

2025年 1月 6日
此文件在 收到。城市規劃委員會
只會在收到所有必要的資料及文件後才正式確認收到
申請的日期。

This document is received on - 6 JAN 2025.
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-III
表格第 S16-III 號

APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP. 131)

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of Land
and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas,
or Renewal of Permission for such Temporary Use or Development***

**適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行
為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議***

*Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.

*其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.tpb.gov.hk/tc/plan_application/apply.html

General Note and Annotation for the Form

填寫表格的一般指引及註解

"Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made

「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2402906 7/12 by hand

Form No. S16-III 表格第 S16-III 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/ YL-107N/1083
	Date Received 收到日期	- 6 JAN 2025

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☒ Ms. 女士 / ☐ Company 公司 / ☐ Organisation 機構)

CHAN Pui Ling 陳佩玲

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

R-riches Property Consultants Limited 盈卓物業顧問有限公司

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lots 1222 S.A (Part) and 1224 S.B in D.D. 107, Fung Kat Heung, Kam Tin, Yuen Long, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 516 sq.m 平方米 <input type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 222 sq.m 平方米 <input type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有) N/A sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Kam Tin North Outline Zoning Plan No. S/YL-KTN/11
(e) Land use zone(s) involved 涉及的土地用途地帶	"Agriculture" ("AGR")
(f) Current use(s) 現時用途	Vacant (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☒ is the sole "current land owner"[#] (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」[#] (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners"[#] (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」[#] (請夾附業權證明文件)。
- ☐ is not a "current land owner"[#].
並不是「現行土地擁有人」[#]。

- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)"[#].
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」[#]。

(b) The applicant 申請人 –

- ☐ has obtained consent(s) of "current land owner(s)"[#].
已取得 名「現行土地擁有人」[#]的同意。

Details of consent of "current land owner(s)" [#] obtained 取得「現行土地擁有人」 [#] 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified "current land owner(s)"#
已通知 名「現行土地擁有人」#。

Details of the "current land owner(s)"# notified 已獲通知「現行土地擁有人」#的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on _____ (DD/MM/YYYY)#&
於_____ (日/月/年)向每一名「現行土地擁有人」#郵遞要求同意書&

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on _____ (DD/MM/YYYY)&
於_____ (日/月/年)在指定報章就申請刊登一次通知&
- ☐ posted notice in a prominent position on or near application site/premises on _____ (DD/MM/YYYY)&
於_____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知&
- ☐ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on _____ (DD/MM/YYYY)&
於_____ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會&

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別**(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas**

位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展

(For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B))

(如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)

(a) Proposed use(s)/development 擬議用途/發展	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of 3 Years and Associated Filling of Land (Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)
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(b) Effective period of permission applied for 申請的許可有效期	<input checked="" type="checkbox"/> year(s) 年 3 <input type="checkbox"/> month(s) 個月
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(c) Development Schedule 發展細節表

Proposed uncovered land area 擬議露天土地面積	294	sq.m	<input checked="" type="checkbox"/> About 約
Proposed covered land area 擬議有上蓋土地面積	222	sq.m	<input checked="" type="checkbox"/> About 約
Proposed number of buildings/structures 擬議建築物/構築物數目	1		
Proposed domestic floor area 擬議住用樓面面積	N/A	sq.m	<input type="checkbox"/> About 約
Proposed non-domestic floor area 擬議非住用樓面面積	222	sq.m	<input checked="" type="checkbox"/> About 約
Proposed gross floor area 擬議總樓面面積	222	sq.m	<input checked="" type="checkbox"/> About 約

Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)

STRUCTURE	USE	COVERED AREA	GFA	BUILDING HEIGHT
B1	WAREHOUSE (EXCLUDING D.G.G.) ANCILLARY OFFICE	222 m ² (ABOUT)	222 m ² (ABOUT)	8.23 m (ABOUT) (1-STOREY)
TOTAL		222 m ² (ABOUT)	222 m ² (ABOUT)	

Proposed number of car parking spaces by types 不同種類停車位的擬議數目

Private Car Parking Spaces 私家車車位	1
Motorcycle Parking Spaces 電單車車位	N/A
Light Goods Vehicle Parking Spaces 輕型貨車泊車位	N/A
Medium Goods Vehicle Parking Spaces 中型貨車泊車位	N/A
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	N/A
Others (Please Specify) 其他 (請列明)	

Proposed number of loading/unloading spaces 上落客貨車位的擬議數目

Taxi Spaces 的士車位	N/A
Coach Spaces 旅遊巴車位	N/A
Light Goods Vehicle Spaces 輕型貨車車位	1
Medium Goods Vehicle Spaces 中型貨車車位	N/A
Heavy Goods Vehicle Spaces 重型貨車車位	N/A
Others (Please Specify) 其他 (請列明)	

Proposed operating hours 擬議營運時間 09:00 to 19:00 from Monday to Saturday. No operation on Sunday and public holiday.																																	
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤/ 有關建築物?	Yes 是	<input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) Accessible from Fung Kat Heung Road via Mei Fung Road and a local access.																															
	No 否	<input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度) <input type="checkbox"/>																															
(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。)																																	
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?	Yes 是	<input type="checkbox"/> Please provide details 請提供詳情																															
	No 否	<input checked="" type="checkbox"/>																															
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程?	Yes 是	<input checked="" type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地/池塘界線，以及河道改道、填塘、填土及/或挖土的細節及/或範圍) <input type="checkbox"/> Diversion of stream 河道改道 <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約 <input checked="" type="checkbox"/> Filling of land 填土 Area of filling 填土面積 516 sq.m 平方米 <input checked="" type="checkbox"/> About 約 Depth of filling 填土厚度 ..not more than 0.1. m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度m 米 <input type="checkbox"/> About 約																															
	No 否	<input type="checkbox"/>																															
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?	<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> </table>			On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
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Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															

	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>
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(B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas
位於鄉郊地區或受規管地區臨時用途/發展的許可續期

(a) Application number to which the permission relates 與許可有關的申請編號	A/ _____ / _____
(b) Date of approval 獲批給許可的日期 (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期 (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	
(e) Approval conditions 附帶條件	<p><input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件</p> <p><input type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件</p> <p><input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件：</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>Reason(s) for non-compliance: 仍未履行的原因：</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>(Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)</p>
(f) Renewal period sought 要求的續期期間	<p><input type="checkbox"/> year(s) 年</p> <p><input type="checkbox"/> month(s) 個月</p>

7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明）。

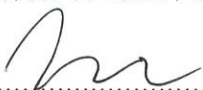
Please refer to the supplementary statement.

8. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.
本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署



☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Michael WONG

Name in Block Letters
姓名（請以正楷填寫）

Position (if applicable)
職位（如適用）

Professional Qualification(s) ☐ Member 會員 / ☐ Fellow of 資深會員

專業資格

☐ HKIP 香港規劃師學會 /

☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 /

☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 /

☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他

on behalf of
代表

R-riches Property Consultants Limited 盈卓物業顧問有限公司



☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

4/12/2024

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

(a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要 (Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.) (請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)	
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置／地址	Lots 1222 S.A (Part) and 1224 S.B in D.D. 107, Fung Kat Heung, Kam Tin, Yuen Long, New Territories
Site area 地盤面積	<div style="display: flex; justify-content: space-between;"> <div>  </div> <div> 516 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 N/A sq. m 平方米 <input type="checkbox"/> About 約) </div> </div>
Plan 圖則	Approved Kam Tin North Outline Zoning Plan No. S/YL-KTN/11
Zoning 地帶	"Agriculture" ("AGR")
Type of Application 申請類別	<div> <input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期 <div style="display: flex; justify-content: space-around;"> <input checked="" type="checkbox"/> Year(s) 年 <u>3</u> <input type="checkbox"/> Month(s) 月 _____ </div> </div> <div> <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 <div style="display: flex; justify-content: space-around;"> <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____ </div> </div>
Applied use/ development 申請用途/發展	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of 3 Years and Associated Filling of Land

(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	N/A <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	N/A <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	222 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.43 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	N/A	
	Non-domestic 非住用	1	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	N/A	<input type="checkbox"/> m 米 (Not more than 不多於)
		N/A	<input type="checkbox"/> Storeys(s) 層 (Not more than 不多於)
	Non-domestic 非住用	8.23	<input type="checkbox"/> m 米 (Not more than 不多於)
		1	<input type="checkbox"/> Storeys(s) 層 (Not more than 不多於)
(iv) Site coverage 上蓋面積	43 % <input checked="" type="checkbox"/> About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數		1
	Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明)		1 N/A N/A N/A N/A
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數		1
	Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明)		N/A N/A 1 N/A N/A

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	Chinese 中文	English 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<u>Location plan, Zoning plan, Plan showing land status of the site,</u>		
<u>Plan showing the filling of land area, Swept path analysis, Drainage and FSIs proposals</u>		
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估（噪音、空氣及／或水的污染）	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input type="checkbox"/>
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

Supplementary Statement

1) Background

- 1.1 The applicant seeks planning permission from the Town Planning Board (the Board) to use *Lots 1222 S.A (Part) and 1224 S.B in D.D. 107, Fung Kat Heung, Kam Tin, Yuen Long, New Territories* (the Site) for '**Proposed Temporary Warehouse (excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of 3 Years and Associated Filling of Land**' (proposed development) (**Plans 1 to 3**).
- 1.2 In view of the pressing demand for indoor storage space in recent years, the applicant, also the lot owner of the Site, would like to use the Site for the applied use to support the local warehousing and storage industry.

2) Planning Context

- 2.1 The Site falls within an area zoned as "Agriculture" ("AGR") on the Approved Kam Tin North Outline Zoning Plan No.: S/YL-KTN/11 (**Plan 2**). According to the Notes of the OZP, 'warehouse' use is not a column one nor column two use within the "AGR" zone, which requires planning permission from the Board.
- 2.2 Although the Site is zoned as "AGR" zone, there is no active agricultural use within the Site, approval of the planning application on a temporary basis of years would not frustrate the long-term planning intention of the "AGR" zone and would better utilize the previous land resources in the New Territories. The Site is also surrounded by open storage yards, warehouses and other brownfield activities, the proposed development with one low-rise structure for warehouse is considered not incompatible with the surrounding areas.
- 2.3 The application sites of several similar S.16 planning applications (No. A/YL-KTN/920, 937, 993, 996 and 1054) for 'warehouse' use are located in close vicinity of the Site and they were all approved by the Board in 2023 and 2024. As the proposed development is in similar nature, approval of the current application would not set an undesirable precedent within the "AGR" zone and in line with the Board's previous decisions.

- 2.4 The Site is the subject of one previous application (No. A/YL-KTN/904) for 'warehouse' use that was submitted by the same applicant. The application was approved by the Board on a temporary basis for 3 years on 19/5/2023. When compared with the previous application, all the major parameters, including the site area, GFA, plot ratio, number of structure, building height of the structures, parking and loading/unloading (L/UL) spaces remain unchanged. The applicant has shown effort to comply with approval conditions of the previous application, details are shown as follow at **Table 1** below:

Table 1 – Details of Compliance with Approval Condition of the Previous Application

Approval Conditions of Application No. A/YL-KTN/904		Date of Compliance
(d)	The submission of a drainage proposal	Not complied with
(e)	The implementation of the drainage proposal	Not complied with
(g)	The submission of a fire service installations (FSIs) proposal	22/9/2023
(h)	The implementation of the FSI proposal	Not complied with

- 2.5 Regarding approval condition (d), the applicant submitted a drainage proposal for compliance with this approval condition on 13/8/2024 and the submission was considered not acceptable by Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD) on 25/9/2024. The applicant later submitted a revised drainage proposal on 8/11/2024, however, there is insufficient time for the CE/MN, DSD to comment on the submission by the designated time period, which led to revocation of the application on 19/11/2024.
- 2.6 Regarding approval condition (h), the applicant is currently awaiting for the approval of Short Term Waiver (STW) from the Lands Department for erection of the proposed structure at the Site. Since FSIs are proposed at structure, the applicant could not commence the works for the proposed FSIs within the designated time period, which led to revocation of the application on 19/11/2024.
- 2.7 In support of the current application, the applicant has submitted the accepted FSI proposal of the previous application (No. A/YL-KTN/905) and a revised drainage proposal in order to mitigate any potential nuisance from the proposed development (**Appendices I to II**).

3) Development Proposal

3.1 The Site occupied an area of 516 m² (about) of private land (**Plan 3**). The operation hours are Monday to Saturday from 09:00 to 19:00. No operation on Sunday and public holiday. One single-storey structure is proposed at the Site for warehouse and ancillary office with total GFA of 222 m² (about) (**Plan 4**). The ancillary site office is intended to provide indoor space for administrative staff to support the daily operation of the Site. The Site would be able to accommodate not more than 3 staff. As the Site is proposed for 'warehouse' use, no visitor is anticipated at the Site. Details of development parameters are shown at **Table 2** below:

Table 2 – Major Development Parameters

Application Site Area	516m ² (about)
Covered Area	222m ² (about)
Uncovered Area	294m ² (about)
Plot Ratio	0.43 (about)
Site Coverage	43% (about)
Number of Structure	1
Total GFA	222 m ² (about)
- Domestic GFA	Not applicable
- Non-Domestic GFA	222 m ² (about)
Building Height	8.23m (about)
No. of Storey	1

- 3.2 The proposed warehouse is intended for storage of miscellaneous goods (i.e. packaged food, apparel, footwear, electronic goods, furniture etc.). No dangerous goods and workshop activities will be stored/conducted at the Site at any time during the planning approval period.
- 3.3 The Site has already been filled wholly with concrete to facilitate a flat surface for site formation of structures (**Plan 5**). As heavy loading of structures and vehicles would compact the existing soiled ground and weaken the ground surface, the associated filling of land area is considered necessary and has been kept to minimal for the operation of the proposed development. The applicant will reinstate the Site to an amenity area after the planning approval period.

- 3.4 The Site is accessible from Fung Kat Heung Road via Mei Fung Road and a local access (**Plan 1**). A total of 2 parking and L/U spaces are provided at the Site, details of spaces are shown at **Table 3** below:

Table 3 – Parking and L/UL Provision

Type of Space	No. of Space
Private Car (PC) Parking Space for Staff - 2.5m (W) x 5m (L)	1
L/UL Space for Light Goods Vehicle (LGV) - 3.5m (W) x 7m (L)	1

- 3.5 5.5 tonnes will be deployed for transportation of goods to and out of the Site, hence, 1 L/UL space for LGV is provided. Sufficient space is provided for vehicle to smoothly manoeuvre within the Site to ensure that no vehicle will turn back onto the local access (**Plan 6**). No medium or heavy goods vehicles exceeding 5.5 tonnes, including container tractors/trailers, as defined in the Road Traffic Ordinance are allowed to be parked/stored on or enter/exit the Site at any time during the planning approval period. As traffic generated and attracted by the proposed development as shown at **Table 3** below is minimal, adverse traffic impact should not be anticipated.

Table 3 - Trip Generation and Attraction of the Proposed Development

Time Period	PC		LGV		2-Way Total
	In	Out	In	Out	
Trips at <u>AM peak</u> per hour (09:00 – 10:00)	1	0	1	0	2
Trips at <u>PM peak</u> per hour (18:00 – 19:00)	0	1	0	1	2
Traffic trip per hour (average, 10:00 – 18:00)	0	0	1	1	2

- 3.6 The applicant will strictly follow the 'Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites' issued by Environmental Protection Department (EPD) to minimise adverse environmental impacts and nuisance to the surrounding area. The applicant will strictly comply with all environmental protection / pollution control ordinances, i.e. Water Pollution Control Ordinance, Air Pollution Control Ordinance, Noise Control Ordinance etc. at all times during the planning approval period. The applicant will follow the

Professional Persons Environmental Consultative Committee Practice Notes for sewage treatment at the Site.

4) Conclusion

- 4.1 The proposed development will not create significant nuisance to the surrounding area. Adequate mitigation measures have been provided by the applicant (i.e. submission of drainage and FSIs proposals) in order to mitigate any adverse impact arising from the applied use (**Appendices I to II**).
- 4.2 In view of the above, the Board is hereby respectfully recommended to approve the subject application for '**Proposed Temporary Warehouse (excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of 3 Years and Associated Filling of Land**'.

R-riches Property Consultants Limited

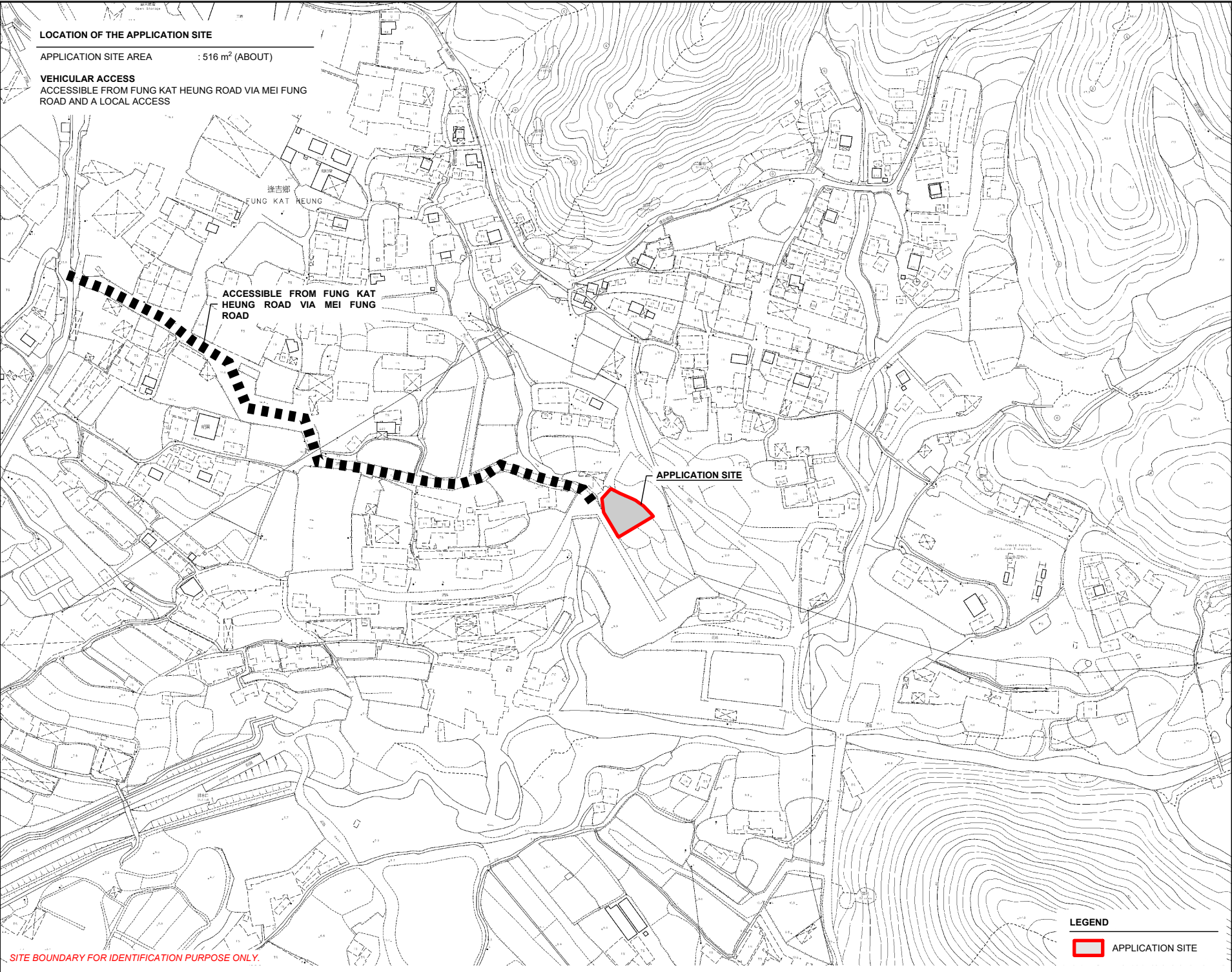
December 2024

LIST OF PLANS

Plan 1	Location Plan
Plan 2	Plan Showing the Zoning of the Application Site
Plan 3	Plan Showing the Land Status of the Application Site
Plan 4	Layout Plan
Plan 5	Land Filling Area of the Application Site
Plan 6	Swept Path Analysis

APPENDICES

Appendix I	The Accepted Fire Service Installations Proposal of A/YL-KTN/904
Appendix II	Drainage Proposal



LOCATION OF THE APPLICATION SITE

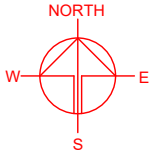
APPLICATION SITE AREA : 516 m² (ABOUT)

VEHICULAR ACCESS

ACCESSIBLE FROM FUNG KAT HEUNG ROAD VIA MEI FUNG ROAD AND A LOCAL ACCESS

ACCESSIBLE FROM FUNG KAT HEUNG ROAD VIA MEI FUNG ROAD

APPLICATION SITE



PLANNING CONSULTANT



PROJECT

PROPOSED WAREHOUSE (EXCLUDING DANGEROUS GOODS GODOWN) FOR A PERIOD OF 3 YEARS AND ASSOCIATED FILLING OF LAND

SITE LOCATION

LOTS 1222 S.A (PART) AND 1224 S.B IN D.D. 107, FUNG KAT HEUNG, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE

1 : 3000 @ A4

DRAWN BY

MN

DATE

26.11.2024

CHECKED BY

DATE

APPROVED BY

DATE

DWG. TITLE

LOCATION PLAN

DWG NO.

PLAN 1

VER.

001

LEGEND

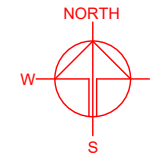


APPLICATION SITE

SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY.

ZONING OF THE APPLICATION SITE

APPLICATION SITE AREA : 516 m² (ABOUT)
OUTLINE ZONING PLAN : APPROVED KAM TIN NORTH OZP
OZP PLAN NO. : S/YL-KTN/11
AREA ZONED AS "AGR" : 516 m² (ABOUT)



逢吉鄉
輸水隧道入口
Fung Kat Heung
Portal

G/IC

逢吉鄉
Fung Kat Heung

FUNG KAT HEUNG ROAD

APPLICATION SITE

CA

CA

PLANNING CONSULTANT



PROJECT

PROPOSED WAREHOUSE (EXCLUDING DANGEROUS GOODS GODOWN) FOR A PERIOD OF 3 YEARS AND ASSOCIATED FILLING OF LAND

SITE LOCATION

LOTS 1222 S.A (PART) AND 1224 S.B IN D.D. 107, FUNG KAT HEUNG, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE

1 : 5000 @ A4

DRAWN BY

MN

DATE

26.11.2024

CHECKED BY

DATE

APPROVED BY

DATE

DWG. TITLE

ZONING OF THE SITE

DWG NO.

PLAN 2

VER.

001

LEGEND

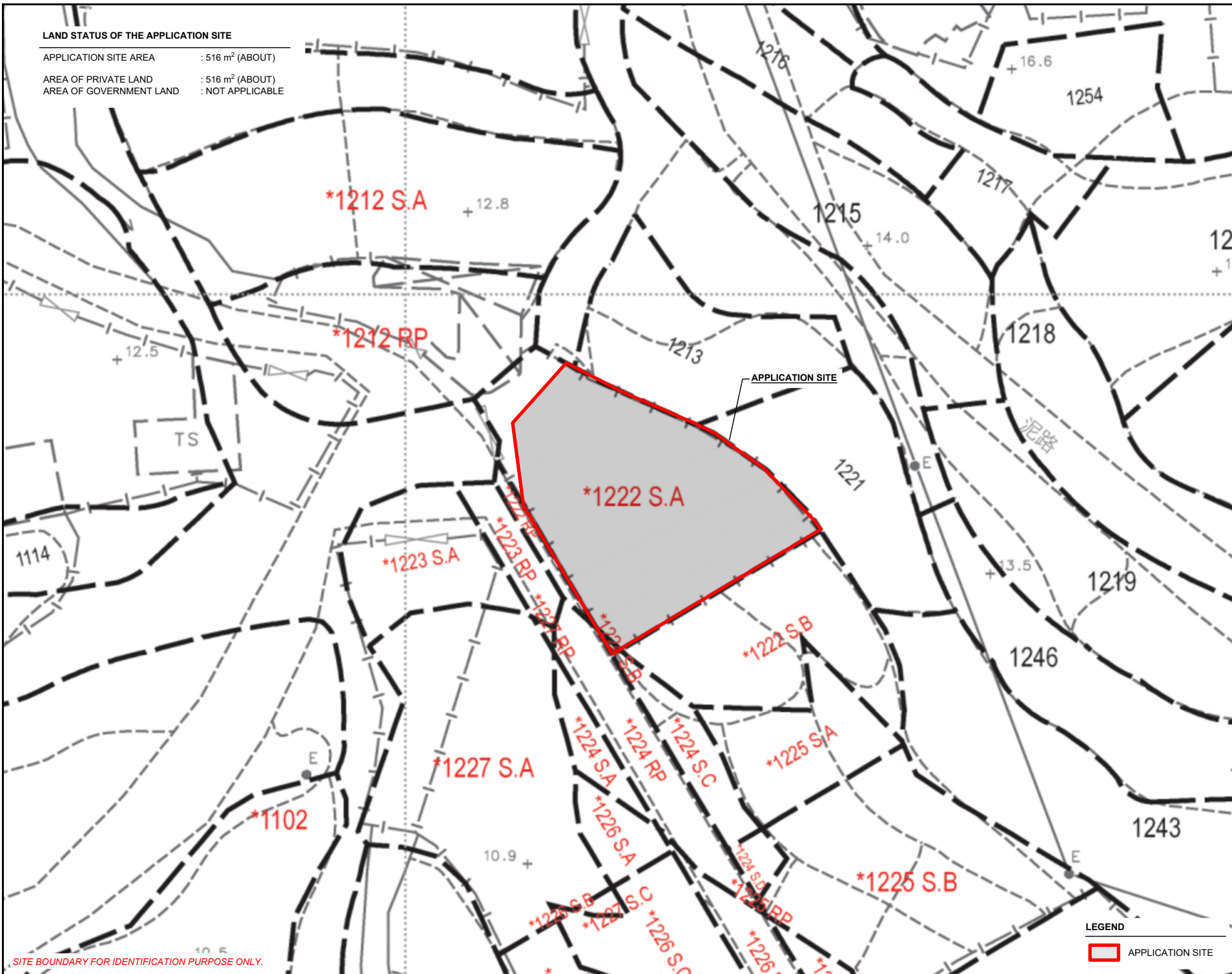
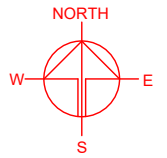


APPLICATION SITE

SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY.

LAND STATUS OF THE APPLICATION SITE

APPLICATION SITE AREA : 516 m² (ABOUT)
 AREA OF PRIVATE LAND : 516 m² (ABOUT)
 AREA OF GOVERNMENT LAND : NOT APPLICABLE



PLANNING CONSULTANT



PROJECT
 PROPOSED WAREHOUSE (EXCLUDING DANGEROUS GOODS GODOWN) FOR A PERIOD OF 3 YEARS AND ASSOCIATED FILLING OF LAND

SITE LOCATION
 LOTS 1222 S.A (PART) AND 1224 S.B IN D.D. 107, FUNG KAT HEUNG, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE
 1 : 500 @ A4

DRAWN BY MN	DATE 26.11.2024
CHECKED BY	DATE
APPROVED BY	DATE

DWG. TITLE
 LAND STATUS OF THE SITE

DWG NO. PLAN 3	VER. 001
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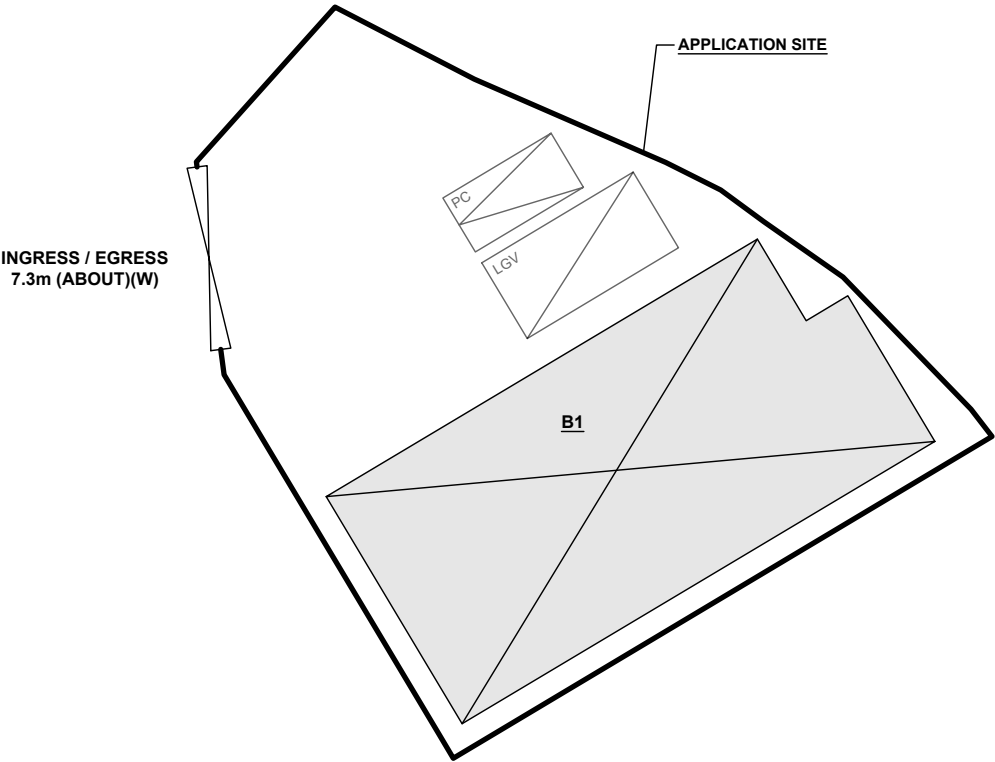
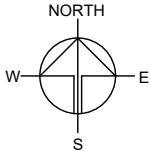
LEGEND

APPLICATION SITE

DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	: 516 m ²	(ABOUT)
COVERED AREA	: 222 m ²	(ABOUT)
UNCOVERED AREA	: 294 m ²	(ABOUT)
PLOT RATIO	: 0.43	(ABOUT)
SITE COVERAGE	: 43 %	(ABOUT)
NO. OF STRUCTURE	: 1	
DOMESTIC GFA	: NOT APPLICABLE	
NON-DOMESTIC GFA	: 222 m ²	(ABOUT)
TOTAL GFA	: 222 m ²	(ABOUT)
BUILDING HEIGHT	: 8.23 m	(ABOUT)
NO. OF STOREY	: 1	

STRUCTURE	USE	COVERED AREA	GFA	BUILDING HEIGHT
B1	WAREHOUSE (EXCLUDING D.G.G.) ANCILLARY OFFICE	222 m ² (ABOUT)	222 m ² (ABOUT)	8.23 m (ABOUT)(1-STOREY)
TOTAL		222 m ² (ABOUT)	222 m ² (ABOUT)	



PARKING AND LOADING/UNLOADING PROVISION

NO. OF PRIVATE CAR PARKING SPACE	: 1
DIMENSION OF PARKING SPACE	: 5 m (L) X 2.5 m (W)
NO. OF LIGHT GOODS VEHICLE PARKING SPACE	: 1
DIMENSION OF LOADING/UNLOADING SPACE	: 7 m (L) X 3.5 m (W)

LEGEND	
	APPLICATION SITE
	STRUCTURE
	PARKING SPACE
	LOADING / UNLOADING SPACE
	INGRESS / EGRESS

PLANNING CONSULTANT



PROJECT

PROPOSED WAREHOUSE (EXCLUDING DANGEROUS GOODS GODOWN) FOR A PERIOD OF 3 YEARS AND ASSOCIATED FILLING OF LAND

SITE LOCATION

LOTS 1222 S.A (PART) AND 1224 S.B IN D.D. 107, FUNG KAT HEUNG, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE

1 : 300 @ A4

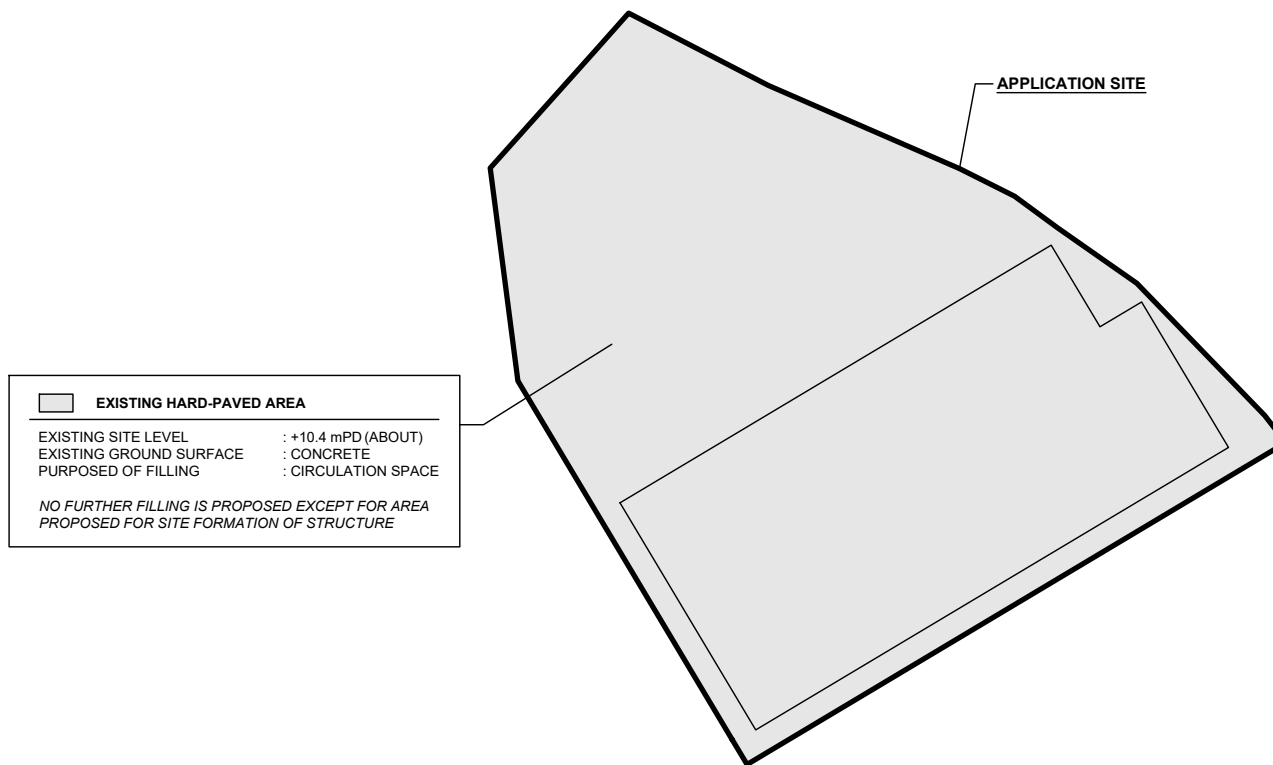
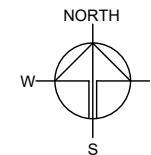
DRAWN BY	DATE
MN	26.11.2024
CHECKED BY	DATE
APPROVED BY	DATE

DWG. TITLE
LAYOUT PLAN

DWG NO. PLAN 4	VER. 001
-------------------	-------------

FILLING OF LAND AREA OF THE APPLICATION SITE

APPLICATION SITE AREA	: 516 m ²	(ABOUT)
EXISTING HARD-PAVED AREA	: 516 m ²	(ABOUT)
EXISTING SITE LEVELS	: + 10.4 mPD	(ABOUT)
MATERIAL OF LAND FILLING	: CONCRETE	
PURPOSE OF LAND FILLING	: SITE FORMATION OF STRUCTURE AND CIRCULATION SPACE	



	EXISTING HARD-PAVED AREA
EXISTING SITE LEVEL	: +10.4 mPD (ABOUT)
EXISTING GROUND SURFACE	: CONCRETE
PURPOSED OF FILLING	: CIRCULATION SPACE

NO FURTHER FILLING IS PROPOSED EXCEPT FOR AREA PROPOSED FOR SITE FORMATION OF STRUCTURE

SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY.

LEGEND

APPLICATION SITE

PLANNING CONSULTANT



PROJECT

PROPOSED WAREHOUSE (EXCLUDING DANGEROUS GOODS GODOWN) FOR A PERIOD OF 3 YEARS AND ASSOCIATED FILLING OF LAND

SITE LOCATION

LOTS 1222 S.A (PART) AND 1224 S.B IN D.D. 107, FUNG KAT HEUNG, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE

1 : 300 @ A4

DRAWN BY	DATE
MN	26.11.2024
CHECKED BY	DATE
APPROVED BY	DATE

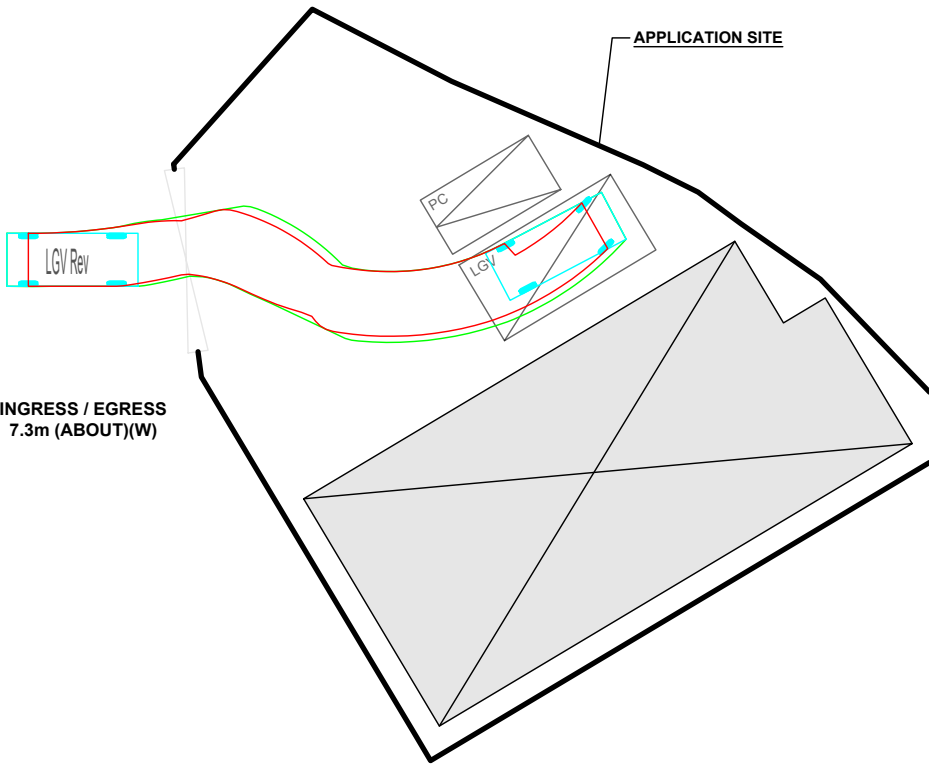
DWG. TITLE
FILLING OF LAND AREA

DWG NO.	VER.
PLAN 5	001

SWEPT PATH ANALYSIS

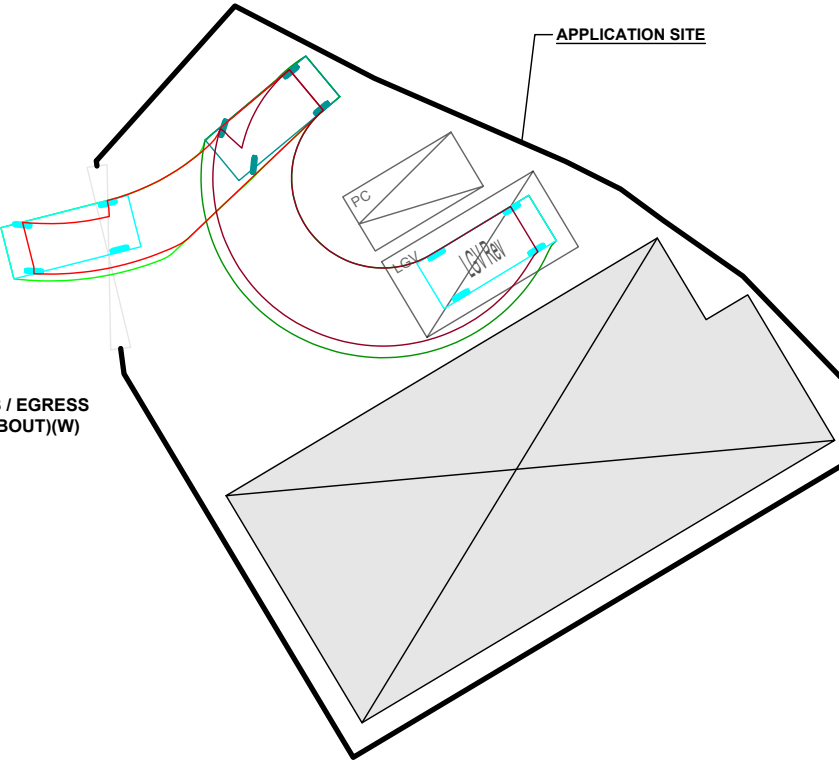
TYPE OF VEHICLE : LIGHT GOODS VEHICLE
DIMENSION OF VEHICLE : 2.1 m (W) X 5.2 m (L)

SWEPT PATHS GENERATED BY AUTODESK VEHICLE TRACKING



INGRESS / EGRESS
7.3m (ABOUT)(W)

FROM THE LOCAL ACCESS TO
THE APPLICATION SITE



INGRESS / EGRESS
7.3m (ABOUT)(W)

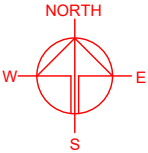
FROM THE APPLICATION SITE TO
THE LOCAL ACCESS

APPLICATION SITE

APPLICATION SITE

LEGEND

- APPLICATION SITE
- STRUCTURE
- PARKING SPACE
- LOADING / UNLOADING SPACE
- INGRESS / EGRESS
- LIGHT GOODS VEHICLE
- SWEPT PATH OF VEHICLE



PLANNING CONSULTANT



PROJECT

PROPOSED WAREHOUSE (EXCLUDING DANGEROUS GOODS FOR A PERIOD OF 3 YEARS AND ASSOCIATED FILLING OF LAND)

TEMPORARY GODOWN (EXCLUDING DANGEROUS GOODS FOR A PERIOD OF 3 YEARS AND ASSOCIATED FILLING OF LAND)

SITE LOCATION

LOTS 1222 S.A (PART) AND 1224 S.B IN D.D. 107, FUNG KAT HEUNG, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE
1 : 300 @ A4

DRAWN BY MN DATE 26.11.2024

CHECKED BY DATE

APPROVED BY DATE

DWG. TITLE
SWEPT PATH ANALYSIS

DWG NO. PLAN 6 VER. 001

SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY.

規 劃 署

粉嶺、上水及元朗東規劃處
新界荃灣青山公路 388 號
中染大廈 22 樓 2202 室



Planning Department

Fanling, Sheung Shui & Yuen Long East
District Planning Office
Unit 2202, 22/F, CDW Building,
388 Castle Peak Road, Tsuen Wan, N.T.

來函檔號 Your Reference : DD107 Lot 1222 S.A & 1224 S.B
本署檔號 Our Reference : TPB/A/YL-KTN/904
電話號碼 Tel. No. : 3168 4072
傳真機號碼 Fax No. : 3168 4074 / 3168 4075

By Post and Fax (2323 3662)

R-riches Property Consultants Limited



(Attn.: Mr. Orpheus LEE / Ms. Grace WONG)

22 September 2023

Dear Sir/Madam,

**Submission for Compliance with Approval Condition (g)
– the Submission of Fire Service Installations Proposal**

**Proposed Temporary Warehouse (excluding Dangerous Goods Godown) with
Ancillary Facilities for a Period of 3 Years and Filling of Land
in "Agriculture" Zone, Lots 1222 S.A (Part) and 1224 S.B in D.D. 107,
Fung Kat Heung, Kam Tin, Yuen Long, New Territories
(Application No. A/YL-KTN/904)**

I refer to your submission dated 8.8.2023 for compliance with the captioned approval condition. Relevant department has been consulted on your submission. Your submission is considered:

- ☒ Acceptable. The captioned condition **has been complied with**. Please find detailed departmental comments in Appendix.
- ☐ Acceptable. Since the captioned condition requires both the submission and implementation of the proposal, it **has not been fully complied with**. Please proceed to implement the accepted proposal for full compliance with the approval condition.
- ☐ Not acceptable. The captioned condition **has not been complied with**.

Should you have any queries, please contact Mr. CHEUNG Wing-hei (Tel: 2733 7737) or Mr. CHAU Nai-yin (Tel: 2733 7781) of the Fire Services Department directly.

Yours faithfully,

(Anthony LUK)
District Planning Officer/
Fanling, Sheung Shui & Yuen Long East
Planning Department

- 2 -

C.C.
D of FS

(Attn.: Mr. CHEUNG Wing-hei)

(Fax: 2739 8775)

Internal
CTP/TPB

AL/LD/jt

Appendix**Comments from the Director of Fire Services:**

Please be advised that the installation/maintenance/modification/repair work of FSIs shall be undertaken by a Registered Fire Service Installation Contractor (RFSIC). The RFSIC shall after completion of the installation/maintenance/modification/repair work issue to the person on whose instruction the work was undertaken a certificate (F.S. 251) and forward a copy of the certificate to the Director of Fire Services.

Our Ref.: DD107 Lot 1222 S.A & 1224 S.B
Your ref.: TPB/A/YL-KTN/904

The Secretary
Town Planning Board
15/F, North Point Government office
333 Java Road
North Point, Hong Kong

By Email

8 August 2023

Dear Sir,

Compliance with Approval Condition (g)

**Proposed Temporary Warehouse (excluding Dangerous Goods Godown) with Ancillary Facilities
for a Period of 3 Years and Filling of Land in "Agriculture" Zone, Lots 1222 S.A (Part) and
1224 S.B in D.D. 107, Fung Kat Heung, Kam Tin, Yuen Long, New Territories**

(S.16 Planning Application No. A/YL-KTN/904)

We are writing to submit a FSIs proposal (**Appendix I**) for compliance with approval condition (g) of the subject application, i.e. the submission of fire services installations proposal. Your kind attention to the matter is much appreciated.

Should you require more information regarding the application, please contact our Ms. Grace WONG at [REDACTED] or the undersigned at your convenience.

Yours faithfully,

For and on behalf of
R-riches Property Consultants Limited



Orpheus LEE
Planning and Development Consultant

DEVELOPMENT PARAMETERS

APPLICATION SITE AREA : 516 m² (ABOUT)
COVERED AREA : 222 m² (ABOUT)
UNCOVERED AREA : 294 m² (ABOUT)

PLOT RATIO : 0.43 (ABOUT)
SITE COVERAGE : 43 % (ABOUT)

NO. OF STRUCTURE : 1
DOMESTIC GFA : NOT APPLICABLE
NON-DOMESTIC GFA : 222 m² (ABOUT)
TOTAL GFA : 222 m² (ABOUT)

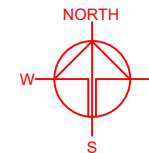
BUILDING HEIGHT : 8.23 m (ABOUT)
NO. OF STOREY : 1

PARKING AND LOADING/UNLOADING PROVISION

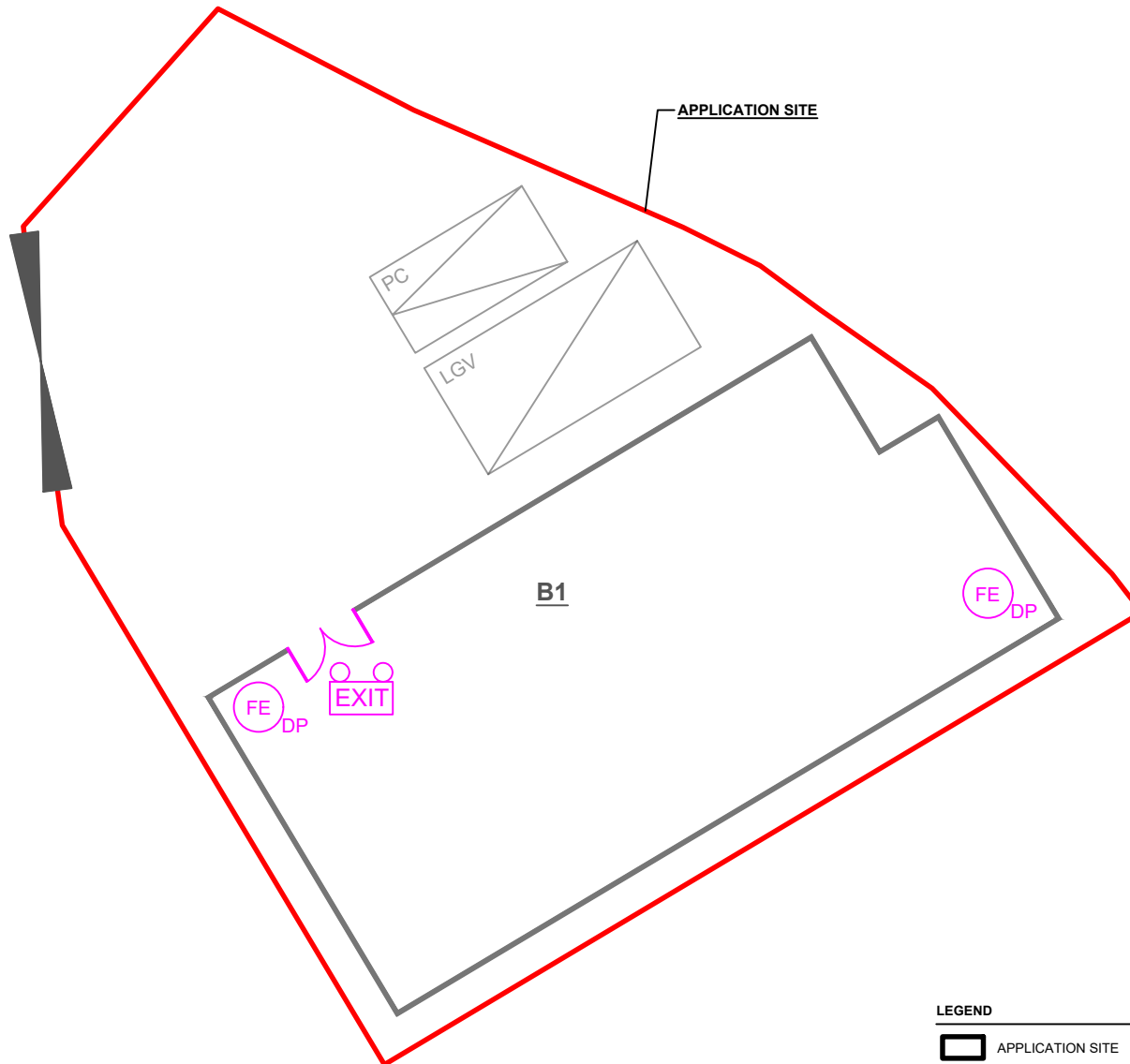
NO. OF PRIVATE CAR : 1
PARKING SPACE : 1
DIMENSION OF PARKING SPACE : 5 m (L) X 2.5 m (W)

NO. OF LIGHT GOODS : 1
VEHICLE PARKING SPACE : 1
DIMENSION OF LOADING/UNLOADING SPACE : 7 m (L) X 3.5 m (W)



STRUCTURE	USE	COVERED AREA	GFA	BUILDING HEIGHT
B1	WAREHOUSE (EXCLUDING D.G.G.) ANCILLARY OFFICE	222 m ² (ABOUT)	222 m ² (ABOUT)	8.23 m (ABOUT)(1-STOREY)
TOTAL		222 m ² (ABOUT)	222 m ² (ABOUT)	



INGRESS / EGRESS
7.3m (ABOUT)(W)








FIRE SERVICE INSTALLATIONS

-  EXIT SIGN AND EMERGENCY LIGHT
-  5 KG DRY POWDER TYPE FIRE EXTINGUISHER

FS NOTES:

- SUFFICIENT EMERGENCY LIGHTING SHALL BE PROVIDED THROUGHOUT THE ENTIRE BUILDING IN ACCORDANCE WITH BS5266-1:2016 AND BS EN1838:2013 AND FSD CIRCULAR LETTER 6/2021
- SUFFICIENT DIRECTIONAL AND EXIT SIGN SHALL BE PROVIDED IN ACCORDANCE WITH BS5266: PART 1 AND FSD CIRCULAR LETTER 5/2008.
- PORTABLE HAND-OPERATED APPROVED APPLIANCE SHALL BE PROVIDED AS REQUIRED BY OCCUPANCY.
- ACCESS IS PROVIDED FOR EMERGENCY VEHICLE TO REACH 30m OF ALL PART OF STRUCTURES.

LEGEND

-  APPLICATION SITE
-  STRUCTURE
-  PARKING SPACE
-  LOADING / UNLOADING SPACE
-  INGRESS / EGRESS

PLANNING CONSULTANT



PROJECT

PROPOSED WAREHOUSE (EXCLUDING DANGEROUS GOODS GODOWN) FOR A PERIOD OF 3 YEARS AND ASSOCIATED FILLING OF LAND

SITE LOCATION

LOTS 1222 S.A (PART) AND 1224 S.B IN D.D. 107, FUNG KAT HEUNG, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE

1 : 200 @ A4

DRAWN BY OL DATE 8.8.2023

CHECKED BY DATE

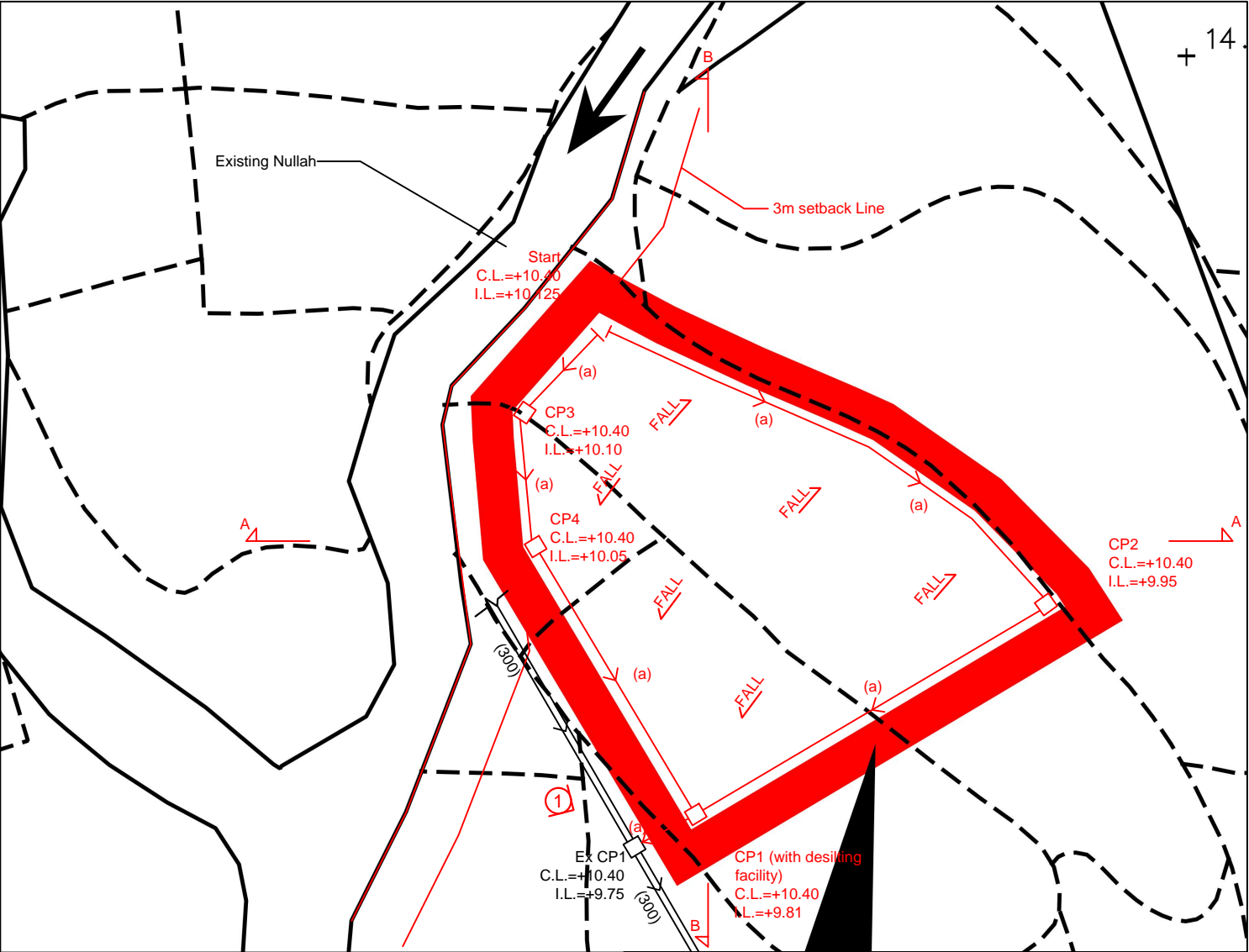
APPROVED BY DATE

DWG. TITLE

FSIs PROPOSAL

DWG NO. APPENDIX I

VER. 001

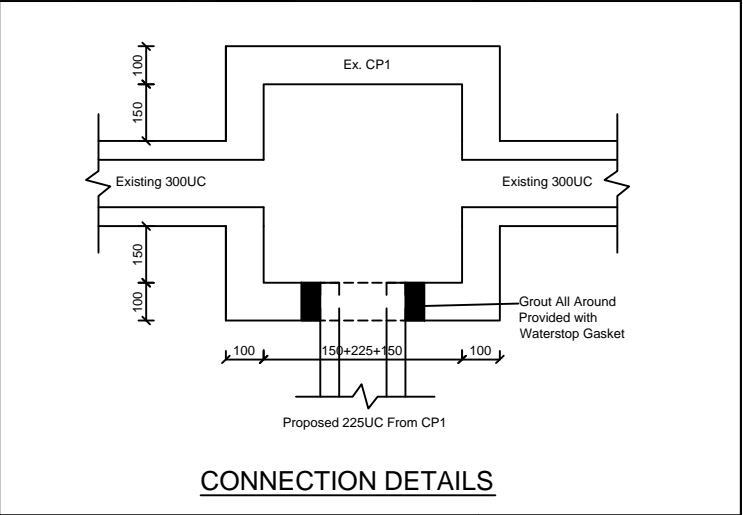


Note:

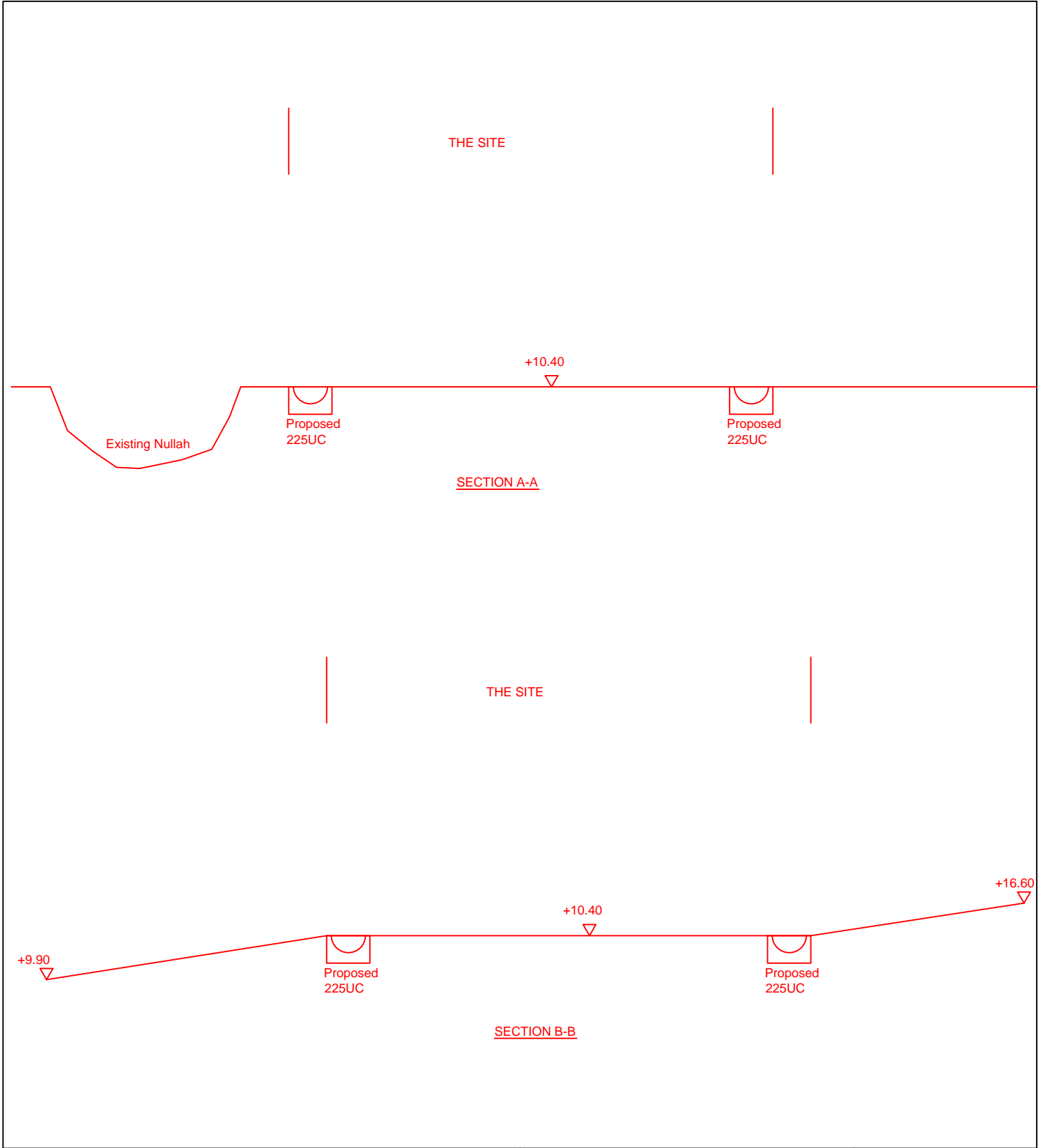
- Catchpits (CP1) with desilting facility shall follow CEDD standard drawing No. C2406I.
- Catchpit and UC follows Typical Details of Geotechnical Manual for Slope Fig.8.10 and Fig.8.11 respectively.
- Adjacent area which is developed or occupied, which has their stormwater collection syste.
- Minor filling works to be carried out. Existing Formation Level is +10.30mPD. Proposed Formation Level is +10.40mPD. The cover level of proposed UC shall be flush with adjoining ground.

LEGEND

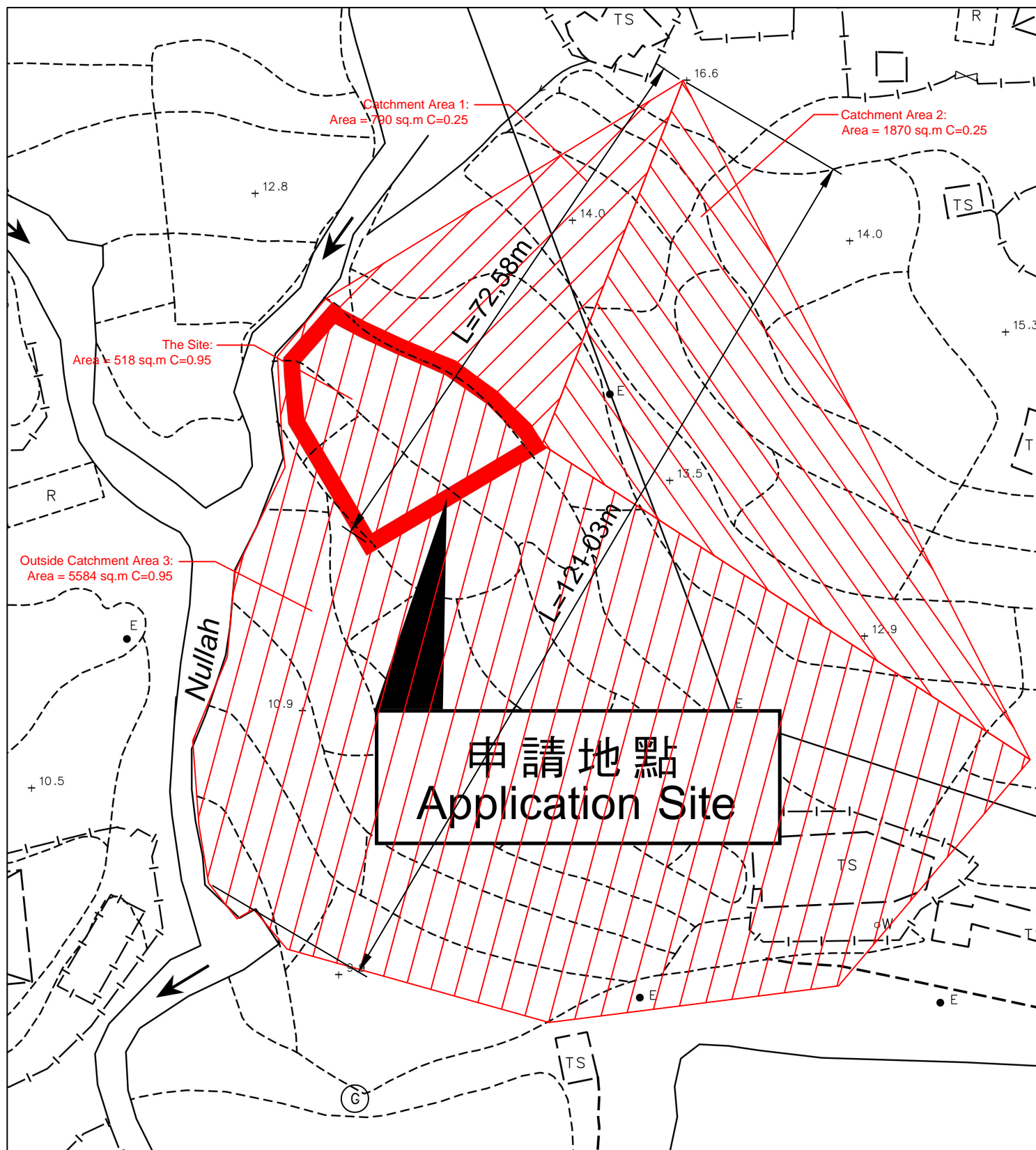
- ☐ CP Proposed CatchPit
- (a) Proposed 225UC (1:150) with Cast Iron Cover
- ☒ CP Existing CatchPit
- (size) Proposed 300UC (1:100) with Cast Iron Cover
- ① Photo Viewport



<div>正宏工程顧問公司</div> <div>CHING WAN ENGINEERING CONSULTANTS CO.</div>	Title:		D01
	Drainage Proposal - LAYOUT		
	Drawn by:	Date:	
Project Proposed Temporary Warehouse (excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of 3 Years and Filling of Land at Lots 1222 S.A (Part) and 1224 S.B in D.D. 107, Fung Kat Heung, Kam Tin, Yuen Long, New Territories	DM		7-11-2024
	Check by:	Scale:	
	DM		----

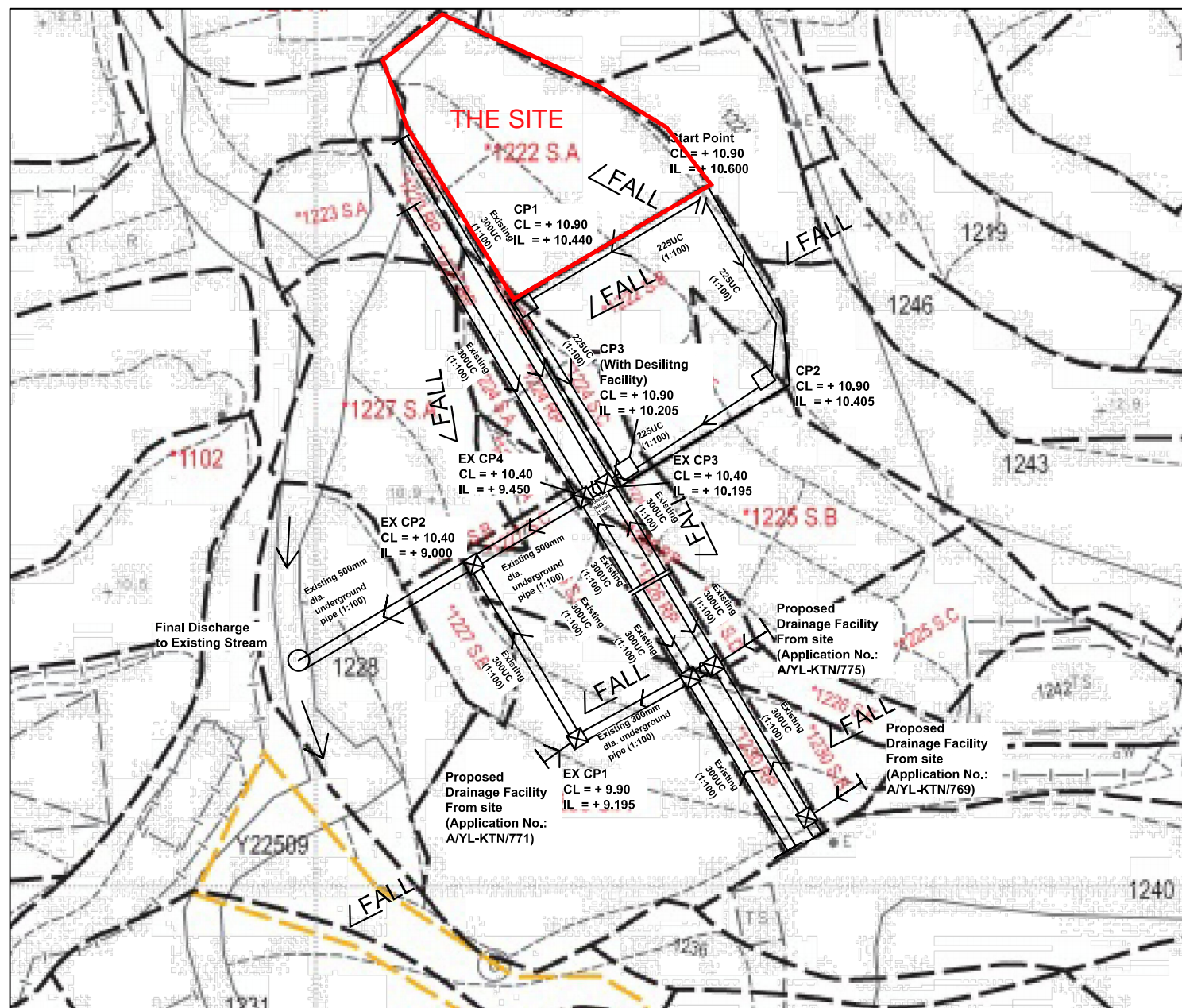


<div>正宏工程顧問公司</div> <div>CHING WAN ENGINEERING CONSULTANTS CO.</div> <div>Project: Proposed Temporary Warehouse (excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of 3 Years and Filling of Land at Lots 1222 S.A (Part) and 1224 S.B in D.D. 107, Fung Kat Heung, Kam Tin, Yuen Long, New Territories</div>	Title: <div>SECTIONS</div>		D02
	Drawn by: <div>DM</div>	Date: <div>7-11-2024</div>	
	Check by: <div>DM</div>	Scale: <div>----</div>	



<p>正宏工程顧問公司</p> <p>CHING WAN ENGINEERING CONSULTANTS CO.</p>	<p>Title:</p> <p>Drainage Proposal (Catchment Area Plan)</p>	<p>D03</p>
<p>Project:</p> <p>Proposed Temporary Warehouse (excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of 3 Years and Filling of Land at Lots 1222 S.A (Part) and 1224 S.B in D.D. 107, Fung Kat Heung, Kam Tin, Yuen Long, New Territories</p>	<p>Drawn by:</p> <p>DM</p>	<p>Date:</p> <p>7-11-2024</p>
	<p>Check by:</p> <p>DM</p>	<p>Scale:</p> <p>---</p>

Approved Drainage Proposal for A/YL-KTN/752) showing the full alignment of the discharge path

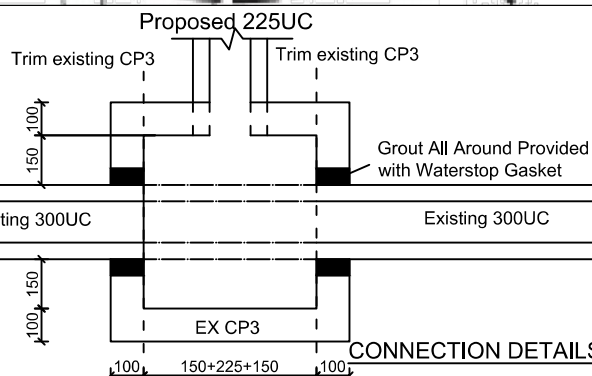


LEGEND

- ☐ CP Proposed CatchPit
- ☐ Proposed UC (1:100) with Cast Iron Cover/underground pipe
- ☒ CP Existing CatchPit
- ☐ Existing Drain

Note:

1. No solid fence wall to be erected.
2. Catchpits (CP3) with desilting facility shall follow CEDD standard drawing No. C24061.
3. Catchpit and UC follows Typical Details of Geotechnical Manual for Slope Fig.8.10 and Fig.8.11 respectively.
4. All proposed u-channel is covered by cast iron



正宏工程顧問公司

CHING WAN ENGINEERING CONSULTANT CO.

Project

Proposed Temporary Animal Boarding Establishment for a period of 5 years and Filling of Land at Lots 1222 S.B, 1224 S.C, and 1225 S.A in D.D. 107, Fung Kat Heung, Kam Tin

(Application No.: A/YL-KTN/752)

Title:

Drainage Proposal

D01

Drawn by:

DM

Date:

19th Jan 2021

Check by:

DM

Scale:

DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	: 518 m ²	(ABOUT)
COVERED AREA	: 222 m ²	(ABOUT)
UNCOVERED AREA	: 294 m ²	(ABOUT)
PLOT RATIO	: 0.43	(ABOUT)
SITE COVERAGE	: 43 %	(ABOUT)
NO. OF STRUCTURE	: 1	(ABOUT)
DOMESTIC GFA	: NOT APPLICABLE	(ABOUT)
NON-DOMESTIC GFA	: 222 m ²	(ABOUT)
TOTAL GFA	: 222 m ²	(ABOUT)
BUILDING HEIGHT	: 8.23 m	(ABOUT)
NO. OF STOREY	: 1	(ABOUT)

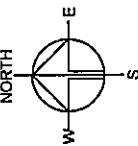
3m setback
line from th bank



INGRESS / EGRESS
7.3m (ABOUT) (W)

PARKING AND LOADING/UNLOADING PROVISION

NO. OF PRIVATE CAR PARKING SPACE	: 1
DIMENSION OF PARKING SPACE	: 5 m (L) X 2.5 m (W)
NO. OF LIGHT GOODS VEHICLE PARKING SPACE	: 1
DIMENSION OF LOADING/UNLOADING SPACE	: 7 m (L) X 3.5 m (W)



STRUCTURE	USE	COVERED AREA	GFA	BUILDING HEIGHT
-----------	-----	--------------	-----	-----------------

B1	WAREHOUSE (EXCLUDING D.G.G.) ANCILLARY OFFICE	222 m ² (ABOUT)	222 m ² (ABOUT)	8.23 m (ABOUT) (1-STOREY)
TOTAL		222 m ² (ABOUT)	222 m ² (ABOUT)	

申請編號 Application No. : A / YL-KTN / 904

此頁摘自申請人提交的文件。

This page is extracted from applicant's submitted documents.

PLANNING CONSULTANT



PROJECT
PROPOSED
WAREHOUSE
(EXCLUDING
DANGEROUS GOODS (G.D.G.))
FOR A PERIOD OF 3 YEARS AND
ASSOCIATED FILLING OF LAND

SITE LOCATION

LOTS 1222 S.A. (PART) AND 1224
S.B. IN D.D. 107, FUNG KAT
HEUNG, KAM TIN, YUEN LONG,
NEW TERRITORIES

SCALE
1:300 @ A4

DRAWN BY	DATE
MN	13.3.2023
CHECKED BY	DATE
APPROVED BY	DATE

DWG. TITLE

LAYOUT PLAN

DRAWN BY

PLAN 4

VER.
001

LEGEND

	APPLICATION SITE
	STRUCTURE
	PARKING SPACE
	LOADING / UNLOADING SPACE
	INGRESS / EGRESS

Design Drain inside the site

$$Q = 0.278 C i A$$

The Site + Catchment Area 1

$$\begin{array}{llll} \text{The Site} & \text{Area} & = & 518 \quad \text{m}^2 \\ & C & = & 0.95 \end{array}$$

$$\begin{array}{llll} \text{Catchment Area 1} & \text{Area} & = & 790 \quad \text{m}^2 \\ & C & = & 0.25 \end{array}$$

$$\begin{array}{llll} \text{Total} & A & = & 518+790 \quad \text{m}^2 \\ & & = & 0.001308 \quad \text{km}^2 \end{array}$$

$$\begin{array}{ll} t & = 0.14465 L/ H^{0.2} A^{0.1} \\ & = 0.14465 * 72.58 / 1^{0.2} * (518+790)^{0.1} \\ & = 5.122 \quad \text{min} \end{array}$$

$$\begin{array}{ll} i & = 1.111 * a / (t+b)^c \quad (10 \text{ yrs return period, Table 3d, Corrigendum 2024, SDM) and (11.1\% increase due to climate change)} \\ & = 1.111 * 454.9 / (5.122+3.44)^{0.412} \\ & = 208.6 \quad \text{mm/hr} \end{array}$$

$$\begin{array}{llll} \text{Therefore, } Q & = & 0.278 * 0.95 * 208.6 * 0.000518 + 0.278 * 0.25 * 208.6 * 0.00079 \\ & = & 0.04000 \quad \text{m}^3/\text{sec} \\ & = & 2400 \quad \text{lit/min} \end{array}$$

Provide 225UC (1:150) is OK**Calculation Maximum Capacity of Existing 500mm dia. underground pipe**

The Site + Catchment Area 1+ Catchment Area 2+ Catchment Area 3

$$\begin{array}{llll} \text{The Site} & \text{Area} & = & 518 \quad \text{m}^2 \\ & C & = & 0.95 \end{array}$$

$$\begin{array}{llll} \text{Catchment Area 1} & \text{Area} & = & 790 \quad \text{m}^2 \\ & C & = & 0.25 \end{array}$$

$$\begin{array}{llll} \text{Catchment Area 2} & \text{Area} & = & 1870 \quad \text{m}^2 \\ & C & = & 0.25 \end{array}$$

$$\begin{array}{llll} \text{Catchment Area 3} & \text{Area} & = & 5584 \quad \text{m}^2 \\ & C & = & 0.95 \end{array}$$

$$\begin{array}{llll} \text{Total} & A & = & 518+790+1870+5584 \quad \text{m}^2 \\ & & = & 0.008762 \quad \text{km}^2 \end{array}$$

$$\begin{array}{ll} t & = 0.14465 L/ H^{0.2} A^{0.1} \\ & = 0.14465 * 121.03 / 1^{0.2} * 8762^{0.1} \\ & = 7.062 \quad \text{min} \end{array}$$

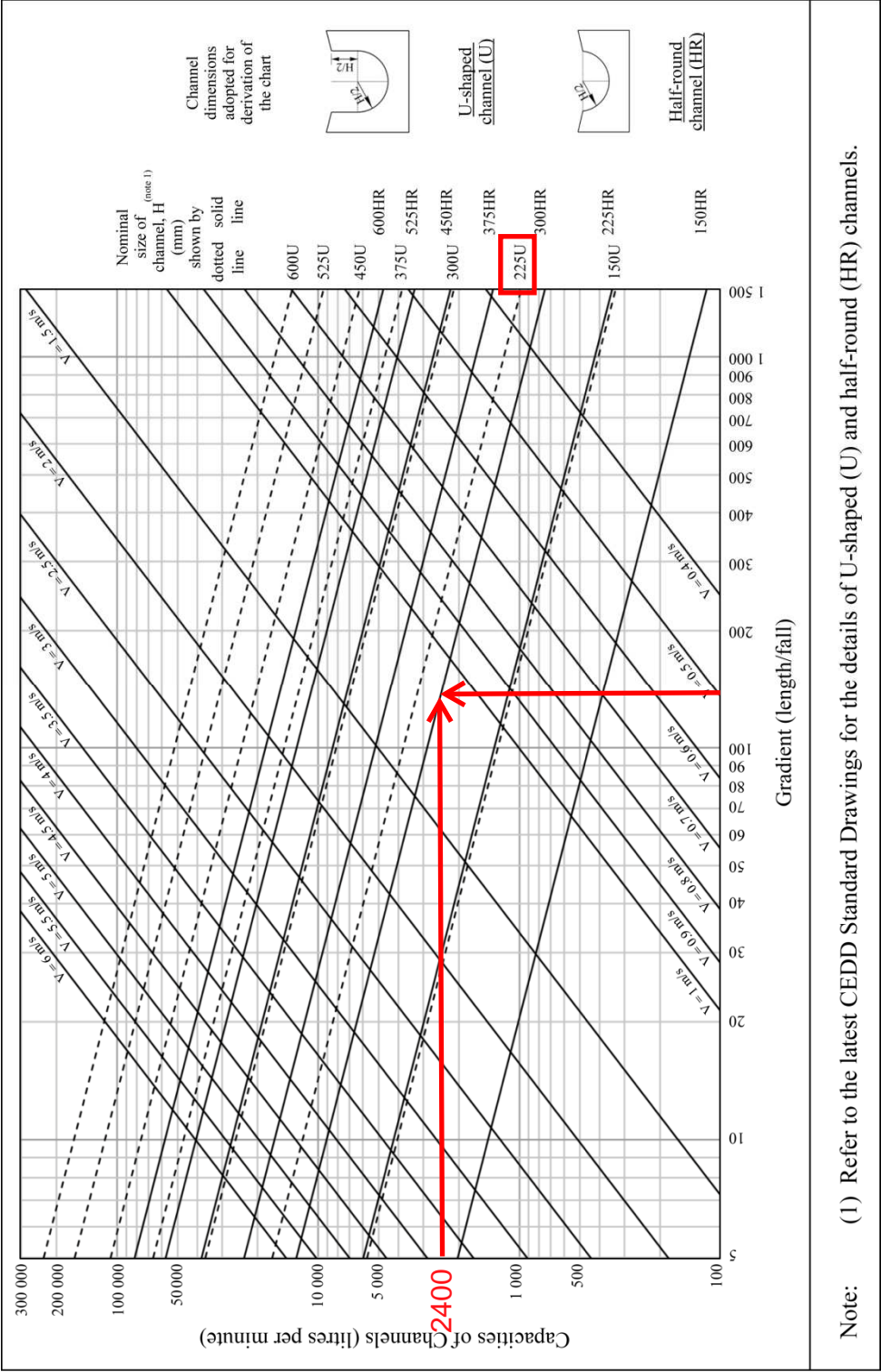
$$\begin{array}{ll} i & = 1.111 * a / (t+b)^c \quad (10 \text{ yrs return period, Table 3d, Corrigendum 2024, SDM) and (11.1\% increase due to climate change)} \\ & = 1.111 * 454.9 / (7.062+3.44)^{0.412} \\ & = 191.8 \quad \text{mm/hr} \end{array}$$

$$\begin{array}{llll} \text{Therefore, } Q & = & 0.278 * 0.95 * 191.8 * (0.000518 + 0.005584) + 0.278 * 0.25 * 191.8 * (0.00079 + 0.00187) \\ & = & 0.34456 \quad \text{m}^3/\text{sec} \\ & = & 20674 \quad \text{lit/min} \end{array}$$

GEO Technical Guidance Note No. 43 (TGN 43)
Guidelines on Hydraulic Design of U-shaped and Half-round Channels on Slopes

Issue No.: 1	Revision: -	Date: 05.06.2014	Page: 3 of 3
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Figure 1 - Chart for the rapid design of U-shaped and half-round channels up to 600 mm



Note: (1) Refer to the latest CEDD Standard Drawings for the details of U-shaped (U) and half-round (HR) channels.

Total Peak runoff in m³/s of the whole site = 20674 liter/min

Check 500mm dia. Pipes by Colebrook-White Equation

$$V = -\sqrt{(8gDs)} \log\left(\frac{ks}{3.7D} + \frac{2.51v}{D\sqrt{(2gDs)}}\right)$$

where :

V	=		mean velocity (m/s)
g	=	9.81 m/s ²	gravitational acceleration (m/s ²)
D	=	0.5 m	internal pipe diameter (m)
ks	=	0.00015 m	hydraulic pipeline roughness (m)
v	=	1.14E-06 m ² /s	kinematic viscosity of fluid (m ² /s)
s	=	0.01	hydraulic gradient

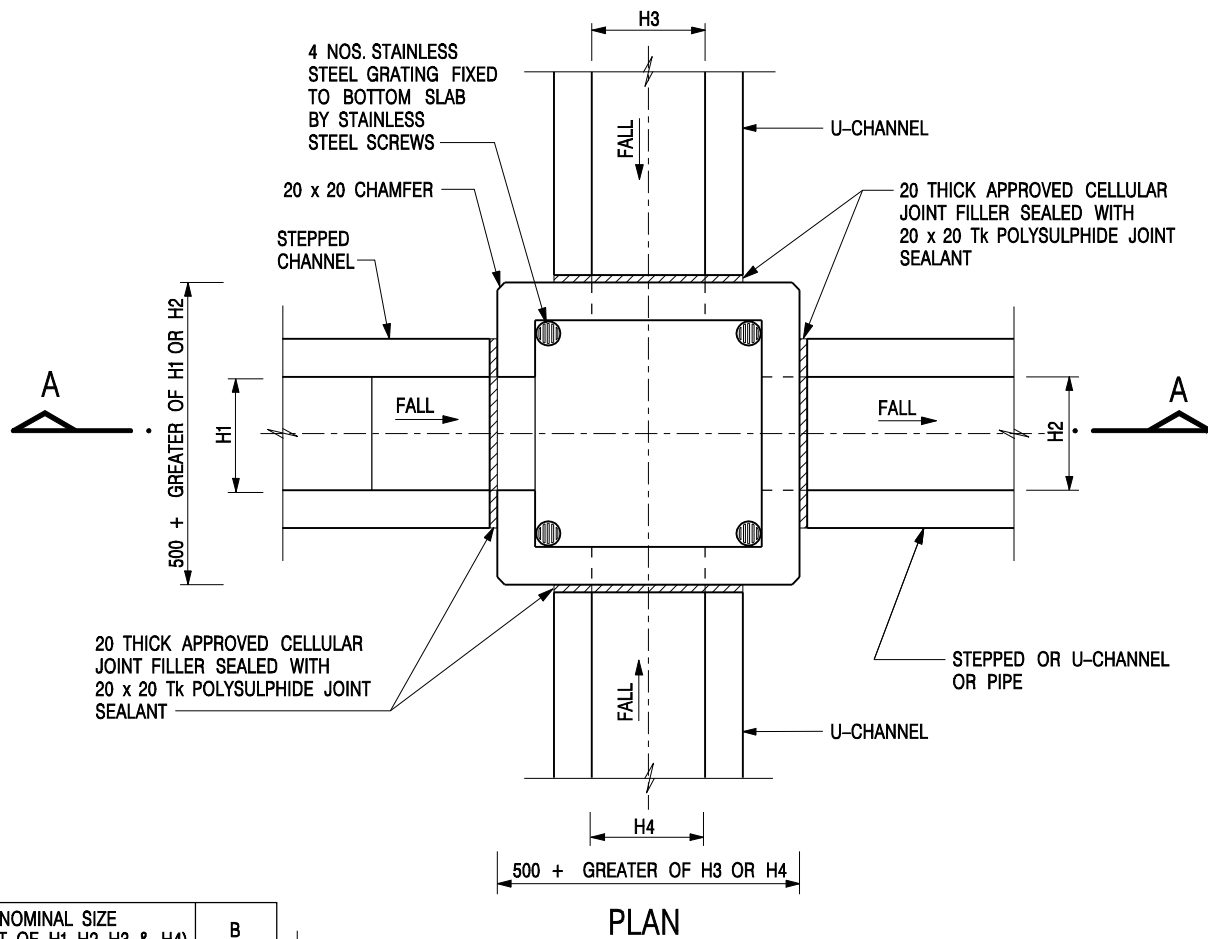
(Table 5, from DSD Sewerage Manual, concrete pipe)

Therefore, design V of pipe capacity	=	2.51 m/s	
Q	=	0.8VA	
	=	0.8*0.25*0.25* π *2.51	
	=	0.393868 lit/min	
	=	23632.07 m ³ /s	
	>	20674 m ³ /s	OK

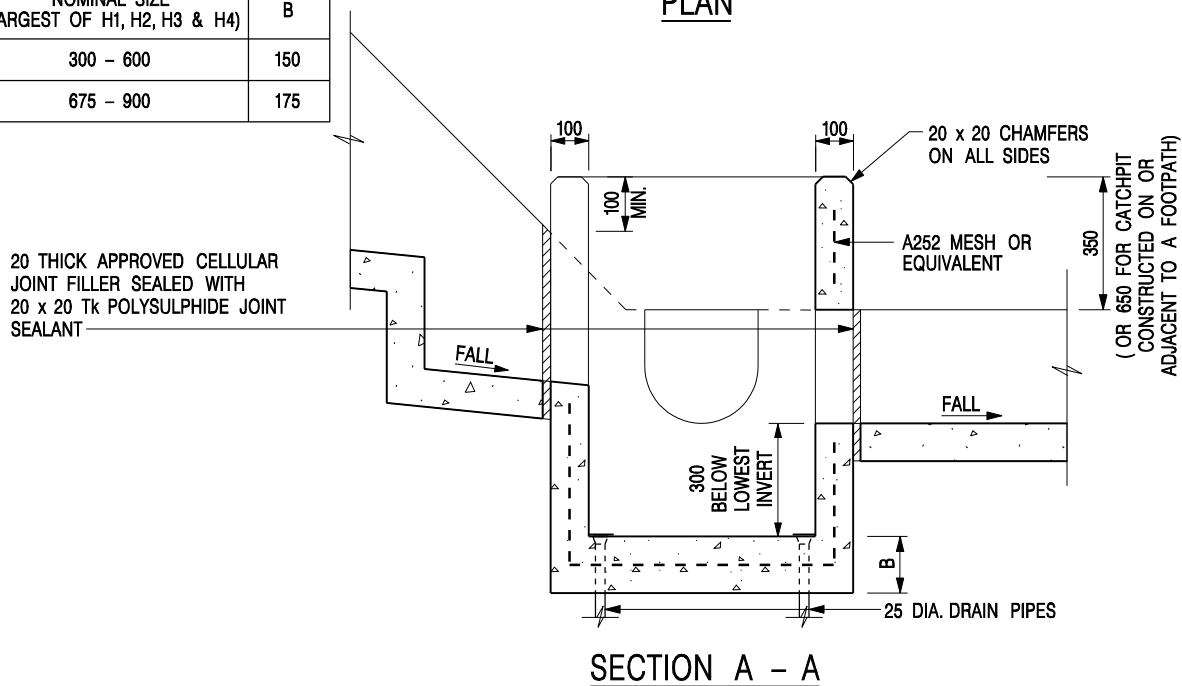
Existing 500mm dia underground pipe is OK

PHOTO 1






NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175

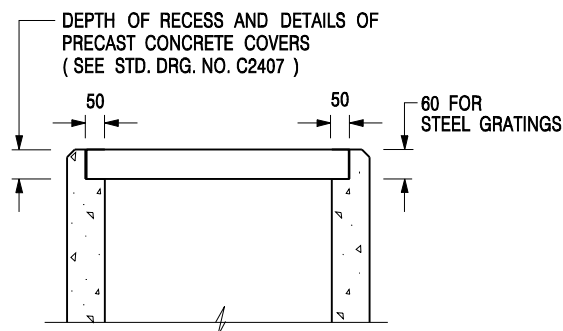


NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 2 FOR OTHER NOTES.

CATCHPIT WITH TRAP
(SHEET 1 OF 2)

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE
 CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT		SCALE 1 : 20	
		DATE JAN 1991	
		DRAWING NO. C2406 /1	



ALTERNATIVE TOP SECTION FOR PRECAST CONCRETE COVERS / GRATINGS

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS (SEE DETAIL 'A' ON STD. DRG. NO. C2405) OR CONCRETE COVERS (SEE STD. DRG. NO. C2407) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING (SEE DETAIL 'G' ON STD. DRG. NO. C2405; EXCEPT ON THE UPSLOPE SIDE) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS (SEE DSD STD. DRG. NO. DS1043) AT 300 c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'F' ON STD. DRG. NO. C2405.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE

**CATCHPIT WITH TRAP
(SHEET 2 OF 2)**



**CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT**

SCALE 1 : 20

DATE JAN 1991

DRAWING NO.

C2406 /2

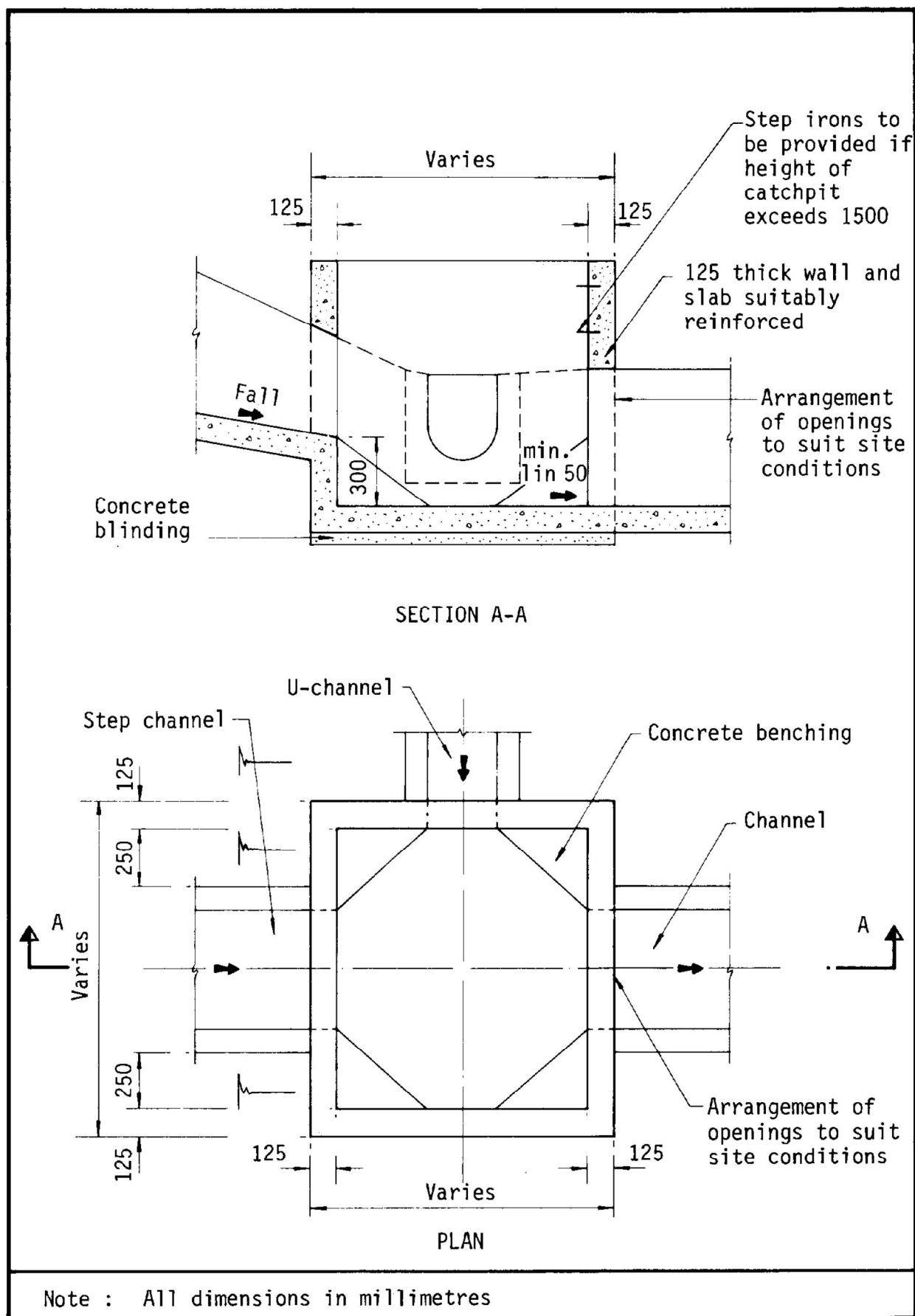
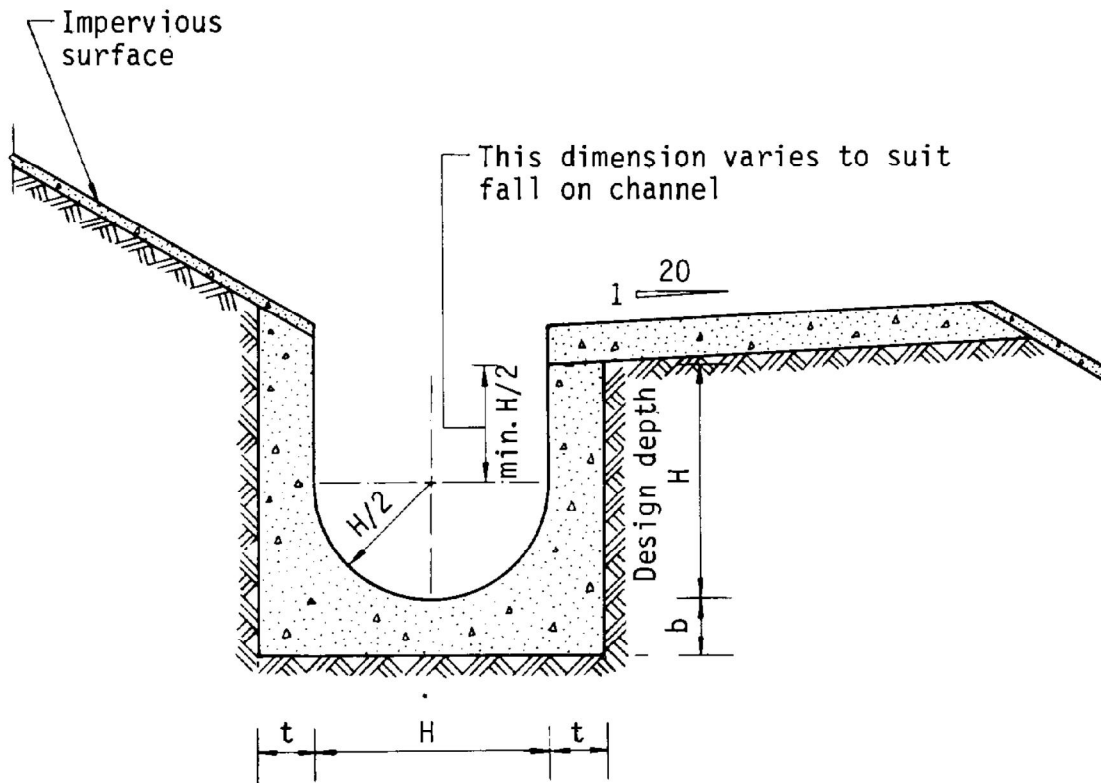


Figure 8.10 - Typical Details of Catchpits



Dimensions of U - channel

Nominal size of channel H (mm)	Thickness t (mm)	Thickness b (mm)
225 to 600	150	150
675 to 1200	175	225

Figure 8.11 - Typical U-channel Details

寄件者: Louis Tse [REDACTED]
寄件日期: 2025年01月08日星期三 17:20
收件者: tpbpd/PLAND
副本: Andrea Wing Yin YAN/PLAND; Jet Sze Jet CHEUNG/PLAND; Bon Tang; Matthew Ng; Christian Chim; Danny Ng; Grace Wong; Kevin Lam
主旨: [SI] S.16 Application No. A/YL-KTN/1083 - Supplementary Information
附件: SI for A_YL-KTN_1083 (20250108).pdf
類別: Internet Email

Dear Sir,

In support of the captioned application, we write to submit supplementary information for the consideration of the Town Planning Board.

Should you require more information, please do not hesitate to contact us. Thank you for your kind attention.

Kind Regards,

Louis TSE | Town Planner
R-riches Group (HK) Limited

R-riches Property Consultants Limited | R-riches Planning Limited | R-riches Construction Limited



Our Ref. : DD 107 Lot 1222 S.A & 1224 S.B
Your Ref. : TPB/A/YL-KTN/1083

The Secretary,
Town Planning Board,
15/F, North Point Government Offices,
333 Java Road,
North Point, Hong Kong

By Email

8 January 2025

Dear Sir,

Supplementary Information

**Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities
for a Period of 3 Years and Associated Filling of Land in "Agriculture" Zone,
Lots 1222 S.A (Part) and 1224 S.B in D.D. 107, Fung Kat Heung, Kam Tin, Yuen Long, N. T.**

(S.16 Planning Application No. A/YL-KTN/1083)

We write to provide supplementary information for the captioned application (**Appendix I**).

Should you require more information regarding the application, please contact the undersigned or Mr. Danny NG at [REDACTED] at your convenience. Thank you for your kind attention.

Yours faithfully,

For and on behalf of
R-riches Property Consultants Limited

Louis TSE
Town Planner

cc DPO/FSYLE, Pland

(Attn.: Ms. Andrea YAN
(Attn.: Mr. Jet CHEUNG

email: awyyan@pland.gov.hk)
email: jsjcheung@pland.gov.hk)



Supplementary Information

**Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities
for a Period of 3 Years and Associated Filling of Land in “Agriculture” Zone,
Lots 1222 S.A (Part) and 1224 S.B in D.D. 107, Fung Kat Heung, Kam Tin, Yuen Long, N. T.**

(Application No. A/YL-KTN/1083)

- (i) The applicant provides the following supplementary information for the application:
- the proposed warehouse serves to provide space for indoor storage of construction materials (e.g. bricks, tiles, glass, etc.) and machinery (e.g. excavators, cranes, etc.);
 - no open storage activities will be carried out at the application site at any time during the planning approval period.

寄件者: Louis Tse [REDACTED]
寄件日期: 2025年02月17日星期一 14:00
收件者: tpbpd/PLAND
副本: David Chi Chiu CHENG/PLAND; Andrea Wing Yin YAN/PLAND; Jet Sze Jet
CHEUNG/PLAND; Bon Tang; Matthew Ng; Christian Chim; Danny Ng; Grace Wong; Kevin
Lam
主旨: [FI] S.16 Application No. A/YL-KTN/1083 - FI to address departmental comments
附件: FI1 for A_YL-KTN_1083 (20250217).pdf
類別: Internet Email

Dear Sir,

Attached herewith the further information to address departmental comments of the subject application.

Should you require more information, please do not hesitate to contact me. Thank you for your kind attention.

Kind Regards,

Louis TSE | Town Planner
R-riches Group (HK) Limited

R-riches Property Consultants Limited | R-riches Planning Limited | R-riches Construction Limited
[REDACTED]

Our Ref. : DD107 Lot 1222 S.A & 1224 S.B
Your Ref. : TPB/A/YL-KTN/1083

The Secretary,
Town Planning Board,
15/F, North Point Government Offices,
333 Java Road,
North Point, Hong Kong

By Email

17 February 2025

Dear Sir,

1st Further Information

**Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities
for a Period of 3 Years and Associated Filling of Land in "Agriculture" Zone,
Lots 1222 S.A (Part) and 1224 S.B in D.D. 107, Fung Kat Heung, Kam Tin, Yuen Long, N. T.**

(S.16 Planning Application No. A/YL-KTN/1083)

We are writing to submit further information to address departmental comments on the subject application (**Appendix I**).

Should you require more information regarding the application, please contact our Mr. Danny NG at [REDACTED] or the undersigned at your convenience. Thank you for your kind attention.

Yours faithfully,

For and on behalf of
R-riches Property Consultants Limited



Louis TSE
Town Planner

cc DPO/FSYLE, Pland

(Attn.: Mr. David CHENG
(Attn.: Mr. Jet CHEUNG

email: dcccheng@pland.gov.hk)
email: jsjcheung@pland.gov.hk)



Responses-to-Comments

**Proposed Temporary Warehouse (excluding Dangerous Goods Godown) with Ancillary Facilities
for a Period of 3 Years and Associated Filling of Land in “Agriculture” Zone,
Lots 1222 S.A (Part) and 1224 S.B in D.D. 107, Fung Kat Heung, Kam Tin, Yuen Long, N. T.**

(Application No. A/YL-KTN/1083)

- (i) A fire service installations proposal is provided by the applicant to support the application (**Annex I**). When compared with the previous application (No. A/YL-KTN/904), all development parameters remain unchanged.
- (ii) A RtoC Table:

Departmental Comments		Applicant's Responses
1. Comments of the Director of Agriculture, Fisheries and Conservation (DAFC) (Contact Person: Ms. WONG Cheuk Ling; Tel.: 2150 6933)		
(a)	There is a watercourse located to the west of the subject site. The applicant shall clarify whether any measure will be implemented to avoid disturbance to the watercourse nearby.	<p>The whole application site has already been hard paved. The applicant will strictly follow the proposed scheme, and no further filling of land will be carried out to avoid any disturbance to the watercourse nearby. Fencing will also be erected along the site boundary to avoid overflow of surface runoff into the adjacent watercourse.</p> <p>A drainage proposal has been submitted by the applicant to provide mitigation measures. The increase in surface runoff generated by the proposed development is estimated to be minimal and will be discharged by drainage u-channels. Disturbance to the adjacent watercourse is therefore not anticipated.</p>

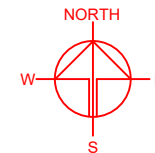
DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	: 516 m ²	(ABOUT)
COVERED AREA	: 222 m ²	(ABOUT)
UNCOVERED AREA	: 294 m ²	(ABOUT)
PLOT RATIO	: 0.43	(ABOUT)
SITE COVERAGE	: 43 %	(ABOUT)
NO. OF STRUCTURE	: 1	
DOMESTIC GFA	: NOT APPLICABLE	
NON-DOMESTIC GFA	: 222 m ²	(ABOUT)
TOTAL GFA	: 222 m ²	(ABOUT)
BUILDING HEIGHT	: 8.23 m	(ABOUT)
NO. OF STOREY	: 1	

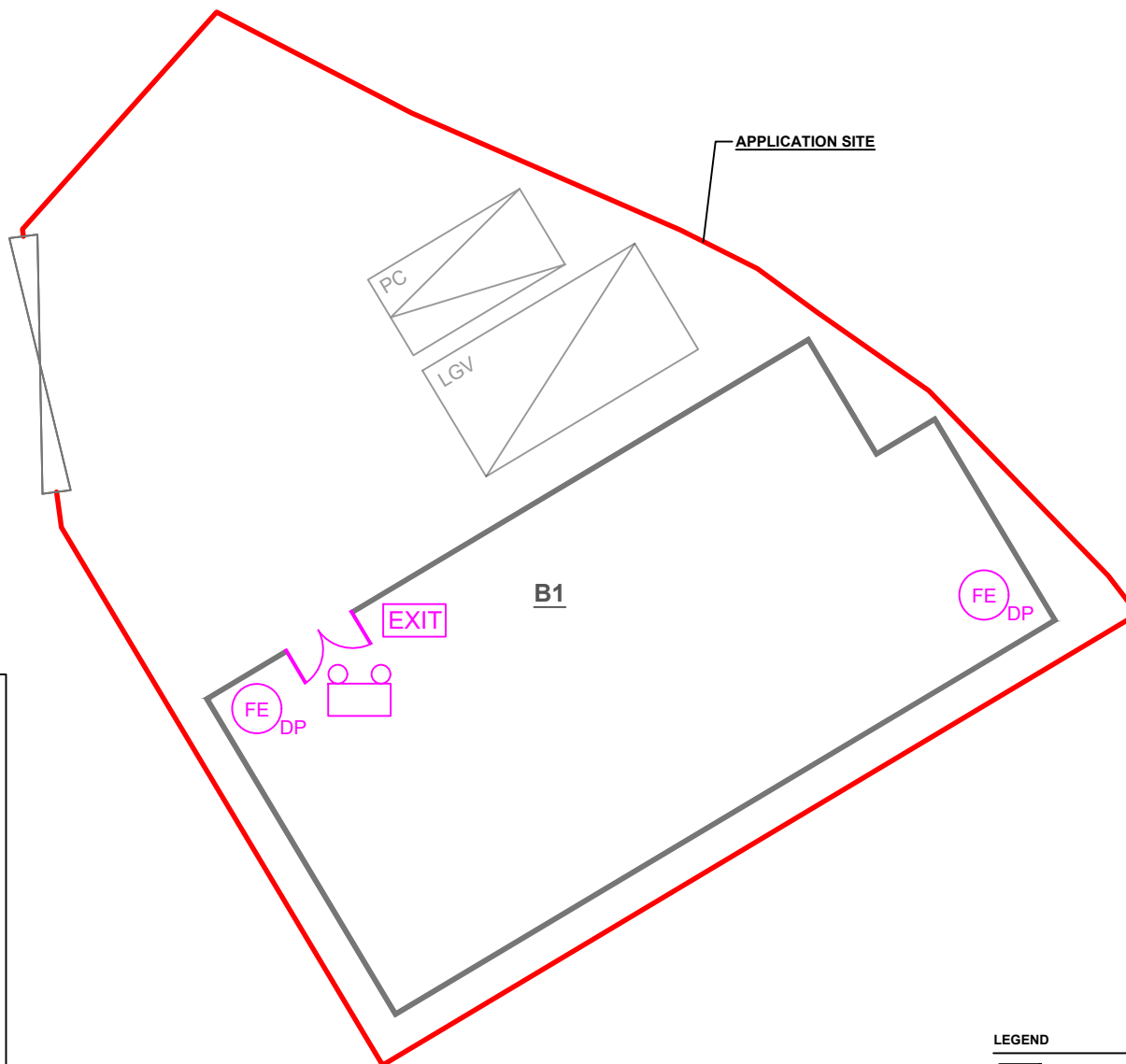
PARKING AND LOADING/UNLOADING PROVISION

NO. OF PRIVATE CAR	: 1
PARKING SPACE	: 1
DIMENSION OF PARKING SPACE	: 5 m (L) X 2.5 m (W)
NO. OF LIGHT GOODS	: 1
VEHICLE PARKING SPACE	: 1
DIMENSION OF	
LOADING/UNLOADING SPACE	: 7 m (L) X 3.5 m (W)

STRUCTURE	USE	COVERED AREA	GFA	BUILDING HEIGHT
B1	WAREHOUSE (EXCLUDING D.G.G.) ANCILLARY OFFICE	222 m ² (ABOUT)	222 m ² (ABOUT)	8.23 m (ABOUT)(1-STOREY)
TOTAL		222 m ² (ABOUT)	222 m ² (ABOUT)	



INGRESS / EGRESS
7.3m (ABOUT)(W)



FIRE SERVICE INSTALLATIONS

	EXIT SIGN
	EMERGENCY LIGHTING
	5 KG DRY POWDER TYPE FIRE EXTINGUISHER

FS NOTES:

- SUFFICIENT EMERGENCY LIGHTING SHALL BE PROVIDED THROUGHOUT THE ENTIRE BUILDING IN ACCORDANCE WITH BS5266-1:2016 AND BS EN1838:2013 AND FSD CIRCULAR LETTER NO. 4/2021
- SUFFICIENT DIRECTIONAL AND EXIT SIGN SHALL BE PROVIDED IN ACCORDANCE WITH BS5266-1: 2016 AND FSD CIRCULAR LETTER No. 5/2008.
- PORTABLE HAND-OPERATED APPROVED APPLIANCE SHALL BE PROVIDED AS REQUIRED BY OCCUPANCY.
- ACCESS IS PROVIDED FOR EMERGENCY VEHICLE TO REACH 30m OF ALL PART OF STRUCTURES.

LEGEND

	APPLICATION SITE
	STRUCTURE
	PARKING SPACE
	LOADING / UNLOADING SPACE
	INGRESS / EGRESS

PLANNING CONSULTANT



PROJECT

PROPOSED WAREHOUSE (EXCLUDING DANGEROUS GOODS GODOWN) FOR A PERIOD OF 3 YEARS AND ASSOCIATED FILLING OF LAND

APPLICATION NO. A/YL-KTN/1083

SITE LOCATION

LOTS 1222 S.A (PART) AND 1224 S.B IN D.D. 107, FUNG KAT HEUNG, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE

1 : 200 @ A4

DRAWN BY LT	DATE 7.2.2025
CHECKED BY	DATE
APPROVED BY	DATE
DWG. TITLE FSIs PROPOSAL	
DWG NO. ANNEX I	VER. 001

Previous s.16 Applications covering the Application Site (the Site)

Approved Applications

	Application No.	Use/Development	Date of Consideration
1.	A/YL-KTN/745	Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) for a Period of Five Years and Filling of Land	5.2.2021 [revoked on 5.2.2022]
2.	A/YL-KTN/814	Proposed Temporary Animal Boarding Establishment for a Period of Five Years	18.2.2022 [revoked on 8.11.2023]
3.	A/YL-KTN/904	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of Three Years and Filling of Land	19.5.2023 [revoked on 19.11.2024]

Similar s.16 Applications within the same “AGR” Zone on the OZP in the Vicinity of the Site in the Past Five Years

Approved Applications

	Application No.	Use/Development	Date of Consideration
1.	A/YL-KTN/709	Renewal of Planning Approval for Temporary Warehouse for Musical Instruments, Posters, Documents and Ancillary Caretaker's Office for a Period of Three Years	12.6.2020
2.	A/YL-KTN/824	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) for a Period of Three Years and Filling of Land	6.5.2022 [revoked on 6.2.2024]
3.	A/YL-KTN/852	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) for a Period of Three Years and Filling of Land	23.9.2022 [revoked on 23.3.2024]
4.	A/YL-KTN/890	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) for a Period of Three Years and Filling of Land	31.3.2023 [revoked on 30.9.2024]
5.	A/YL-KTN/898	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) for a Period of Three Years and Filling of Land	21.4.2023 [revoked on 21.1.2024]

	Application No.	Use/Development	Date of Consideration
6.	A/YL-KTN/905	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) for a Period of Three Years and Filling of Land	19.5.2023 [revoked on 19.11.2024]
7.	A/YL-KTN/907	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of Three Years and Filling of Land	13.10.2023
8.	A/YL-KTN/920	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of Three Years and Filling of Land	28.7.2023
9.	A/YL-KTN/937	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of Three Years and Filling of Land	25.8.2023
10.	A/YL-KTN/938	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of Three Years and Filling of Land	25.8.2023 [revoked on 25.8.2024]
11.	A/YL-KTN/939	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of Three Years and Filling of Land	25.8.2023
12.	A/YL-KTN/951	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of Three Years and Filling of Land	8.12.2023
13.	A/YL-KTN/953	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of Three Years and Filling of Land	8.12.2023
14.	A/YL-KTN/955	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of Three Years and Filling of Land	27.10.2023
15.	A/YL-KTN/957	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a	27.10.2023

	Application No.	Use/Development	Date of Consideration
		Period of Three Years and Filling of Land	
16.	A/YL-KTN/963	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of Three Years and Filling of Land	8.12.2023
17.	A/YL-KTN/975	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of Three Years and Filling of Land	26.1.2024
18.	A/YL-KTN/979	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of Three Years and Filling of Land and Pond	5.7.2024
19.	A/YL-KTN/992	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of Three Years and Filling of Land	5.4.2024
20.	A/YL-KTN/993	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of Three Years and Associated Filling of Land	5.4.2024
21.	A/YL-KTN/995	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of Three Years and Associated Filling of Land	5.4.2024
22.	A/YL-KTN/996	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities for a Period of Three Years and Associated Filling of Land	19.4.2024
23.	A/YL-KTN/1004	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) for a Period of Three Years and Associated Filling of Land and Pond	25.10.2024
24.	A/YL-KTN/1005	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) for a Period of Three Years and Associated Filling of Land	4.10.2024

	Application No.	Use/Development	Date of Consideration
25.	A/YL-KTN/1017	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) for a Period of Three Years and Associated Filling of Land	25.10.2024
26.	A/YL-KTN/1027	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) for a Period of Three Years and Associated Filling of Land	6.12.2024
27.	A/YL-KTN/1031	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) for a Period of Three Years and Associated Filling of Land	22.11.2024
28.	A/YL-KTN/1033	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) for a Period of Three Years and Associated Filling of Land	22.11.2024
29.	A/YL-KTN/1040	Temporary Open Storage for Construction Materials and Warehouse for a Period of Three Years and Associated Filling of Land	20.9.2024
30.	A/YL-KTN/1050	Temporary Open Storage and Warehouse for Construction Materials and Machineries for a Period of Three Years and Associated Filling of Land	24.1.2025
31.	A/YL-KTN/1052	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) for a Period of Three Years and Associated Filling of Land	8.11.2024
32.	A/YL-KTN/1054	Proposed Temporary Warehouse and Open Storage of Construction Materials and Machineries for a Period of Three Years and Associated Filling of Land	22.11.2024

Government Departments' General Comments

1. Land Administration

Comments of the District Lands Officer/Yuen Long, Lands Department (LandsD):

- no adverse comment on the application;
- the application site (the Site) comprises Old Schedule Agricultural Lot Nos. 1222 S.A and 1224 S.B both in D.D. 107 held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government; and
- detailed advisory comments are at **Appendix IV**.

2. Traffic

Comments of the Commissioner for Transport:

- no adverse comment on the application from traffic engineering perspective; and
- detailed advisory comments are at **Appendix IV**.

Comments of the Chief Highway Engineer/New Territories West, Highways Department:

- no in-principle objection to the application from highways maintenance perspective; and
- detailed advisory comments are at **Appendix IV**.

3. Drainage

Comments of the Chief Engineer/Mainland North, Drainage Services Department:

- no in-principle objection to the application from public drainage point of view;
- should the application be approved, conditions should be stipulated requiring the submission of a revised drainage proposal and the implementation and maintenance of the revised drainage proposal for the development to the satisfaction of the Director of Drainage Services or of the Town Planning Board; and
- detailed advisory comments are at **Appendix IV**.

4. Environment

Comments of the Director of Environmental Protection:

- no objection to the application;
- based on the information provided, the proposed use would not involve use of heavy

vehicle and dusty operation. According to desktop review, there are residential structures within 100m from the boundary of the Site;

- there was no environmental complaint received against the Site in the past three years; and
- detailed advisory comments are at **Appendix IV**.

5. **Fire Safety**

Comments of the Director of Fire Services:

- no in-principle objection to the application subject to fire service installations (FSIs) being provided to his satisfaction;
- the submitted FSIs proposal is considered acceptable; and
- detailed advisory comments are at **Appendix IV**.

6. **Landscape Aspect**

Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department:

- no adverse comment on the application from landscape planning perspective; and
- based on the aerial photo of 2024, the Site is located in a rural landscape character comprising farmland, vacant land, temporary structures and scattered tree groups. Comparing the aerial photos of 2022 and 2024, there is no significant change to the landscape character of the surrounding area since the last application was approved. According to the proposed layout, there is no significant change in the layout. Further significant adverse landscape impact within the Site arising from the proposed use is not anticipated.

7. **Building Matters**

Comments of the Chief Building Surveyor/New Territories West, Buildings Department:

- no objection to the application; and
- detailed advisory comments are at **Appendix IV**.

8. **District Officer's Comments**

Comments of the District Officer (Yuen Long), Home Affairs Department:

- his office has not received any local's comment on the application.

9. **Other Departments**

The following government departments have no objection to/no comment on the application and their advisory comments, if any, are at **Appendix IV**:

- Project Manager (West), Civil Engineering and Development Department;
- Chief Engineer/Construction, Water Supplies Department; and
- Director of Electrical and Mechanical Services.

Recommended Advisory Clauses

- (a) failure to reinstate the application site (the Site) as required under the relevant approval condition upon expiry of the planning permission might constitute an unauthorized development under the Town Planning Ordinance and be subject to enforcement and prosecution actions;
- (b) the permission is given to the development and structures under application. It does not condone any other development and structures which currently occur on the Site but not covered by the application. Immediate action should be taken to discontinue such development and remove such structures not covered by the permission;
- (c) should the applicant fail to comply with any of the approval conditions again resulting in revocation of the planning permission, sympathetic consideration may not be given by the Rural and New Town Planning Committee or the Town Planning Board to any further application;
- (d) to note the comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD) that:
 - Lot No. 1222 S.A in D.D. 107 is covered by Short Term Waiver (STW) No. 5523 for the purpose of “Temporary Animal Boarding Establishment and Ancillary Uses as may be approved by DLO”; and
 - the STW holder(s) will need to apply to his office for modification of the STW conditions where appropriate and the lot owner(s) shall apply to his office for a STW to permit the structure(s) erected within Lot No. 1224 S.B in D.D. 107. The application(s) for STW will be considered by the Government in its capacity as a landlord and there is no guarantee that they will be approved. The STW, if approved, will be subject to such terms and conditions including the payment of waiver fee and administrative fee as considered appropriate by LandsD. Besides, given the proposed use is temporary in nature, only erection of temporary structure(s) will be considered;
- (e) to note the comments of the Commissioner for Transport that:
 - the Site is connected to the public road network via a section of a local access road which is not managed by the Transport Department. The land status of the local access road should be checked with LandsD. Moreover, the management and maintenance responsibilities of the local access road should be clarified with the relevant lands and maintenance authorities accordingly. Sufficient manoeuvring space shall be provided within the Site. No vehicle is allowed to queue back to or reverse onto/from public road at any time during the planning approval period;
- (f) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (HyD) that:
 - HyD shall not be responsible for the maintenance of the proposed access connecting the Site (i.e. Mei Fung Road, Fung Kat Heung Road and the local access road). Mei Fung Road and Fung Kat Heung Road are not maintained by HyD; and

- adequate drainage measures shall be provided to prevent surface water running from the Site to the nearby public roads and drains;

(g) to note the comments of the Director of Environmental Protection that:

- the applicant is advised to:
 - i. follow the revised 'Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites';
 - ii. follow the relevant guidelines and requirements in relevant Professional Persons Environmental Consultative Committee Practice Notes (ProPECCPNs), in particular the ProPECC PN 1/23 'Drainage Plans subject to Comment by the Environmental Protection Department';
 - iii. provide adequate supporting infrastructure/facilities for proper collection, treatment and disposal of waste/wastewater generated from the proposed use; and
 - iv. meet the statutory requirements under relevant environmental legislation;

(h) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department (DSD):

- the following comments on the submitted drainage proposal:
 - i. please make reference to the latest Technical Note No. 1 – Technical Note to prepare a Drainage Submission issued by DSD for more details in preparing the drainage proposal;
 - ii. according to Stormwater Drainage Manual, the impact of a 50-year event should be assessed. Please review the size of proposed u-channel;
 - iii. check 500mm dia. Pipes by Colebrook-White Equation – Please advise why a factor of 0.8 was applied;
 - iv. sections – All ground levels of adjacent sites should be provided;
 - v. sections – The proposed fencing wall/hoarding with adequate opening should be provided and shown on sections;
 - vi. please advise if any site formation/land filling works to be carried out under the application. Please note that the overland flow from the adjacent lands should not be affected;
 - vii. the existing drainage facilities, to which the stormwater of the development from the Site would discharge, are not maintained by his office. The applicant should identify the owner of the existing drainage facilities to which the proposed connection will be made. Also, DSD noticed that the proposed drainage connection(s) to the surrounding/downstream area(s) will run through other private lot(s). The applicant shall demonstrate that the proposed drainage construction/improvement /modification works and the operation of the drainage can be practicably implemented;

- viii. please clarify whether any walls or hoarding would be erected along the site boundary. Where walls or hoarding are erected/laid along the site boundary, adequate opening should be provided to intercept the existing overland flow passing through the Site;
 - ix. the development should neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent areas, etc.; and
 - x. the applicant(s) shall resolve any conflict/disagreement with relevant lot owner(s) and seek LandsD's permission for laying new drains/channels and/or modifying/upgrading existing ones in other private lots or on Government land (where required) outside the Site;
- (i) to note the comments of the Director of Fire Services (D of FS) that:
- the installation/maintenance/modification/repair work of fire service installations shall be undertaken by a Registered Fire Service Installation Contractor (RFSIC). The RFSIC shall after completion of the installation/maintenance/modification/repair work issue to the person on whose instruction the work was undertaken a certificate (F.S. 251) and forward a copy of the certificate to D of FS; and
 - if the proposed structures are required to comply with the Buildings Ordinance (BO) (Cap. 123), detailed fire services requirements will be formulated upon receipt of formal submission of general building plans;
- (j) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (BD) that:
- it is noted that one structure is proposed in the application. Before any new building works (including containers/open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent of the Building Authority (BA) should be obtained, otherwise they are unauthorized building works (UBW) under the BO. An Authorized Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO;
 - the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
 - the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at building plan submission stage;
 - for UBW erected on leased land, enforcement action may be taken by BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;
 - any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings are subject to the control of Part VII of the B(P)R; and
 - detailed checking under the BO will be carried out at building plan submission stage.

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy

From: [REDACTED]
Sent: 2025-02-03 星期一 03:41:39
To: tpbpd/PLAND <tpbpd@pland.gov.hk>; Enquiry CEO/CEO
<ceo@ceo.gov.hk>
Subject: A/YL-KTN/1083 DD 107 Fung Kat Heung
Attachment: A_YL_KTN_904_30 Apr 2023.pdf

A/YL-KTN/1083

Lots 1222 S.A (Part) and 1224 S.B in D.D. 107, Fung Kat Heung

Site area: About 516sq.m

Zoning: "Agriculture"

Applied use: Warehouse / 2 Vehicle Parking / **Associated Filling of Land**

Dear TPB Members,

Here we have an operation that has been stringing government depts along for years via applications for Hobby Farm and Animal Boarding when it was been clear all along that the intended use is brownfield.

This has been achieved with the support of PlanD and the rubberstamp streamline process whereby legitimate objections put forward by the community are brushed aside by PlanD and IGNORED by members of the board. See ATTACHED,

904 was approved 19 May 2023 but conditions not fulfilled, surprise, surprise, so back for another roll over.

Again, I would point out that the CE appoints the board. It is the duty of members to make independent assessment of the particulars relating to each application. Yet it continues to rubberstamp approval for operations that are PUTTING THE COMMUNITY AT RISK via failure to comply with basic conditions, particularly FIRE and DRAINAGE.

The function of TPB has now become nothing more than a farce. The application should be rejected but of course it will be rubber stamped together with many other dodgy operations.

Mary Mulvihill

☐ Urgent ☐ Return Receipt Requested ☐ Sign ☐ Encrypt ☐ Mark Subject Restricted ☐ Expand personal&publ



A/YL-KTN/904 DD 107 Fung Kat Hung
30/04/2023 03:26

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
File Ref:

Dear TPB Members,

So now we go full cycle, the road to brownfield, Hobby Farm, conditions not fulfilled, so then its Animal Boarding, again, surprise, surprise, conditions not fulfilled.

But plenty of time to trash the land and fill in.

So finally having exhausted the easy options that PlanD invariably supports and members endorse without asking any questions, we have the true intention, a warehouse and 2 vehicle parking.

Are you now going to reward the applicant despite the fact that there is no previous approval for storage and there is no justification in allowing it on 'AG' zone as the application does not comply with the Town Planning Board (TPB) Guidelines for Application for Open Storage and Port Back-up Uses under Section 16 of the Town Planning Ordinance (TPB PG-No.13E)

Mary Mulvihill

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
Date: Sunday, 23 January 2022 3:24 AM CST
Subject: Re: A/YL-KTN/771 DD 107 Fung Kat Hung

A/YL-KTN/814

Lots 1222 S.A (Part) and 1224 S.B in D.D.107, Fung Kat Heung, Kam Tin

Site area : About 516sq.m

Zoning : "Agriculture"

Applied use : Animal Boarding Establishment / 5 Years / Filling of Land / 3 Vehicle Parking

Dear TPB Members,

Another part of the jig-saw puzzle. Members **without asking any questions** approved

769 –and 771 : There were also 28 similar applications for temporary animal boarding establishment on 19 sites and four similar applications involving filling of land within the same "AGR" zone

This is despite all the reports about abuse of animals, puppy mills, and now we have Covid infections at caged animal facilities.

I heard how the members of the Appeal Board make site visits to check out the actual conditions.

It is high time that TPB members from time to time make random inspections of areas with a lot of suspect activities to ensure that they are not responsible for encouraging unacceptable operations.

Note that the previous approvals have not yet complied with conditions.

Mary Mulvihill

From: [REDACTED]
To: tpbbpd <tpbbpd@pland.gov.hk>
Date: Friday, 18 June 2021 3:48 AM CST
Subject: A/YL-KTN/771 DD 107 Fung Kat Hung

A/YL-KTN/771

Lots 1226 S.C, 1227 S.B, 1227 S.C and 1230 S.A in D.D.107, Fung Kat Heung, Kam Tin

Site area : About 1,270sq.m

Zoning : "Agriculture"

Applied use : Animal Boarding Establishment / 5 Years / **Filling of Land** / 4 Vehicle Parking

Dear TPB Members,

This is death by a thousand slices approach. Get approval for a Hobby Farm and then split the site into smaller sections. Each one diminishes the amount of arable land and increases the quota of filled land and area devoted to parking etc that is also rendered unsuitable for cultivation. 771 must be considered in tandem with 769

I would remind members that there was a long discussion on Destroy to Build during the consideration of Application 745.

https://www.info.gov.hk/tpb/en/meetings/RNTPC/Minutes/m665rnt_e.pdf
Ms Ivy C.W. Wong, STP/FSYLE, said that the application site was subject to an on-going planning enforcement action against an unauthorised

development (UD) involving filling of land. Enforcement Notice (EN) was issued on 9.4.2020 requiring discontinuation of the UD and Reinstatement Notice (RN) was also issued on 21.4.2020 requiring removal of leftovers, debris and filled materials and grassing the land.

It was quite disturbing to read that strong suspicions of Destroy to Build activities were not deemed to be relevant to the factors to be considered by the members.

However you can question if ABE is suitable for the site and in view of the many applications for such in the area that there is already a more than adequate supply of such facilities.

Agricultural land is a valuable and essential commodity. Hong Kong is required to comply with the policies of the mainland government. President Xi has been quite clear on this point, it is essential that China become less dependent on importing food and good land must be ring fenced for the purpose of feeding the nation.

Mary Mulvihill

From: [REDACTED]
To: "tpbpd" <tpbpd@pland.gov.hk>
Sent: Thursday, June 10, 2021 3:33:39 AM
Subject: A/YL-KTN/769 DD 107 Fung Kat Hung

A/YL-KTN/769

Lots 1225 S.C, 1226 S.E and 1230 S.B in D.D.107, Fung Kat Heung, Kam Tin

Site area : About 565sq.m

Zoning : "Agriculture"

Applied use : Animal Boarding Establishment / 5 Years / **Filling of Land** / 3 Vehicle Parking

Dear TPB Members,

Strongly object. This is the southern section of the lots approved for Hobby Farm on 5 Feb despite a lengthy discussion re enforcement and Destroy to Build.

The Site is currently subject to an on-going planning enforcement action

*against an unauthorised development (UD) involving filling of land.
Enforcement Notice was issued on 9.4.2020 requiring discontinuation of the
UD. Reinstatement Notice was issued on 21.4.2020 requiring removal of
leftovers, debris and filled materials and to grass the land.*

This plan would reduce the area that was, supposedly, to be devoted to agriculture.

There are numerous ABEs in the district. There is no information provided with regard to the number of animals, disposal of waste, drainage, and the applicants track record in providing this service.

Is it animal boarding or animal breeding? The number of applications for animal boarding going through the system is disproportionate to the market for such facilities.

There are many media reports on animal cruelty and puppy farms. Members must ask questions.

Mary Mulvihill

From: [REDACTED]
To: "tpbpd" <tpbpd@pland.gov.hk>
Sent: Friday, January 8, 2021 4:13:58 AM
Subject: A/YL-KTN/745 DD 107 Kam Tin near Armed Forces
A/YL-KTN/745
Various Lots in D.D. 107, Kam Tin
Site area : About 3,221sq.m
Zoning : "Agriculture"
Applied use : Hobby Farm / 5 Years / Land Filling / 9 Vehicle Parking

Dear.TPB Members,

Another Hobby Farm, they are already dozens in the district.

Filling of land 740sq.m, is this Destroy to Build to turn the land into Open Storage in line with the adjacent lots to the right?

President Xi, who has a lot more access to data than lesser mortals, clearly believes that there will be shortfalls in food production in China in coming years. Apart from environmental degradation climate change is having an impact re flooding, crop failures, etc. This winter is the coldest for 50 years in some regions in the north and this will certainly destroy or delay production..

But here in Hong Kong we live in a bubble. Agriculture land is not for producing food but for storing construction waste and, when used for crops,

is for selfie friendly plots for weekend farmers.

Once again the mindset here is way behind the curve. A large site of arable land should be used for serious food production not as a playground.

In line with most government departments, Ag and Fish appears to be in ignorance of the policy guidelines laid down by the Central Government. It should be pursuing a programme to address the issue that a certain amount of local agricultural production is a necessity. Lay members of the Board have a duty to question government depts with regards to issues where officials are not moving with the times.

Mary Mulvihill