998.0000000	998.0000000
104	10.753	69.746	11.983	0	0.0000	998.0000000	998.0000000
105	10.753	69.746	12.567	0	0.0000	998.0000000	998.0000000
105	10.753	69.746	12.567	0	0.0000	998.0000000	998.0000000
105	10.753	69.746	12.567	0	0.0000	998.0000000	998.0000000
106	11.557	70.176	10.880	1	0.0000	1.6366296	1.8664630
106	11.557	70.176	10.880	4	0.0000	1.8610524	1.6385566
106	11.557	70.176	10.880	3	0.4915	1.8601179	1.8570827
107	11.557	70.176	11.465	1	0.0000	1.6054245	1.8458704
107	11.557	70.176	11.465	4	0.0000	1.8535694	1.6205553
107	11.557	70.176	11.465	3	0.4659	1.8548312	1.8516208
108	11.557	70.176	12.049	1	0.0000	1.5785701	1.8284550
108	11.557	70.176	12.049	4	0.0000	1.8492395	1.6068371
108	11.557	70.176	12.049	3	0.4449	1.8525410	1.8491840
109	11.557	70.176	12.633	0	0.0000	998.0000000	998.0000000
109	11.557	70.176	12.633	0	0.0000	998.0000000	998.0000000
109	11.557	70.176	12.633	0	0.0000	998.0000000	998.0000000
110	11.557	70.176	13.217	0	0.0000	998.0000000	998.0000000
110	11.557	70.176	13.217	0	0.0000	998.0000000	998.0000000
110	11.557	70.176	13.217	0	0.0000	998.0000000	998.0000000
111	12.362	70.605	11.530	1	0.0000	1.5838318	1.7925889
111	12.362	70.605	11.530	4	0.0000	1.7857524	1.5837190
111	12.362	70.605	11.530	3	0.5156	1.7844449	1.7818716
112	12.362	70.605	12.115	1	0.0000	1.5479899	1.7668135
112	12.362	70.605	12.115	4	0.0000	1.7723488	1.5605099
112	12.362	70.605	12.115	3	0.4876	1.7733312	1.7706028
113	12.362	70.605	12.699	1	0.0000	1.5182116	1.7457902
113	12.362	70.605	12.699	4	0.0000	1.7637758	1.5433735
113	12.362	70.605	12.699	3	0.4645	1.7669006	1.7640368
114	12.362	70.605	13.284	0	0.0000	998.0000000	998.0000000
114	12.362	70.605	13.284	0	0.0000	998.0000000	998.0000000
114	12.362	70.605	13.284	0	0.0000	998.0000000	998.0000000
115	12.362	70.605	13.868	0	0.0000	998.0000000	998.0000000
115	12.362	70.605	13.868	0	0.0000	998.0000000	998.0000000
115	12.362	70.605	13.868	0	0.0000	998.0000000	998.0000000
116	13.166	71.035	12.180	1	0.0000	1.5431804	1.7343533
116	13.166	71.035	12.180	4	0.0000	1.7260803	1.5408665
116	13.166	71.035	12.180	3	0.5390	1.7243282	1.7221160
117	13.166	71.035	12.765	1	0.0000	1.5018819	1.7028248
117	13.166	71.035	12.765	4	0.0000	1.7062345	1.5117328
117	13.166	71.035	12.765	3	0.5087	1.7068591	1.7045110
118	13.166	71.035	13.349	1	0.0000	1.4685527	1.6776715
118	13.166	71.035	13.349	4	0.0000	1.6928829	1.4905695
118	13.166	71.035	13.349	3	0.4839	1.6957296	1.6932571
119	13.166	71.035	13.934	1	0.0000	1.4421428	1.6592102

119	13.166	71.035	13.934	4	0.0000	1.6859450	1.4755026
119	13.166	71.035	13.934	3	0.4644	1.6908124	1.6881796
120	13.166	71.035	14.518	0	0.0000	998.0000000	998.0000000
120	13.166	71.035	14.518	0	0.0000	998.0000000	998.0000000
120	13.166	71.035	14.518	0	0.0000	998.0000000	998.0000000
121	13.970	71.465	12.830	1	0.0000	1.5131597	1.6891595
121	13.970	71.465	12.830	4	0.0000	1.6794419	1.5085896
121	13.970	71.465	12.830	3	0.5898	1.6770924	1.6858147
122	13.970	71.465	13.415	1	0.0000	1.4655277	1.6513319
122	13.970	71.465	13.415	4	0.0000	1.6525834	1.4727433
122	13.970	71.465	13.415	3	0.5294	1.6527607	1.6507231
123	13.970	71.465	14.000	1	0.0000	1.4277818	1.6213915
123	13.970	71.465	14.000	4	0.0000	1.6340067	1.4467255
123	13.970	71.465	14.000	3	0.5027	1.6365117	1.6343547
124	13.970	71.465	14.584	1	0.0000	1.3984081	1.5994774
124	13.970	71.465	14.584	4	0.0000	1.6231143	1.4284089
124	13.970	71.465	14.584	3	0.4816	1.6277295	1.6254243
125	13.970	71.465	15.169	0	0.0000	998.0000000	998.0000000
125	13.970	71.465	15.169	0	0.0000	998.0000000	998.0000000
125	13.970	71.465	15.169	0	0.0000	998.0000000	998.0000000

SUMMARY OF MINIMUM FACTORS OF SAFETY

MOMENT EQUILIBRIUM: FELLENIUS OR ORDINARY METHOD

16.0435=X-COOR. 69.5955=Y-COOR. 14.0043=RADIUS 1.2578672=F.S. 90=SLIP#

MOMENT EQUILIBRIUM: BISHOP SIMPLIFIED METHOD

16.8477=X-COOR. 70.0253=Y-COOR. 14.0694=RADIUS 1.5051528=F.S. 94=SLIP#

FORCE EQUILIBRIUM: JANBU SIMPLIFIED METHOD (NO FO FACTOR)

16.0435=X-COOR. 69.5955=Y-COOR. 14.0043=RADIUS 1.2902413=F.S. 90=SLIP#

MOMENT AND FORCE EQUILIBRIUM: MORGENSTERN-PRICE METHOD

16.8477=X-COOR. 70.0253=Y-COOR. 14.0694=RADIUS 1.5076607=F.S. 94=SLIP#

NORMAL TERMINATION OF SLOPE

MOST_CRITICAL # SLIP_SURFACE #

1 94

SLIP_SURFACE # AUTOTENSIONELEV

Slope Stability Analysis near Lot No. 83 RP, D.D. 21, San Uk Ka, Tai Po, N.T.

DATESTAMP 10/8/2024

TIMESTAMP 20:36:22

Center_X		Center_Y	Radius	Slip_Surface	Method	
1.684800e+001		7.002500e+001	1.406942e+001	94	3	
SL#	X_Left	Y_L_Top	Y_L_Bottom	X_Right	Y_R_Top	Y_R_Bottom
	Mid_Height	Base_Length				
1	3.301453e+000	6.622439e+001	6.622439e+001	4.000726e+000	6.618720e+001	6.428917e+001
9.490131e-001	2.057685e+000					
2	4.000726e+000	6.618720e+001	6.428917e+001	4.700000e+000	6.615000e+001	6.292731e+001
2.560359e+000	1.530897e+000					
3	4.700000e+000	6.600000e+001	6.292731e+001	4.866985e+000	6.600000e+001	6.264895e+001
3.211872e+000	3.246072e-001					
4	4.866985e+000	6.600000e+001	6.264895e+001	5.050000e+000	6.600000e+001	6.235963e+001
3.495710e+000	3.423393e-001					
5	5.050000e+000	6.600000e+001	6.235963e+001	5.775000e+000	6.550000e+001	6.134523e+001
3.897568e+000	1.246852e+000					
6	5.775000e+000	6.550000e+001	6.134523e+001	6.500000e+000	6.500000e+001	6.049254e+001
4.331116e+000	1.119244e+000					
7	6.500000e+000	6.500000e+001	6.049254e+001	7.175767e+000	6.465388e+001	5.980756e+001
4.676889e+000	9.622156e-001					
8	7.175767e+000	6.465388e+001	5.980756e+001	7.851533e+000	6.430775e+001	5.920783e+001
4.973118e+000	9.035114e-001					
9	7.851533e+000	6.430775e+001	5.920783e+001	8.550000e+000	6.395000e+001	5.866322e+001
5.193351e+000	8.856976e-001					
10	8.550000e+000	6.395000e+001	5.866322e+001	9.183333e+000	6.354149e+001	5.822673e+001
5.300771e+000	7.691779e-001					
11	9.183333e+000	6.354149e+001	5.822673e+001	9.816667e+000	6.313297e+001	5.783869e+001
5.304521e+000	7.427549e-001					
12	9.816667e+000	6.313297e+001	5.783869e+001	1.045000e+001	6.272446e+001	5.749460e+001
5.262071e+000	7.207691e-001					
13	1.045000e+001	6.272446e+001	5.749460e+001	1.102485e+001	6.235367e+001	5.721735e+001
5.183086e+000	6.382136e-001					
14	1.102485e+001	6.235367e+001	5.721735e+001	1.159970e+001	6.198288e+001	5.697127e+001
5.073960e+000	6.253055e-001					
15	1.159970e+001	6.198288e+001	5.697127e+001	1.217455e+001	6.161209e+001	5.675462e+001
4.934535e+000	6.143192e-001					
16	1.217455e+001	6.161209e+001	5.675462e+001	1.279059e+001	6.121473e+001	5.655351e+001
4.759341e+000	6.480427e-001					
17	1.279059e+001	6.121473e+001	5.655351e+001	1.340664e+001	6.081736e+001	5.638314e+001
4.547718e+000	6.391686e-001					
18	1.340664e+001	6.081736e+001	5.638314e+001	1.402268e+001	6.042000e+001	5.624239e+001
4.305917e+000	6.319213e-001					
19	1.402268e+001	6.042000e+001	5.624239e+001	1.463873e+001	6.002264e+001	5.613034e+001
4.034956e+000	6.261523e-001					

20 1.463873e+001 6.002264e+001 5.613034e+001 1.525477e+001 5.962528e+001 5.604631e+001
 3.735631e+000 6.217498e-001
 21 1.525477e+001 5.962528e+001 5.604631e+001 1.587082e+001 5.922791e+001 5.598980e+001
 3.408539e+000 6.186322e-001
 22 1.587082e+001 5.922791e+001 5.598980e+001 1.646561e+001 5.884426e+001 5.596103e+001
 3.060670e+000 5.954904e-001
 23 1.646561e+001 5.884426e+001 5.596103e+001 1.706041e+001 5.846060e+001 5.595745e+001
 2.693189e+000 5.948059e-001
 24 1.706041e+001 5.846060e+001 5.595745e+001 1.765520e+001 5.807695e+001 5.597903e+001
 2.300534e+000 5.951865e-001
 25 1.765520e+001 5.807695e+001 5.597903e+001 1.825000e+001 5.769329e+001 5.602590e+001
 1.882655e+000 5.966384e-001
 26 1.825000e+001 5.769329e+001 5.602590e+001 1.886667e+001 5.729553e+001 5.610145e+001
 1.430736e+000 6.212779e-001
 27 1.886667e+001 5.729553e+001 5.610145e+001 1.948333e+001 5.689776e+001 5.620491e+001
 9.434676e-001 6.252846e-001
 28 1.948333e+001 5.689776e+001 5.620491e+001 2.010000e+001 5.650000e+001 5.633689e+001
 4.279822e-001 6.306336e-001
 29 2.010000e+001 5.650000e+001 5.633689e+001 2.070569e+001 5.650000e+001 5.649512e+001
 8.399541e-002 6.260123e-001
 30 2.070569e+001 5.650000e+001 5.649512e+001 2.072278e+001 5.650000e+001 5.650000e+001
 2.442288e-003 1.777405e-002

SL#	L_Load_X	L_Load_Y	A_Load_X	A_Load_Y	P_Load_X	P_Load_Y	A_Modifier
AS_Load_X	AS_Load_Y	Combined					

1	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	-2.1408e-016	-3.4964e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				
2	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	-2.1408e-016	-3.4964e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				
3	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				
4	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				
5	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				
6	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				
7	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				
8	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				
9	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				
10	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				
11	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				
12	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				

13	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				
14	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				
15	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				
16	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				
17	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				
18	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				
19	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				
20	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				
21	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				
22	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				
23	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				
24	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				
25	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				
26	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				
27	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				
28	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				
29	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				
30	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000	1.0000e+000
	0.0000e+000	0.0000e+000	0				

SL#	Weight	Pore_Water	Alpha	Force Fn.	Seismic_F	Seismic_Y	Pore_Air
Phi_B		Liquified					

1	1.2609e+001	-5.0361e+001	7.0133e+001	1.2577e-001	0.0000e+000	0.0000e+000	0.0000e+000
	0.0000e+000	0					
2	3.4017e+001	-1.2829e+001	6.2821e+001	2.4954e-001	0.0000e+000	0.0000e+000	0.0000e+000
	0.0000e+000	0					
3	1.0190e+001	-2.8222e-001	5.9041e+001	2.7858e-001	0.0000e+000	0.0000e+000	0.0000e+000
	0.0000e+000	0					
4	1.2156e+001	2.9974e-001	5.7683e+001	3.1012e-001	0.0000e+000	0.0000e+000	0.0000e+000
	0.0000e+000	0					
5	5.3689e+001	5.7029e+000	5.4446e+001	4.3141e-001	0.0000e+000	0.0000e+000	0.0000e+000
	0.0000e+000	0					

6	5.9661e+001	1.0550e+001	4.9627e+001	5.4534e-001	0.0000e+000	0.0000e+000	0.0000e+000
7	6.0049e+001	1.2326e+001	4.5388e+001	6.4319e-001	0.0000e+000	0.0000e+000	0.0000e+000
8	6.3853e+001	1.3642e+001	4.1588e+001	7.3150e-001	0.0000e+000	0.0000e+000	0.0000e+000
9	6.8920e+001	1.4731e+001	3.7945e+001	8.1136e-001	0.0000e+000	0.0000e+000	0.0000e+000
10	6.3786e+001	1.3454e+001	3.4574e+001	8.7269e-001	0.0000e+000	0.0000e+000	0.0000e+000
11	6.3831e+001	1.3203e+001	3.1495e+001	9.2265e-001	0.0000e+000	0.0000e+000	0.0000e+000
12	6.3320e+001	1.2690e+001	2.8515e+001	9.6059e-001	0.0000e+000	0.0000e+000	0.0000e+000
13	5.6610e+001	1.0893e+001	2.5748e+001	9.8419e-001	0.0000e+000	0.0000e+000	0.0000e+000
14	5.5418e+001	1.0144e+001	2.3175e+001	9.9724e-001	0.0000e+000	0.0000e+000	0.0000e+000
15	5.3896e+001	9.2638e+000	2.0650e+001	9.9957e-001	0.0000e+000	0.0000e+000	0.0000e+000
16	5.5707e+001	8.8097e+000	1.8080e+001	9.9016e-001	0.0000e+000	0.0000e+000	0.0000e+000
17	5.3230e+001	7.5165e+000	1.5459e+001	9.6855e-001	0.0000e+000	0.0000e+000	0.0000e+000
18	5.0400e+001	6.0849e+000	1.2870e+001	9.3499e-001	0.0000e+000	0.0000e+000	0.0000e+000
19	4.7229e+001	4.5162e+000	1.0308e+001	8.8991e-001	0.0000e+000	0.0000e+000	0.0000e+000
20	4.3725e+001	2.8090e+000	7.7672e+000	8.3385e-001	0.0000e+000	0.0000e+000	0.0000e+000
21	3.9896e+001	9.5948e-001	5.2413e+000	7.6751e-001	0.0000e+000	0.0000e+000	0.0000e+000
22	3.4589e+001	-9.6705e-001	2.7690e+000	6.9448e-001	0.0000e+000	0.0000e+000	0.0000e+000
23	3.0436e+001	-2.9713e+000	3.4514e-001	6.1346e-001	0.0000e+000	0.0000e+000	0.0000e+000
24	2.5999e+001	-5.1267e+000	-2.0781e+000	5.2539e-001	0.0000e+000	0.0000e+000	0.0000e+000
25	2.1276e+001	-7.4456e+000	-4.5050e+000	4.3129e-001	0.0000e+000	0.0000e+000	0.0000e+000
26	1.6763e+001	-9.2305e+000	-6.9851e+000	3.2850e-001	0.0000e+000	0.0000e+000	0.0000e+000
27	1.1054e+001	-9.8548e+000	-9.5236e+000	2.2165e-001	0.0000e+000	0.0000e+000	0.0000e+000
28	5.0145e+000	-1.0683e+001	-1.2081e+001	1.1207e-001	0.0000e+000	0.0000e+000	0.0000e+000
29	9.6662e-001	-1.1511e+001	-1.4640e+001	3.0818e-003	0.0000e+000	0.0000e+000	0.0000e+000
30	7.9302e-004	-3.4128e-001	-1.5951e+001	0.0000e+000	0.0000e+000	0.0000e+000	0.0000e+000

Ordinary_Method_Fm= 1.2908999 Applied_Lambda= 0.0000

SL#	Normal_M	ShearMob	Phi_Angle	Cohesion
1	5.4731e+000	-7.7507e+000	3.5000e+001	3.0000e+000
2	1.7135e+001	-1.2852e+001	3.5000e+001	3.0000e+000
3	5.2421e+000	-3.5978e+000	3.5000e+001	3.0000e+000
4	6.4984e+000	-4.1578e+000	3.5000e+001	3.0000e+000
5	3.1218e+001	-1.6738e+001	3.5000e+001	3.0000e+000
6	3.8646e+001	-1.7841e+001	3.5000e+001	3.0000e+000
7	4.2173e+001	-1.8426e+001	3.5000e+001	3.0000e+000
8	4.7758e+001	-2.0605e+001	3.5000e+001	3.0000e+000
9	5.4351e+001	-2.3549e+001	3.5000e+001	3.0000e+000
10	5.2521e+001	-2.2978e+001	3.5000e+001	3.0000e+000
11	5.4428e+001	-2.4087e+001	3.5000e+001	3.0000e+000
12	5.5639e+001	-2.4971e+001	3.5000e+001	3.0000e+000
13	5.0990e+001	-2.3232e+001	3.5000e+001	3.0000e+000
14	5.0947e+001	-2.3585e+001	3.5000e+001	3.0000e+000
15	5.0433e+001	-2.3758e+001	3.5000e+001	3.0000e+000
16	5.2957e+001	-2.5452e+001	3.5000e+001	3.0000e+000
17	5.1305e+001	-2.5237e+001	3.5000e+001	3.0000e+000
18	4.9134e+001	-2.4819e+001	3.5000e+001	3.0000e+000
19	4.6466e+001	-2.4210e+001	3.5000e+001	3.0000e+000
20	4.3324e+001	-2.3421e+001	3.5000e+001	3.0000e+000
21	3.9730e+001	-2.2467e+001	3.5000e+001	3.0000e+000
22	3.4549e+001	-2.0124e+001	3.5000e+001	3.0000e+000
23	3.0435e+001	-1.7891e+001	3.5000e+001	3.0000e+000
24	2.5981e+001	-1.5476e+001	3.5000e+001	3.0000e+000
25	2.1210e+001	-1.2891e+001	3.5000e+001	3.0000e+000
26	1.6639e+001	-1.0469e+001	3.5000e+001	3.0000e+000
27	1.0902e+001	-7.3665e+000	3.5000e+001	3.0000e+000
28	4.9035e+000	-4.1253e+000	3.5000e+001	3.0000e+000
29	9.3524e-001	-1.9621e+000	3.5000e+001	3.0000e+000
30	7.6249e-004	-3.4102e-004	3.0000e+001	0.0000e+000

Bishop_Method_Fm= 1.5051528

Applied_Lambda= 0.0000

SL#	Normal_M	ShearMob	Phi_Angle	Cohesion	SideLeft	ShearLeft	SideRight
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1	1.5750e+001	-1.1428e+001	3.5000e+001	3.0000e+000	0.0000e+000	0.0000e+000	-8.5378e+000
2	3.9962e+001	-2.1642e+001	3.5000e+001	3.0000e+000	8.5378e+000	0.0000e+000	-3.0227e+001
3	1.0547e+001	-5.5537e+000	3.5000e+001	3.0000e+000	3.0227e+001	0.0000e+000	-3.5454e+001
4	1.2605e+001	-6.4069e+000	3.5000e+001	3.0000e+000	3.5454e+001	0.0000e+000	-4.1594e+001
5	5.6062e+001	-2.5913e+001	3.5000e+001	3.0000e+000	4.1594e+001	0.0000e+000	-6.7932e+001
6	6.1559e+001	-2.5960e+001	3.5000e+001	3.0000e+000	6.7932e+001	0.0000e+000	-9.4045e+001
7	6.0726e+001	-2.4434e+001	3.5000e+001	3.0000e+000	9.4045e+001	0.0000e+000	-1.1654e+002

1	1.3860e+001	-1.2174e+001	3.5000e+001	3.0000e+000	0.0000e+000	0.0000e+000	-8.5378e+000
0.0000e+000							
2	3.6903e+001	-2.3333e+001	3.5000e+001	3.0000e+000	8.5378e+000	0.0000e+000	-3.0227e+001
0.0000e+000							
3	9.8222e+000	-6.0199e+000	3.5000e+001	3.0000e+000	3.0227e+001	0.0000e+000	-3.5454e+001
0.0000e+000							
4	1.1792e+001	-6.9573e+000	3.5000e+001	3.0000e+000	3.5454e+001	0.0000e+000	-4.1594e+001
0.0000e+000							
5	5.2990e+001	-2.8255e+001	3.5000e+001	3.0000e+000	4.1594e+001	0.0000e+000	-6.7932e+001
0.0000e+000							
6	5.8782e+001	-2.8468e+001	3.5000e+001	3.0000e+000	6.7932e+001	0.0000e+000	-9.4045e+001
0.0000e+000							
7	5.8346e+001	-2.6920e+001	3.5000e+001	3.0000e+000	9.4045e+001	0.0000e+000	-1.1654e+002
0.0000e+000							
8	6.1054e+001	-2.7533e+001	3.5000e+001	3.0000e+000	1.1654e+002	0.0000e+000	-1.3641e+002
0.0000e+000							
9	6.4909e+001	-2.8977e+001	3.5000e+001	3.0000e+000	1.3641e+002	0.0000e+000	-1.5347e+002
0.0000e+000							
10	5.9352e+001	-2.6411e+001	3.5000e+001	3.0000e+000	1.5347e+002	0.0000e+000	-1.6544e+002
0.0000e+000							
11	5.8868e+001	-2.6225e+001	3.5000e+001	3.0000e+000	1.6544e+002	0.0000e+000	-1.7391e+002
0.0000e+000							
12	5.8010e+001	-2.5989e+001	3.5000e+001	3.0000e+000	1.7391e+002	0.0000e+000	-1.7888e+002
0.0000e+000							
13	5.1644e+001	-2.3346e+001	3.5000e+001	3.0000e+000	1.7888e+002	0.0000e+000	-1.8040e+002
0.0000e+000							
14	5.0451e+001	-2.3078e+001	3.5000e+001	3.0000e+000	1.8040e+002	0.0000e+000	-1.7917e+002
0.0000e+000							
15	4.9054e+001	-2.2775e+001	3.5000e+001	3.0000e+000	1.7917e+002	0.0000e+000	-1.7530e+002
0.0000e+000							
16	5.0793e+001	-2.4030e+001	3.5000e+001	3.0000e+000	1.7530e+002	0.0000e+000	-1.6838e+002
0.0000e+000							
17	4.8734e+001	-2.3598e+001	3.5000e+001	3.0000e+000	1.6838e+002	0.0000e+000	-1.5878e+002
0.0000e+000							
18	4.6442e+001	-2.3120e+001	3.5000e+001	3.0000e+000	1.5878e+002	0.0000e+000	-1.4675e+002
0.0000e+000							
19	4.3914e+001	-2.2592e+001	3.5000e+001	3.0000e+000	1.4675e+002	0.0000e+000	-1.3253e+002
0.0000e+000							
20	4.1142e+001	-2.2010e+001	3.5000e+001	3.0000e+000	1.3253e+002	0.0000e+000	-1.1643e+002
0.0000e+000							
21	3.8113e+001	-2.1370e+001	3.5000e+001	3.0000e+000	1.1643e+002	0.0000e+000	-9.8767e+001
0.0000e+000							
22	3.3693e+001	-1.9458e+001	3.5000e+001	3.0000e+000	9.8767e+001	0.0000e+000	-8.1068e+001
0.0000e+000							
23	3.0331e+001	-1.7652e+001	3.5000e+001	3.0000e+000	8.1068e+001	0.0000e+000	-6.3686e+001
0.0000e+000							
24	2.6580e+001	-1.5639e+001	3.5000e+001	3.0000e+000	6.3686e+001	0.0000e+000	-4.7155e+001
0.0000e+000							
25	2.2392e+001	-1.3394e+001	3.5000e+001	3.0000e+000	4.7155e+001	0.0000e+000	-3.2082e+001
0.0000e+000							
26	1.8258e+001	-1.1231e+001	3.5000e+001	3.0000e+000	3.2082e+001	0.0000e+000	-1.8731e+001
0.0000e+000							

27	1.2576e+001	-8.1901e+000	3.5000e+001	3.0000e+000	1.8731e+001	0.0000e+000	-8.5720e+000
28	6.1392e+000	-4.7465e+000	3.5000e+001	3.0000e+000	8.5720e+000	0.0000e+000	-2.6361e+000
29	1.5962e+000	-2.2969e+000	3.5000e+001	3.0000e+000	2.6361e+000	0.0000e+000	-6.6263e-004
30	9.4359e-004	-4.1770e-004	3.0000e+001	0.0000e+000	6.6263e-004	0.0000e+000	0.0000e+000

M-P_Method_Fm= 1.5076607

Applied_Lambda= 0.5803

SL#	Normal_M	ShearMob	Phi_Angle	Cohesion	SideLeft	ShearLeft	SideRight
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1	1.4821e+001	-1.0978e+001	3.5000e+001	3.0000e+000	0.0000e+000	0.0000e+000	-1.0189e+001
2	3.5411e+001	-1.9492e+001	3.5000e+001	3.0000e+000	1.0189e+001	-7.4364e-001	-3.2750e+001
3	9.0250e+000	-4.8374e+000	3.5000e+001	3.0000e+000	3.2750e+001	-4.7426e+000	-3.7992e+001
4	1.0687e+001	-5.5055e+000	3.5000e+001	3.0000e+000	3.7992e+001	-6.1421e+000	-4.4071e+001
5	4.6292e+001	-2.1332e+001	3.5000e+001	3.0000e+000	4.4071e+001	-7.9314e+000	-6.9292e+001
6	4.9306e+001	-2.0227e+001	3.5000e+001	3.0000e+000	6.9292e+001	-1.7348e+001	-9.3722e+001
7	4.7964e+001	-1.8466e+001	3.5000e+001	3.0000e+000	9.3722e+001	-2.9661e+001	-1.1488e+002
8	5.0013e+001	-1.8690e+001	3.5000e+001	3.0000e+000	1.1488e+002	-4.2879e+001	-1.3408e+002
9	5.3679e+001	-1.9851e+001	3.5000e+001	3.0000e+000	1.3408e+002	-5.6919e+001	-1.5143e+002
10	5.0061e+001	-1.8532e+001	3.5000e+001	3.0000e+000	1.5143e+002	-7.1300e+001	-1.6458e+002
11	5.1043e+001	-1.9052e+001	3.5000e+001	3.0000e+000	1.6458e+002	-8.3350e+001	-1.7500e+002
12	5.2156e+001	-1.9763e+001	3.5000e+001	3.0000e+000	1.7500e+002	-9.3704e+001	-1.8255e+002
13	4.8397e+001	-1.8688e+001	3.5000e+001	3.0000e+000	1.8255e+002	-1.0176e+002	-1.8675e+002
14	4.9430e+001	-1.9490e+001	3.5000e+001	3.0000e+000	1.8675e+002	-1.0666e+002	-1.8829e+002
15	5.0427e+001	-2.0340e+001	3.5000e+001	3.0000e+000	1.8829e+002	-1.0897e+002	-1.8705e+002
16	5.4996e+001	-2.2740e+001	3.5000e+001	3.0000e+000	1.8705e+002	-1.0850e+002	-1.8251e+002
17	5.5694e+001	-2.3647e+001	3.5000e+001	3.0000e+000	1.8251e+002	-1.0487e+002	-1.7457e+002
18	5.5915e+001	-2.4400e+001	3.5000e+001	3.0000e+000	1.7457e+002	-9.8120e+001	-1.6324e+002
19	5.5466e+001	-2.4909e+001	3.5000e+001	3.0000e+000	1.6324e+002	-8.8575e+001	-1.4866e+002

20	5.4153e+001	-2.5083e+001	3.5000e+001	3.0000e+000	1.4866e+002	-7.6775e+001	-1.3113e+002
21	5.1805e+001	-2.4845e+001	3.5000e+001	3.0000e+000	1.3113e+002	-6.3454e+001	-1.1112e+002
22	4.6523e+001	-2.2792e+001	3.5000e+001	3.0000e+000	1.1112e+002	-4.9493e+001	-9.0595e+001
23	4.1820e+001	-2.0606e+001	3.5000e+001	3.0000e+000	9.0595e+001	-3.6512e+001	-7.0236e+001
24	3.6139e+001	-1.7969e+001	3.5000e+001	3.0000e+000	7.0236e+001	-2.5004e+001	-5.0965e+001
25	2.9639e+001	-1.4953e+001	3.5000e+001	3.0000e+000	5.0965e+001	-1.5539e+001	-3.3729e+001
26	2.3223e+001	-1.2022e+001	3.5000e+001	3.0000e+000	3.3729e+001	-8.4418e+000	-1.8973e+001
27	1.5189e+001	-8.2984e+000	3.5000e+001	3.0000e+000	1.8973e+001	-3.6170e+000	-8.2782e+000
28	7.0248e+000	-4.5174e+000	3.5000e+001	3.0000e+000	8.2782e+000	-1.0648e+000	-2.3921e+000
29	1.6903e+000	-2.0307e+000	3.5000e+001	3.0000e+000	2.3921e+000	-1.5557e-001	-5.9625e-004
30	9.2739e-004	-3.5514e-004	3.0000e+001	0.0000e+000	5.9625e-004	-1.0664e-006	0.0000e+000

Slip_Surface_Summary

Analysis	Volume	Weight	Res_Moment	Act_Moment	Res_Force	Act_Force
FOS						
Ordinary Method	6.1489e+001	1.1683e+003	9.1508e+003	7.0887e+003		
1.2908999						
Bishop Method	6.1489e+001	1.1683e+003	1.0670e+004	7.0887e+003		
1.5051528						
Janbu Method	6.1489e+001	1.1683e+003			6.1943e+002	4.7493e+002
1.3042395						
M-P Method	6.1489e+001	1.1683e+003	1.0687e+004	7.0887e+003	6.5416e+002	4.3405e+002
1.5076607						

APPENDIX E

Plates



Plate 1: Overview of the Application Site



Plate 2: Overview of the Existing Natural Slope

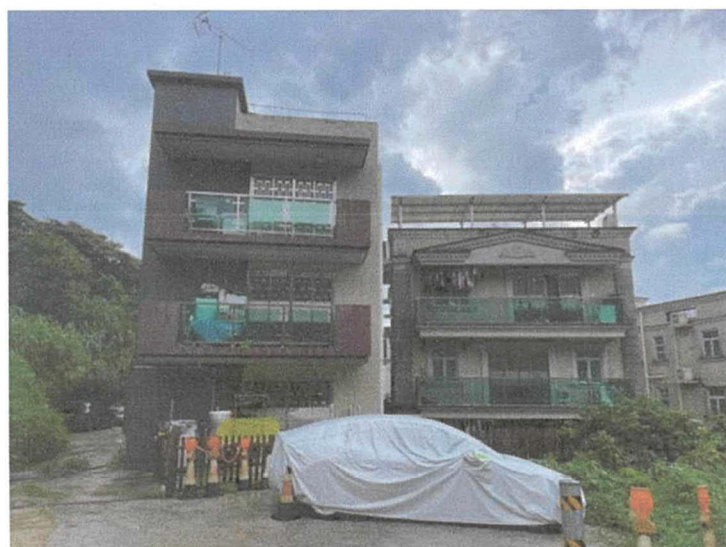


Plate 3: Two Blocks of NTEH to the North End of Application Site



Plate 4: Viewing the toe of the Existing Slope and Application Site

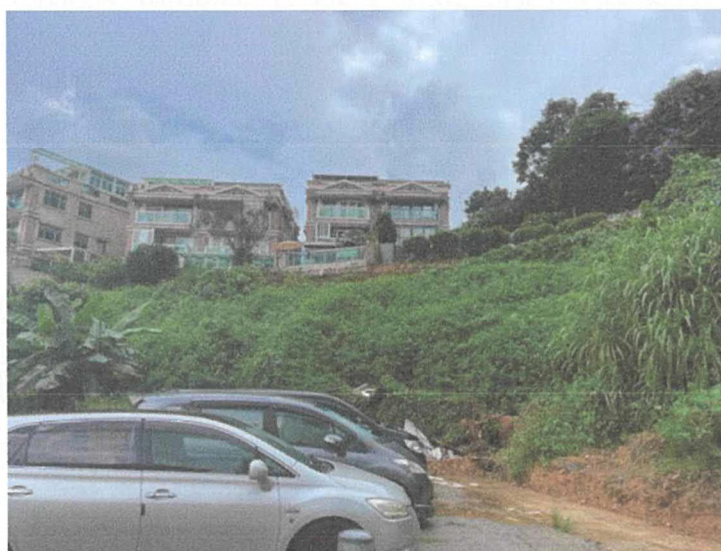


Plate 5: Overview of the Feature Slope 7NW-D/C 427



Plate 6: Overview of the Feature Slope 7NW-D/C 426



Application Site

Current Site Situation (14.08.2024)

Application Site: Lots 83 S.C RP and 470 S.D in D.D. 21, San Uk Ka, Tai Po, N.T.

Justifications

(i) Background Information:

The Application is with the same proposal of planning application No. A/TP/662 for proposed house (New Territories Exempted House) development, which was approved by the Rural and New Town Planning Committee on 22.5.2020 with approval conditions and validity till 22.5.2024. Despite the planning permission was granted, District lands Office/Tai Po of lands Department could not issue the formal basic terms offer to the applicant before the expiry date due to objections were received upon posting notice. The application was then required to go through a three-tier mechanism adopted since 1.9.2017 by lands Department for proper handling of the Small House applications and the objections to the applications. While the posting notice is the final stage to reach the approval of the application and it was unexpectedly objections received, the applicant could not submit application S.16A for extension of time for commencement of development in accordance with the Town Planning Board Guideline No. 350 under s.16A of the Town Planning Ordinance (Cap.131) due to lapse of planning permission expiry on 22.5.2024.

(ii) Justifications:

Apart from the background information given above, the justifications for substantiate the application are as follows:

- a) The applicant is an indigenous villager of a recognized village of Tai Po District of who is eligible to apply for a Small House grant under the current Small House policy, and was also the applicant of the same application site under Application No. A/TP/662 previously approved with conditions by RNTPC on 22.5.2020;
- b) There hasn't been any material change in planning circumstances since the original permission was granted on 22.5.2020 in terms of the planning policy/land-use zoning of the application site;

Relevant Revised Interim Criteria for Consideration of
Application for NTEH/Small House in New Territories
(promulgated on 7.9.2007)

- (a) sympathetic consideration may be given if not less than 50% of the proposed NTEH/Small House footprint falls within the village 'environs' ('VE') of a recognized village and there is a general shortage of land in meeting the demand for Small House development in the "Village Type Development" ("V") zone of the village;
- (b) if more than 50% of the proposed NTEH/Small House footprint is located outside the 'VE', favourable consideration could be given if not less than 50% of the proposed NTEH/Small House footprint falls within the "V" zone, provided that there is a general shortage of land in meeting the demand for Small House development in the "V" zone and the other criteria can be satisfied;
- (c) development of NTEH/Small House with more than 50% of the footprint outside both the 'VE' and the "V" zone would normally not be approved unless under very exceptional circumstances (e.g. the application site has a building status under the lease, or approving the application could help achieve certain planning objectives such as phasing out of obnoxious but legal existing uses);
- (d) application for NTEH/Small House with previous planning permission lapsed will be considered on its own merits. In general, proposed development which is not in line with the criteria would normally not be allowed. However, sympathetic consideration may be given if there are specific circumstances to justify the cases, such as the site is an infill site among existing NTEHs/Small Houses, the processing of the Small House grant is already at an advance stage;
- (e) an application site involves more than one NTEH/Small House, application of the above criteria would be on individual NTEH/Small House basis;
- (f) the proposed development should not frustrate the planning intention of the particular zone in which the application site is located;
- (g) the proposed development should be compatible in terms of land use, scale, design and layout, with the surrounding area/development;
- (h) the proposed development should not encroach onto the planned road network and should not cause adverse traffic, environmental, landscape, drainage, sewerage and geotechnical impacts on the surrounding areas. Any such potential impacts should be mitigated to the satisfaction of relevant Government departments;
- (i) the proposed development, if located within water gathering grounds, should be able to be connected to existing or planned sewerage system in the area except under very special circumstances (e.g. the application site has a building status under the lease or the applicant can demonstrate that the water quality within water

gathering grounds will not be affected by the proposed development[^]);

- (j) the provision of fire service installations and emergency vehicular access, if required, should be appropriate with the scale of the development and in compliance with relevant standards; and
- (k) all other statutory or non-statutory requirements of relevant Government departments must be met. Depending on the specific land use zoning of the application site, other Town Planning Board guidelines should be observed, as appropriate.

[^]i.e. the applicant can demonstrate that effluent discharge from the proposed development will be in compliance with the effluent standards as stipulated in the Water Pollution Control Ordinance Technical Memorandum.

**TOWN PLANNING BOARD GUIDELINES FOR
APPLICATION FOR DEVELOPMENT WITHIN GREEN BELT ZONE
UNDER SECTION 16 OF THE TOWN PLANNING ORDINANCE**

(Important Note :

The guidelines are intended for general reference only. The decision to approve or reject an application rests entirely with the Town Planning Board and will be based on individual merits and other specific considerations of each case.

Any enquiry on this pamphlet should be directed to the Planning Information and Technical Administration Unit of the Planning Department, 17th Floor, North Point Government Offices, 333 Java Road, Hong Kong - Tel. No. 2231 5000.

These guidelines are liable to revision without prior notice. The Town Planning Board will only make reference to the guidelines current at the date on which it considers an application.)

1. Introduction

- 1.1 The planning intention of the "Green Belt" ("GB") zone is primarily to promote the conservation of the natural environment and to safeguard it from encroachment by urban-type developments.
- 1.2 The "GB" zone covers mainly slopes and hillsides, most of which is naturally vegetated. Some "GB" areas are also designated as Country Parks. Most of the land within the "GB" zone is Government land, although there are also small pockets of private land, generally near built-up areas.
- 1.3 The main purposes of the "GB" zone include the following :
 - a. to conserve existing landscape features, areas of scenic value and areas of recognised "fung shui" importance;
 - b. to define the outer limits of urbanized districts and to serve as a buffer between and within urban areas; and
 - c. to provide additional outlets for passive recreational uses.
- 1.4 To preserve the character and nature of the "GB" zone, the only uses which will always be permitted by the Town Planning Board (the Board) are compatible uses which are essential and for public purpose such as waterworks, water catchment areas, nature reserves, agriculture, forestry and certain passive recreational uses. Other uses, including government/institution/community (G/IC), residential development and public utility installations will require planning permission from the Board and each proposal will be assessed on its individual merits. Applications for development will be considered by the Board according to the criteria set out below.

2. Main Planning Criteria

- a. There is a general presumption against development (other than redevelopment) in a "GB" zone. In general the Board will only be prepared to approve applications for development in the context of requests to rezone to an appropriate use.
- b. An application for new development in a "GB" zone will only be considered in exceptional circumstances and must be justified with very strong planning grounds. The scale and intensity of the proposed development including the plot ratio, site coverage and building height should be compatible with the character of surrounding areas. With the exception of New Territories Exempted Houses, a plot ratio up to 0.4 for residential development may be permitted.
- c. Applications for New Territories Exempted Houses with satisfactory sewage disposal

facilities and access arrangements may be approved if the application sites are in close proximity to existing villages and in keeping with the surrounding uses, and where the development is to meet the demand from indigenous villagers.

- d. Redevelopment of existing residential development will generally be permitted up to the intensity of the existing development.
- e. Applications for G/IC uses and public utility installations must demonstrate that the proposed development is essential and that no alternative sites are available. The plot ratio of the development site may exceed 0.4 so as to minimize the land to be allocated for G/IC uses.
- f. Passive recreational uses which are compatible with the character of surrounding areas may be given sympathetic consideration.
- g. The design and layout of any proposed development should be compatible with the surrounding area. The development should not involve extensive clearance of existing natural vegetation, affect the existing natural landscape, or cause any adverse visual impact on the surrounding environment.
- h. The vehicular access road and parking provision proposed should be appropriate to the scale of the development and comply with relevant standards. Access and parking should not adversely affect existing trees or other natural landscape features. Tree preservation and landscaping proposals should be provided.
- i. The proposed development should not overstrain the capacity of existing and planned infrastructure such as sewerage, roads and water supply. It should not adversely affect drainage or aggravate flooding in the area.
- j. The proposed development must comply with the development controls and restrictions of areas designated as water gathering grounds.
- k. The proposed development should not overstrain the overall provision of G/IC facilities in the general area.
- l. The proposed development should not be susceptible to adverse environmental effects from pollution sources nearby such as traffic noise, unless adequate mitigating measures are provided, and it should not itself be the source of pollution.
- m. Any proposed development on a slope or hillside should not adversely affect slope stability.

Previous Applications covering the sites on the
Tai Po Outline Zoning Plan

Approved Applications

Application No.	Proposed Development	Date of Consideration
A/TP/571 [*]	Proposed House (NTEH - Small House)	13.3.2015
A/TP/662 [#]	Proposed House (NTEH - Small House)	22.5.2020 (Review)

Previous Case for A/TP/698

* Previous Case for A/TP/699

Appendix V of RNTPC
Paper No. A/TP/698 & 699

Similar Applications
within “GB” zones in the vicinity of the Sites

Approved Applications

Application No.	Proposed Development	Date of Consideration
A/TP/278	Proposed Seven Houses (Small House)	21.9.2001
A/TP/282	Proposed Five Houses (Small Houses)	16.11.2001
A/TP/286	Proposed Six Houses (Small Houses)	8.2.2002
A/TP/287	Proposed Two Houses (Small Houses)	1.3.2002
A/TP/353	Proposed Two Houses (New Territories Exempted House (NTEHs)) (Small House)	29.7.2005
A/TP/363	Proposed House (NTEH)	13.1.2006
A/TP/380	Proposed Three Houses (NTEHs)	20.10.2006
A/TP/464	Proposed House (NTEH - Small House)	23.12.2010
A/TP/465	Proposed House (NTEH - Small House)	23.12.2010
A/TP/466	Proposed House (NTEH - Small House)	23.12.2010
A/TP/467	Proposed House (NTEH - Small House)	23.12.2010
A/TP/468	Proposed House (NTEH - Small House)	23.12.2010
A/TP/469	Proposed House (NTEH - Small House)	23.12.2010
A/TP/470	Proposed House (NTEH - Small House)	23.12.2010
A/TP/471	Proposed House (NTEH - Small House)	23.12.2010
A/TP/472	Proposed House (NTEH - Small House)	23.12.2010
A/TP/473	Proposed House (NTEH - Small House)	23.12.2010
A/TP/474	Proposed House (NTEH - Small House)	23.12.2010
A/TP/475	Proposed House (NTEH - Small House)	23.12.2010

A/TP/476	Proposed House (NTEH - Small House)	23.12.2010
A/TP/477	Proposed House (NTEH - Small House)	23.12.2010
A/TP/553	Proposed House (NTEH - Small House)	17.10.2014
A/TP/561	Proposed House (NTEH - Small House)	17.10.2014
A/TP/566	Proposed House (NTEH - Small House)	14.11.2014
A/TP/570	Proposed House (NTEH - Small House)	13.3.2015
A/TP/572	Proposed House (NTEH - Small House)	13.3.2015
A/TP/641	Proposed House (NTEH - Small House)	18.5.2018
A/TP/676	Proposed House (NTEH - Small House)	26.11.2021

Rejected Applications

Application No.	Proposed Development	Date of Consideration	Rejection Reasons
A/TP/562	Proposed House (NTEH - Small House)	17.10.2014	R1-R3
A/TP/671	Proposed House (NTEH - Small House)	27.11.2020 (Review)	R1, R4-R6

Rejection Reasons

- R1. The proposed development was not in line with the planning intention of the "Green Belt" ("GB") zone.
- R2. The application did not comply with the Town Planning Board Guidelines for 'Application for Development within ("GB") zone under section 16 of the Town Planning Ordinance' in that the proposed development would involve clearance of existing natural vegetation affecting the existing natural landscape, and the applicant failed to demonstrate that the proposed development would have no adverse landscape impact on the surrounding areas and that the stability of the adjacent slope would not be adversely affected.
- R3. The application did not comply with the Interim Criteria for Assessing Planning Applications for New Territories Exempted House ("NTEH")/Small House Development in the New Territories in that the proposed development would cause

adverse landscape impact on the surrounding areas and be subject to adverse geotechnical impact.

- R4. Land was still available within the “Village Type Development” (“V”) zone of San UK Ka, Cheung Uk Tei, Sheung Wun Yiu and Ha Wun Yiu which was primarily intended for Small House development. It was considered more appropriate to concentrate the proposed Small House development within the “V” zone for more orderly development pattern, efficient use of land and provision of infrastructure and services.
- R5. The proposed development did not comply with the Town Planning Board Guidelines No. 10 for ‘Application for Development within “GB” zone under section 16 of the Town Planning Ordinance’ in that the proposed development would involve clearance of existing natural vegetation affecting the existing natural landscape in the area. The applicant failed to demonstrate that the proposed development would have no adverse landscape impact on the surrounding areas.
- R6. The proposed development did not comply with the Interim Criteria for Consideration of Application for NTEH/Small House in New Territories in that the proposed development would have adverse landscape impact on the surrounding areas.

Detailed Comments from Relevant Government Departments

1. Land Administration

Comments of the District Lands Officer/Tai Po, Lands Department (DLO/TP, LandsD):

- (a) The applicants are the registered owner of the subject lots and Small House (SH) applications submitted by the above-mentioned applicants for the subject sites are still under processing.
- (b) If and after planning applications have been approved by TPB, this office will process the SH applications. However, there is no guarantee at this stage that the SH applications would be approved. If the SH applications are approved by LandsD acting in the capacity as landlord at its sole discretion, such approval will be subject to such terms and conditions as may be imposed by LandsD. There is no guarantee to the grant of a right of way to the SH concerned or approval of the Emergency Vehicular Access (EVA) thereto.
- (c) the number of outstanding SH applications and the number of 10-year SH demand for the villages concerned are as follows:

Village	No. of outstanding Small House applications	No. of 10-year Small House demand*
San Uk Ka	5	0
Cheung Uk Tei	3	Not provided
Sheung Wun Yiu	15	300
Ha Wun Yiu	2	23

(*The figure of 10-year SH demand is estimated and provided by the Indigenous Inhabitant Representative (IIR) of concerned villages (i.e. Kau Liu Ha, Hang Ha Po and San Uk Pai) and the information so obtained is not verified by DLO/TP, LandsD)

For SH under Application No. A/TP/698:

- (d) The applicant, Mr. CHANG Kam Lun (張錦麟), is an indigenous villager of Sha Lo Tung Cheung Uk of Tai Po Heung, as confirmed by the IIR of Sha Lo Tung Cheung Uk. However, his eligibility for a SH grant has yet to be ascertained.
- (e) The Site under application are lots held under Block Government Lease demised for agricultural use which are not covered by any squatter control surveyed structures, Modification of Tenancy or Building Licence; and not encroach on any existing or planned EVA under application.

For SH under Application No. A/TP/699:

- (f) The applicant, Mr. Pang Ka Hong (彭家康), is an indigenous villager of Tseng Tau of Tai Po Heung, as confirmed by the IIR of Tseng Tau. However, his eligibility for a SH grant has yet to be ascertained.
- (g) The Site under application is lot held under Block Government Lease demised for agricultural and building use which is not covered by any squatter control surveyed structures or Modification of Tenancy; and not encroach on any existing or planned

EVA under application. However, there is a Building Licence No. 103 granted on the subject lot.

2. **Traffic**

Comments of the Commissioner for Transport (C for T):

- (a) such type of development should be confined within the “Village Type Development” (“V”) zone as far as possible. Although additional traffic generated by the proposed development is not expected to be significant, such type of development outside the “V” zone, if permitted, will set an undesirable precedent case for similar applications in the future. The resulting cumulative adverse traffic impact could be substantial; and
- (b) notwithstanding the above, the subject applications only involve development of two Small Houses that could be tolerated on traffic grounds.

3. **Environment**

Comments of the Director of Environmental Protection (DEP):

- no in-principle objection to the applications provided that the applicants will provide adequate sewer connection for disposal of sewage from the Small Houses to the existing public sewer at their own costs and reserve adequate land for the sewer connection works. In case where public sewer connection is not feasible, septic tank and soakaway system is an acceptable means for collection, treatment and disposal of the sewage provided that its design and construction follow the requirements of the Practice Note for Professional Person (ProPECC) PN 1/23 “Drainage Plans subject to Comment by the Environmental Protection Department -Building (Standards of Sanitary Fitments, Plumbing, Drainage Works and Latrines) Regulations” and are duly certified by an Authorized Person (AP)."

4. **Landscape**

Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD):

- ~~(e)~~(a) no objection to the applications from the landscape planning perspective;
- ~~(d)~~(b) the Sites are located in an area of settled valleys landscape character Settled Valleys landscape character surrounded by village houses, woodland and vegetated area. The proposed use is considered not incompatible with the landscape character of its surroundings. Compared with the aerial photo of 2015, there is no significant change in the landscape character of surrounding environment since the last approved application for the same use. Significant impact on the landscape character arising from the proposed development is not anticipated; and
- ~~(e)~~(c) according to site photos taken in September 2024, the Sites under Application No. A/TP/698 and A/TP/699 are covered with self-seeded vegetation and hard

paved with vehicles respectively. An existing tree is observed in vicinity to the application site (No. A/TP/698 and may be in conflict with the proposed development layout. According to the layout plans, landscape treatment such as 3 trees and shrubs planting are proposed within each of the application sites. Significant adverse landscape impact on the existing landscape resources arising from the proposed use is not anticipated.

5. Drainage

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD):

- no in-principle objection to the applications from public drainage viewpoint.

6. Fire Safety

Comments of the Director of Fire Services (D of FS):

- no objection in principle to the applications at this stage provided that the proposed houses would not encroach on any existing EVA or planned EVA.

7. Water Supply

Comments of the Chief Engineer/Construction, Water Supplies Department (CE/C, WSD):

- no objection to the applications.

8. Geology

Comments of the Head of the Geotechnical Engineering Office, Civil Engineering and Development Department (H(GEO), CEDD):

- (a) no in-principle objection to the applications subject to the ~~*following proposed approval condition:- the submission of geotechnical planning review report for Application No. A/TP/698 and revised geotechnical investigation report and implementation of the necessary geotechnical works identified therein for Application No. A/TP/699, to the satisfaction of GEO, CEDD; and*~~

~~*The submission of geotechnical planning review report for Application No. A/TP/698 and revised geotechnical investigation report and implementation of the necessary geotechnical works identified therein for Application No. A/TP/699, to the satisfaction of the Geotechnical Engineering Office, Civil Engineering and Development Department and of the Town Planning Board; and*~~

- (b) suspected unauthorized site formation works at the surrounding area of Application No. A/TP/699 were observed are not yet rectified and necessary enforcement/prosecution/reinstatement actions should be completed to the satisfaction of the relevant Government departments.

9. Agriculture

Comments of the Director of Agriculture, Fisheries and Conservation (DAFC):

- the Site under Application No. A/TP/698 is covered with grass while another Site under Application No. A/TP/699 is mostly formed. No strong view on both applications.

10. Demand and Supply of Small House Sites

According to the DLO/TP, LandsD's record, the total number of outstanding Small House applications for San Uk Ka, Cheung Uk Tei, Sheung Wun Yiu and Ha Wun Yiu villages are 25 while the 10-year Small House demand forecast for the same villages is 323. Based on the latest estimate by the Planning Department, about 2.38 ha of land (or equivalent to about 95 Small House sites) is available within the "V" zones of the concerned villages. Therefore, the land available cannot fully meet the future demand of 323 Small Houses (equivalent to about 8.7 ha of land).

Recommended Advisory Clauses

- (a) to note the comments of the District Lands Officer/Tai Po, Lands Department (DLO/TP, LandsD) that should planning permission be approved by the Town Planning Board (the Board), LandsD will continue to process the Small House applications. However, there is no guarantee at this stage that the Small House application would be approved. If the Small House applications are approved by LandsD acting in the capacity as landlord at its sole discretion, such approval will be subject to such terms and conditions as may be imposed by LandsD. There is no guarantee to the grant of right of way to the Small House concerned or approval of Emergency Vehicular Access (EVA) thereto;
- (b) to note the comments of the Chief Engineer/Mainland North (CE/MN, DSD) that:
 - (i) there is no existing DSD maintained public drain available for connection in the area. The applicants should have their own stormwater collection and discharge system to cater for runoff generated within the Sites and overland flow from surrounding of the Sites, e.g. surface channel of sufficient size along the perimeter of the Site; sufficient openings should be provided at the bottom of the boundary wall/fence to allow surface runoff to pass through the Site if any boundary wall/fence are to be erected. Any existing flow path affected should be re-provided. The applicants should neither obstruct overland flow nor adversely affect the existing natural streams, village drains, ditches and the adjacent areas. The applicants are required to maintain the drainage systems properly and rectify/modify the systems if they are found to be inadequate or ineffective during operation. The applicants shall also be liable for and shall indemnify claims and demands arising out of damage or nuisance caused by failure of the systems;
 - (ii) DSD's maintained public sewers exist in the vicinity but the feasibility of sewerage connection is subject to the invert level of discharge connection pipe leading from the proposed site. The applicants shall demonstrate the technical feasibility of sewerage connection; and
 - (iii) the applicants shall resolve any conflict/disagreement with relevant lot owner(s) and seek LandsD's permission for laying new drains/channels and/or modifying/upgrading existing ones in other private lots or on government land (where required) outside the application site(s).
- (c) to note the comments of the Chief Engineer/Construction, Water Supplies Department (CE/C, WSD) that for provision of water supply to the development, the applicants may need to extend their inside services to the nearest suitable government water mains for connection. The applicants shall resolve any land matter (such as private lots) associated with the provision of water supply and shall be responsible for the construction, operation and maintenance of the inside services within the private pots to WSD's standards;
- (d) to note the comments of the Director of Fire Services (D of FS) that the proposed houses would not encroach on any existing EVA. The applicants are reminded to observe 'New Territories Exempted Houses – A Guide to Fire Safety Requirements' published by LandsD. The applicants should also observe 'New Territories Exempted Houses – A Guide to Fire Safety Requirements' published by the LandsD. Detailed

fire safety requirements would be formulated upon receipt of formal application via LandsD;

- (e) to note the comments of the Chief Town Planner/Urban Design and landscape, Planning Department (CTP/UD&L, PlanD) that approval of the applications do not imply approval of tree works such as pruning, transplanting and felling. The applicants are reminded to seek approval for any proposed tree works from relevant departments prior to commencement of the works; ~~and~~
- (f) *to note the comments of the Head of the Geotechnical Engineering Office, Civil Engineering and Development Department (H(GEO), CEDD) that the applicants should submit geotechnical planning review report for Application No. A/TP/698 and revised geotechnical investigation report and implementation of the necessary geotechnical works identified therein for Application No. A/TP/699, to his satisfaction; and*
- (g) to note that the permission is only given to the development under applications. If provision of an access road is required for the proposed development, the applicants should ensure that such access road (including any necessary filling/excavation of land) complies with the provisions of the relevant statutory plan and obtain planning permission from the Town Planning Board where required before carrying out the road works.