

2023年 5月 2日

此文件在 收到・城市規劃委員會
只有在收到所有必要的資料及文件後才正式確認收到
申請的日期。

This document is received on -2 MAY 2023.
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-III
表格第 S16-III 號

APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP.131)

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

Applicable to Proposal Only Involving Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Renewal of Permission for such Temporary Use or Development*

適用於祇涉及位於鄉郊地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議*

*Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.

*其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.info.gov.hk/tpb/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.info.gov.hk/tpb/tc/plan_application/apply.html

General Note and Annotation for the Form

填寫表格的一般指引及註解

"Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made

「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A17L-H1F/1153
	Date Received 收到日期	- 2 MAY 2023

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件(倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.info.gov.hk/tpb/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載(網址: <http://www.info.gov.hk/tpb/>), 亦可向委員會秘書處(香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835)及規劃署的規劃資料查詢處(熱線: 2231 5000)(香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓)索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

GRAND SKY CONSULTANTS & DEVELOPMENT LIMITED 栢匯顧問及發展有限公司

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

全堅土地行政師行(香港)有限公司 ALLGAIN LAND ADMINISTRATORS (HONG KONG) LIMITED

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼(如適用)	Lots 260(Part), 261(Part), 262, 263 and 264 in D.D.128, Ha Tsuen, Yuen Long, New Territories 新界元朗廈村丈量約份第128約地段第260號(部份)、 第261號(部份)、第262號、第263號及第264號
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 3,080 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 1,420 sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積(倘有)	N/A sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Ha Tsuen Fringe Outline Zoning Plan No. S/YL-HTF/12 厦村邊緣分區計劃大綱核准圖編號 S/YL-HTF/12
(e) Land use zone(s) involved 涉及的土地用途地帶	"Agriculture" and "Residential (Group D)" 「農業」及「住宅(丁類)」
(f) Current use(s) 現時用途	現時是空置的 (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 -

- ☐ is the sole "current land owner" (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」(請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners" (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」(請夾附業權證明文件)。
- ☒ is not a "current land owner".
並不是「現行土地擁有人」。

- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上(請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)".
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」。

(b) The applicant 申請人 -

- ☐ has obtained consent(s) of "current land owner(s)".
已取得 名「現行土地擁有人」的同意。

Details of consent of "current land owner(s)" obtained 取得「現行土地擁有人」同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified "current land owner(s)"[#]
已通知 名「現行土地擁有人」[#]。

Details of the "current land owner(s)" [#] notified 已獲通知「現行土地擁有人」 [#] 的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼/處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上述任何方格的空間不足，請另頁說明)

- ☒ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on (DD/MM/YYYY)[&]
於 (日/月/年)向每一名「現行土地擁有人」郵遞要求同意書[&]

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on (DD/MM/YYYY)[&]
於 (日/月/年)在指定報章就申請刊登一次通知[&]
- ☒ posted notice in a prominent position on or near application site/premises on (DD/MM/YYYY)[&]
於 28/04/2023 (日/月/年)在申請地點/申請處所或附近的顯明位置貼出關於該申請的通知[&]
- ☒ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on (DD/MM/YYYY)[&]
於 28/04/2023 (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會[&]

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.
Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號
申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別

(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas
 位於鄉郊地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展
 (For Renewal of Permission for Temporary Use or Development in Rural Areas, please proceed to Part (B))
 (如屬位於鄉郊地區臨時用途/發展的規劃許可續期，請填寫(B)部分)

(a) Proposed use(s)/development
 擬議用途/發展

Proposed Temporary Recyclable Collection Centre for Metal
 擬議臨時五金回收中心

(Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)

(b) Effective period of permission applied for
 申請的許可有效期

☒ year(s) 年 3
☐ month(s) 個月

(c) Development Schedule 發展細節表

Proposed uncovered land area 擬議露天土地面積	1,660	sq.m	<input checked="" type="checkbox"/> About 約
Proposed covered land area 擬議有上蓋土地面積	1,420	sq.m	<input checked="" type="checkbox"/> About 約
Proposed number of buildings/structures 擬議建築物/構築物數目	4		
Proposed domestic floor area 擬議住用樓面面積	0	sq.m	<input type="checkbox"/> About 約
Proposed non-domestic floor area 擬議非住用樓面面積	1,420	sq.m	<input checked="" type="checkbox"/> About 約
Proposed gross floor area 擬議總樓面面積	1,420	sq.m	<input checked="" type="checkbox"/> About 約

Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)

構築物1：五金回收中心 (1,250m²) 連遮雨篷 (90m²)，總面積不多於1,340平方米，1層高，高度不多於11米。

構築物2：辦公室 (在遮雨篷下面)，面積不多於20平方米，1層高，高度不多於3米。

構築物3：保安監控室，面積不多於40平方米，1層高，高度不多於3米。

構築物4：消防水缸，面積不多於40平方米，1層高，高度不多於7米。

Proposed number of car parking spaces by types 不同種類停車位的擬議數目

Private Car Parking Spaces 私家車車位	0
Motorcycle Parking Spaces 電單車車位	0
Light Goods Vehicle Parking Spaces 輕型貨車泊車位	0
Medium Goods Vehicle Parking Spaces 中型貨車泊車位	0
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	0
Others (Please Specify) 其他 (請列明)	0

Proposed number of loading/unloading spaces 上落客貨車位的擬議數目

Taxi Spaces 的士車位	0
Coach Spaces 旅遊巴車位	0
Light Goods Vehicle Spaces 輕型貨車車位	2
Medium Goods Vehicle Spaces 中型貨車車位	0
Heavy Goods Vehicle Spaces 重型貨車車位	0
Others (Please Specify) 其他 (請列明)	0

Proposed operating hours 擬議營運時間

星期一至星期六上午九時至下午七時，星期日及公眾假期全日休業。

<p>(d) Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) 由深灣路經一條鄉村道路進入</p> <p><input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度)</p> <p><input type="checkbox"/></p>																														
<p>(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。)</p>																																
<p>(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> Please provide details 請提供詳情</p> <p>.....</p> <p>.....</p> <p>.....</p> <p><input checked="" type="checkbox"/></p>																														
<p>(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍)</p> <p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約</p> <p><input checked="" type="checkbox"/></p>																														
<p>(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響？</p>	<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input type="checkbox"/></td> </tr> </table>		On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>
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Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>																														

	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p>
	<p>.....</p> <p>不需要砍伐樹木</p> <p>.....</p> <p>.....</p> <p>.....</p>

(B) Renewal of Permission for Temporary Use or Development in Rural Areas**位於鄉郊地區臨時用途/發展的許可續期**

(a) Application number to which the permission relates 與許可有關的申請編號	A/ _____ / _____
(b) Date of approval 獲批給許可的日期 (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期 (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	
(e) Approval conditions 附帶條件	<p><input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件</p> <p><input type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件</p> <p><input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件：</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>Reason(s) for non-compliance: 仍未履行的原因：</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>(Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)</p>
(f) Renewal period sought 要求的續期期間	<p><input type="checkbox"/> year(s) 年</p> <p><input type="checkbox"/> month(s) 個月</p>

7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

請參考附件的申請報告書及擬議發展的計劃細節

8. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.
本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署

Ms Chong

Name in Block Letters
姓名（請以正楷填寫）

☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Manager

Position (if applicable)
職位（如適用）

Professional Qualification(s)
專業資格

☐ Member 會員 / ☐ Fellow of 資深會員

☐ HKIP 香港規劃師學會 /

☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 /

☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 /

☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他

on behalf of
代表

ALLGAIN LAND ADMINISTRATORS(HONG KONG) LIMITED

☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

19/04/2023

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

(a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)
(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置/地址	Lots 260(Part),261(Part),262,263 and 264 in D.D.128,Ha Tsuen,Yuen Long,New Territories 新界元朗廈村丈量約份第128約地段第260號(部份)、第261號(部份)、第262號、第263號及第264號
Site area 地盤面積	3,080 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 sq. m 平方米 <input type="checkbox"/> About 約)
Plan 圖則	Approved Ha Tsuen Fringe Outline Zoning Plan No. S/YL-HTF/12 廈村邊緣分區計劃大綱核准圖編號 S/YL-HTF/12
Zoning 地帶	"Agriculture" and "Residential (Group D)" 「農業」及「住宅(丁類)」
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas for a Period of 位於鄉郊地區的臨時用途/發展為期 <input checked="" type="checkbox"/> Year(s) 年 <u>3</u> <input type="checkbox"/> Month(s) 月 _____ <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas for a Period of 位於鄉郊地區臨時用途/發展的規劃許可續期為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____
Applied use/ development 申請用途/發展	Proposed Temporary Recyclable Collection Centre for Metal 擬議臨時五金回收中心

(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	0 <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0 <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	1,420 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.461 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of block 幢數	Domestic 住用	0	
	Non-domestic 非住用	4	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	0 m 米 <input type="checkbox"/> (Not more than 不多於)	
		0 Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)	
	Non-domestic 非住用	11 m 米 <input checked="" type="checkbox"/> (Not more than 不多於)	
		1 Storeys(s) 層 <input checked="" type="checkbox"/> (Not more than 不多於)	
(iv) Site coverage 上蓋面積	46.1 % <input checked="" type="checkbox"/> About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數		0
	Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明)		0 0 0 0 0 0
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數		2
	Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明)		0 0 2 0 0 0

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	Chinese 中文	English 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input checked="" type="checkbox"/>
位置圖 Location Plan, 地盤平面圖 Site Plan, 行車路線圖 Vehicular Access Plan		
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估（噪音、空氣及／或水的污染）	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input checked="" type="checkbox"/>	<input type="checkbox"/>
預計輕型貨車進出的流量報告		
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

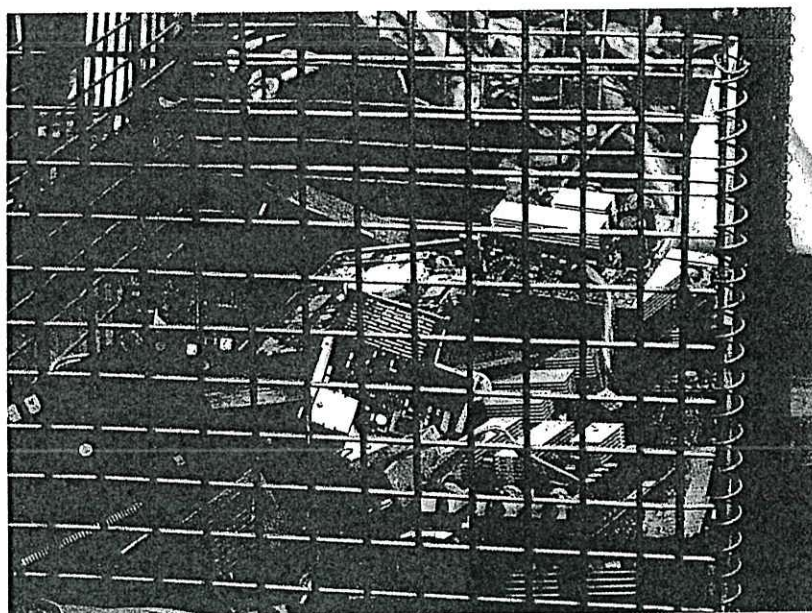
擬議發展細節

1. 申請人現根據《城市規劃條例》(第 131 章)第 16 條，提交有關新界元朗廈村丈量約份第 128 約地段第 260 號(部份)、第 261 號(部份)、第 262 號、第 263 號及第 264 號的規劃申請，擬在上述地段申請為期三年的臨時五金回收中心。
2. 申請地點位於元朗流浮山的深灣路附近，在《廈村邊緣分區計劃大綱核准圖編號 S/YL-HTF/12》上劃為「農業」及「住宅(丁類)」用途。
3. 申請地盤面積為約 3,080 平方米，上蓋總面積為 1,420 平方米，露天地方面積為 1,660 平方米，上蓋覆蓋率為 46.1%。
4. 申請地點將設有 4 個構築物，總面積不多於 1,420 平方米。
5. 擬議用途的五金回收中心，將會從各大金屬回收公司或廢鐵回收商回收五金廢料，當達到一定的數量後，就會再運送到國內或東南亞國家，過程不涉及任何機械加工程序，不會帶來噪音。
6. 回收五金的種類包括但不限於：五金白鐵、電子五金庫存、電子半成品、五金零件貨尾及五金邊角餘料等等(請參考相關相片)，主要都是回收一些中小型的五金雜貨，不涉及大型五金廢鐵。
7. 申請地點涉及兩個輕型貨車上落貨車位，只作臨時上落貨用途，不會用作長期停泊車輛。

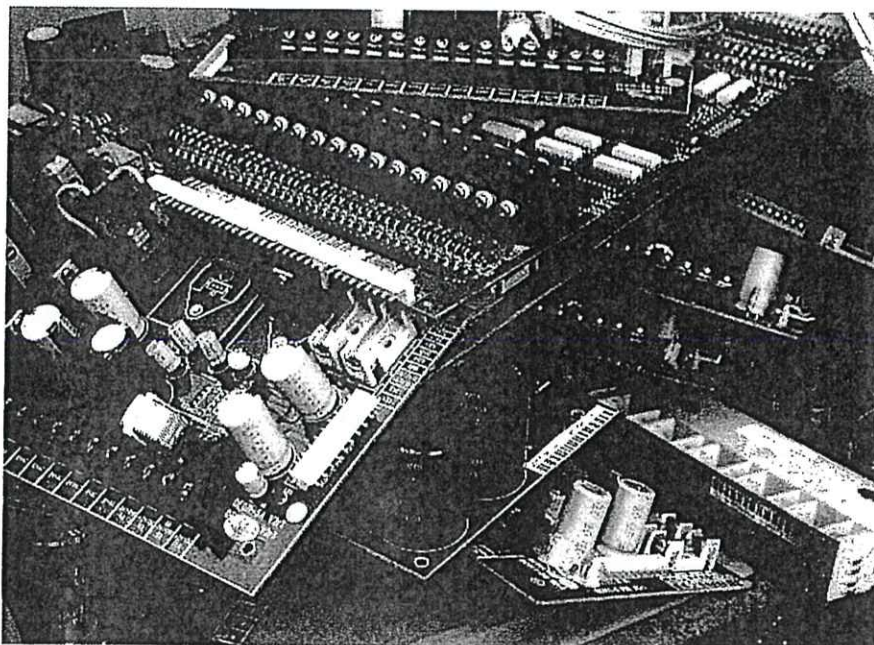
8. 申請地點可從深灣路經一條鄉村地區道路前往，擬議發展的營運時間為星期一至星期六上午九時至下午七時，星期日及公眾假期全日休業。



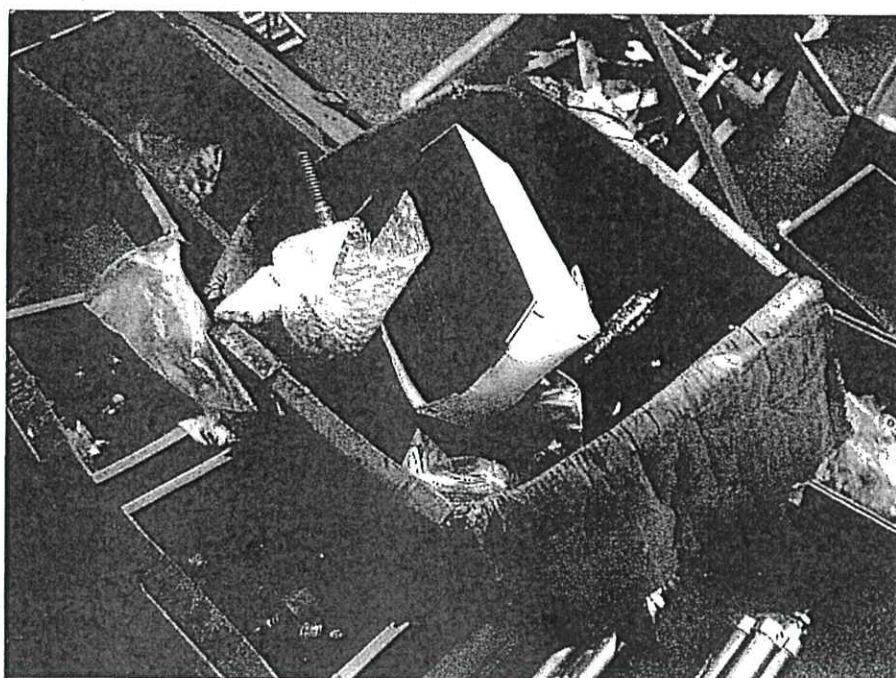
五金白鐵



電子五金庫存



電子半成品 PCB



五金零件貨尾



五金邊角餘料



五金雜貨

申請原因

1. 申請地點涉及兩個土地用途地帶：「農業」及「住宅(丁類)」，擬議用途的臨時五金回收中心構築物大部份位於「住宅(丁類)」地帶上，申請用途屬「住宅(丁類)」中的「第二欄用途」，與規劃意向相符，和周邊環境及用途協調。另外的「農業」地帶上的土地現時已經是硬地面，主要用作臨時五金回收中心的附屬用途——輕型貨車上落貨及車輛的調頭用途，不會為土地及周邊環境帶來負面影響。
2. 申請地點涉及之前一個規劃申請：A/YL-HTF/1123，申請人早前已向地政處申請短期豁免書 (STW)，正在等相關部門審批，無法完成相關附帶條件，需重新入申請。
3. 城市規劃委員會曾批准申請地點附近的地段作相同用途 (請參考城規會編號：A/YL-HTF/1101、A/YL-HTF/1109 等)，因此申請人懇請城市規劃委員會對本申請作出相同的對待。
4. 擬議發展只是臨時三年的性質，政府現在還未展開收回土地作洪水橋新市鎮發展的關係，「住宅(丁類)」的規劃意向於未來三年將難以實現，所以擬議發展不會影響用途地帶的長遠規劃意向。
5. 申請地點附近的地段現時大多用作露天存放及港口後勤用途，而大部份都符合城市規劃條例，即「現有用途」或已取得城市規劃委員會的臨時規劃許可。
6. 申請用途不會破壞「農業」地帶上的一草一木，只是利用現時的硬地面作臨時五金回收中心的附屬用途，不會影響天然環境，不會砍伐樹木，不會對周邊地區及環境帶來重大負面影響。
7. 申請地點附近的「農業」地帶大部份都用作露天存放用途，復耕潛力相對低，如用作耕種等農業用途與周遭環境並不協調。

根據以上各點，申請人誠意懇求城市規劃委員會寬大批准新界元朗廈村丈量約份第 128 約地段第 260 號(部份)、第 261 號(部份)、第 262 號、第 263 號及第 264 號作為期不超過三年的擬議臨時五金回收中心。

擬議發展計劃的各方面影響

1. 土地行政

申請地點涉及五個私家地段，不涉及任何政府土地。該地段為政府集體官契的農地，擬議發展涉及一個上蓋構築物，如申請獲城規會批准，申請人將會向地政處申請短期豁免書。

2. 擬議發展的入口

申請地點可從深灣路經一條鄉村地區道路前往，入口設有約 8 米闊的大閘讓車輛駛進回收中心。

3. 擬議發展的交通安排

申請用途只提供兩個輕型貨車的上落車位，不設任何停泊車位。

4. 環境方面

申請人會按照環保署對臨時露天農場及上蓋的技術指引，將對周邊環境的影響減到最低。

5. 空氣方面

申請地點是臨時五金回收中心，不會對空氣造成污染。

6. 噪音方面

申請地點是臨時五金回收中心，只在星期一至星期六上午九時至下午七時營運，星期日及公眾假期全日休業，而附近主要都是露天存放及港口後勤用途，較少民居，不會為居民帶來重大的噪音影響。

7. 排污方面

申請用途不涉及任何洗手間，不會有污水流出影響周邊環境。

8. 渠務方面

申請人會將按照渠務處的指引和要求建造排水渠，不會影響周邊環境。

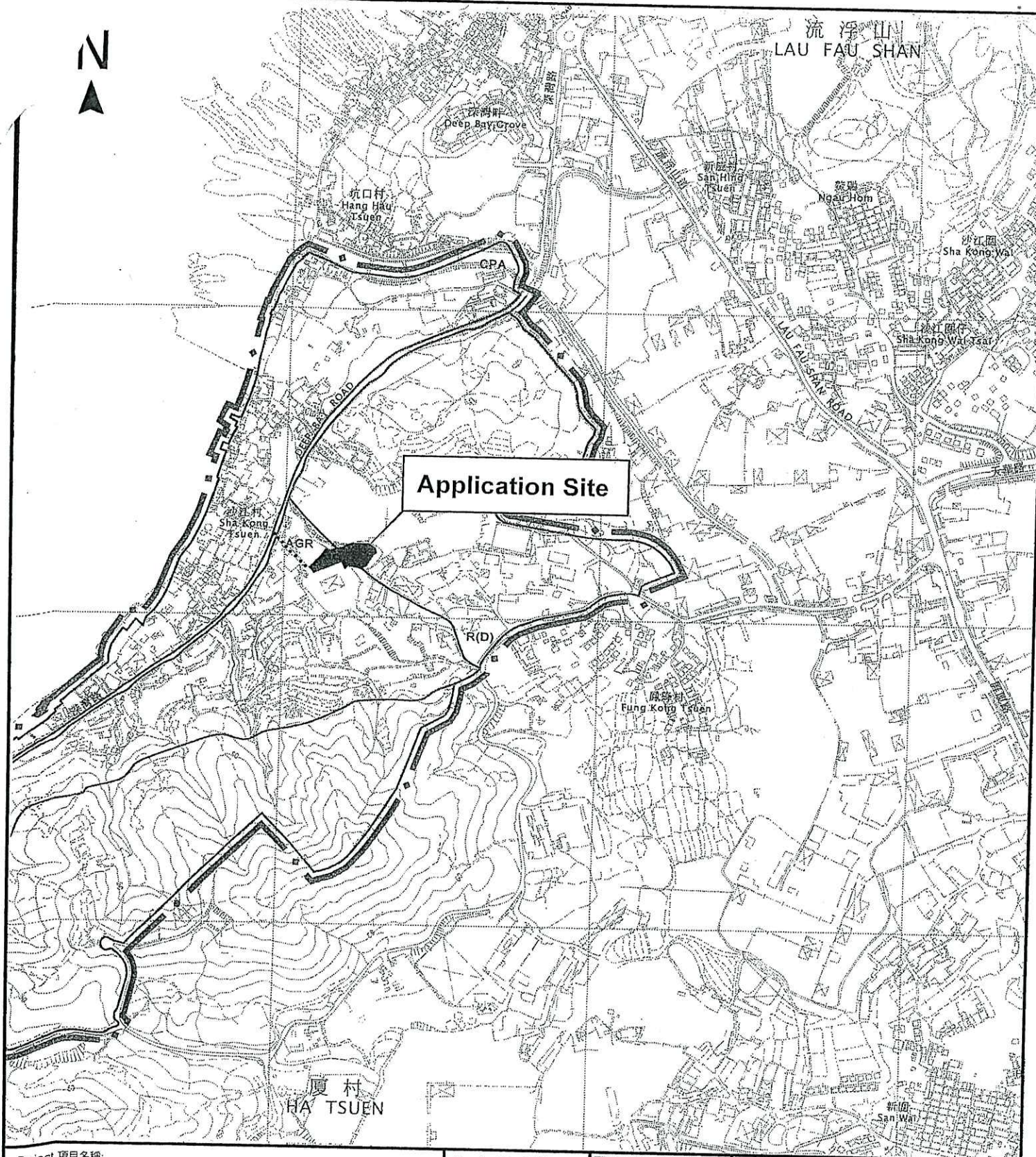
9. 消防方面

申請人會將按照消防處的指引和要求放置消防裝置。

10. 綠化園景方面

申請人不會砍伐現存的樹木，並會好好打理保養它們。

申請人承諾如獲城規會批准擬議用途，將會盡力減少對周邊環境影響，
並承諾在規劃許可到期後，還原申請地點，懇請城市規劃委員會寬大批准新
界元朗廈村丈量約份第 128 約地段第 260 號(部份)、第 261 號(部份)、第
262 號、第 263 號及第 264 號作為期不超過三年的臨時五金回收中心。



Project 項目名稱:

Proposed Temporary Recyclable Collection Centre For Metal for a Period of 3 Years at Lots 260(Part), 261(Part), 262, 263 and 264 in D.D. 128, Ha Tsuen, Yuen Long, New Territories

Drawing Title 圖紙標題:

Location Plan



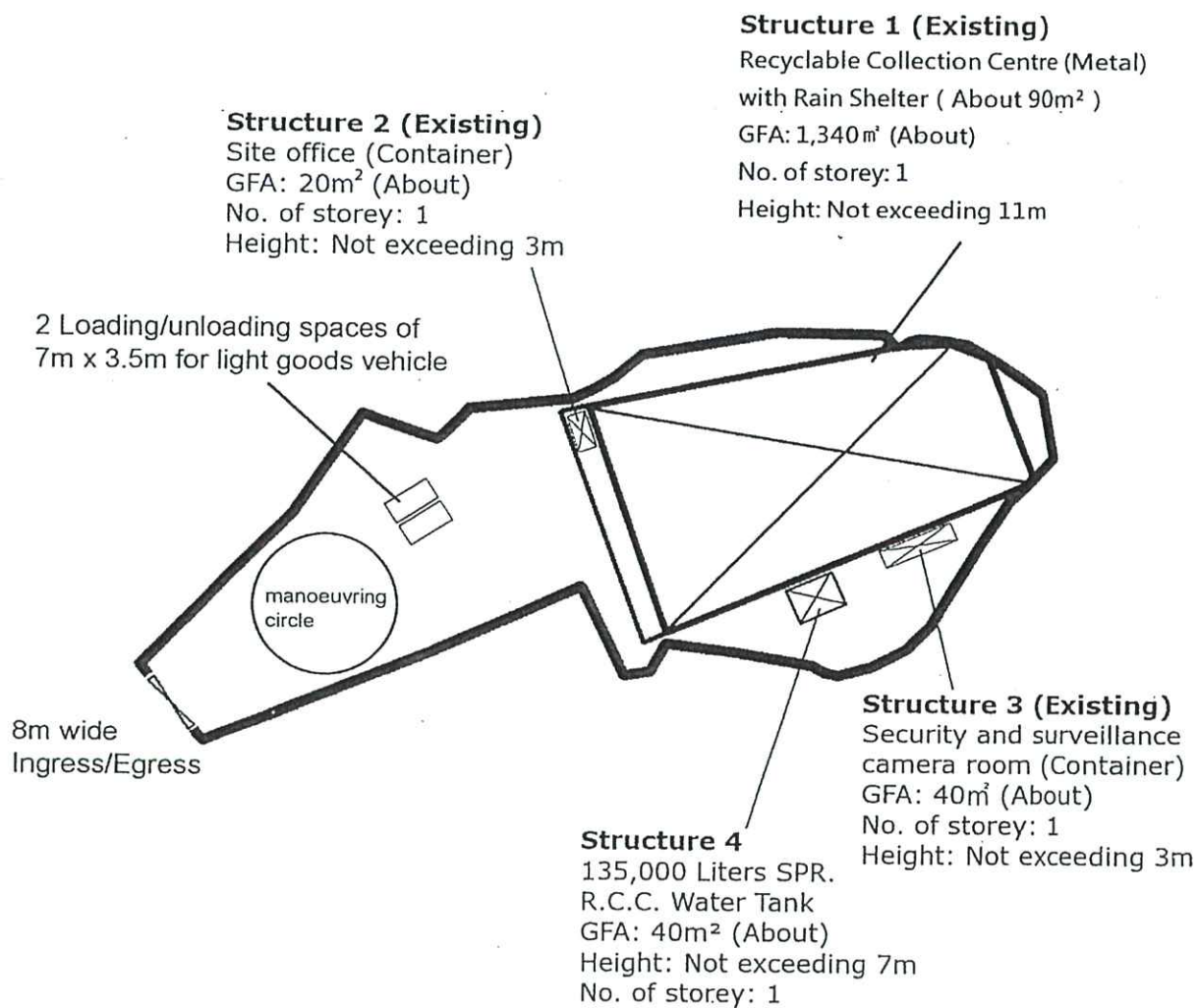
Drawing No. 圖號:

20230417

Remarks 備註:

●●● Vehicular access leading from Deep Bay Road

Scale 比例:



Project 項目名稱:

Proposed Temporary Recyclable Collection
Centre For Metal for a Period of 3 Years at
Lots 260(Part), 261(Part), 262, 263 and
264 in D.D. 128, Ha Tsuen, Yuen Long,
New Territories

Drawing Title 圖紙標題

Layout Plan

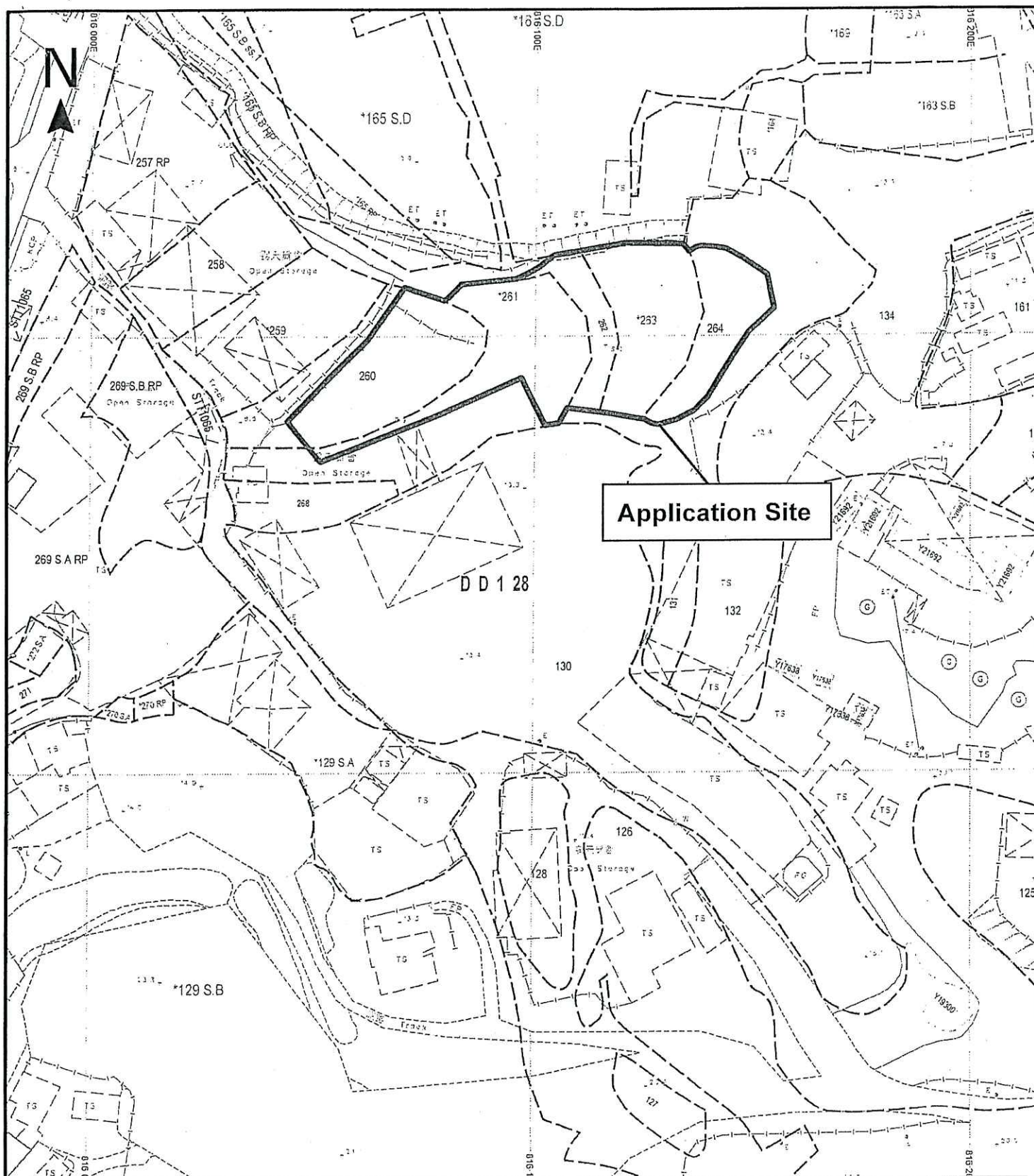


Remarks 備註

Drawing No. 圖號:

20230428

Scale 比例:



Application Site

D D 1 28

Project 項目名稱:

Proposed Temporary Recyclable Collection Centre For Metal for a Period of 3 Years at Lots 260(Part), 261(Part), 262, 263 and 264 in D.D. 128, Ha Tsuen, Yuen Long, New Territories

Drawing Title 圖紙標題:

Site Plan



Remarks 備註:

Drawing No. 圖號:

20230417

Scale 比例:



A/YL-HTF/1153：補充文件（請以這份為準）05/05/2023 09:52

From: [REDACTED]

To: "tpbpd@pland.gov.hk" <tpbpd@pland.gov.hk>

Cc: "jmhkwok@pland.gov.hk" <jmhkwok@pland.gov.hk>

4 Attachments



申請報告書及擬議發展的計劃細節_New.pdf



Drainage proposal.pdf



預計臨時五金回收中心輕型貨車進出的流量報告.pdf



補充說明.pdf

城規會/規劃處：

您好。

有關規劃申請：A/YL-HTF/1153，現附上補充文件，請查收。

此電郵將取代2023年5月5日上午9:32發來的電郵，請知悉。

謝謝。

Ms Chong

([REDACTED])

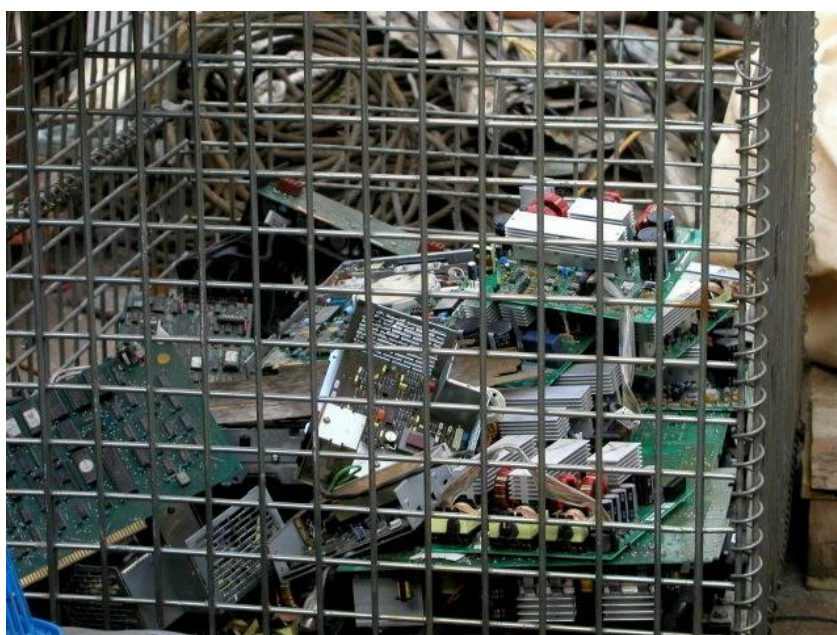
擬議發展細節

1. 申請人現根據《城市規劃條例》(第 131 章) 第 16 條，提交有關新界元朗廈村丈量約份第 128 約地段第 260 號(部份)、第 261 號(部份)、第 262 號、第 263 號及第 264 號的規劃申請，擬在上述地段申請為期三年的臨時五金回收中心。
2. 申請地點位於元朗流浮山的深灣路附近，在《廈村邊緣分區計劃大綱核准圖編號 S/YL-HTF/12》上劃為「農業」及「住宅(丁類)」用途。
3. 申請地盤面積為約 3,080 平方米，上蓋總面積為 1,420 平方米，露天地面積為 1,660 平方米，上蓋覆蓋率為 46.1%。
4. 申請地點將設有 4 個構築物，總面積不多於 1,420 平方米。
5. 擬議用途的五金回收中心，將會從各大金屬回收公司或廢鐵回收商回收五金廢料，當達到一定的數量後，就會再運送到國內或東南亞國家，過程不涉及任何機械加工程序，不會帶來噪音。
6. 回收五金的種類包括但不限於：五金白鐵、電子五金庫存、電子半成品、五金零件貨尾及五金邊角餘料等等 (請參考相關相片)，主要都是回收一些中小型的五金雜貨，不涉及大型五金廢鐵。
7. 申請地點涉及兩個輕型貨車上落貨車位，只作臨時上落貨用途，不會用作長期停泊車輛。

8. 申請地點可從深灣路經一條鄉村地區道路前往，擬議發展的營運時間為星期一至星期六上午九時至下午七時，星期日及公眾假期全日休業。



五金白鐵



電子五金庫存



電子半成品 PCB



五金零件貨尾



五金邊角餘料



五金雜貨

申請原因

1. 申請地點涉及兩個土地用途地帶：「農業」及「住宅(丁類)」，擬議用途的臨時五金回收中心構築物大部份位於「住宅(丁類)」地帶上，申請用途屬「住宅(丁類)」中的「第二欄用途」，與規劃意向相符，和周邊環境及用途協調。另外的「農業」地帶上的土地現時已經是硬地面，主要用作臨時五金回收中心的附屬用途——輕型貨車上落貨及車輛的調頭用途，不會為土地及周邊環境帶來負面影響。
2. 申請地點涉及之前一個規劃申請：A/YL-HTF/1123，申請人早前已向地政處申請短期豁免書 (STW)，正在等相關部門審批，無法完成相關附帶條件，需重新入申請。
3. 城市規劃委員會曾批准申請地點附近的地段作相同用途 (請參考城規會編號：A/YL-HTF/1101、A/YL-HTF/1109 等)，因此申請人懇請城市規劃委員會對本申請作出相同的對待。
4. 擬議發展只是臨時三年的性質，政府現在還未展開收回土地作洪水橋新市鎮發展的關係，「住宅(丁類)」的規劃意向於未來三年將難以實現，所以擬議發展不會影響用途地帶的長遠規劃意向。
5. 申請地點附近的地段現時大多用作露天存放及港口後勤用途，而大部份都符合城市規劃條例，即「現有用途」或已取得城市規劃委員會的臨時規劃許可。
6. 申請用途不會破壞「農業」地帶上的一草一木，只是利用現時的硬地面作臨時五金回收中心的附屬用途，不會影響天然環境，不會砍伐樹木，不會對周邊地區及環境帶來重大負面影響。
7. 申請地點附近的「農業」地帶大部份都用作露天存放用途，復耕潛力相對低，如用作耕種等農業用途與周遭環境並不協調。

根據以上各點，申請人誠意懇求城市規劃委員會寬大批准新界元朗廈村丈量約份第 128 約地段第 260 號(部份)、第 261 號(部份)、第 262 號、第 263 號及第 264 號作為期不超過三年的擬議臨時五金回收中心。

擬議發展計劃的各方面影響

1. 土地行政

申點地點涉及五個私家地段，不涉及任何政府土地。該地段為政府集體官契的農地，擬議發展涉及四個上蓋構築物，如申請獲城規會批准，申請人將會向地政處申請短期豁免書。

2. 擬議發展的入口

申請地點可從深灣路經一條鄉村地區道路前往，入口設有約 8 米闊的大閘讓車輛駛進回收中心。

3. 擬議發展的交通安排

申請用途只提供兩個輕型貨車的上落車位，不設任何停泊車位。

4. 環境方面

申請人會按照環保署對臨時露天農場及上蓋的技術指引，將對周邊環境的影響減到最低。

5. 空氣方面

申請地點是臨時五金回收中心，不會對空氣造成污染。

6. 噪音方面

申請地點是臨時五金回收中心，只在星期一至星期六上午九時至下午七時營運，星期日及公眾假期全日休業，而附近主要都是露天存放及港口後勤用途，較少民居，不會為居民帶來重大的噪音影響。

7. 排污方面

申請用途不涉及任何洗手間，不會有污水流出影響周邊環境。

8. 渠務方面

申請人會將按照渠務處的指引和要求建造排水渠，不會影響周邊環境。

9. 消防方面

申請人會將按照消防處的指引和要求放置消防裝置。

10. 綠化園景方面

申請人不會砍伐現存的樹木，並會好好打理保養它們。

申請人承諾如獲城規會批准擬議用途，將會盡力減少對周邊環境影響，
並承諾在規劃許可到期後，還原申請地點，懇請城市規劃委員會寬大批准新
界元朗廈村丈量約份第 128 約地段第 260 號(部份)、第 261 號(部份)、第
262 號、第 263 號及第 264 號作為期不超過三年的臨時五金回收中心。

CALCULATION

FOR

STORMWATER DRAINAGE SYSTEM

FOR

PROPOSED TEMPORARY RECYCLABLE COLLECTION

CENTRE FOR METAL FOR A PERIOD OF 3 YEARS AT LOTS 260(Part),
261(Part), 262, 263 and 264 in D.D. 128, Ha Tsuen, Yuen Long,
New Territories

Rev. No.	Date of Issuance
--	16 Nov. 2022
A	07 Feb. 2023
B	24 Feb. 2023

Calculation for Stormwater Drainage System

PROPOSED TEMPORARY RECYCLABLE COLLECTION CENTRE FOR METAL FOR A PERIOD OF 3 YEARS AT
LOTS 260(Part), 261(Part), 262, 263 and 264 in D.D. 128, Ha Tsuen, Yuen Long, New Territories

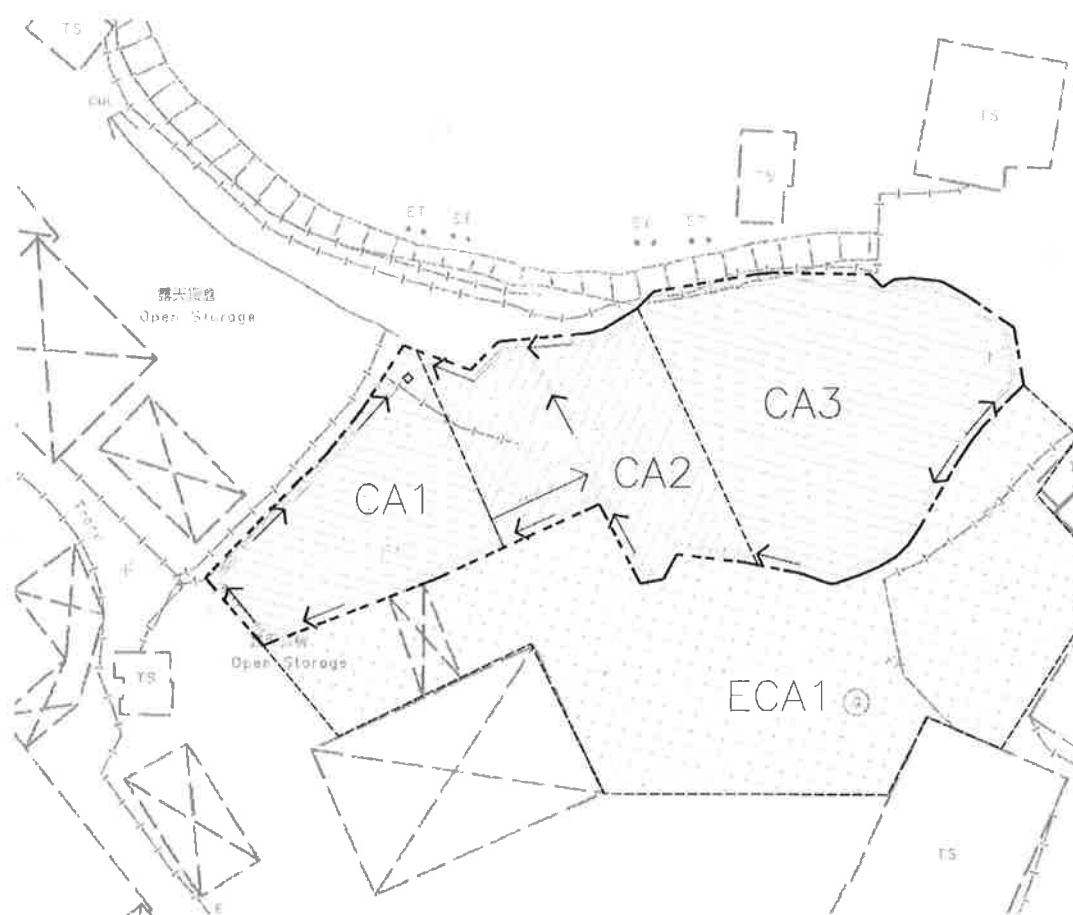
1. Site Location

The Site is at LOTS 260(Part), 261(Part), 262, 263 and 264 in D.D. 128, Ha Tsuen, Yuen Long, New Territories

2. Site Area and Catchment Area

The Total area of the site is 3080m² approximately, and is sub-divided in to 3 catchment areas as follows:

Total Site area (m ²)	Catchment Area	Approximate Area (m ²)
3080	CA1	807
	CA2	953
	CA3	1320
	ECA1	3500



3. Stormwater System Calculation

3.1 Calculation for Estimated Runoff

By Rational Method : $Q = (K \times i \times A) / 3600$

Where Q = Maximum runoff (l/s)
 i = Design mean intensity of rainfall (mm/hr)
 A = Area of catchment (m²)
 K = Runoff coefficient (Recommended)

For a large site, the return period has to consider for a twenty year return (20 years).

For Catchment Area CA1, the estimated maximum runoff = $(1.0 \times 200 \times 807) / 3600$
= 44.8 l/s

For Catchment Area CA2, the estimated maximum runoff = $(1.0 \times 200 \times 953) / 3600$
= 52.9 l/s

For Catchment Area CA3, the estimated maximum runoff = $(1.0 \times 200 \times 1243) / 3600$
= 69.1 l/s

For External Catchment Area ECA1, the estimated maximum runoff = $(1.0 \times 200 \times 3500) / 3600$
= 194.4 l/s

3.2 Calculation for Stormwater Discharge Pipe Size

According to the local regulation, CAP 123 Section I clause 32 sub-section (2), the number and size of the rain water pipes provided for any building shall be calculated at the rate of 700mm² of pipe to every 10m² of horizontal roofed over surface.

Assume D is the diameter of main discharge pipe from each of Catchment Area.

$$\text{For Catchment Area CA1, } \frac{700}{10} = \frac{(D/2)^2 \times \pi}{807}$$

$$\Rightarrow D^2 = (700 \times 807 \times 4) \div (10 \times \pi)$$

$$\Rightarrow D = 268.2 \text{ mm}$$

Therefore, $\phi 300$ mm stormwater discharge pipe is provided for Catchment Area CA1.

Calculation for Stormwater Drainage System

PROPOSED TEMPORARY RECYCLABLE COLLECTION CENTRE FOR METAL FOR A PERIOD OF 3 YEARS AT
LOTS 260(Part), 261(Part), 262, 263 and 264 in D.D. 128, Ha Tsuen, Yuen Long, New Territories

$$\text{For Catchment Area CA2, } \frac{700}{10} = \frac{(D/2)^2 \times \pi}{953}$$

$$\Rightarrow D^2 = (700 \times 953 \times 4) \div (10 \times \pi)$$

$$\Rightarrow D = 291.4 \text{ mm}^2$$

Therefore, $\phi 300$ mm stormwater discharge pipe is provided for Catchment Area CA2.

$$\text{For Catchment Area CA3, } \frac{700}{10} = \frac{(D/2)^2 \times \pi}{1320}$$

$$\Rightarrow D^2 = (700 \times 1320 \times 4) \div (10 \times \pi)$$

$$\Rightarrow D = 343.0 \text{ mm}^2$$

Therefore, $\phi 350$ mm stormwater discharge pipe is provided for Catchment Area CA3.

$$\text{For External Catchment Area ECA1, } \frac{700}{10} = \frac{(D/2)^2 \times \pi}{3500}$$

$$\Rightarrow D^2 = (700 \times 3500 \times 4) \div (10 \times \pi)$$

$$\Rightarrow D = 559.4 \text{ mm}^2$$

Therefore, $\phi 600$ mm stormwater discharge pipe is provided for External Catchment Area ECA1.

Calculation for Stormwater Drainage System

PROPOSED TEMPORARY RECYCLABLE COLLECTION CENTRE FOR METAL FOR A PERIOD OF 3 YEARS AT
LOTS 260(Part), 261(Part), 262, 263 and 264 in D.D. 128, Ha Tsuen, Yuen Long, New Territories

3.2 Calculation for U-channel Drainage Capacity

By the flowing capacity of U-channel drainage,

$$q = k \times d^{8/3}$$

Where q = discharge capacity in l/s

k = Roughness Factor, $k = 3.2 \times 10^{-5}$ when the channel is at one quarter full

$k = 5.2 \times 10^{-5}$ when the channel is at one-third full

d = diameter of the channel in mm

If $d = 300$, and the channel is 1 / 4 full,

$$\begin{aligned} q &= k \times d^{8/3} \\ &= 3.2 \times 10^{-5} \times 300^{8/3} \\ &= 129.1 \text{ l/s} \end{aligned}$$

If $d = 300$, and the channel is 1 / 3 full,

$$\begin{aligned} q &= k \times d^{8/3} \\ &= 5.2 \times 10^{-5} \times 300^{8/3} \\ &= 209.7 \text{ l/s} \end{aligned}$$

3.3 Conclusions

Based on the calculation results acquired in Section 3.1, 3.2 & 3.3 above, the rainwater drainage system for each Catchment Area is selected herebelow :

Catchment Area	Approximate Area	Estimated Maximum Runoff	Size of Stormwater Main Discharge Pipe	U-Channel Size
CA1	807	44.8 l/s	φ300mm	300mm(width)
CA2	953	52.9 l/s	φ300mm	300mm(width)
CA3	1320	69.1 l/s	φ350mm	300mm(width)
ECA1	3500	194.4 l/s	Φ600mm	300mm(width)

--- The End ---

DSD's Comments Covered by PlanD's Letter Ref. No.() in TPB/A/YL-HTF/1123 dated 11/1/2023	Responses to Comments
(i) The hydraulic calculation for U-channel should follow Hong Kong guideline "Geotechnical Technical Manual for Slop" published by the Civil Engineering and Development Department(CEDD) or " Technical Note to prepare a "Drainage Submission"(relating to applications for temporary change of land use such as temporary storage areas, car parks, workshops, small factories.....etc. under S.16 of the Town Planning Ordinance" published by the Drainage Services Department (DSD).	Noted and incorporated into the revised calculation dated 24/2/2023 for Stormwater Drainage System
(ii) The ground to the south east of the application site is generally higher. Since the overland flow from the adjacent lands shall be probably intercepted, external catchment shall be considered in the calculation.	Noted and incorporated into the revised drainage drawings no. DR-06 & DR-07 for your futher comment/approval.
(iii) Please indicate clearly the full alignment of the discharge path from the application site all the way down to the ultimate discharge point (e.g. a well-established stream course/public drainage system).	Noted and incorporated into the revised drainage drawings no. DR-06 & DR-07 for your futher comment/approval. The water flow directions and discharge points are indicated on the drawings.
(iv) The existing watercourses, to which the applicant proposed to discharge the stormwater from the subject site was not maintained by this office, The applicant should identify the owner of the existing drainage facilities and obtain consent from the owner prior to commencement of the proposed works, In the case that it is a local village drains, District Officer (Yuen Long) (DO(YL)) should be consulted.	Noted. The applicant will identify the owner of the existing drainage facilities and will consult DLO/YL and seek consent from the relevant owners for any new drainage works to be carried out outside his lot boundary before commencement of the draninage works.
(v) Further to (iv) above, since there is no record of the said discharge path, please provide site photos to demonstrate its presence and existing condition.	The site photo was attached for reference.
(vi) The gradients of the proposed U-channels should be shown on the drainage plan.	Noted and incorporated into the revised drainage drawings no. DR-06 & DR-07 for your futher comment/approval. The gradients of U-channels shall be at 1:100mm.
(vii) Consideration should be given to provide grating for the surface channels.	Noted and incorporated into the revised drainage drawings no. DR-06 & DR-07 for your futher comment/approval. The grating shall be provided to all U-channels.
(viii) The cover levels and invert levels of the proposed U-channels, catchpits/sand traps should be shown on the drainage plan.	Noted and incorporated into the revised drainage drawings no. DR-06 & DR-07 for your futher comment/approval.
(ix) Cross sections showing the existing and proposed ground levels of the subject site with respect to the adjacent areas should be given.	Base on the existing site conditions, more level marks are shown on the revised drawings no. DR-06 & DR-07.
(x) Sand trap or provision alike should be provided before the collected runoff is dicharged to the public drainage facilites.	Noted and incorporated into the revised drainage drawings no. DR-06 & DR-07 for your futher comment/approval. Sand traps will be provided to collect runoff before dischargeing to public drainage facilites.
(xi) Standard details should be provided to indicate the sectional details of the proposed U-channel and the catchpit/sand trap	Noted and incorporated into the revised drainage drawings no. DR-06 & DR-07 for your futher comment/approval.
(xii) Where walls or hoarding are erected are laid along the site boundary, adequate opening should provided to intercept the existing overland flow passing through the site.	Noted and incorporated into the revised drainage drawings no. DR-06 & DR-07 for your futher comment/approval. Adequate openings shall be provided at the bottom of any hoardings at periphery of the site, to intercept the existing overland flow passing through the site.
(xiii) The development should neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent areas, etc.	Noted and incorporated into the revised drainage drawings no. DR-06 & DR-07 for your futher comment/approval. The development will neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent areas, etc.
DSD's Comments Covered by PlanD's Letter Ref. No.() in TPB/A/YL-HTF/1123 dated 20/2/2023	Responses to Comments
(1) Please justify i=200mm/h	Please see attachment "Appendix A" (total 3 pages) for your reference.
(2) The ground to the south east of the application site is generally higher. Since the overland flow from the adjacent lands shall be probably intercepted, external catchment shall be considered in the calculation.	Noted and incorporated into the revised drainage drawings no. DR-06 & DR-07 and revised calculation dated 24/2/2023 for your futher comment/approval.
(3) Cross sections showing the exiting and proposed ground levels of the captioned site with respect to the adjacent areas should be given.	Noted and incorporated into the revised drainage drawings no. DR-06 & DR-08 and revised calculation dated 24/2/2023 for your futher comment/approval.

Job Name : Lots 260 (Part), 261 (Part), 262, 263 and 264 in D.D. 128, Ha Tsuen, Yuen Long, New Territories

Job No. : 22157

Taken Date : 20.12.2022

Location :

EXISTING
WATERCOURSES

Description :

THE NEW SAND
TRAP SHALL BE
CONNECTED TO
THE EXISTING
WATERCOURSES

Remark :

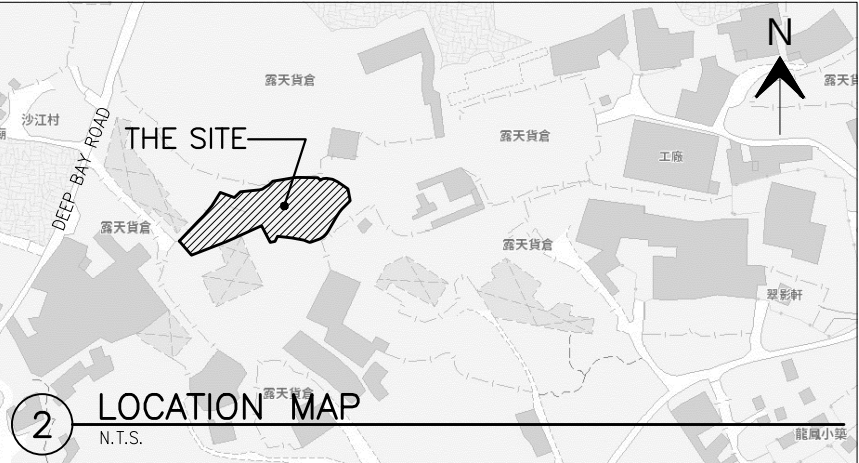
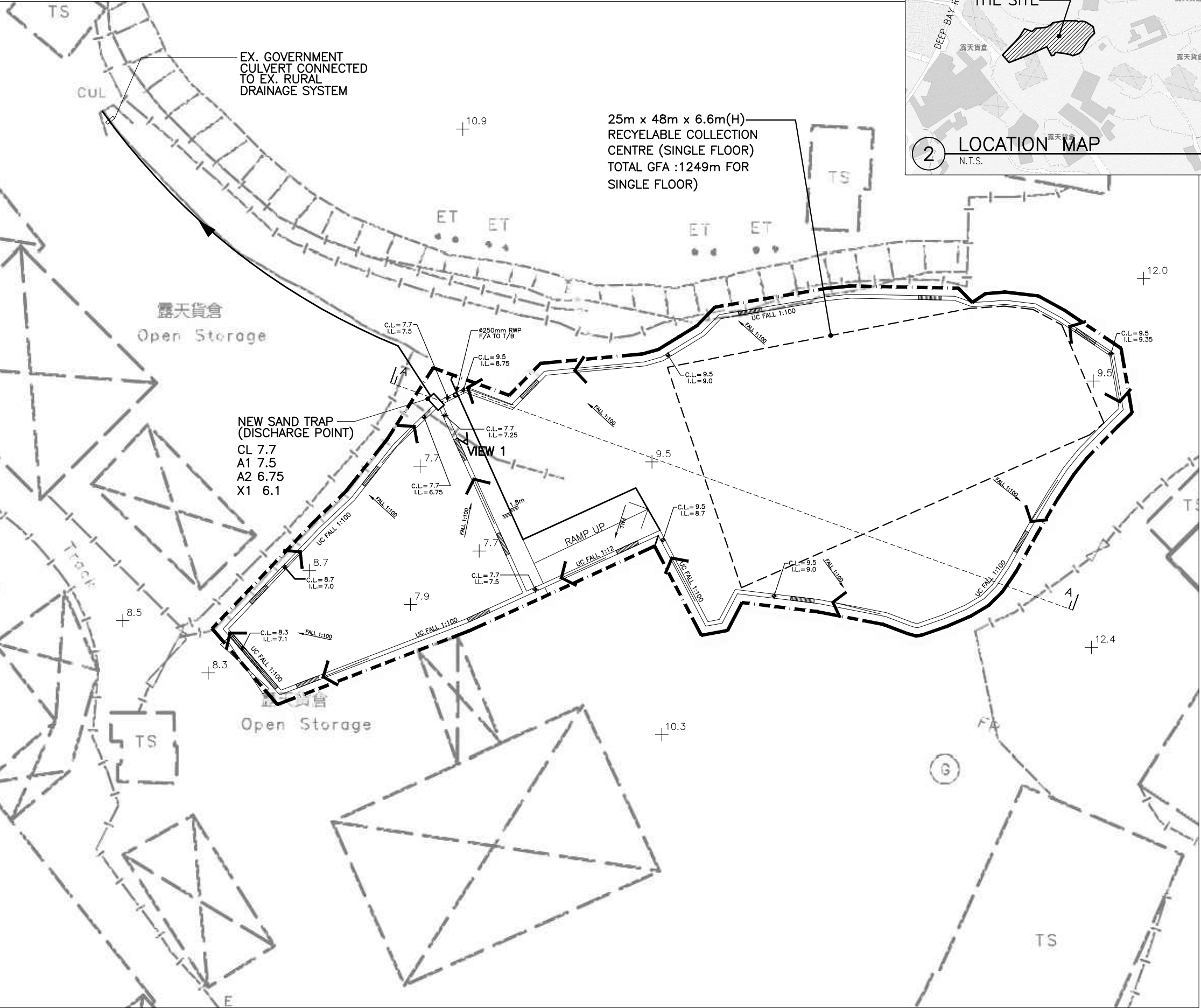
VIEW 1

Location :

Description :

Remark :





LEGEND:

- ← WATER FALL IN U-CHANNEL
- NEW 300mm(W) U-CHANNEL WITH GRATING COVER
- CA1 CATCHMENT AREA 1 (TOTAL AREA : 807 m²)
- CA2 CATCHMENT AREA 2 (TOTAL AREA : 953 m²)
- CA3 CATCHMENT AREA 2 (TOTAL AREA : 1320 m²)
- ECA1 EXTERNAL CATCHMENT AREA 1 (TOTAL AREA : 3500 m²)

1 DRAINAGE LAYOUT PLAN OF G/F

The Employer / 客戶 :

Project Title / 項目名稱 :
Proposed Temporary Recyclable
Collection Centre for Metal for a
Period of 3 Years

Project Address / 項目地址 :
Lots 260 (Part), 261
(Part),262,263and 264 in D.D.
128, Ha Tsuen, Yuen Long, New
Territories

Project Consultant/Designer
項目顧問/設計師 :



Note:
All dimensions should be measured on site. Any
discrepancy found must be stated immediately.
The copyright of this drawing reserved by M2R
Solutions Limited.

註:
所有標示尺寸以現場量度核實為準。
如有不符之處, 需立即提出。
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Revision No. / 修定版號 :	Issue Date / 提交日期 :

Approved by :

AUTHORIZED SIGNATURE

Date:

☐ with comment ☐ no adverse comment

Project No. / 項目編號 :
22157

Drawn By / 繪圖 : TY	Scale / 比例 : 1 : 500 @A3
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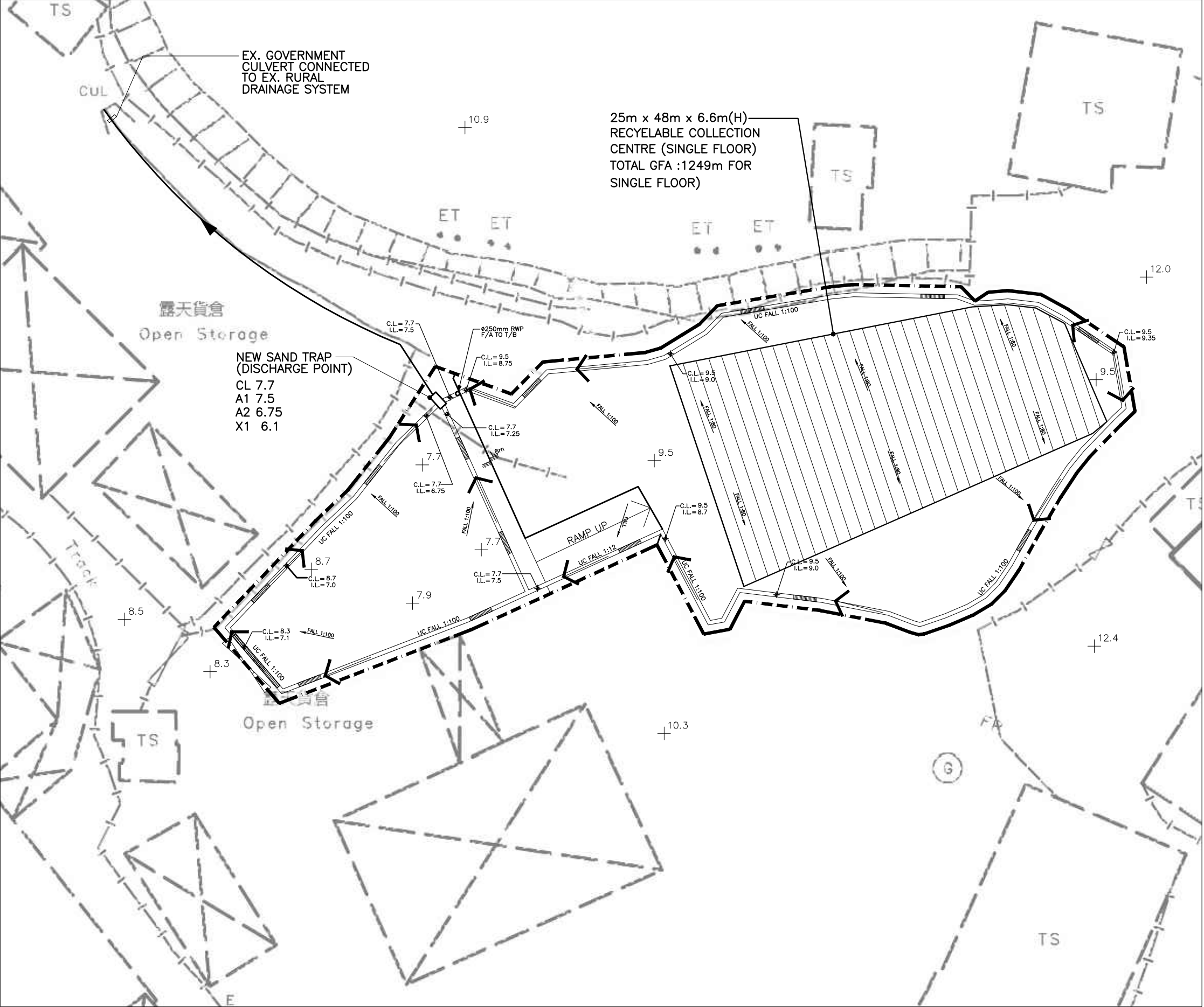
Checked By / 校核 : YK	Date / 日期 : 7 MAR 2023
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Drawing Title / 圖目 :
DRAINAGE LAYOUT PLAN
OF G/F

Drawing No. / 圖號 :
DR-06

FEHD Ref :
BD Ref :
FSD Ref :

Remark / 備註 :



1 DRAINAGE LAYOUT PLAN OF R/F

The Employer / 客戶 :

Project Title / 項目名稱 :
Proposed Temporary Recyclable
Collection Centre for Metal for a
Period of 3 Years

Project Address / 項目地址 :
Lots 260 (Part), 261
(Part),262,263and 264 in D.D.
128, Ha Tsuen, Yuen Long, New
Territories

Project Consultant/Designer
項目顧問/設計師 :

M2R

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Approved by :

AUTHORIZED SIGNATURE

Date:

☐ with comment ☐ no adverse comment

Project No. / 項目編號 :

22157

Drawn By / 繪圖 : TY	Scale / 比例 : 1 : 500 @A3
Checked By / 校核 : YK	Date / 日期 : 24 Feb 2023

Drawing Title / 圖目 :

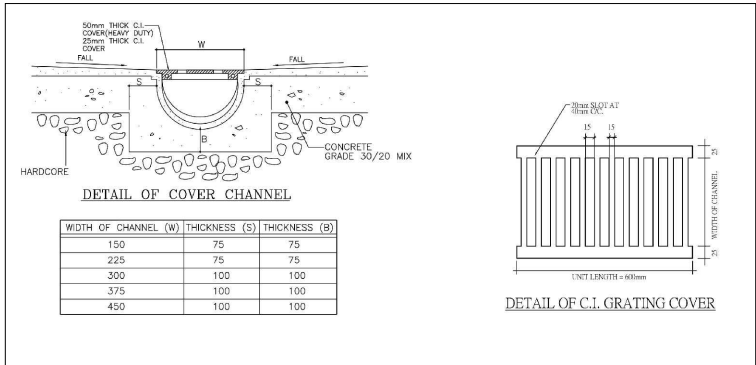
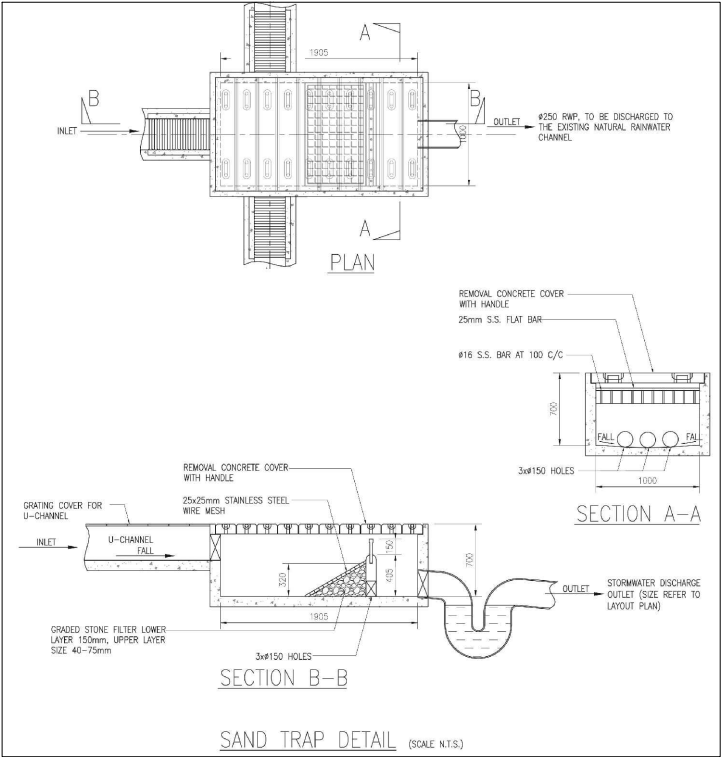
DRAINAGE LAYOUT PLAN
OF R/F

Drawing No. / 圖號 :

DR-07

FEHD Ref :
BD Ref :
FSD Ref :

Remark / 備註 :



1 DETAIL OF U-CHANNEL



2 SECTION A-A

1:250

Project Title / 項目名稱 :

Proposed Temporary Recyclable
Collection Centre for Metal for a
Period of 3 Years

Project Address / 項目地址 :

Lots 260 (Part), 261
(Part),262,263and 264 in D.D.
128, Ha Tsuen, Yuen Long, New
Territories

Project Consultant/Designer

項目顧問/設計師 :



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Approved by :

AUTHORIZED SIGNATURE

Date:

☐ with comment ☐ no adverse comment

Project No. / 項目編號 :

22157

Drawn By / 繪圖 :

TY

Scale / 比例 :

1 : 500 @A3

Checked By / 校核 :

YK

Date / 日期 :

7 MAR 2023

Drawing Title / 圖目 :

DRAINAGE DETAILS

Drawing No. / 圖號 :

DR-08

FEHD Ref :

BD Ref :

FSD Ref :

Remark / 備註 :

A/YL-HTF/1153

補充說明

1. 本申請的露天位置，只用作車輛掉頭、工作人員的通道及上落貨用途。
2. 本申請的構築物 1 是密封式構築物，主要存放五金廢料，不涉及任何工場活動包括金屬廢料的清洗、焚燒、熔煉、融解、粉碎等加工活動。

根據城市規劃條例第 16 條作出規劃許可申請
擬在新界元朗廈村丈量約份第 128 約地段第 260 號(部份)、
第 261 號(部份)、第 262 號、第 263 號及第 264 號
作為期不超過三年的臨時五金回收中心

預計輕型貨車進出的流量報告
(星期一至星期六)

時間	進入 (輛)	離開 (輛)
9 : 00 – 10 : 00	1	0
10 : 00 – 11 : 00	0	1
11 : 00 – 12 : 00	1	0
12 : 00 – 13 : 00	0	0
13 : 00 – 14 : 00	0	1
14 : 00 – 15 : 00	0	0
15 : 00 – 16 : 00	0	0
16 : 00 – 17 : 00	0	0
17 : 00 – 18 : 00	0	0
18 : 00 – 19 : 00	0	0
合計(輛)	2	2



A/YL-HTF/1153-補充資料24/05/2023 15:26

From: [REDACTED]

To: "tpbpd@pland.gov.hk" <tpbpd@pland.gov.hk>

Cc: "jmhwok@pland.gov.hk" <jmhwok@pland.gov.hk>

3 Attachments



Drainage proposal-2.pdf FS Plan_20230524.pdf Drainage proposal-1.pdf

城規會/規劃處：

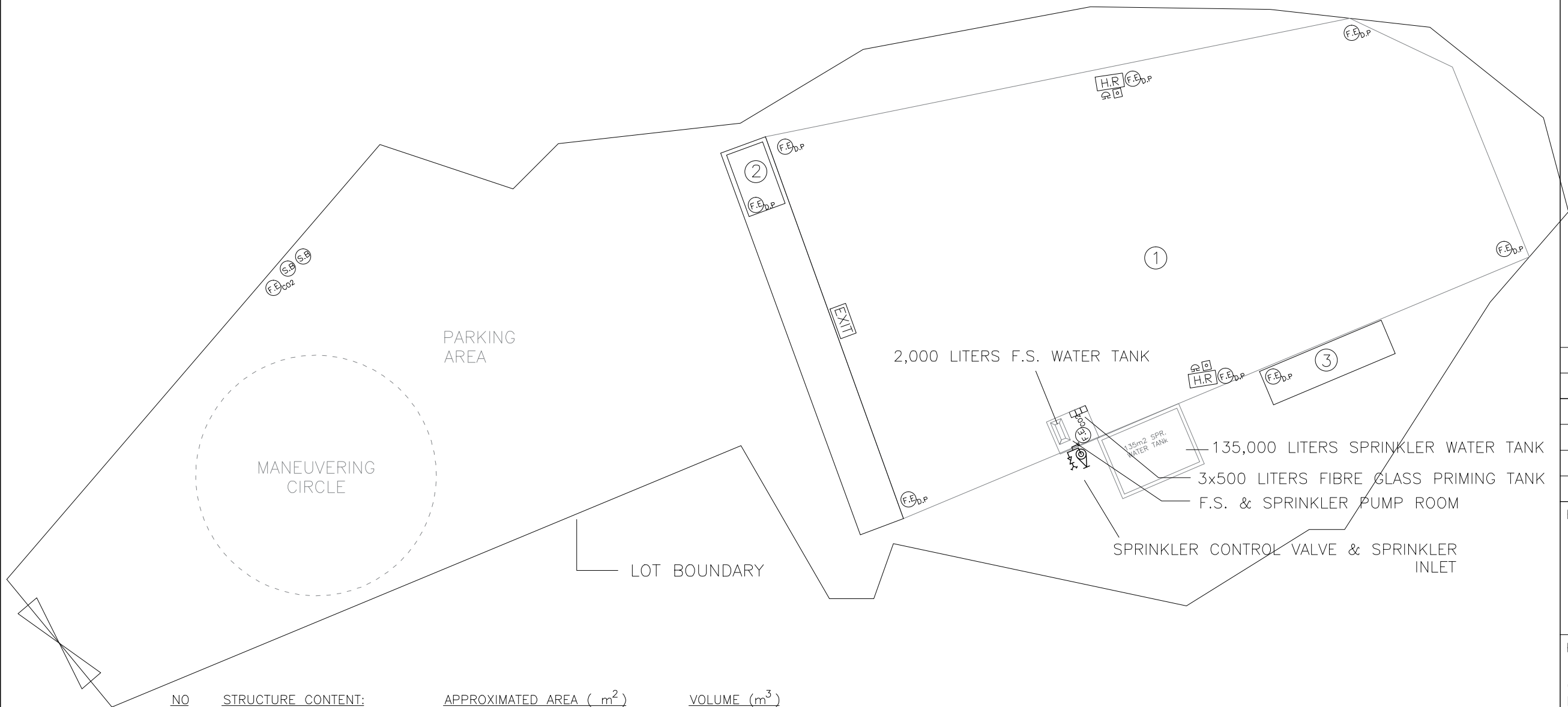
有關規劃許可：A/YL-HTF/1153

現附上補充資料（消防圖和渠務圖），請查收。

謝謝。

Ms Chong

([REDACTED])




NO	STRUCTURE CONTENT:	APPROXIMATED AREA (m ²)	VOLUME (m ³)
1	RECYCLABLE STORAGE (FOR METAL)	1250	13,750
2	SITE OFFICE	20	60
3	SECURITY AND SURVEILLANCE	40	120

A	FSD SUBMISSION	21-01-2023	JN
REV	DESCRIPTION	DATE	BY

FSI CONTRACTOR

East Power Engineering Limited



Flat A, 7/F., Hop Shing Commercial Building
41 Chi Kiang Street, Tokwawan, Kowloon
Fax. : 2394-3772 Tel. : 2397-3238

PROJECT

TEMPORARY WAREHOUSE FOR STORAGE OF CONSTRUCTION MATERIALS AND MISCELLANEOUS GOODS AT LOTS 257 RP (PART), 258 (PART) AND 259 (PART) IN D.D.128, HA TSUEN, YUEN LONG, NEW TERRITORIES

DRAWING TITLE

PROPOSED FIRE SERVICE INSTALLATION LAYOUT PLAN

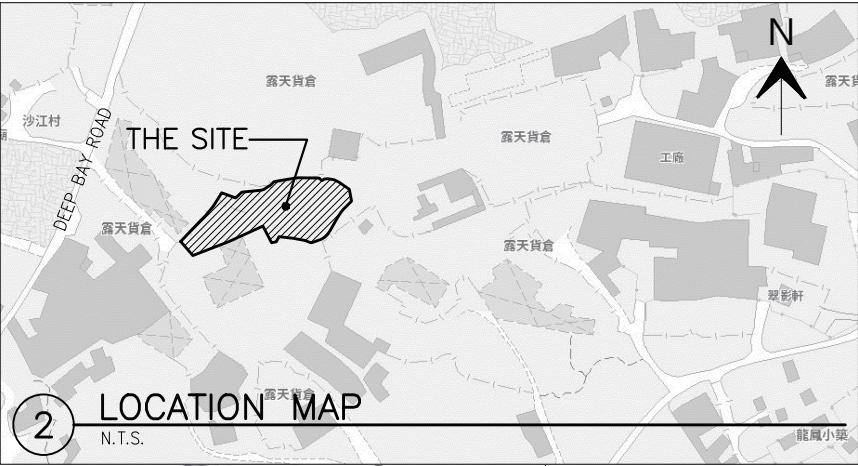
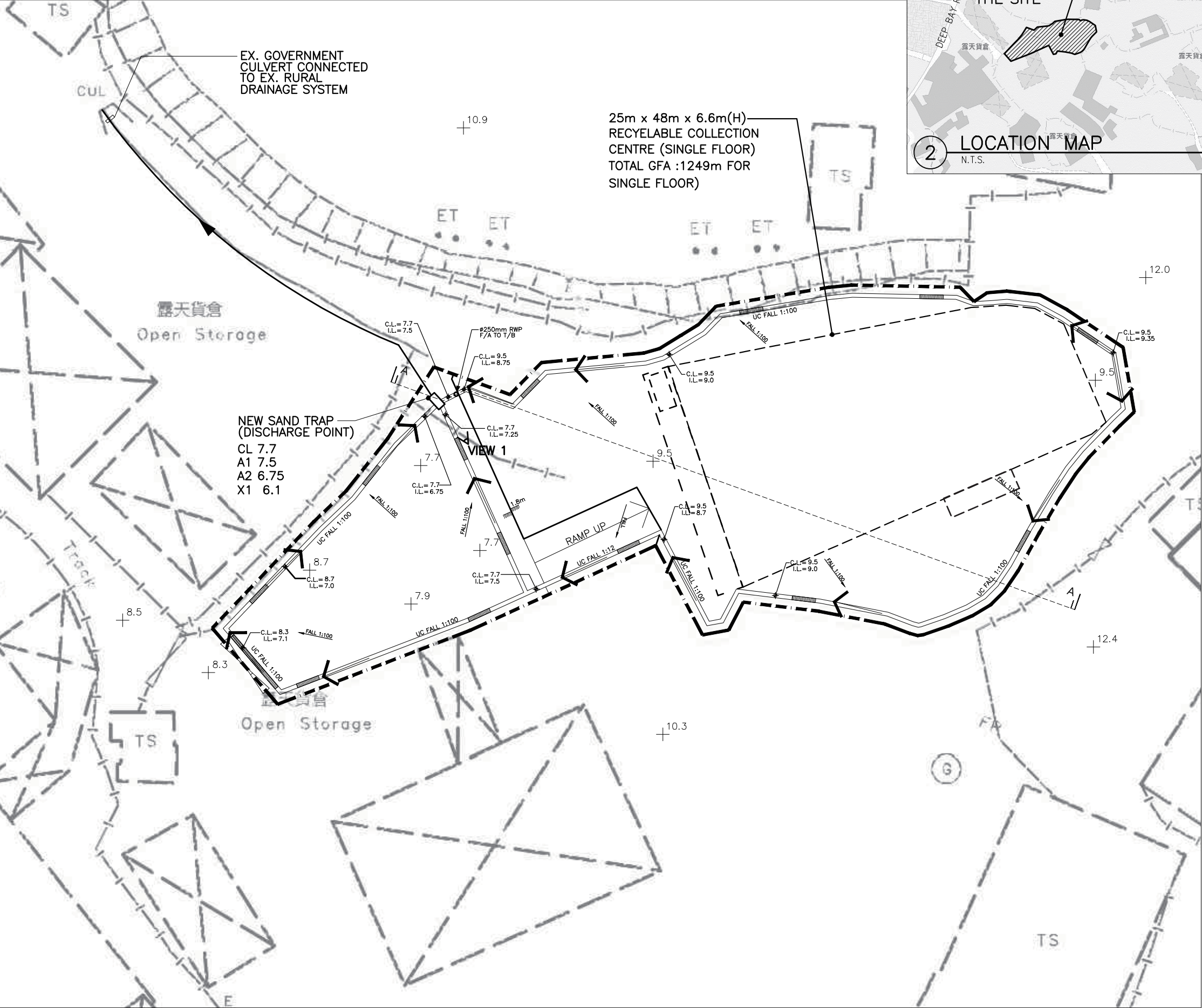
	INITIAL	DESIGNATION	DATE
DRAWN BY	CAD	CAD	13-01-2023
DESIGNED BY	JN	SEng	13-01-2023
CHECKED BY	CM	PM	13-01-2023
APPROVED BY	-	-	-

PROJECT NO. 20349 - YL-HTF/1141

PAPER SIZE A3 PLOT SCALE 1 : 1

DRAWING NO.
EP-20349-FS02

SCALE	1 : 400@A3	REVISION	A
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LEGEND:


- ← WATER FALL IN U-CHANNEL
- NEW 300mm(W) U-CHANNEL WITH GRATING COVER
- CA1 CATCHMENT AREA 1 (TOTAL AREA : 807 m²)
- CA2 CATCHMENT AREA 2 (TOTAL AREA : 953 m²)
- CA3 CATCHMENT AREA 2 (TOTAL AREA : 1320 m²)
- ECA1 EXTERNAL CATCHMENT AREA 1 (TOTAL AREA : 3500 m²)

1 DRAINAGE LAYOUT PLAN OF G/F

The Employer / 客戶 :

Project Title / 項目名稱 :
Proposed Temporary Recyclable
Collection Centre for Metal for a
Period of 3 Years

Project Address / 項目地址 :
Lots 260 (Part), 261
(Part),262,263and 264 in D.D.
128, Ha Tsuen, Yuen Long, New
Territories

Project Consultant/Designer
項目顧問/設計師 :


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Approved by :

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Date:
☐ with comment ☐ no adverse comment

Project No. / 項目編號 :
22157

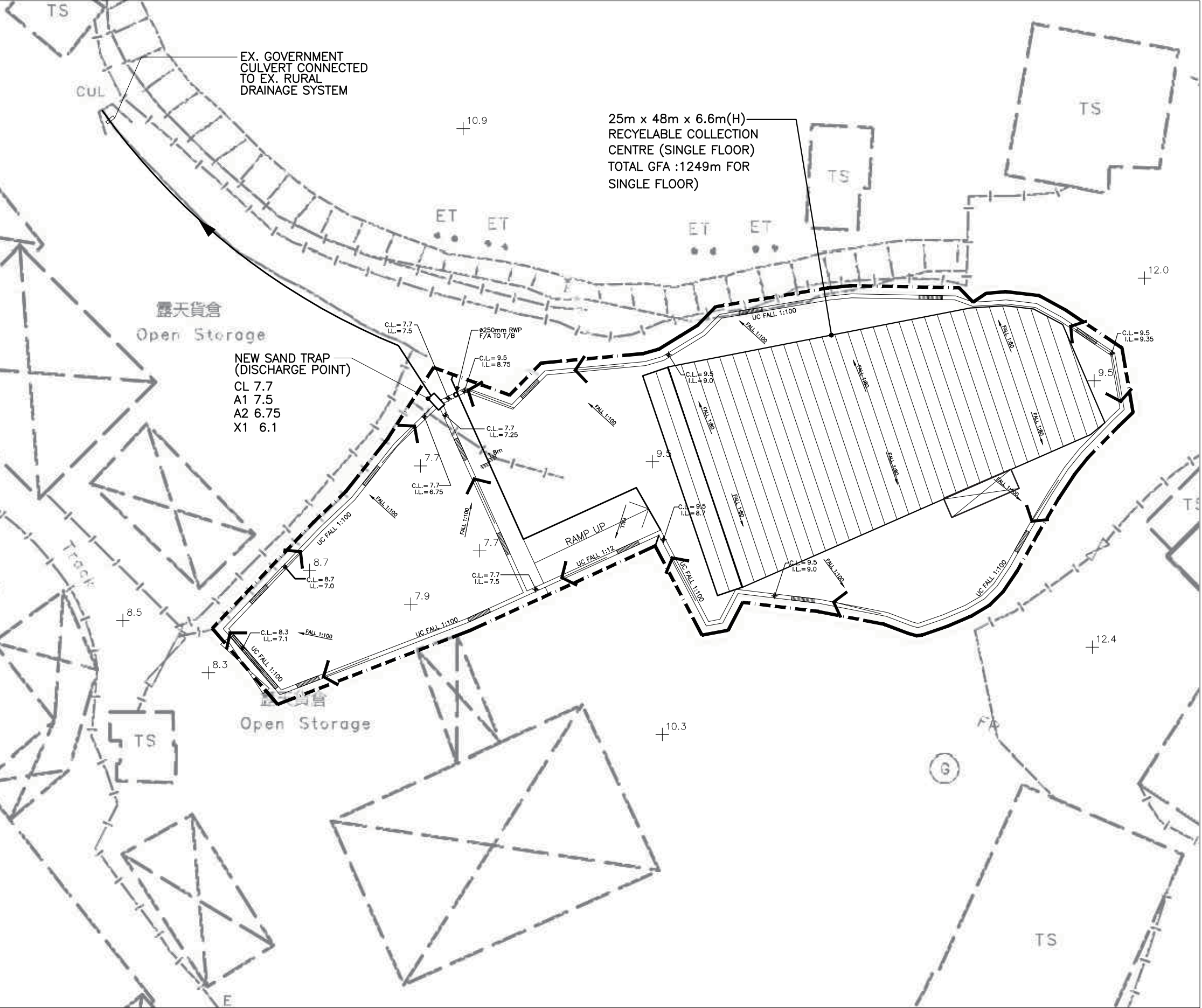
Drawn By / 繪圖 : TY	Scale / 比例 : 1 : 500 @A3
Checked By / 校核 : YK	Date / 日期 : 7 MAR 2023

Drawing Title / 圖目 :
DRAINAGE LAYOUT PLAN
OF G/F

Drawing No. / 圖號 :
DR-06

FEHD Ref :
BD Ref :
FSD Ref :

Remark / 備註 :



1 DRAINAGE LAYOUT PLAN OF R/F

The Employer / 客戶 :

Project Title / 項目名稱 :
Proposed Temporary Recyclable
Collection Centre for Metal for a
Period of 3 Years

Project Address / 項目地址 :
Lots 260 (Part), 261
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Approved by :

AUTHORIZED SIGNATURE

Date:

☐ with comment ☐ no adverse comment

Project No. / 項目編號 :
22157

Drawn By / 繪圖 :
TY

Scale / 比例 :
1 : 500 @A3

Checked By / 校核 :
YK

Date / 日期 :
24 Feb 2023

Drawing Title / 圖目 :
DRAINAGE LAYOUT PLAN
OF R/F

Drawing No. / 圖號 :
DR-07

FEHD Ref :
BD Ref :
FSD Ref :

Remark / 備註 :

Previous s.16 Applications covering the Application Site

Approved Application

	Application No.	Applied Use(s)/Development(s)	Zoning(s)	Date of Consideration
1	A/YL-HTF/1123	Proposed Temporary Recyclable Collection Centre (Metal) for a Period of 3 Years	“R(D)” & “AGR”	10.9.2021 (Revoked on 10.3.2023)

Rejected Applications

	Application No.	Applied Use(s)/Development(s)	Zoning(s)	Date of Consideration	Rejection Reasons
1	A/YL-HT/64	Temporary Open Storage of Construction Materials and Construction Machinery for a Period of 12 Months	“AGR”	8.1.1999	1-4
2	A/YL-HT/368	Temporary Workshop for Recycling Plastic Waste and Open Storage of Plastic Raw Materials for a Period of 3 Years	“AGR”	14.1.2005	1,4,5
3	A/YL-HT/391	Temporary Workshop for Recycling Plastic Waste and Open Storage of Plastic Raw Materials for a Period of 3 Years	“AGR”	16.9.2005 (on review)	1,4,5
4	A/YL-HT/453	Temporary Open Storage of Construction Materials (Steel and Scrap Metal) for a Period of 3 Years	“AGR”	10.11.2006 (on review)	1,4,5
5	A/YL-HT/744	Temporary Open Storage of Used Electronic Appliances and Parts for a Period of 3 Years	“AGR”	2.9.2011	1,2,4,5
6	A/YL-HTF/1093	Proposed Temporary Plastic Bottle Recycling Centre with Workshop and Ancillary Office for a Period of 3 Years	“R(D)” & “AGR”	1.2.2019	1,3,4
7	A/YL-HTF/1096	Temporary Plastic Bottle Recycling Centre with Workshop and Ancillary Office for a Period of 3 Years	“R(D)” & “AGR”	20.9.2019	1,3,4
8	A/YL-HTF/1104	Proposed Temporary Development and Learning Centre for Graphene with Ancillary Office for a Period of 3 Years	“R(D)” & “AGR”	30.10.2020 (on review)	1,3,4,6

Rejection Reasons:

1. Not in line with the planning intention(s) and no strong justification for departure.
2. Not compatible with surrounding areas.
3. Failure/insufficient information to demonstrate that the development would not have adverse environmental and/or traffic impacts on the surrounding areas.
4. Setting undesirable precedent.
5. Not in line with the then Town Planning Board Guidelines for Application for Open Storage and Port Back-up Uses No. TPB PG-No.13C/D/E. There were adverse comments from Government departments and insufficient information to demonstrate that the development would not have adverse environmental, traffic, drainage and landscape impacts on the surrounding areas.
6. Failure to give a clear account of the nature of activities to be conducted at the site.

**Similar s.16 Applications within the same “Residential (Group D)” and “Agriculture” Zone
on the Ha Tsuen Fringe OZP**

Approved Applications

	Application No.	Applied Use(s)/Development(s)	Zoning(s)	Date of Consideration
1	A/YL-HTF/1099	Temporary Recyclable Collection Centre for Garment, Cloth and Waste Paper for a Period of 3 Years	“R(D)”	13.12.2019 (Revoked on 13.3.2020)
2	A/YL-HTF/1101	Proposed Temporary Recyclable Collection Centre for Metal and Garment for a Period of 3 Years	“R(D)”	17.1.2020 (Revoked on 17.7.2020)
3	A/YL-HTF/1107	Temporary Recyclable Collection Centre for Garment, Cloth and Waste Paper for a Period of 3 Years	“R(D)”	4.9.2020
4	A/YL-HTF/1109	Proposed Temporary Recyclable Collection Centre for Metal and Garment for a Period of 3 Years	“R(D)”	18.12.2020 (Revoked on 18.9.2022)
5	A/YL-HTF/1120	Temporary Recycling Centre (Metal Waste, Plastic and Plastic Bottle) with Ancillary Office and Plastic Breakdown Workshop for a Period of 3 Years	“R(D)”	23.7.2021 (Revoked on 23.4.2022)
6	A/YL-HTF/1136	Proposed Temporary Recycling Centre for Metal and Plastic with Ancillary Workshop for a Period of 3 Years	“R(D)”	26.8.2022

7	A/YL-HTF/1138	Temporary Recyclable Collection Centre for Metal for a Period of 3 Years	“R(D)”	26.8.2022
8	A/YL-HTF/1142	Proposed Temporary Recyclable Collection Centre for Metal and Plastic for a Period of 3 Years	“R(D)” & “G/IC”	3.2.2023
9	A/YL-HTF/1144	Proposed Temporary Recyclable Collection Centre for Metal and Plastic for a Period of 3 Years	“R(D)”	23.12.2022
10	A/YL-HTF/1148	Proposed Temporary Recyclable Collection Centre for Electrical Appliances, Electronic Parts and Batteries for a Period of 3 Years	“R(D)”	17.2.2023

Rejected Applications

	Application No.	Applied Use(s)/Development(s)	Zoning(s)	Date of Consideration	Rejection Reasons
1	A/YL-HTF/1098	Proposed Temporary Plastic Recycling Centre with Workshop and Ancillary Office for a Period of 3 Years	“AGR”	18.10.2019	1,2,3
2	A/YL-HTF/1108	Temporary Plastic Recycling Centre with Workshop and Ancillary Office for a Period of 3 Years	“R(D)”	4.12.2020	1,2
3	A/YL-HTF/1129	Proposed Temporary Recyclable Collection Centre for Metal and Plastic with Ancillary Workshop for a Period of 3 Years	“R(D)”	10.6.2022	1,2

Rejection Reasons:

1. Not in line with the planning intention and no strong justification for departure.
2. Failure/insufficient information to demonstrate that the proposed development would not generate adverse traffic, environmental, ecological and/or landscape impacts on the surrounding areas.
3. Setting undesirable precedent.

Government Departments' General Comments

1. Land Administration

Comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD):

No adverse comment on the application.

2. Traffic

Comments of the Commissioner for Transport (C for T):

No adverse comment on the application from traffic engineering point of view.

Comments of the Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD):

The proposed access arrangement should be commented by the Transport Department.

3. Environment

Comments of the Director of Environmental Protection (DEP):

- no objection to the application;
- there was no substantiated environmental complaint pertaining to the Site in the past three years; and
- should the application be approved, the following approval conditions should be imposed:
 - (i) no workshop activity is allowed on the Site at any time during the planning approval period; and
 - (ii) no medium or heavy goods vehicles exceeding 5.5 tonnes, as defined under the Road Traffic Ordinance, are allowed to enter/exit or to be parked/stored on the Site at any time during the planning approval period.

4. Drainage

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD):

- no objection in principle to the application from drainage point of view; and
- should the Town Planning Board (the Board) consider the application be acceptable from the planning point of view, approval condition(s) should be stipulated requiring

the applicant to submit a revised drainage proposal, to implement and maintain the proposed drainage facilities to the satisfaction of his department.

5. Fire Safety

Comments of the Director of Fire Services (D of FS):

No objection in principle to the application subject to fire service installations being provided to his satisfaction.

6. Landscape

Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD):

- according to the aerial photo of 2022, the Site is situated in an area of miscellaneous rural fringe predominated by temporary structures, open storage yards and scattered tree groups;
- with reference to the site photos dated May 2023, the Site is hard paved and occupied by temporary structures. Existing vegetation at the periphery of the Site is observed. Based on Item 6(e)(iii) – “Impacts of Development Proposal” of the Application Form (**Appendix I**), it is noted that “no” tree felling and “no” landscape impact will be caused by the proposed development. Further significant landscape impact on existing landscape resources within the proposed use is not anticipated; and
- she has no comment from the landscape planning perspective.

7. District Officer’s Comments

Comments of the District Officer (Yuen Long), Home Affairs Department (DO(YL), HAD):

His office has not received any locals’ comment on the application.

8. Other Departments’ Comments

The following government departments have no objection to/no comment on the application:

- Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD);
- Chief Engineer/Construction, Water Supplies Department (CE/C, WSD);
- Chief Engineer/Land Works, Civil Engineering and Development Department (CE/LW, CEDD);
- Project Manager (West), CEDD (PM(W), CEDD); and
- Commissioner of Police (C of P).

Recommended Advisory Clauses

- (a) to resolve any land issues relating to the development with the concerned owner(s) of the Site;
- (b) the planning permission is given to the development/use under application. It does not condone any other development/use (i.e. warehouse) which currently exists on the Site but not covered by the application. Immediate action should be taken to discontinue such development/use not covered by the permission;
- (c) should the applicant fail to comply with any of the approval conditions again resulting in the revocation of planning permission, sympathetic consideration may not be given to any further applications;
- (d) to note the comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD) that:
 - (i) the Site comprises Old Schedule Agricultural Lots (OSALs) held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government; and
 - (ii) the lot owner(s) of the lots will need to apply to his office to permit the structures to be erected or regularise any irregularities on site, if any. Besides, given the proposed use is temporary in nature, only application for regularisation or erection of temporary structure(s) will be considered. Application(s) for any of the above will be considered by LandsD acting in the capacity of the landlord or lessor at its sole discretion and there is no guarantee that such application(s) will be approved. If such application is approved, it will be subject to such terms and conditions, including among others the payment of rent or fee, as may be imposed by LandsD;
- (e) to note the comments of the Commissioner for Transport (C for T) that
 - (i) sufficient manoeuvring space shall be provided within the Site. No vehicles are allowed to queue back to public roads or reverse onto/from public roads; and
 - (ii) the local track leading to the Site is not under Transport Department's purview. The applicant shall obtain consent of the owners/managing departments of the local track for using it as the vehicular access to the Site;
- (f) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD) that:
 - (i) adequate drainage measures shall be provided to prevent surface water running from the Site to the nearby public roads and drains; and
 - (ii) the access road connecting the Site with Deep Bay Road is not and will not be maintained by HyD. HyD should not be responsible for maintaining any access connecting the Site with Deep Bay Road;
- (g) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:
 - (i) before any new building works (including containers/open sheds as temporary buildings,

demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent of the Building Authority should be obtained, otherwise they are unauthorized building works (UBW) under the Buildings Ordinance (BO). An Authorized Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO;

- (ii) for UBW erected on leased land, enforcement action may be taken by BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;
 - (iii) the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
 - (iv) the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at building plan submission stage;
 - (v) any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings are subject to the control of Part VII of the B(P)R; and
 - (vi) detailed checking under the BO will be carried out at building plan submission stage;
- (h) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD) on the submitted drainage proposal that:
- (i) the rainfall intensity should be estimated following the Stormwater Drainage Manual published by DSD; and
 - (ii) the design calculation results are not reflected on the drainage drawings. Section A-A does not show where the drainage channel is;
- (i) to note the comments of the Director of Fire Services (D of FS) that in consideration of the design/nature of the proposal, fire service installations (FSIs) are anticipated to be required. Therefore, the applicant is advised to submit relevant layout plans incorporated with the proposed FSIs to his department for approval. In addition, the applicant should also be advised that the layout plans should be drawn to scale and depicted with dimensions and nature of occupancy and the location of where the proposed FSIs to be installed should be clearly marked on the layout plans. Licensing requirement would be formulated upon received of formal application via the licensing authority. However, the applicant is reminded that if the proposed structure(s) is/are required to comply with the BO, detailed fire service requirements will be formulated upon receipt of formal submission of general building plans; and
- (j) to note the comments of the Director of Environmental Protection (DEP) that the applicant should follow the relevant mitigation measures and requirements in the latest 'Code of Practice on Handling Environmental Aspects of Temporary Uses and Open Storage Sites' issued by the Environmental Protection Department to minimise any potential environmental nuisances. It is the obligation of the applicant to meet the statutory requirements under relevant pollution control ordinances.

☐ Urgent ☐ Return Receipt Requested ☐ Sign ☐ Encrypt ☐ Mark Subject Restricted ☐ Expand personal&publi



A/YL-HTF/1153 DD 128 Lau Fau Shan
28/05/2023 03:04

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
File Ref:

Dear TPB Members,

Despite the clearly dodgy aspects of this application, members duly approved.

Conditions, surprise, surprise, have not been fulfilled. But the applicant knows how the system works, a fresh application, PlanD will again recommend "sympathetic consideration could be given to the application" and members sign off without asking any questions.

There is no longer even a veneer of integrity to the process.

Mary Mulihvill

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
Date: Sunday, 8 August 2021 3:25 AM CST
Subject: A/YL-HTF/1123 DD 128 Lau Fau Shan Graphene Research

A/YL-HTF/1123

Lots 260 (Part), 261 (Part), 262, 263 and 264 in D.D.128, Ha Tsuen

Site area : About 3,080sq.m

Zoning "Agriculture" and "Res (Group D)"

Applied use: Recyclable Metal Collection Centre / 2 Vehicle Parking

Dear TPB Members,

The half baked Graphene research application was rejected "In this regard, the applicant had failed to provide essential information, including a clear account of the proposed operation, to enable the Board to better understand what exactly would take place at the Site and in turn consider the potential impact of the proposed development",

Now its down to the usual ploy of splitting the lots, this is the top half of 1104.

However it is doubtful that the UD issue has been resolved:

"Mr Raymond K.W. Lee, the Director of Planning, pointed out that **the Site was involved in an unauthorised development that was convicted in 2019. Another round of planning enforcement action at the Site was being undertaken by the Planning Authority.** To make the most effective use of limited resources, priority would be given to take enforcement action against unauthorised developments in environmentally sensitive areas.

For unauthorised developments located in less environmentally sensitive areas where 'existing uses' of similar nature had been proliferated, the strategy was primarily to contain the situation while **channelising such operations to other more suitable areas.** In that regard, the Chairperson said that the updated Town Planning Board Guidelines No. 13F had been promulgated in 2020 to better channel brownfield operations to suitable locations planned for such use in the New Territories."

As the proposed use is just a variation on the theme and in view of the large residential developments planned for Ha Tsuen, has any progress been made re the 'channelising' of operations with negative environmental issues to more appropriate zones?

Mary Mulvihill

From: [REDACTED]
To: "tpbpd" <tpbpd@pland.gov.hk>
Sent: Wednesday, July 1, 2020 3:03:55 AM
Subject: Re: A/YL-HTF/1104 DD 128 Lau Fau Shan Graphene Research!

Dear TPB Members,
Minutes 24 April. Say no more
The site was the subject of eight previous applications rejected by the Committee or on review by the Board.

Rejecting the current application was in line with the Committee's previous decisions.

Mary Mulvihill

From: [REDACTED]
To: "tpbpd" <tpbpd@pland.gov.hk>
Sent: Tuesday, March 24, 2020 4:04:58 AM
Subject: A/YL-HTF/1104 DD 128 Lau Fau Shan Graphene Research!

Dear TPB Members,

Application 1096 was rejected on 20 Sept 2019. Minutes include the following

comments:

There were 24 complaints in respect of air, noise, water and waste pollutions concerning the site received in the past three years

140. In response to Members' enquiries, Ms Bonnie K.C. Lee, STP/TMYLW, replied that the site was a subject of planning enforcement action on unauthorised storage and workshop uses. Enforcement Notice was issued requiring the concerned landowners to discontinue the unauthorised development (UD). The recent site inspection revealed that the UD at the site had not been discontinued. The similar application (No. A/YL-HTF/1085) was for temporary recyclable collection centre for garment, cloth and waste paper use within the subject "R(D)" zone and it was accessible via a different road. The current application was different in nature in that it involved the recycling of plastic bottle and workshop uses.

Now the Applicant is back again with a spurious plan for a Development and Learning Centre for Graphene. Even PlanD will not fall for this one.

Graphene /'græfi:n/ is an allotrope of carbon in the form of a single layer of atoms in a two-dimensional hexagonal lattice in which one atom forms each vertex. It is the basic structural element of other allotropes, including graphite, charcoal, carbon nanotubes and fullerenes. It can also be considered as an indefinitely large aromatic molecule, the ultimate case of the family of flat polycyclic aromatic hydrocarbons.

In other words a material that is still in the early stages of research and development that would take place in high tech labs but not a trashed brownfield at Lau Fau Shan.

Members should give this the 'Nice Try' rebuttal.

Mary Mulvihill

From: [REDACTED]

To: "tpbpd" <tpbpd@pland.gov.hk>

Sent: Tuesday, August 27, 2019 1:09:28 AM

Subject: A/YL-HTF/1096 DD 128 Lau Fau Shan Bottle Recycling

Dear TPB Members,

AYL-HTF/1093 Rejected on review 1 Feb 2019

PlanD's views – PlanD did not support the application based on the assessments set out in paragraph 11 of the Paper. The applied use was not in line with the planning intentions of the "AGR" and "Residential (Group D)" ("R(D)") zones. No strong justifications were provided in the submission for a departure from the planning intention of "AGR" and "R(D)" zones, even on a temporary basis. C for T and DAFC did not support the application and CTP/UD&L, PlanD had reservation on the application. **DEP also did not support the application as there were three substantiated air pollution complaints concerning the site received in the past three years**

This applicant is gaming the system by lodging applicants that extend the unapproved use of the site.

Members should now question when action will be taken.

Mary Mulvihill

From: [REDACTED]

To: "tpbpd" <tpbpd@pland.gov.hk>

Sent: Saturday, April 6, 2019 3:03:50 AM

Subject: Re: A/YL-HTF/1093 DD 128 Lau Fau Shan Bottle Recycling

Dear TPB Members,

DEP also did not support the application as **there were three substantiated air pollution complaints concerning the site received in the past three years.**

Say no more, such operations cannot be tolerated.

Mary Mulvihill

From: [REDACTED]

To: "tpbpd" <tpbpd@pland.gov.hk>

Sent: Friday, January 11, 2019 2:34:25 AM

Subject: A/YL-HTF/1093 DD 128 Lau Fau Shan Bottle Recycling

A/YL-HTF/1093

Lots 130, 131, 132 (Part), 260 (Part), 261, 262, 263, 264 and 268 in D.D.128 and Adjoining Government Land, Lau Fau Shan

Site area : About 12,563 Includes Government Land of about 600m²

Zoning : "Agriculture" and "Res (Group D)"

Applied Use : Temporary Plastic Bottle Recycling Centre / 7 Vehicle Parking

Dear TPB Members,

As the area is a Brownfield Kingdom with hectares of Open Storage, one can assume that the application is to legitimize an ongoing operation.

Does Hong Kong face almost insurmountable issues with regard to disposal of waste? YES

Solutions would include the creation of custom built recycling facilities like those at WEEE Park? YES

So why are such facilities still being operated on short term approvals of land zoned for other purposes?

Members must bring EPD to task on this matter. Hard questions as to when we can expect to see the development of the long overdue infrastructure urgently required to handle our waste.

Members should also demand that the Secretary for Commerce and Economic Development take responsibility for solutions to the additional waste generated by the constant increase in mainland shoppers that his department keeps encouraging.

More visitors = more need of high tech facilities to deal with their impact.

Hopefully members have made a New Year's Resolution to force site owners and government departments to bring Hong Kong into the 21st Century by embarking on the long overdue clean up of NT.

No more temporary uses. We need permanent and state of the art solutions.

Mary Mulvihill