

2024年 7月 17日

此文件在 收到。城市規劃委員會  
只會在收到所有必要的資料及文件後才正式確認收到  
申請的日期。

17 JUL 2024

The document is received on  
The Town Planning Board will formally acknowledge  
the date of receipt of the application only upon receipt  
of all the required information and documents.

Form No. S16-III  
表格第 S16-III 號

APPLICATION FOR PERMISSION  
UNDER SECTION 16 OF  
THE TOWN PLANNING ORDINANCE  
(CAP. 131)

根據《城市規劃條例》(第131章)  
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of Land  
and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas,  
or Renewal of Permission for such Temporary Use or Development\***

**適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行  
為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議\***

*\*Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.*

*\*其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。*

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:  
[https://www.tpb.gov.hk/en/plan\\_application/apply.html](https://www.tpb.gov.hk/en/plan_application/apply.html)

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：  
[https://www.tpb.gov.hk/tc/plan\\_application/apply.html](https://www.tpb.gov.hk/tc/plan_application/apply.html)

**General Note and Annotation for the Form**

**填寫表格的一般指引及註解**

# "Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made  
「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2401476

14.6.2024

By Hand

Form No. S16-III 表格第 S16-III 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/76-KTS/1011
	Date Received 收到日期	17 JUL 2024

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).  
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.  
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

### 1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

New Success International Investment Limited 新成國際投資有限公司

### 2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

R-riches Property Consultants Limited 盈卓物業顧問有限公司

### 3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lots 1013, 1014 RP (Part), 1015 S.A, 1015 S.B, 1015 RP (Part), 1018 (Part) and 1035 (Part) in D.D. 113, Kam Tin, Yuen Long, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 5,381 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 1,060 sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	N/A sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Kam Tin South Outline Zoning Plan No. S/YL-KTS/15
(e) Land use zone(s) involved 涉及的土地用途地帶	"Agriculture" zone
(f) Current use(s) 現時用途	Place of recreation, sports or culture  (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

#### 4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☐ is the sole "current land owner"<sup>#&</sup> (please proceed to Part 6 and attach documentary proof of ownership).  
是唯一的「現行土地擁有人」<sup>#&</sup> (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners"<sup>#&</sup> (please attach documentary proof of ownership).  
是其中一名「現行土地擁有人」<sup>#&</sup> (請夾附業權證明文件)。
- ☒ is not a "current land owner"<sup>#</sup>.  
並不是「現行土地擁有人」<sup>#</sup>。

- ☐ The application site is entirely on Government land (please proceed to Part 6).  
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

#### 5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at ..... (DD/MM/YYYY), this application involves a total of ..... "current land owner(s)"<sup>#</sup>.  
根據土地註冊處截至 ..... 年 ..... 月 ..... 日的記錄，這宗申請共牽涉 ..... 名「現行土地擁有人」<sup>#</sup>。

(b) The applicant 申請人 –

- ☐ has obtained consent(s) of ..... "current land owner(s)"<sup>#</sup>.  
已取得 ..... 名「現行土地擁有人」<sup>#</sup>的同意。

Details of consent of "current land owner(s)" <sup>#</sup> obtained 取得「現行土地擁有人」 <sup>#</sup> 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)



- ☐ has notified ..... "current land owner(s)"<sup>#</sup>  
已通知 ..... 名「現行土地擁有人」<sup>#</sup>。

Details of the "current land owner(s)" <sup>#</sup> notified 已獲通知「現行土地擁有人」 <sup>#</sup> 的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☒ has taken reasonable steps to obtain consent of or give notification to owner(s):  
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on \_\_\_\_\_ (DD/MM/YYYY)<sup>#&</sup>  
於\_\_\_\_\_ (日/月/年)向每一名「現行土地擁有人」<sup>#</sup>郵遞要求同意書<sup>&</sup>

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於\_\_\_\_\_ (日/月/年)在指定報章就申請刊登一次通知<sup>&</sup>
- ☒ posted notice in a prominent position on or near application site/premises on  
02/05/2024 - 16/05/2024 (DD/MM/YYYY)<sup>&</sup>  
於\_\_\_\_\_ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知<sup>&</sup>
- ☒ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on 22/5/2024 (DD/MM/YYYY)<sup>&</sup>  
於\_\_\_\_\_ (日/月/年)把通知寄往相關的業主立案法團／業主委員會／互助委員會或管理處，或有關的鄉事委員會<sup>&</sup>

Others 其他

- ☐ others (please specify)  
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料



<b>6. Type(s) of Application 申請類別</b>	
<b>(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas</b> 位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展 (For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B)) (如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)	
(a) Proposed use(s)/development 擬議用途/發展	Temporary Place of Recreation, Sports or Culture (Hobby Farm and Fishing Ground), Barbecue Site and Education Centre with Ancillary Eating Place for a Period of 3 Years and Associated Filling of Land  (Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)
(b) Effective period of permission applied for 申請的許可有效期	<input checked="" type="checkbox"/> year(s) 年 ..... 3 <input type="checkbox"/> month(s) 個月 .....
<b>(c) Development Schedule 發展細節表</b>	
Proposed uncovered land area 擬議露天土地面積	4,431 .....sq.m <input checked="" type="checkbox"/> About 約
Proposed covered land area 擬議有上蓋土地面積	950 .....sq.m <input checked="" type="checkbox"/> About 約
Proposed number of buildings/structures 擬議建築物/構築物數目	10 .....
Proposed domestic floor area 擬議住用樓面面積	N/A .....sq.m <input type="checkbox"/> About 約
Proposed non-domestic floor area 擬議非住用樓面面積	1,060 .....sq.m <input checked="" type="checkbox"/> About 約
Proposed gross floor area 擬議總樓面面積	1,060 .....sq.m <input checked="" type="checkbox"/> About 約
Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明) Please refer to Plan 04. ..... ..... .....	
Proposed number of car parking spaces by types 不同種類停車位的擬議數目	
Private Car Parking Spaces 私家車車位	11 (PC)
Motorcycle Parking Spaces 電單車車位	.....
Light Goods Vehicle Parking Spaces 輕型貨車泊車位	.....
Medium Goods Vehicle Parking Spaces 中型貨車泊車位	.....
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	.....
Others (Please Specify) 其他 (請列明)	.....
Proposed number of loading/unloading spaces 上落客貨車位的擬議數目	
Taxi Spaces 的士車位	.....
Coach Spaces 旅遊巴車位	.....
Light Goods Vehicle Spaces 輕型貨車車位	1 (LGV)
Medium Goods Vehicle Spaces 中型貨車車位	.....
Heavy Goods Vehicle Spaces 重型貨車車位	.....
Others (Please Specify) 其他 (請列明)	1 (Light Bus)

Proposed operating hours 擬議營運時間 09:00 to 22:00 daily, including public holiday ..... .....																																	
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤/ 有關建築物?	Yes 是	<input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) Accessible from Kam Ho Road via a local access ..... <input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示, 並註明車路的闊度)																															
	No 否	<input type="checkbox"/>																															
(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話, 請另頁註明可盡量減少可能出現不良影響的措施, 否則請提供理據/理由。)																																	
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?	Yes 是	<input type="checkbox"/> Please provide details 請提供詳情 ..... ..... .....																															
	No 否	<input checked="" type="checkbox"/>																															
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程?	Yes 是	<input checked="" type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍) <input type="checkbox"/> Diversion of stream 河道改道 <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 ..... m 米 <input type="checkbox"/> About 約 <input checked="" type="checkbox"/> Filling of land 填土 Area of filling 填土面積 ..... 1,545 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約 Depth of filling 填土厚度 ..... not more than 0.2 ..... m 米 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 ..... m 米 <input type="checkbox"/> About 約																															
	No 否	<input type="checkbox"/>																															
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?	<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> </table>			On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
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Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															

	Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)
.....	
.....	
.....	
.....	
.....	

<b>(B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas</b> <b>位於鄉郊地區或受規管地區臨時用途/發展的許可續期</b>	
(a) Application number to which the permission relates 與許可有關的申請編號	A/ _____ / _____
(b) Date of approval 獲批給許可的日期	..... (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期	..... (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	
(e) Approval conditions 附帶條件	<div style="margin-bottom: 10px;"> <input type="checkbox"/> The permission does not have any approval condition          許可並沒有任何附帶條件       </div> <div style="margin-bottom: 10px;"> <input type="checkbox"/> Applicant has complied with all the approval conditions          申請人已履行全部附帶條件       </div> <div style="margin-bottom: 10px;"> <input type="checkbox"/> Applicant has not yet complied with the following approval condition(s):          申請人仍未履行下列附帶條件：       </div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div> <div style="margin-top: 10px;">         Reason(s) for non-compliance:          仍未履行的原因：       </div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div> <div style="margin-top: 10px;">         (Please use separate sheets if the space above is insufficient)          (如以上空間不足，請另頁說明)       </div>
(f) Renewal period sought 要求的續期期間	<div style="margin-bottom: 10px;"> <input type="checkbox"/> year(s) 年 .....       </div> <div> <input type="checkbox"/> month(s) 個月 .....       </div>



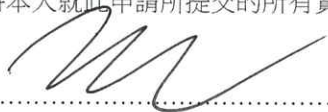


**8. Declaration 聲明**

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.  
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.  
本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature  
簽署



☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Michael WONG

Name in Block Letters  
姓名（請以正楷填寫）

Position (if applicable)  
職位（如適用）

Professional Qualification(s)  
專業資格

☐ Member 會員 / ☐ Fellow of 資深會員

☐ HKIP 香港規劃師學會 /

☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 /

☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 /

☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他

on behalf of  
代表

R-riches Property Consultants Limited 盈卓物業顧問有限公司

☒ Company 公司 / ☐ Organisation 機構 Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

13/06/2024

(DD/MM/YYYY 日/月/年)

**Remark 備註**

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

**Warning 警告**

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

**Statement on Personal Data 個人資料的聲明**

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and  
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及  
(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.  
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要	
(Please provide details in both English and Chinese <u>as far as possible</u> . This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.) (請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)	
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置／地址	Lots 1013, 1014 RP (Part), 1015 S.A, 1015 S.B, 1015 RP (Part), 1018 (Part) and 1035 (Part) in D.D. 113, Kam Tin, Yuen Long, New Territories
Site area 地盤面積	5,381 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 N/A sq. m 平方米 <input type="checkbox"/> About 約)
Plan 圖則	Approved Kam Tin South Outline Zoning Plan No. S/YL-KTS/15
Zoning 地帶	"Agriculture" zone
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期 <input checked="" type="checkbox"/> Year(s) 年 <u>3</u> <input type="checkbox"/> Month(s) 月 _____  <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____
Applied use/ development 申請用途/發展	Temporary Place of Recreation, Sports or Culture (Hobby Farm and Fishing Ground), Barbecue Site and Education Centre with Ancillary Eating Place for a Period of 3 Years and Associated Filling of Land



(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	N/A <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	N/A <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	1,060 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.2 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	N/A	
	Non-domestic 非住用	10	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	N/A <input type="checkbox"/> (Not more than 不多於) m 米	
		N/A <input type="checkbox"/> (Not more than 不多於) Storeys(s) 層	
	Non-domestic 非住用	3 - 6 (about) <input type="checkbox"/> (Not more than 不多於) m 米	
		1 - 2 <input type="checkbox"/> (Not more than 不多於) Storeys(s) 層	
(iv) Site coverage 上蓋面積	18 % <input checked="" type="checkbox"/> About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數		11
	Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____		11 (PC)
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數		2
	Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) Light Bus _____ _____		1 (LGV)  1 (LB)

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	Chinese 中文	English 英文
<b>Plans and Drawings 圖則及繪圖</b>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Location Plan, Plan showing the land status, zoning, Filling of land area of the application site, Swept path analysis, Drainage proposal, Accepted FSIs Proposal of A/YL-KTS/928		
<b>Reports 報告書</b>		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估（噪音、空氣及／或水的污染）	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input type="checkbox"/>
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

## **Supplementary Statement**

### **1) Background**

- 1.1 The applicant seeks planning permission from the Town Planning Board (the Board) to use *Lots 1013, 1014 RP (Part), 1015 S.A, 1015 S.B, 1015 RP (Part), 1018 (Part) and 1035 (Part) in D.D. 113, Kam Tin, Yuen Long, New Territories* (the Site) for **'Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm and Fishing Ground), Barbecue Site and Education Centre with Ancillary Eating Place for a Period of 3 Years and Associated Filling of Land'** (proposed development) (**Plan 1**).
- 1.2 Due to the shortage of venue for recreational, sports or cultural activities in the rural area of New Territories, locals living in the New Territories often require travelling to the urban area of Hong Kong to participate the aforesaid activities, which undoubtedly causes inconvenience for the locals. In view of this, the applicant would like to use the Site for the applied use to alleviate the pressing demand of such use, in order to better serve the nearby locals.

### **2) Planning Context**

- 2.1 The Site currently falls within an area zoned as "Agriculture" ("AGR") on the Approved Kam Tin South Outline Zoning Plan (OZP) No.: S/YL-KTS/15 (**Plan 2**). According to the Notes of the OZP, 'hobby farm', 'fishing ground' and 'education centre' are column 2 uses while 'barbecue site' is neither a column 1 nor column 2 use in the "AGR" zone, which requires planning permission from the Board. The proposed development with low-rise structures is considered not incompatible with the surrounding areas, which are dominated by residential uses, open storage yards and sites occupied by temporary structures for warehouse use. In addition, there is no active agricultural activity within the Site, hence, approval of the planning application on a temporary basis of 3 years would not frustrate the long-term planning intention of the "AGR" zone and would better utilize the precious land resources in the New Territories.
- 2.2 The Site is the subject of 1 previous S.16 planning application (No. A/YL-KTS/928) for the same uses that was submitted by the same applicant. The application was approved by the Board in 2022, therefore, approval of the current application is in line with the Board's previous decisions. When compared to the latest planning application (No. A/YL-KTS/928), all major



development parameters remain unchanged. The applicant has shown effort to comply with approval condition of the previous application, details are shown as follow at **Table 1** below:

**Table 1 – Details of Compliance with Approval Condition of the Previous Application**

<b>Approval Conditions of Application No. A/YL-KTS/928</b>		<b>Date of Compliance</b>
(b)	The submission of a drainage proposal	Not complied with
(c)	The implementation of the drainage proposal	Not complied with
(e)	The submission of a fire service installations (FSIs) proposal	29/03/2023
(f)	The implementation of the FSIs proposal	Not complied with

2.3 Regarding approval conditions (b) and (c), the applicant submitted a drainage proposal for compliance with this approval condition on 11/01/2023 and 8/04/2023. However, these submissions were considered not acceptable by the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD). The applicant later submitted a revised drainage proposal on 19/03/2024 while comments from CE/MN, DSD are still pending.

2.4 Regarding approval conditions (e) and (f), the applicant submitted a FSIs proposal for compliance with approval condition (e) on 27/02/2023 and the submission was considered acceptable by the Director of Fire Services (D of FS) on 29/03/2023. As prior approval from Lands Department is required for erection of structure at the Site. The applicant submitted Short Term Waiver (STW) application with supplementary information to LandsD on 03/01/2024 while as of 23/03/2024, approval of STW has not yet been granted. Therefore, the applicant did not have sufficient time to comply with this condition within the designated time period, which led to the revocation of the application on 23/03/2024.

2.5 In support of the application, the applicant has submitted the accepted fire service installations (FSIs) proposal of the previous application (No. A/YL-KTS/928) and a drainage proposal to support the current application (**Appendices I to II**).

### **3) Development Proposal**

3.1 The Site occupies an area of 5,381 m<sup>2</sup> (about) (**Plan 3**). The operation hours of the Site are from 09:00 to 22:00 daily, including public holidays. A total of 10 structures are proposed at the Site for agricultural education centre, agricultural activities rooms with rain shelter,

refreshment kiosk, storage of tools, barbecue area with rain shelter, site office, eating place, washroom and changing room with total GFA of 1,060 m<sup>2</sup> (**Plan 4**). The site office is intended to provide indoor workspace for administrative staff to support the operation of the proposed development. It is estimated that 8 staff will work at the Site. It is estimated that the proposed development would be able to accommodate not more than 40 visitors per day. Visitor is required to make appointment in advance and pay entrance fee to access the Site. No walk-in visitor is allowed at the Site. Major development parameters are shown at **Table 1** below:

**Table 1** - Major Development Parameters

<b>Application Site Area</b>	5,381 m <sup>2</sup> (about)
<b>Covered Area</b>	950 m <sup>2</sup> (about)
<b>Uncovered Area</b>	4,431 m <sup>2</sup> (about)
<b>Plot Ratio</b>	0.2 (about)
<b>Site Coverage</b>	18% (about)
<b>Number of Structure</b>	10
<b>Total GFA</b>	1,060 m <sup>2</sup> (about)
- Domestic GFA	Not applicable
- Non-Domestic GFA	1,060 m <sup>2</sup> (about)
<b>Building Height</b>	3 m – 6 m (about)
<b>No. of Storey</b>	1 - 2

3.2 An area of 1,545 m<sup>2</sup> has already been hard-paved with concrete of not more than 0.2m in depth (**Plan 5**). The filled area is intended to facilitate a flat surface for site formation of structures, parking and loading/unloading (L/UL) spaces and circulation area. Therefore, the associated filling of land area is considered necessary and has been kept to minimal for the operation of the proposed development. No further filling of land will be carried out at the Site at any time during the planning approval period.

3.3 Farm area, i.e. 2,438 m<sup>2</sup> (about) is subdivided into smaller portions of farms for visitors to promote organic farming in Hong Kong. Basic farming knowledge is taught by staff at structure B1 proposed for 'agricultural education centre' where visitors are then divided into smaller groups. Visitors will be directed to the designated farm area for hobby farming activities. For visitors who are not interested in farming, poultry and livestock (i.e. chicken,

duck, sheep, cow etc.) are kept at structures B2, B3, B5 to B7 (agricultural activities room with rain shelter) for educational and viewing purposes. An artificial pond, i.e. 409 m<sup>2</sup> (about) is also provided at the middle of the Site for recreational fishing for visitors.

- 3.4 As no eating place is provided in close vicinity of the Site, barbecue area and ancillary eating place are provided for visitor to support the operation of the proposed development. The ancillary eating place will only serve visitors of the Site. A maximum of 10 barbecue pits are provided at structures B8 proposed for 'barbecue area with rain shelter'. Organic crops from hobby farming and fish from artificial pond are welcomed to be grilled at the barbecue pits or free to carry away by visitor.
- 3.5 The Site is accessible from Kam Ho Road via a local access (**Plan 1**). A total of 13 parking and L/UL spaces are provided at the Site for staff and visitors, details are shown at **Table 2** below:

**Table 2 – Parking and L/UL Provision of the Proposed Development**

Type of Space	No. of Space
Private Car (PC) Parking Space for Staff - 2.5 m (W) x 5 m (L)	3
PC Parking Space for Visitor - 2.5 m (W) x 5 m (L)	8
Light Goods Vehicle (LGV) L/UL Space - 3.5 m (W) x 8 m (L)	1
Light Bus (LB) L/UL Space - 3 m (W) x 8 m (L)	1

- 3.6 Majority of visitor and staff are required to make good use of public transport services provided at Kam Ho Road then walk to the Site. L/UL space for light bus is also provided for visitors who are travelling together in group. LGV will be deployed for the transportation of goods and food to the Site. Sufficient space is provided for vehicle to smoothly manoeuvre within the Site to ensure no vehicle will queue back to or reverse onto/from the Site to the public road (**Plan 6**). As trip generation and attraction of the proposed development is minimal (as shown at **Table 3** below), adverse traffic impact to the surrounding road network should not be anticipated.



**Table 3 – Trip Generation and Attraction of the Proposed Development**

Time Period	Trip Generation and Attraction						
	PC		LGV		LB		2-Way Total
	In	Out	In	Out	In	Out	
Trips at <u>AM peak</u> per hour (09:00 – 10:00)	9	0	1	0	1	1	12
Trips at <u>PM peak</u> per hour (17:00 – 18:00)	0	9	0	1	1	1	12
Traffic trip per hour (average)	3	3	1	1	1	1	10

3.7 The applicant will strictly follow the 'Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites' by the EPD to minimize all possible environmental impacts on the nearby sensitive receivers. The applicant will follow the *Professional Persons Environmental Consultative Committee Practice Notes (ProPECCPNs)* for sewage treatment at the Site. No public announcement system or any form of audio amplification system will be used at the Site during the planning approval period.

#### 4) Conclusion

4.1 The proposed development will not create significant nuisance to the surrounding areas. Adequate mitigation measures are provided, i.e. submission of the accepted FSIs proposal of the previous application No. A/YL-KTS/928 and a drainage proposal to mitigate any adverse impact arising from the proposed development after planning approval has been granted by the Board (**Appendices I to II**).

4.2 In view of the above, the Board is hereby respectfully recommended to approve the subject application for '**Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm and Fishing Ground), Barbecue Site and Education Centre with Ancillary Eating Place for a Period of 3 Years and Associated Filling of Land**'.

**R-riches Property Consultants Limited**

**June 2024**

## **APPENDICES**

<b>Appendix I</b>	The Accepted Fire Service Installations (FSIs) Proposal of the Previous Application No. A/YL-KTS/928
<b>Appendix II</b>	Drainage Proposal

## **LIST OF PLANS**

<b>Plan 1</b>	Location Plan
<b>Plan 2</b>	Plan Showing the Zoning of the Application Site
<b>Plan 3</b>	Plan Showing the Land Status of the Application Site
<b>Plan 4</b>	Layout Plan
<b>Plan 5</b>	Filling of Land Area of the Application Site
<b>Plan 6</b>	Swept Path Analysis

## 規 劃 署

粉嶺、上水及元朗東規劃處  
新界荃灣青山公路 388 號  
中染大廈 22 樓 2202 室



## Planning Department

Fanling, Sheung Shui & Yuen Long East  
District Planning Office  
Unit 2202, 22/F, CDW Building,  
388 Castle Peak Road, Tsuen Wan, N.T.

來函檔號 Your Reference : DD113 Lot 1013 & VL  
本署檔號 Our Reference : TPB/A/YL-KTS/928  
電話號碼 Tel. No. :  
傳真機號碼 Fax No. :

29 March 2023

Dear Sir/Madam,

**Submission for Compliance with Approval Condition (e)  
- The Submission of a Fire Service Installations Proposal**

**Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm and Fishing Ground), Barbecue Site and Education Centre with Ancillary Eating Place for a Period of 3 Years and Land Filling in "Agriculture" Zone, Lots 1013, 1014 RP (Part), 1015 S.A, 1015 S.B, 1015 RP (Part), 1018 (Part) and 1035 (Part) in D.D. 113, Kam Tin, Yuen Long, New Territories**  
**(Application No. A/YL-KTS/928)**

I refer to your submission for compliance dated 27.2.2023 with the captioned approval condition. Relevant department has been consulted on your submission. Your submission is considered:

- ☒ Acceptable. The captioned condition has been complied with. Please find detailed departmental comment(s) in **Appendix**.
- ☐ Acceptable. Since the captioned condition requires both the submission and implementation of the proposal, it has not been fully complied with. Please proceed to implement the accepted proposal for full compliance with the approval condition.
- ☐ Not acceptable. The captioned condition has not been complied with.

Should you have any queries, please contact Mr. WONG Ho-yin of the Fire Services Department directly.

Yours faithfully,

(Anthony LUK)

District Planning Officer/

Fanling, Sheung Shui & Yuen Long East  
Planning Department

- 2 -

C.C.

D of FS

(Attn.: Mr. WONG Ho-yin)

Internal

CTP/TPB

AL/CP/pn

**Appendix****Comment(s) from the Director of Fire Services:**

The installation /maintenance/ modification/ repair work of fire service installation (FSI) shall be undertaken by an Registered Fire Service Installation Contractor (RFSIC). The RFSIC shall after completion of the installation/maintenance/ modification/ repair work issue to the person on whose instruction the work was undertaken a certificate (FS 251) and forward a copy of the certificate to the Director of Fire Services.

## DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	: 5,381 m <sup>2</sup>	(ABOUT)
COVERED AREA	: 950 m <sup>2</sup>	(ABOUT)
UNCOVERED AREA	: 4,431 m <sup>2</sup>	(ABOUT)

PLOT RATIO	: 0.2	(ABOUT)
SITE COVERAGE	: 18 %	(ABOUT)

NO. OF STRUCTURE	: 10
DOMESTIC GFA	: NOT APPLICABLE
NON-DOMESTIC GFA	: 1,060 m <sup>2</sup> (ABOUT)
TOTAL GFA	: 1,060 m <sup>2</sup> (ABOUT)

BUILDING HEIGHT	: 3m - 6m	(ABOUT)
NO. OF STOREY	: 1 - 2	



## PARKING AND LOADING/UNLOADING PROVISIONS

NO. OF PRIVATE CAR PARKING SPACE	: 11
DIMENSION OF PARKING SPACE	: 5m (L) X 2.5m (W)

NO. OF L/U/L SPACE FOR LIGHT GOODS VEHICLE	: 1
DIMENSION OF L/U/L SPACE	: 7m (L) X 3.5m (W)

NO. OF L/U/L SPACE FOR LIGHT BUS	: 1
DIMENSION OF L/U/L SPACE	: 8m (L) X 3m (W)

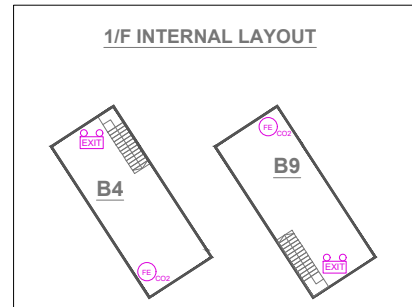
## FIRE SERVICE INSTALLATIONS

	11 x EXIT SIGN AND EMERGENCY LIGHT
	12 x 4.5 KG GAS-TYPE FIRE EXTINGUISHER

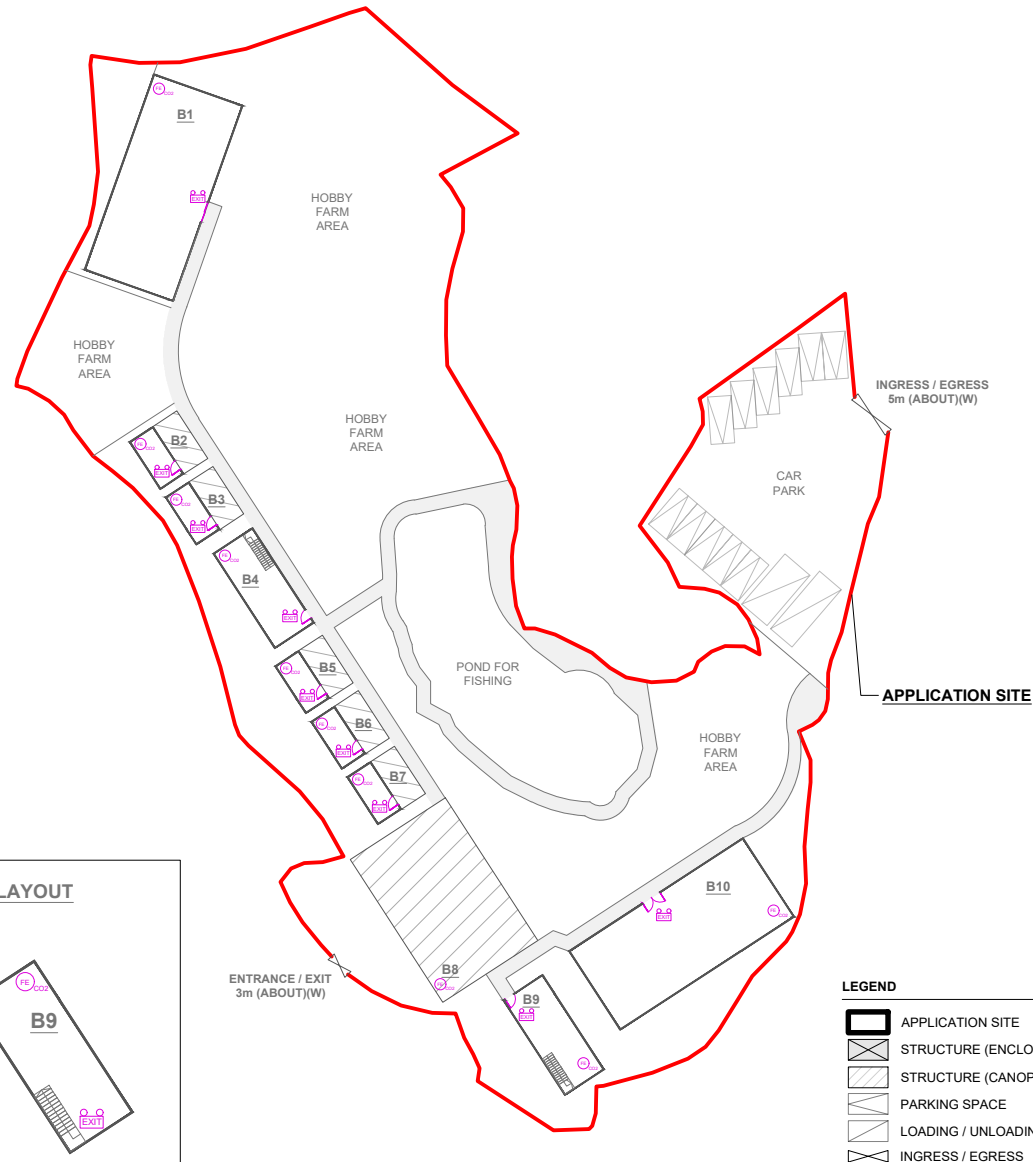
## FS NOTES:

- SUFFICIENT EMERGENCY LIGHTING SHALL BE PROVIDED THROUGHOUT THE ENTIRE BUILDING IN ACCORDANCE WITH BS5266: PART1 AND BS EN1838
- SUFFICIENT DIRECTIONAL AND EXIT SIGN SHALL BE PROVIDED IN ACCORDANCE WITH BS5266: PART 1 AND FSD CIRCULAR LETTER 5/2008.
- PORTABLE HAND-OPERATED APPROVED APPLIANCE SHALL BE PROVIDED AS REQUIRED BY OCCUPANCY.
- ACCESS IS PROVIDED FOR EMERGENCY VEHICLE TO REACH 30m OF ALL PART OF STRUCTURES.







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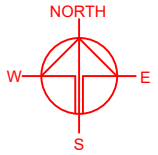


STRUCTURE	USE	COVERED AREA	GFA	BUILDING HEIGHT
B1	AGRICULTURAL EDUCATION CENTRE	220m <sup>2</sup> (ABOUT)	220m <sup>2</sup> (ABOUT)	6m (ABOUT)(1-STOREY)
B2	AGR. ACTIVITIES ROOM WITH RAIN SHELTER	36m <sup>2</sup> (ABOUT)	36m <sup>2</sup> (ABOUT)	3m (ABOUT)(1-STOREY)
B3	AGR. ACTIVITIES ROOM WITH RAIN SHELTER	36m <sup>2</sup> (ABOUT)	36m <sup>2</sup> (ABOUT)	3m (ABOUT)(1-STOREY)
B4	REFRESHMENT KIOSK AND STORAGE OF TOOLS	55m <sup>2</sup> (ABOUT)	110m <sup>2</sup> (ABOUT)	6m (ABOUT)(2-STOREY)
B5	AGR. ACTIVITIES ROOM WITH RAIN SHELTER	36m <sup>2</sup> (ABOUT)	36m <sup>2</sup> (ABOUT)	3m (ABOUT)(1-STOREY)
B6	AGR. ACTIVITIES ROOM WITH RAIN SHELTER	36m <sup>2</sup> (ABOUT)	36m <sup>2</sup> (ABOUT)	3m (ABOUT)(1-STOREY)
B7	AGR. ACTIVITIES ROOM WITH RAIN SHELTER	36m <sup>2</sup> (ABOUT)	36m <sup>2</sup> (ABOUT)	3m (ABOUT)(1-STOREY)
B8	BARBEQUE AREA WITH RAIN SHELTER	220m <sup>2</sup> (ABOUT)	220m <sup>2</sup> (ABOUT)	6m (ABOUT)(1-STOREY)
B9	SITE OFFICE AND STORAGE OF TOOLS	55m <sup>2</sup> (ABOUT)	110m <sup>2</sup> (ABOUT)	6m (ABOUT)(2-STOREY)
B10	ANCILLARY EATING PLACE, WASHROOM AND CHANGING ROOM	220m <sup>2</sup> (ABOUT)	220m <sup>2</sup> (ABOUT)	6m (ABOUT)(1-STOREY)
<b>TOTAL</b>		<b>950 m<sup>2</sup> (ABOUT)</b>	<b>1,060 m<sup>2</sup> (ABOUT)</b>	



## LEGEND

	APPLICATION SITE
	STRUCTURE (ENCLOSED)
	STRUCTURE (CANOPY)
	PARKING SPACE
	LOADING / UNLOADING SPACE
	INGRESS / EGRESS



PLANNING CONSULTANT

**R-RICHES PROPERTY CONSULTANTS LIMITED**

PROJECT

PROPOSED TEMPORARY PLACE OF RECREATION, SPORTS OR CULTURE (HOBBY FARM AND FISHING GROUND), BARBECUE SITE, EDUCATION CENTRE WITH ANCILLARY EATING PLACE FOR A PERIOD OF 3 YEARS AND LAND FILLING

SITE LOCATION

VARIOUS LOTS IN D.D. 113, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE

1 : 800 @ A4

DRAWN BY	DATE
OL	27.2.2023

REVISED BY	DATE

APPROVED BY	DATE

DWG. TITLE  
FSIs PROPOSAL

DWG NO.	VER.
APPENDIX I	001





# DEVELOPMENT PARAMETERS

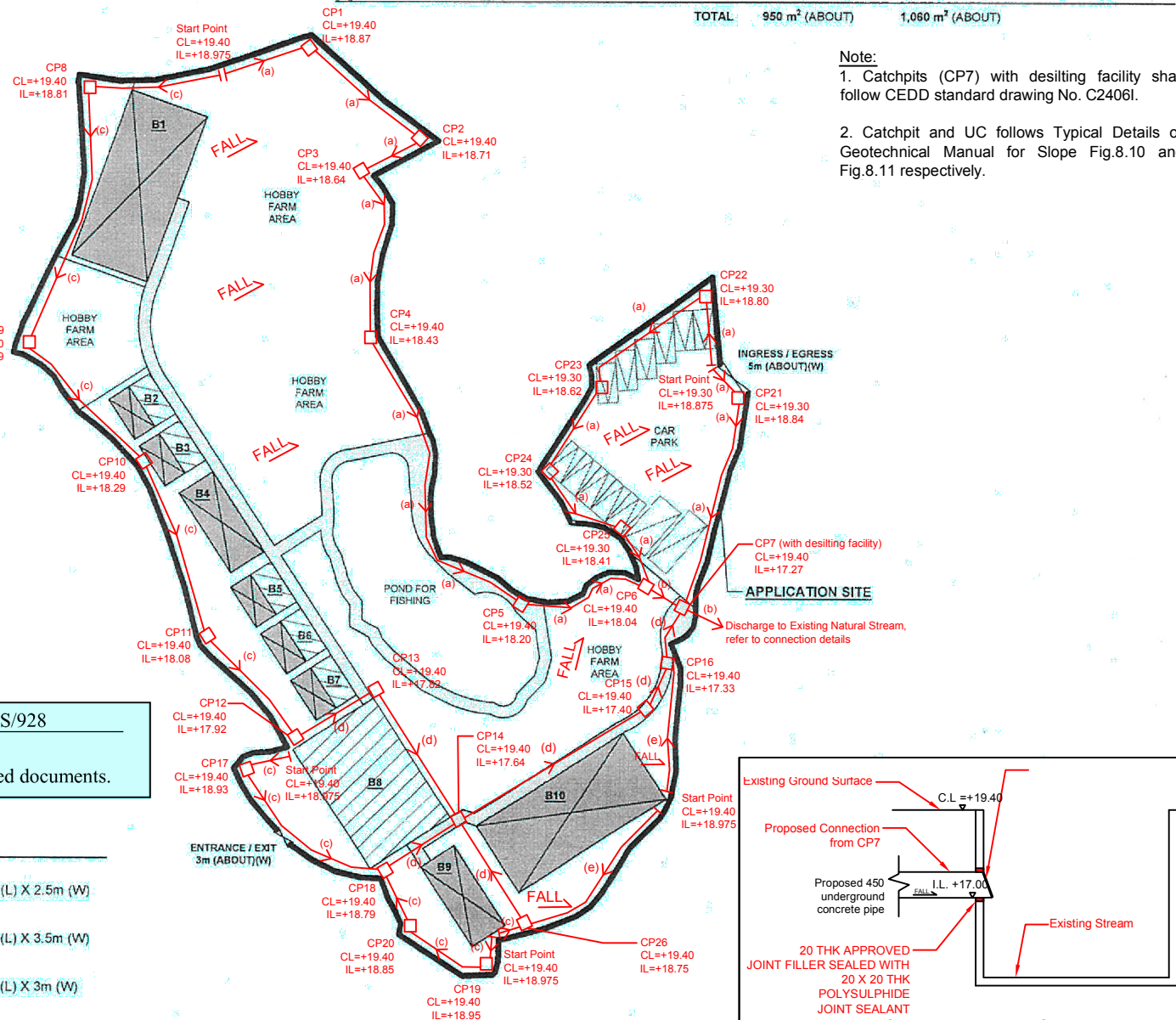
APPLICATION SITE AREA	5,381 m <sup>2</sup>	(ABOUT)
COVERED AREA	950 m <sup>2</sup>	(ABOUT)
UNCOVERED AREA	4,431 m <sup>2</sup>	(ABOUT)
PLOT RATIO	0.2	(ABOUT)
SITE COVERAGE	18 %	(ABOUT)
NO. OF STRUCTURE	10	
DOMESTIC GFA	NOT APPLICABLE	
NON-DOMESTIC GFA	1,060 m <sup>2</sup>	(ABOUT)
TOTAL GFA	1,060 m <sup>2</sup>	(ABOUT)
BUILDING HEIGHT	3m - 6m	(ABOUT)
NO. OF STOREY	1 - 2	

STRUCTURE	USE	COVERED AREA	GFA	BUILDING HEIGHT
B1	AGRICULTURAL EDUCATION CENTRE	220m <sup>2</sup> (ABOUT)	220m <sup>2</sup> (ABOUT)	6m (ABOUT)(1-STOREY)
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B3	AGR. ACTIVITIES ROOM WITH RAIN SHELTER	36m <sup>2</sup> (ABOUT)	36m <sup>2</sup> (ABOUT)	3m (ABOUT)(1-STOREY)
B4	REFRESHMENT KIOSK AND STORAGE OF TOOLS	55m <sup>2</sup> (ABOUT)	110m <sup>2</sup> (ABOUT)	6m (ABOUT)(2-STOREY)
B5	AGR. ACTIVITIES ROOM WITH RAIN SHELTER	36m <sup>2</sup> (ABOUT)	36m <sup>2</sup> (ABOUT)	3m (ABOUT)(1-STOREY)
B6	AGR. ACTIVITIES ROOM WITH RAIN SHELTER	36m <sup>2</sup> (ABOUT)	36m <sup>2</sup> (ABOUT)	3m (ABOUT)(1-STOREY)
B7	AGR. ACTIVITIES ROOM WITH RAIN SHELTER	36m <sup>2</sup> (ABOUT)	36m <sup>2</sup> (ABOUT)	3m (ABOUT)(1-STOREY)
B8	BARBEQUE AREA WITH RAIN SHELTER	220m <sup>2</sup> (ABOUT)	220m <sup>2</sup> (ABOUT)	6m (ABOUT)(1-STOREY)
B9	SITE OFFICE AND STORAGE OF TOOLS	55m <sup>2</sup> (ABOUT)	110m <sup>2</sup> (ABOUT)	6m (ABOUT)(2-STOREY)
B10	CANTEEN, WASHROOM AND CHANGING ROOM	220m <sup>2</sup> (ABOUT)	220m <sup>2</sup> (ABOUT)	6m (ABOUT)(1-STOREY)
TOTAL		950 m <sup>2</sup> (ABOUT)	1,060 m <sup>2</sup> (ABOUT)	

## Note:

1. Catchpits (CP7) with desilting facility shall follow CEDD standard drawing No. C2406I.

2. Catchpit and UC follows Typical Details of Geotechnical Manual for Slope Fig.8.10 and Fig.8.11 respectively.



申請編號 Application No. : A/YL-KTS/928

此頁摘自申請人提交的文件。

This page is extracted from applicant's submitted documents.

## PARKING AND LOADING/UNLOADING PROVISIONS

NO. OF PRIVATE CAR PARKING SPACE	11
DIMENSION OF PARKING SPACE	5m (L) X 2.5m (W)
NO. OF L/U SPACE FOR LIGHT GOODS VEHICLE	1
DIMENSION OF L/U SPACE	7m (L) X 3.5m (W)
NO. OF L/U SPACE FOR LIGHT BUS	1
DIMENSION OF L/U SPACE	8m (L) X 3m (W)

## LEGEND

- (a) Proposed 375UC (1:100) with Cast Iron cover
- (b) Proposed 450mm dia. underground pipe (1:75)
- (c) Proposed 300UC (1:100) with Cast Iron cover
- (d) Proposed 375mm dia. underground pipe (1:150)
- (e) Proposed 225UC (1:100) with Cast Iron cover
- Proposed Catchpit

Company:

正宏工程顧問公司  
Ching Wan Engineering  
Consultants Company

## Appendix II

PROJECT:

Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm, Fishing Ground and Barbecue Site) and Education Centre with Ancillary Canteen for a Period of 3 Years and Land Filling at Lots 1013, 1014 RP (Part), 1015 S.A., 1015 S.B., 1015 RP (Part), 1018 (Part) and 1035 (Part) in D.D.113, Kam Tin, Yuen Long (A/YL-KTS/928)

TITLE:

Drainage Proposal

File:

DWG NO.

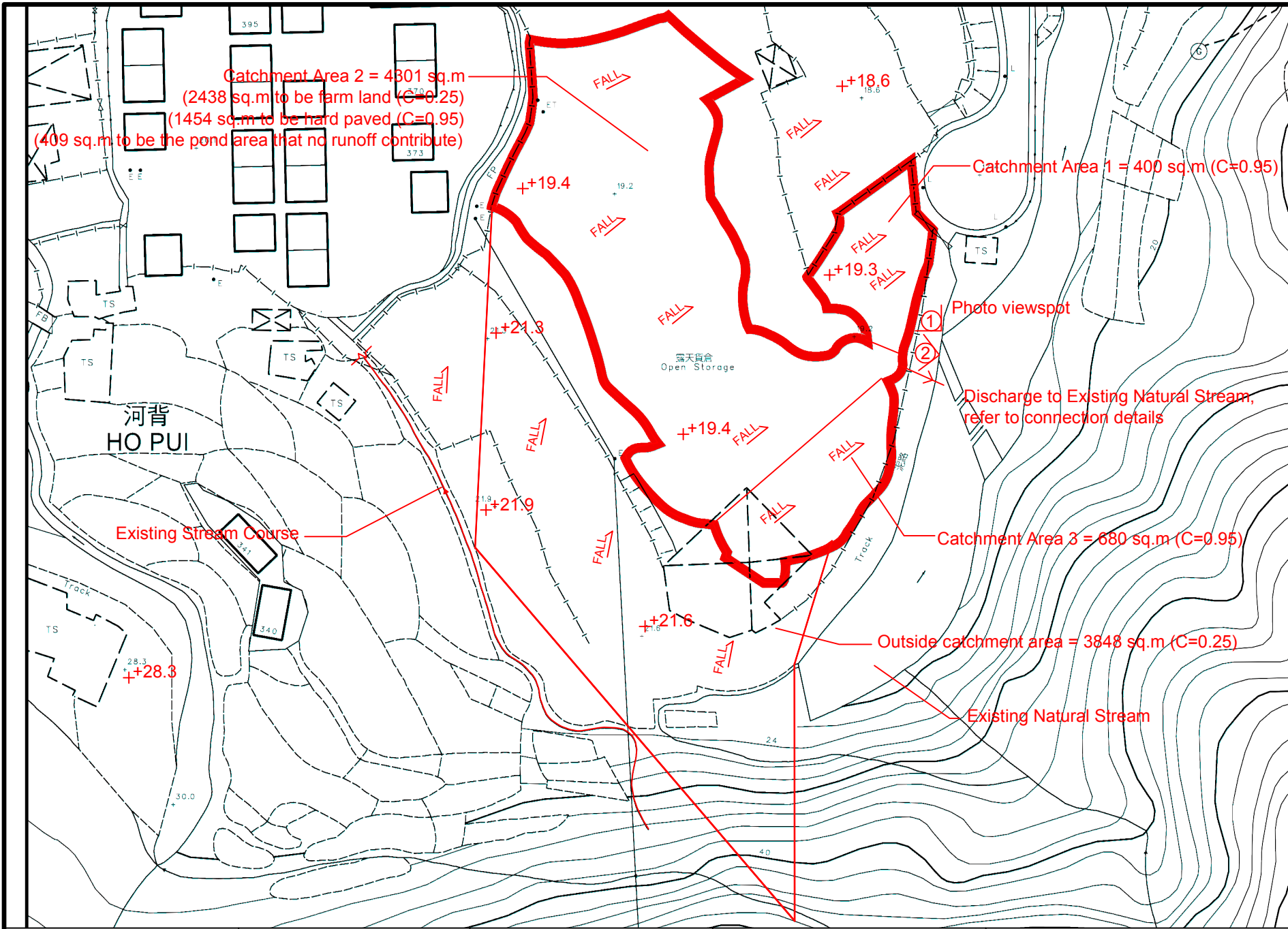
Scale:

KTS928-D01

Date:

16-3-2024

Connection Details (Section View)



- LEGEND**
- (a) Proposed 375UC (1:100) with Cast Iron cover
  - (b) Proposed 450mm dia. underground pipe (1:75)
  - (c) Proposed 300UC (1:100) with Cast Iron cover
  - (d) Proposed 375mm dia. underground pipe (1:150)
  - (e) Proposed 225UC (1:100) with Cast Iron cover
  - Proposed Catchpit

Company:  
正宏工程顧問公司  
Ching Wan Engineering  
Consultants Company

PROJECT:  
Proposed Temporary  
Place of Recreation,  
Sports or Culture  
(Hobby Farm, Fishing  
Ground and Barbecue  
Site) and Education  
Centre with Ancillary  
Canteen for a Period  
of 3 Years and Land  
Filling at Lots 1013,  
1014 RP (Part), 1015  
S.A., 1015 S.B., 1015  
RP (Part), 1018 (Part)  
and 1035 (Part) in  
D.D.113, Kam Tin,  
Yuen Long  
(A/YL-KTS/928)

TITLE:  
Catchment Area Plan

File: DWG NO.  
Scale: KTS928-D02

Date:  
16-3-2024

(a) Proposed 375UC (1:100) with Cast Iron cover Designed for Catchment Area 2 Q=8302 lit/min	(b) Proposed 450mm dia. underground pipe (1:75) Designed for All Catchment Areas Q=16592 lit/min	(c) Proposed 300UC (1:100) with Cast Iron cover Designed for Outside Catchment Area Q=4012 lit/min	(d) Proposed 375mm dia. underground pipe (1:150) Designed for Outside Catchment Area + Catchment Area 3 Q=6706 lit/min	(e) Proposed 225UC (1:100) with Cast Iron cover Designed for Max. (Catchment Area 1, Catchment Area 3) Q=2694 lit/min
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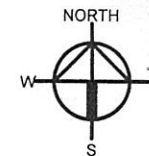
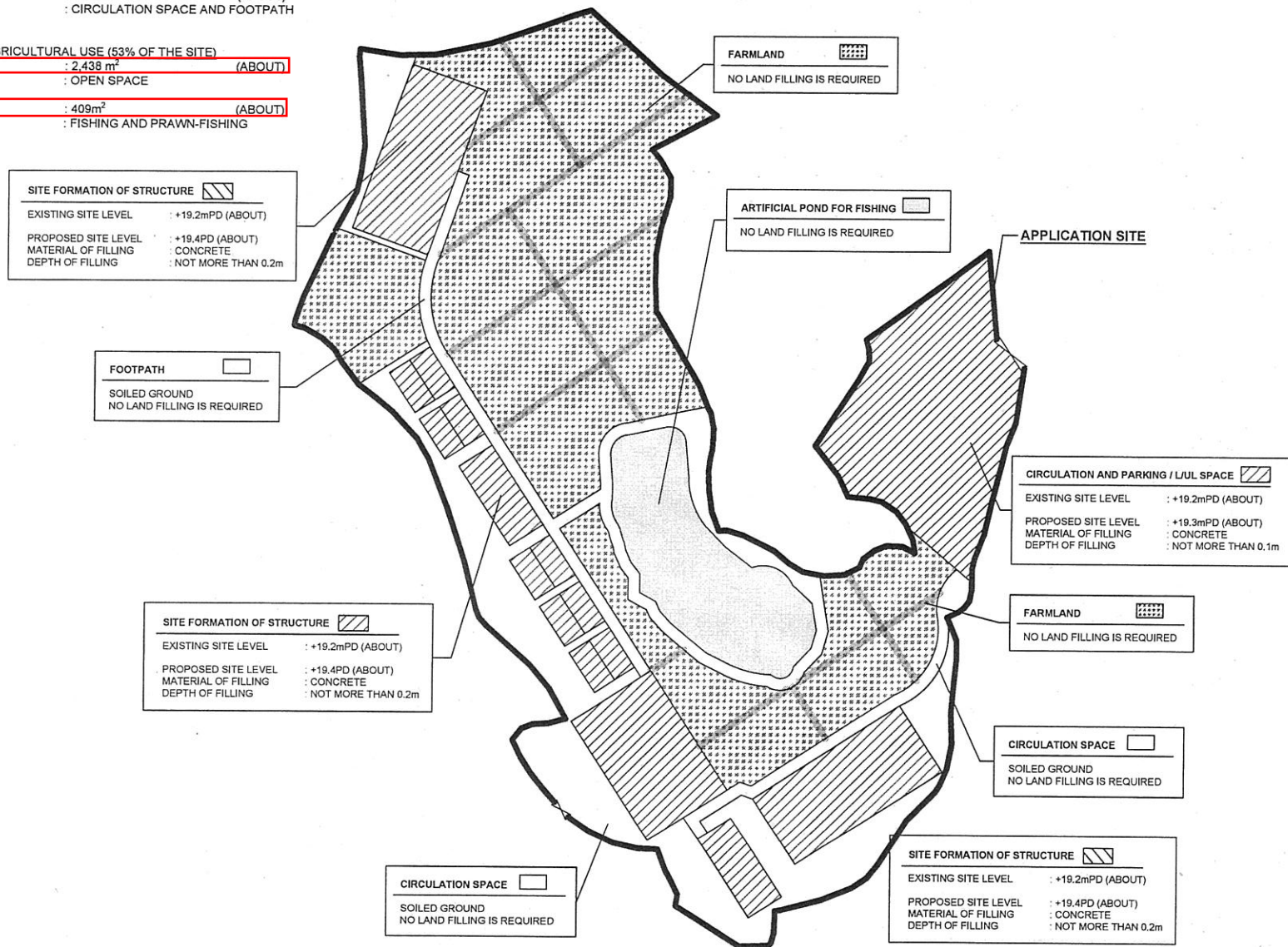


# PAVED RATIO OF THE APPLICATION SITE

APPLICATION SITE AREA	: 5,381 m <sup>2</sup>	(ABOUT)
COVERED BY STRUCTURE	: 950 m <sup>2</sup>	(ABOUT)
LAND FILLING AREA	: 1,545 m <sup>2</sup>	(ABOUT)
DEPTH OF LAND FILLING	: NOT MORE THAN 0.2m	(ABOUT)
MATERIAL OF LAND FILLING	: CONCRETE	
PURPOSE OF LAND FILLING	: SITE FORMATION OF STRUCTURES PARKING AND LUL SPACE	
SOILED GROUND AREA	: 989m <sup>2</sup>	(ABOUT)
USE	: CIRCULATION SPACE AND FOOTPATH	

## FOR RECREATIONAL AGRICULTURAL USE (53% OF THE SITE)

FARMLAND AREA	: 2,438 m <sup>2</sup>	(ABOUT)
USE	: OPEN SPACE	
ARTIFICIAL POND AREA	: 409m <sup>2</sup>	(ABOUT)
USE	: FISHING AND PRAWN-FISHING	



PLANNING CONSULTANT

**R-RICHES PROPERTY  
CONSULTANTS LIMITED**

PROJECT

PROPOSED TEMPORARY PLACE  
OF RECREATION, SPORTS OR  
CULTURE (HOBBY FARM,  
FISHING GROUND, BARBECUE  
SITE) WITH ANCILLARY  
CANTEEN FOR A PERIOD OF 3  
YEARS AND LAND FILLING

SITE LOCATION

VARIOUS LOTS IN D.D. 113, KAM  
TIN, YUEN LONG, NEW  
TERRITORIES

SCALE

1 : 800 @ A4

DRAWN BY	DATE
MN	17.5.2022
CHECKED BY	DATE
APPROVED BY	DATE

DWG. TITLE  
**LAND FILLING AREA**

DWG NO.	VER.
P05	001

## LEGEND

	APPLICATION SITE
	INGRESS / EGRESS

申請編號 Application No. : A/YL-KTS/928

此頁摘自申請人提交的文件。

This page is extracted from applicant's submitted documents.

### Calculation of Runoff from Catchment Area 1

$$\text{Catchment Area} = 400 \quad \text{m}^2$$

$$Q = 0.278 C i A$$

$$C = 0.95 \quad (\text{P.42 of Stormwater Drainage Manual})$$

$$\begin{aligned} A &= 400 \quad \text{m}^2 \\ &= 0.0004 \quad \text{km}^2 \end{aligned}$$

$$\text{take } i = 250 \quad \text{mm/hr}$$

$$\begin{aligned} \text{Therefore, } Q &= 0.278 * 0.95 * 250 * 0.0004 \\ &= 0.026 \quad \text{m}^3/\text{sec} \\ &= \underline{1585} \quad \text{lit/min} \end{aligned}$$

### Calculation of Runoff from Catchment Area 2

Catchment Area for Farming

$$\text{Catchment Area} = 2438 \quad \text{m}^2$$

$$Q = 0.278 C i A$$

$$C = 0.25 \quad (\text{P.42 of Stormwater Drainage Manual})$$

$$\begin{aligned} A &= 2438 \quad \text{m}^2 \\ &= 0.002438 \quad \text{km}^2 \end{aligned}$$

$$\text{take } i = 250 \quad \text{mm/hr}$$

$$\begin{aligned} \text{Therefore, } Q &= 0.278 * 0.25 * 250 * 0.002438 \\ &= 0.042 \quad \text{m}^3/\text{sec} \\ &= \underline{2542} \quad \text{lit/min} \end{aligned}$$

Catchment Area for Hard Paving

$$\text{Catchment Area} = 1454 \quad \text{m}^2$$

$$Q = 0.278 C i A$$

$$C = 0.95 \quad (\text{P.42 of Stormwater Drainage Manual})$$

$$\begin{aligned} A &= 1454 \quad \text{m}^2 \\ &= 0.001454 \quad \text{km}^2 \end{aligned}$$

$$\text{take } i = 250 \quad \text{mm/hr}$$

$$\begin{aligned} \text{Therefore, } Q &= 0.278 * 0.95 * 250 * 0.001454 \\ &= 0.096 \quad \text{m}^3/\text{sec} \\ &= \underline{5760} \quad \text{lit/min} \end{aligned}$$

$$\text{Total Q for Area 2} = \underline{8302} \quad \text{lit/min}$$

### Calculation of Runoff from Catchment Area 3

$$\text{Catchment Area} = 680 \quad \text{m}^2$$

$$Q = 0.278 C i A$$

$$C = 0.95 \quad (\text{P.42 of Stormwater Drainage Manual})$$

$$\begin{aligned} A &= 680 \quad \text{m}^2 \\ &= 0.00068 \quad \text{km}^2 \end{aligned}$$

$$\text{take } i = 250 \quad \text{mm/hr}$$

$$\begin{aligned} \text{Therefore, } Q &= 0.278 * 0.95 * 250 * 0.00068 \\ &= 0.045 \quad \text{m}^3/\text{sec} \\ &= \underline{2694} \quad \text{lit/min} \end{aligned}$$

### Outside Catchment Area

$$\text{Catchment Area} = 3848 \quad \text{m}^2$$

Calculation of Runoff from the Proposed Development,

$$Q = 0.278 C i A$$

$$C = 0.25 \quad (\text{P.42 of Stormwater Drainage Manual})$$

$$\begin{aligned} A &= 3848 \quad \text{m}^2 \\ &= 0.003848 \quad \text{km}^2 \end{aligned}$$

$$\text{take } i = 250 \quad \text{mm/hr}$$

$$\begin{aligned} \text{Therefore, } Q &= 0.278 * 0.25 * 250 * 0.003848 \\ &= 0.067 \quad \text{m}^3/\text{sec} \\ &= \underline{4012} \quad \text{lit/min} \end{aligned}$$

**Drain (a) designed for catchment area 2**

$$\begin{aligned} Q &= 8302 \quad /0.9 \quad \text{lit/min} && \text{(Section 9.3 Stormwater Drainage Manual)} \\ &= \underline{9224} \quad \text{lit/min} \end{aligned}$$

**Provide 375UC (1:100) is OK**

**Drain (b) designed for all catchment areas**

$$Q = \underline{16592} \quad \text{lit/min}$$

Manning Equation  $V = R^{2/3} * S_f^{0.5} / n$

$$\begin{aligned} \text{where } R &= \pi r^2 / 2 \pi r && \text{dia} \quad 450 \text{ mm} \\ &= r/2 && r = 0.225 \text{ m} \\ &= 0.1125 \quad \text{m} \end{aligned}$$

$$n = 0.012 \quad \text{s/m}^{1/3} \quad \text{(Table 13 of Stormwater Drainage Manual)}$$

$$1/75 \quad S_f = 0.0133$$

$$\begin{aligned} \text{Therefore, } V &= 0.1125^{2/3} * 0.0133^{0.5} / 0.012 \\ &= 2.24 \quad \text{m/sec} \end{aligned}$$

$$\begin{aligned} \text{Maximum Capacity (Q}_{\text{max}}) &= V * A \\ &= 1.94 * \pi r^2 * 0.9 && \text{(Section 9.3 Stormwater Drainage Manual)} \end{aligned}$$

$$\begin{aligned} &= 0.32 \quad \text{m}^3/\text{sec} \\ \text{1 nos of pipe} &= 0.32 \quad \text{m}^3/\text{sec} \\ &= 19259 \quad \text{lit/min} \\ &> 16592 \quad \text{lit/min} \end{aligned}$$

**Proposed 450 dia pipe (1:75) is OK**



Drain (c) designed for outside catchment area

$$\begin{aligned} Q &= 4012 \quad /0.9 \quad \text{lit/min} && \text{(Section 9.3 Stormwater Drainage Manual)} \\ &= \underline{4457} \quad \text{lit/min} \end{aligned}$$

Provide 300UC (1:100) is OK

Drain (d) designed for outside catchment area + catchment area 3

$$Q = \underline{6705} \quad \text{lit/min}$$

Manning Equation  $V = R^{2/3} * S_f^{0.5} / n$

$$\begin{aligned} \text{where } R &= \pi r^2 / 2 \pi r && \text{dia} \quad 375 \text{ mm} \\ &= r/2 && r = 0.1875 \text{ m} \\ &= 0.09375 \text{ m} \end{aligned}$$

$$n = 0.012 \quad \text{s/m}^{1/3} \quad \text{(Table 13 of Stormwater Drainage Manual)}$$

$$1/150 \quad S_f = 0.0066667$$

$$\begin{aligned} \text{Therefore, } V &= 0.075^{2/3} * 0.0125^{0.5} / 0.012 \\ &= 1.40 \text{ m/sec} \end{aligned}$$

$$\begin{aligned} \text{Maximum Capacity (Q}_{\max}) &= V * A \\ &= 1.66 * \pi r^2 * 0.9 && \text{(Section 9.3 Stormwater Drainage Manual)} \\ &= 0.14 \text{ m}^3/\text{sec} \\ \text{1 nos of pipe} &= 0.14 \text{ m}^3/\text{sec} \\ &= 8375 \text{ lit/min} \\ &> 6705 \text{ lit/min} \end{aligned}$$

Proposed 375 dia pipe (1:150) is OK

Drain (e) designed for Max. (catchment area 1, catchment area 3)

$$\begin{aligned} Q &= 2694 \quad /0.9 \quad \text{lit/min} && \text{(Section 9.3 Stormwater Drainage Manual)} \\ &= \underline{2993} \quad \text{lit/min} \end{aligned}$$

Provide 225UC (1:100) is OK

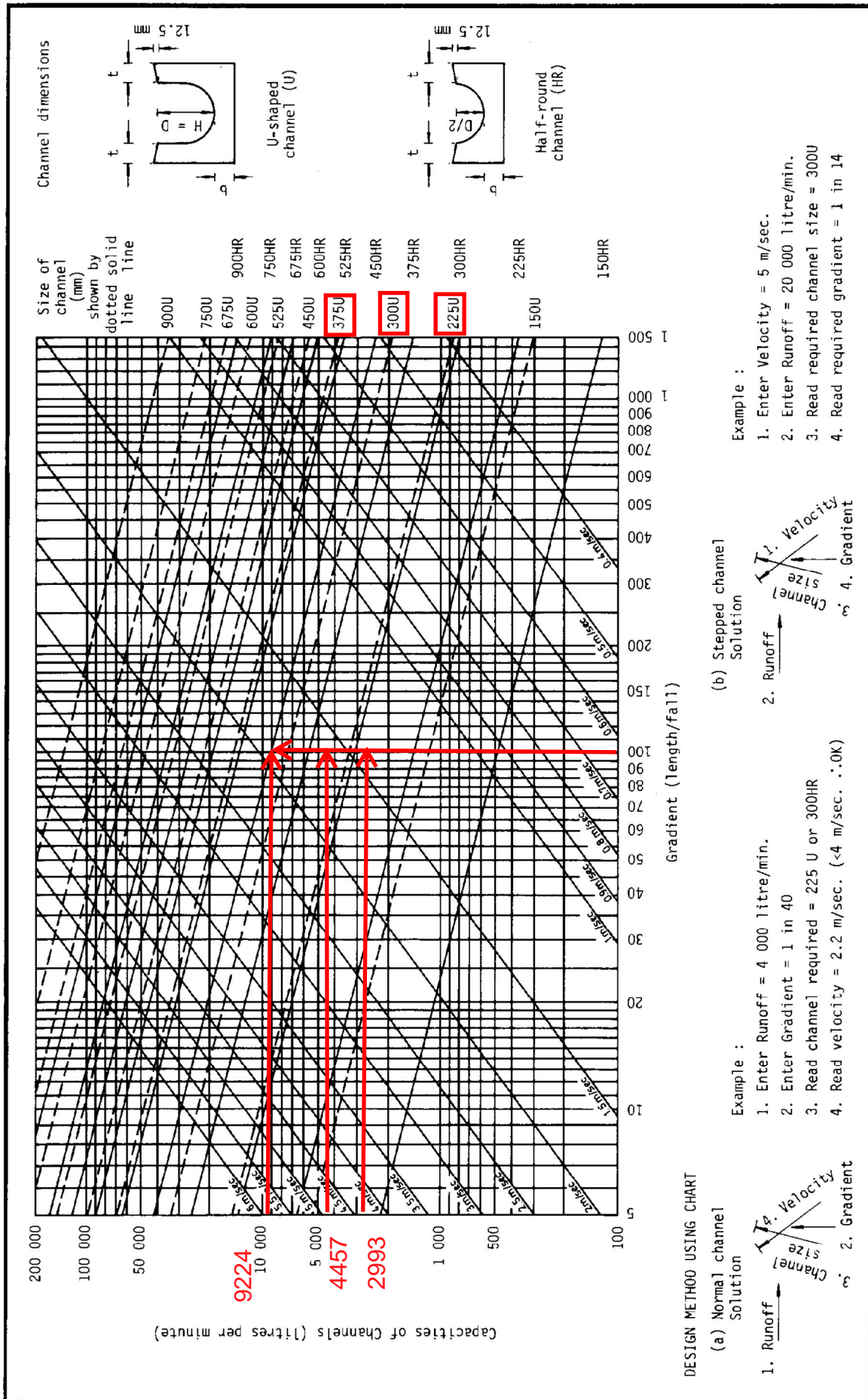


Figure 8.7 - Chart for the Rapid Design of Channels



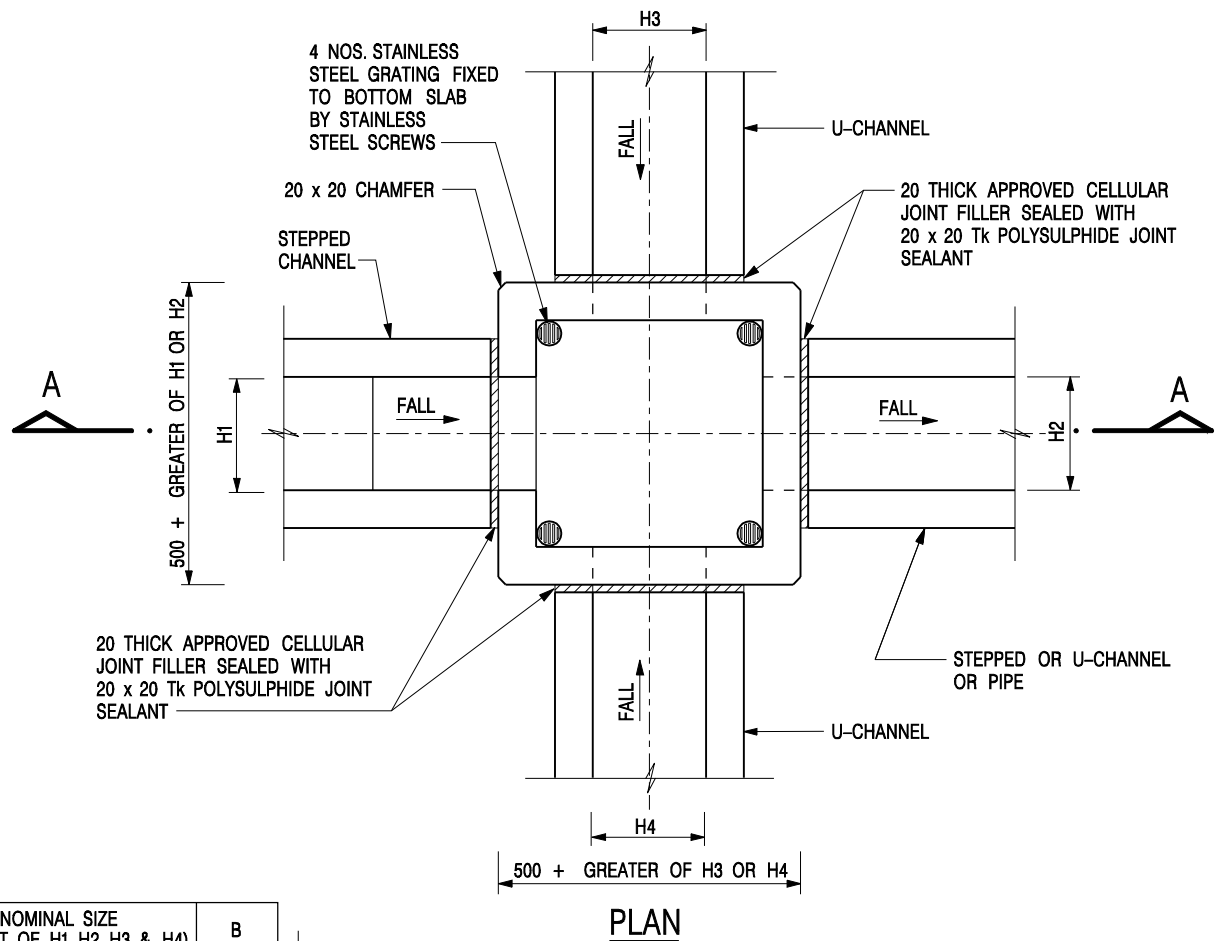
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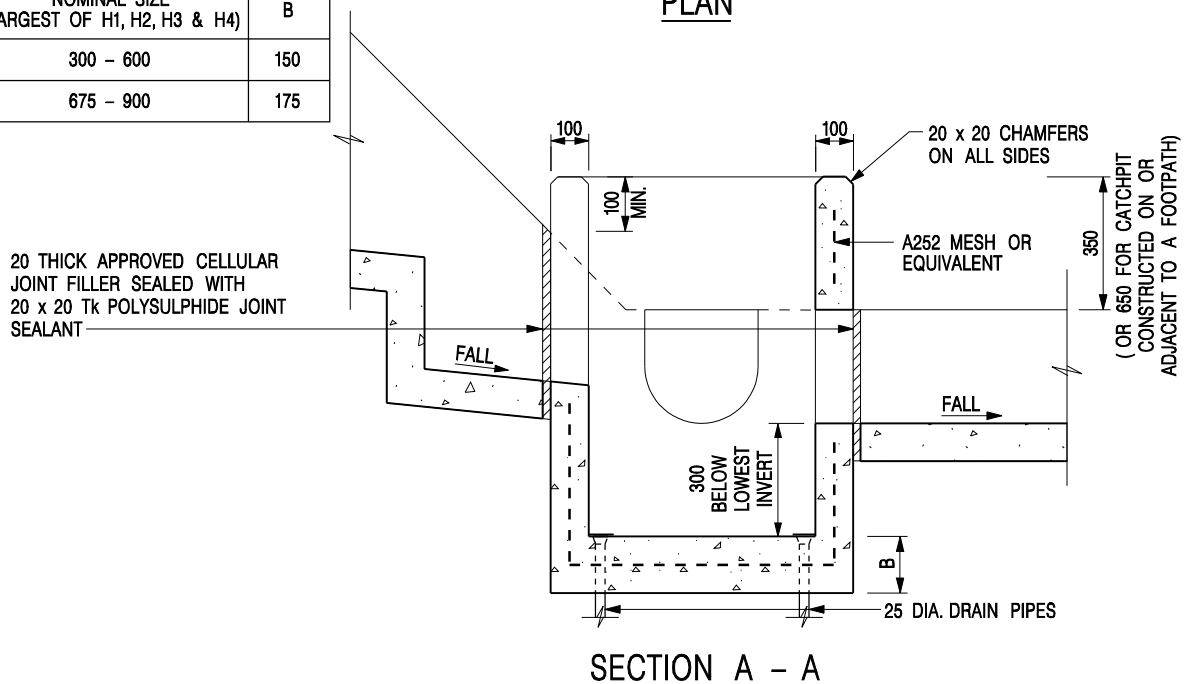
Photo 1








NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175

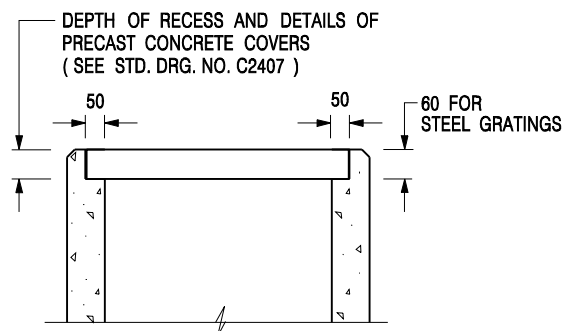


**NOTES:**

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 2 FOR OTHER NOTES.

**CATCHPIT WITH TRAP**  
(SHEET 1 OF 2)

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE
 <b>CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT</b>		<b>SCALE</b> 1 : 20 <b>DATE</b> JAN 1991	
		<b>DRAWING NO.</b> <b>C2406 /1</b>	



### ALTERNATIVE TOP SECTION FOR PRECAST CONCRETE COVERS / GRATINGS

#### NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS ( SEE DETAIL 'A' ON STD. DRG. NO. C2405 ) OR CONCRETE COVERS ( SEE STD. DRG. NO. C2407 ) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING ( SEE DETAIL 'G' ON STD. DRG. NO. C2405; EXCEPT ON THE UPSLOPE SIDE ) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS ( SEE DSD STD. DRG. NO. DS1043 ) AT 300 c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'F' ON STD. DRG. NO. C2405.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
<b>REF.</b>	<b>REVISION</b>	<b>SIGNATURE</b>	<b>DATE</b>

**CATCHPIT WITH TRAP  
(SHEET 2 OF 2)**



**CIVIL ENGINEERING AND  
DEVELOPMENT DEPARTMENT**

**SCALE** 1 : 20

**DATE** JAN 1991

**DRAWING NO.**

**C2406 /2**

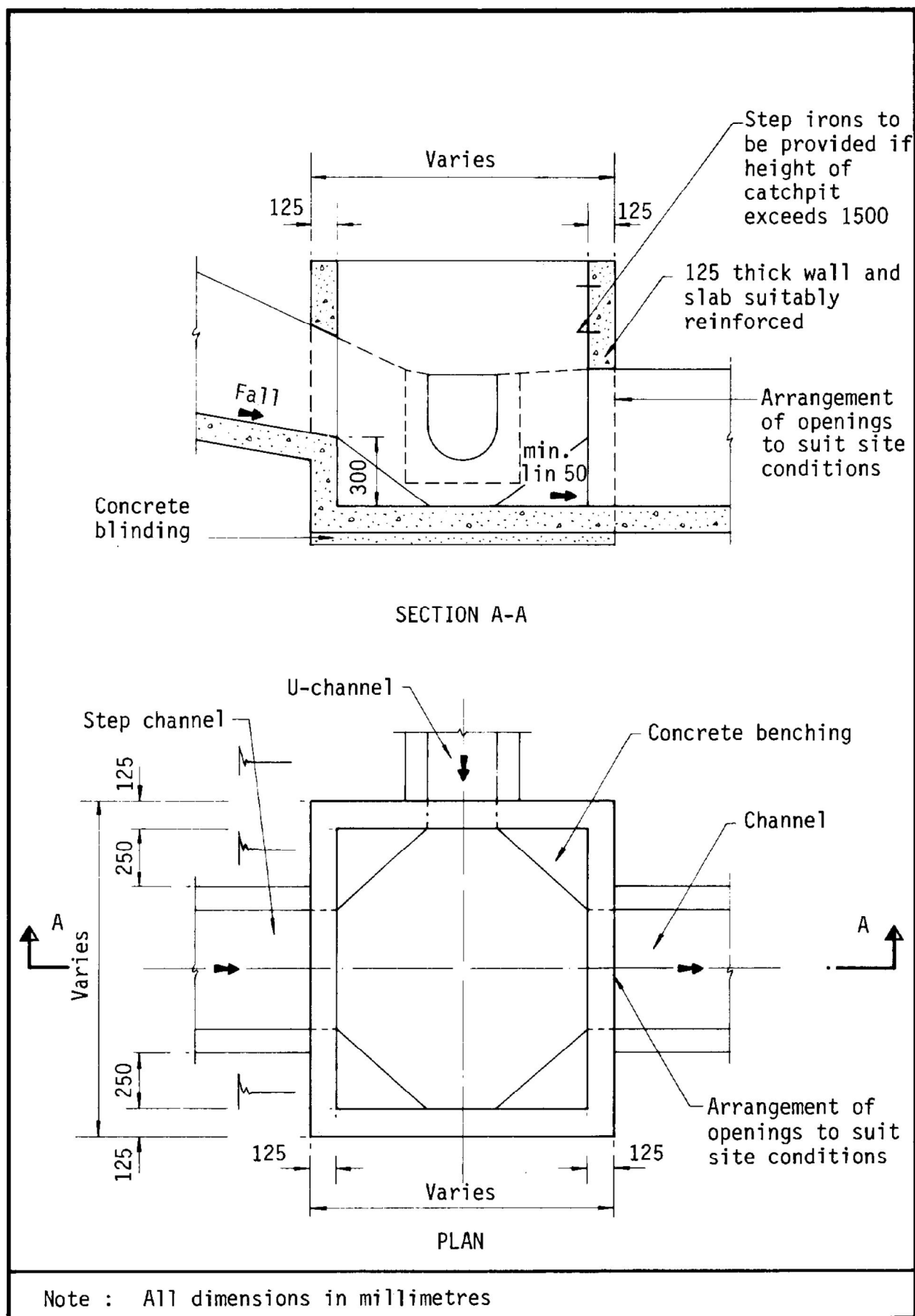
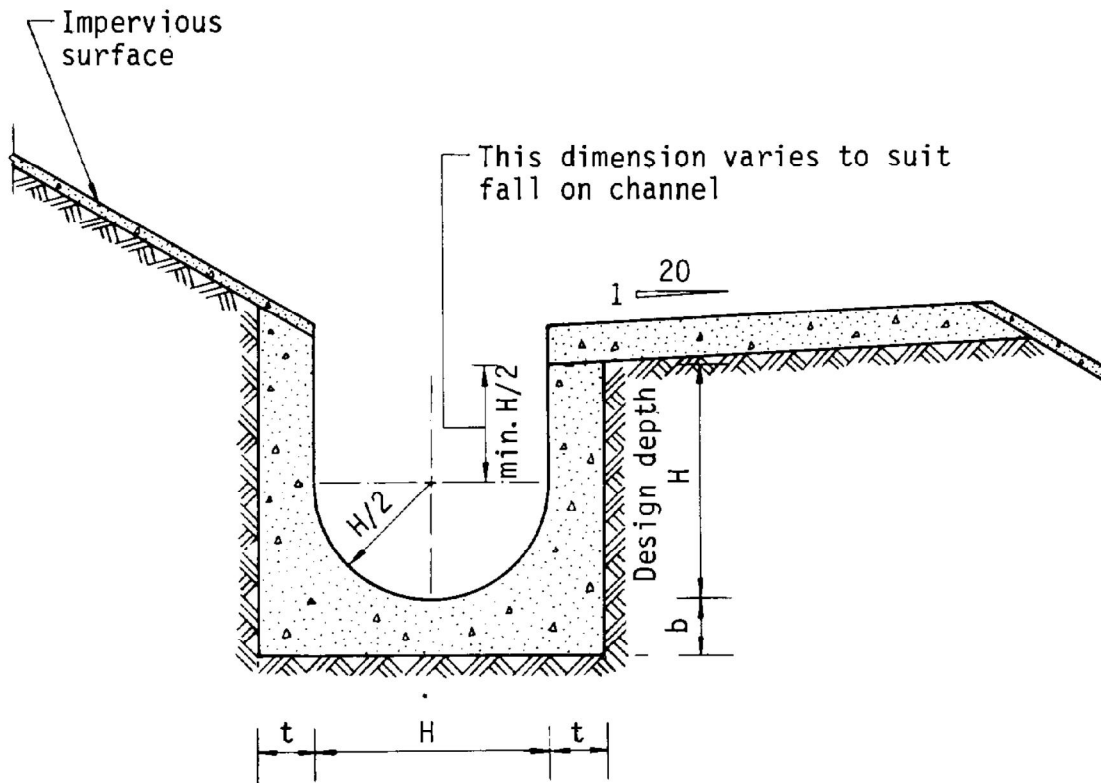


Figure 8.10 - Typical Details of Catchpits





Dimensions of U - channel

Nominal size of channel H (mm)	Thickness t (mm)	Thickness b (mm)
225 to 600	150	150
675 to 1200	175	225

Figure 8.11 - Typical U-channel Details



盈卓物業  
顧問有限公司

Our Ref.: DD113 Lot 1013 & VL  
Your Ref.: TPB/A/YL-KTS/1011

The Secretary,  
Town Planning Board,  
15/F, North Point Government Offices,  
333 Java Road,  
North Point, Hong Kong

**By Email**

4 November 2024

Dear Sir,

**1<sup>st</sup> Further Information**

**Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm and Fishing Ground),  
Barbecue Site and Education Centre with Ancillary Eating Place for a Period  
of 3 Years and Associated Filling of Land in "Agriculture" Zone,  
Various Lots in D.D. 113, Kam Tin, Yuen Long, New Territories**

**(S.16 Planning Application No. A/YL-KTS/1011)**

We are writing to submit Further Information to address departmental comments of the subject application (Appendix I).

Should you require more information regarding the application, please contact [REDACTED]  
[REDACTED] or the undersigned at your convenience.  
Thank you for your kind attention.

Yours faithfully,

For and on behalf of  
**R-riches Property Consultants Limited**

**Louis TSE**  
Town Planner

cc DPO/FSYLE, PlanD

(Attn.: Ms. Selena SIN  
(Attn.: Mr. Michael SO

email: synsin@pland.gov.hk )  
email: mckso@pland.gov.hk )



## Responses-to-Comments

**Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm and Fishing Ground),  
Barbecue Site and Education Centre with Ancillary Eating Place for a Period  
of 3 Years and Associated Filling of Land in "Agriculture" Zone,  
Various Lots in D.D. 113, Kam Tin, Yuen Long, New Territories**

**(Application No. A/YL-KTS/1011)**

(i) A RtoC Table:

Departmental Comments		Applicant's Responses
1. Comments of District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD)		
(a)	LandsD has reservation on the planning application since there are unauthorised structures and uses on Lot Nos. 1013, 1015 S.A, 1015 S.B, 1015 RP and 1035 all in D.D. 113 which are already subject to lease enforcement actions according to case priority. The lots owner(s) should rectify/apply for regularization on the lease breaches as demanded by LandsD.	The applicant will submit Short Term Wavier (STW) application to rectify the applied use after planning approval has been obtained from the Town Planning Board (the Board). No structure is proposed for domestic use.
(b)	If the planning application is approved, the lots owner(s) shall apply to this office for a Short Term Waiver (STW) to permit the structure(s) erected within the said private lots. The application for STW will be considered by the Government in its capacity as a landlord and there is no guarantee that it will be approved. The STW, if approved, will be subject to such terms and conditions including payment of waiver fee and administrative fee as considered appropriate by LandsD. Besides, given the proposed use is temporary in nature, only erection of temporary structure(s) will be considered.	
2. Comments of Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD)		
(a)	Drawing no. KTS928-D02 shows that there is an existing stream course in the western side of the site. However, according to our record, there is no existing stream at the	A revised drainage proposal is provided by the applicant (Annex I).  This existing stream is assumed not exist, and

	above location. Please provide details showing the width and depth of the above stream course and submit photos showing the existing condition of the stream course for our consideration. Subject to the size and condition of the stream course, the proposed catchment area may need to be revised to reflect the actual in-situ situation.	additional catchment area is considered.
(b)	There is an existing channel/watercourse in the adjacent to the application site. The applicant should place all the proposed works 3m away from the top of the bank of the channel/watercourse. All the proposed works in the vicinity of the channel/watercourse should not create any adverse drainage impacts, both during and after consideration. Proposed flooding mitigation measures if necessary shall be provided at the resources of the applicant to my satisfaction.	Noted. All the proposed works will be 3m away from the top of the bank of the channel/watercourse.
(c)	Cross section showing the existing and proposed ground levels of the captioned site with respect to the adjacent area should be given.	Cross sections are provided.
(d)	Please confirm whether walls or hoarding are erected or laid along the site boundary and advise the size of opening and distant between the opening in the submission.	No solid fence wall to erected. Typical details of fence wall (if any) with bottom opening are presented in Drawing D03.
(e)	The gradients of the proposed U-channels are not tally with the lengths showed in the drawing. Please check and revise.	It is revised accordingly.
(f)	For ease of reference, please include a drainage schedule in the submission.	A drainage schedule is provided.
(g)	Please indicate the bottom level of the existing stream in cross section for connection details at discharge point.	It is presented.

(h)	Please take into account of the rainfall increase due to climate change, as stipulated in Stormwater Drainage Manual Corrigendum No. 1/2022 for the design calculation.	Rainfall increase due to climate change is considered.
(i)	Please also refer to the Stormwater Drainage Manual Corrigendum No. 1/1024 (25 March 2024) for the design calculations.	It is referred.
(j)	The existing drainage facilities, to which the stormwater of the development from the subject site would discharge, are not maintained by this office. The applicant should identify the owner if the existing drainage facilities to which the proposed connection will be made. In the case that it is a local village drains, DO/YL should be consulted.	Noted.
(k)	The applicant shall resolve any conflict/disagreement with relevant lot owner(s) and seek LandsD's permission for laying new drains/channels and/or modifying/upgrading existing ones in other private lots or on Government land outside the application site.	Noted.
<b>3. Comments of Director of Fire Services (D of FS)</b>		
(a)	The separation distance between each structure shall be clearly indicated on plan.	Noted and revised accordingly. Please refer to the revised fire service installations proposal (Annex II).
(b)	In relation to i. above, structures on the same site are regarded as adjoining structures if they are less than 1.8m apart. Additional FSIs (i.e. sprinkler system, modified hose reel system and fire alarm system) shall be provided if the total floor area exceeds 230m <sup>2</sup> ; and	
(c)	The standards and specifications of the proposed emergency lighting shall be revised as "BS 5266-1:2016, BS EN	

	1838:2013 and the FSD Circular Letter No. 4/2021".	
<b>4. Comments of Commissioner for Transport, Transport Department (C for T)</b>		
(a)	Given the size of the development and the limited number of parking space, the applicant shall consider to adopt pre-booking for car parking space.	Visitors are required to make appointments in advance to access the application site (the Site), which would help to prevent excessive number of visitors and affect the public, walk in visitors will not be served.
(b)	The applicant should note the local access between Kam Ho Road and the site is not managed by this Department.	Noted.
<b>5. Comments of Director of Agriculture, Fisheries and Conservation (DAFC)</b>		
(a)	The subject falls within the "AGR" zone and possesses potential for agricultural rehabilitation. The applicant should provide more details on the agricultural activities (e.g. types of crops to be grown, size of farming, marketing channel for the crop produce, etc.) to be conducted at the subject site for TPB's consideration.	Organic crops harvested from the farm area (i.e. corn, eggplant, lettuce, etc.) will be grown at the Site. Crops from recreational farming are welcomed to be grilled at the barbecue pits or free to be carried away by visitor.
(b)	There is a watercourse located to the east of the subject site. The applicant shall clarify whether any measure will be implemented to avoid disturbance to the watercourse nearby during land filling and operation.	All the proposed works will be carried out at least 3m away from the top bank of the existing watercourse that is located at the northwest of the Site. Fencing will be erected along the site boundary to avoid the watercourse from reaching.



# DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	5,381 m <sup>2</sup> (ABOUT)
COVERED AREA	950 m <sup>2</sup> (ABOUT)
UNCOVERED AREA	4,431 m <sup>2</sup> (ABOUT)
PLOT RATIO	0.2 (ABOUT)
SITE COVERAGE	18 % (ABOUT)
NO. OF STRUCTURE	10
DOMESTIC GFA	NOT APPLICABLE
NON-DOMESTIC GFA	1,060 m <sup>2</sup> (ABOUT)
TOTAL GFA	1,060 m <sup>2</sup> (ABOUT)
BUILDING HEIGHT	3m - 6m (ABOUT)
NO. OF STOREY	1-2

STRUCTURE	USE	COVERED AREA	GFA	BUILDING HEIGHT
B1	AGRICULTURAL EDUCATION CENTRE	220m <sup>2</sup> (ABOUT)	220m <sup>2</sup> (ABOUT)	6m (ABOUT)(1-STORY)
B2	AGR. ACTIVITIES ROOM WITH RAIN SHELTER	36m <sup>2</sup> (ABOUT)	36m <sup>2</sup> (ABOUT)	3m (ABOUT)(1-STORY)
B3	AGR. ACTIVITIES ROOM WITH RAIN SHELTER	36m <sup>2</sup> (ABOUT)	36m <sup>2</sup> (ABOUT)	3m (ABOUT)(1-STORY)
B4	REFRESHMENT ROOM AND STORAGE OF TOOLS	55m <sup>2</sup> (ABOUT)	110m <sup>2</sup> (ABOUT)	6m (ABOUT)(2-STORY)
B5	AGR. ACTIVITIES ROOM WITH RAIN SHELTER	36m <sup>2</sup> (ABOUT)	36m <sup>2</sup> (ABOUT)	3m (ABOUT)(1-STORY)
B6	AGR. ACTIVITIES ROOM WITH RAIN SHELTER	36m <sup>2</sup> (ABOUT)	36m <sup>2</sup> (ABOUT)	3m (ABOUT)(1-STORY)
B7	AGR. ACTIVITIES ROOM WITH RAIN SHELTER	220m <sup>2</sup> (ABOUT)	220m <sup>2</sup> (ABOUT)	6m (ABOUT)(2-STORY)
B8	BARBECUE AREA WITH RAIN SHELTER	55m <sup>2</sup> (ABOUT)	110m <sup>2</sup> (ABOUT)	6m (ABOUT)(2-STORY)
B9	SITE OFFICE AND STORAGE OF TOOLS	220m <sup>2</sup> (ABOUT)	220m <sup>2</sup> (ABOUT)	6m (ABOUT)(1-STORY)
B10	CANTEEN, WASHROOM AND CHANGING ROOM	220m <sup>2</sup> (ABOUT)	220m <sup>2</sup> (ABOUT)	6m (ABOUT)(1-STORY)
TOTAL		950 m <sup>2</sup> (ABOUT)	1,060 m <sup>2</sup> (ABOUT)	

## Catchpit Schedule

Catchpit	CL	IL
CP1	+19.40	+18.91
CP2	+19.40	+18.60
CP3	+19.40	+18.75
CP4	+19.40	+18.60
CP5	+19.40	+18.34
CP6	+19.40	+18.23
CP7	+19.40	+17.64
CP8	+19.40	+18.67
CP9	+19.40	+18.06
CP10	+19.40	+18.53
CP11	+19.40	+18.36
CP12	+19.40	+18.28
CP13	+19.40	+18.21
CP14	+19.40	+18.09
CP15	+19.40	+17.91
CP16	+19.40	+17.68
CP17	+19.40	+18.94
CP18	+19.40	+18.60
CP19	+19.40	+18.95
CP20	+19.40	+18.68
CP21	+19.30	+18.64
CP22	+19.30	+18.82
CP23	+19.30	+18.70
CP24	+19.30	+18.64
CP25	+19.30	+18.56
CP26	+19.40	+18.75

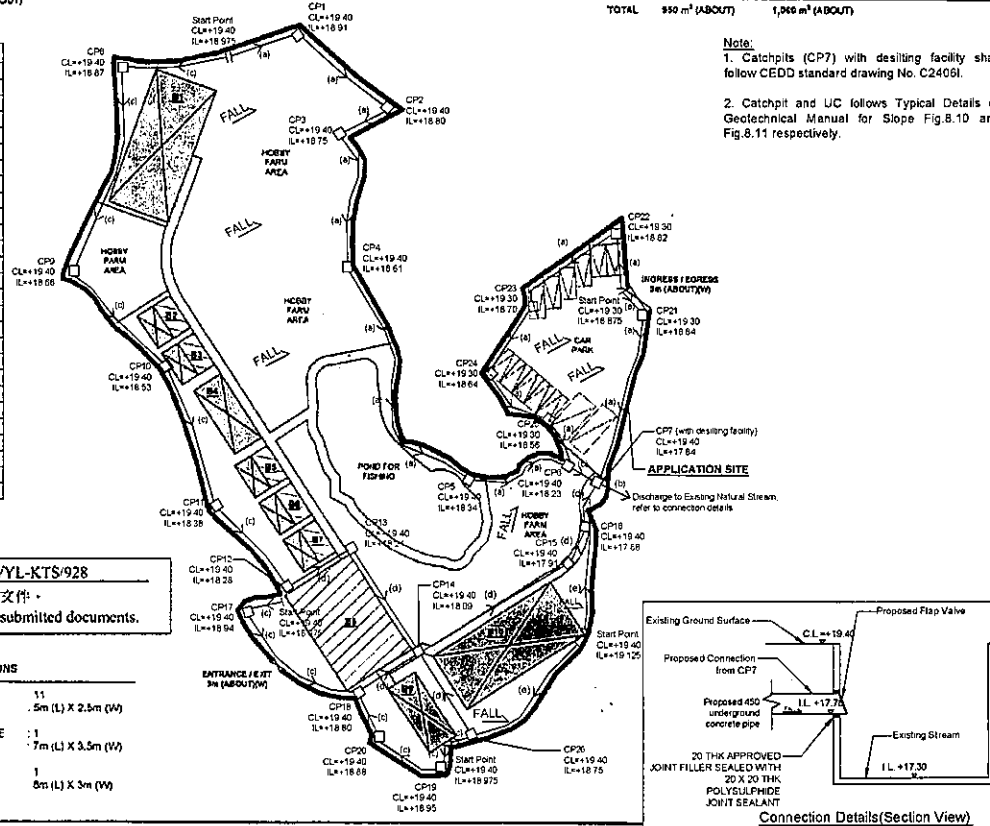
申請編號 Application No.: A/YL-KTS/928

此頁摘自申請人提交的文件。

This page is extracted from applicant's submitted documents.

## PARKING AND LOADING/UNLOADING PROVISIONS

NO. OF PRIVATE CAR PARKING SPACE	11
DIMENSION OF PARKING SPACE	5m (L) X 2.5m (W)
NO. OF LAUL SPACE FOR LIGHT GOODS VEHICLE	1
DIMENSION OF LAUL SPACE	7m (L) X 3.5m (W)
NO. OF LAUL SPACE FOR LIGHT BUS	1
DIMENSION OF LAUL SPACE	8m (L) X 3m (W)



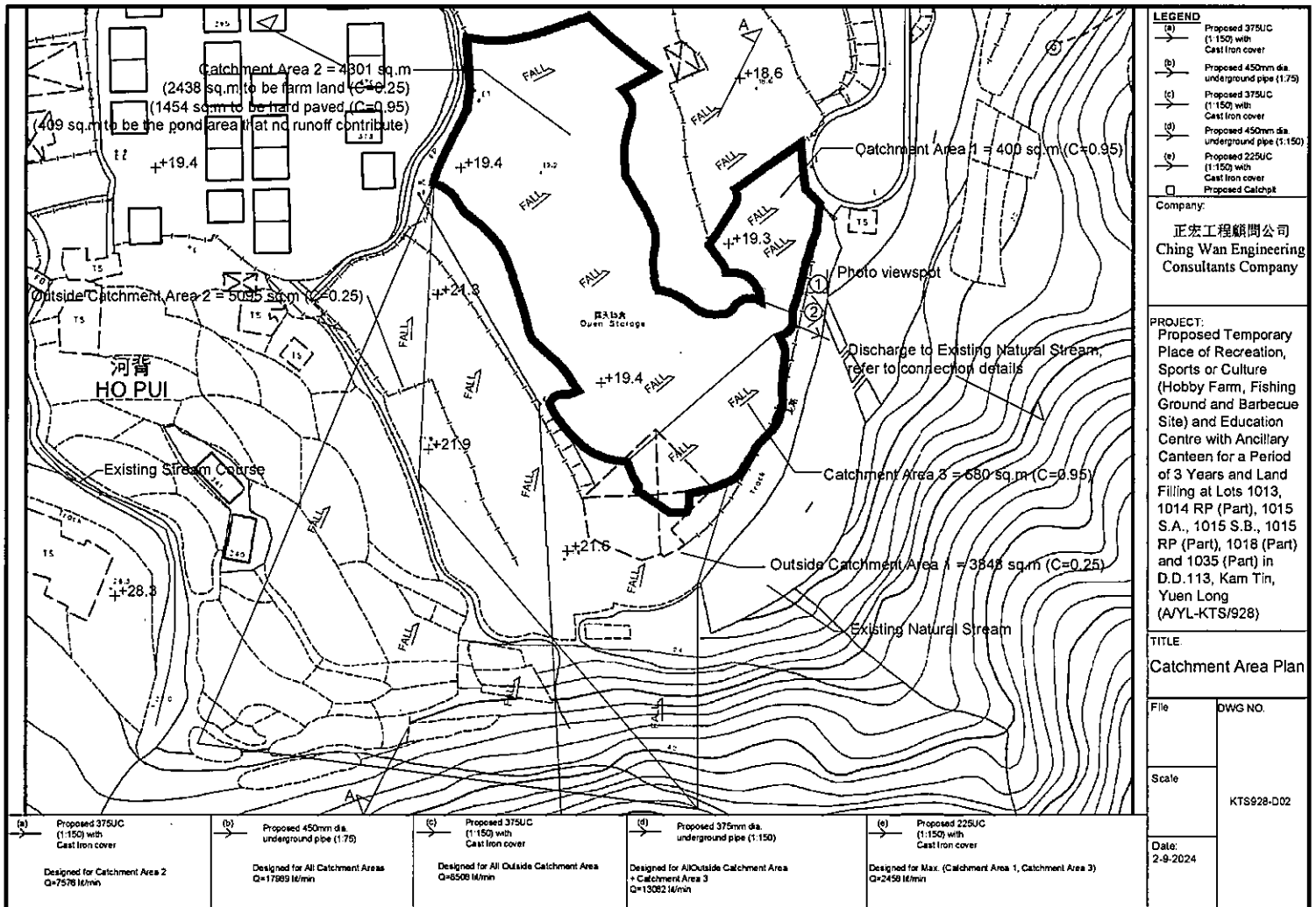
Note:  
1. Catchpits (CP7) with desilting facility shall follow CEDD standard drawing No. C24061.  
2. Catchpit and UC follows Typical Details of Geotechnical Manual for Slope Fig.8.10 and Fig.8.11 respectively.

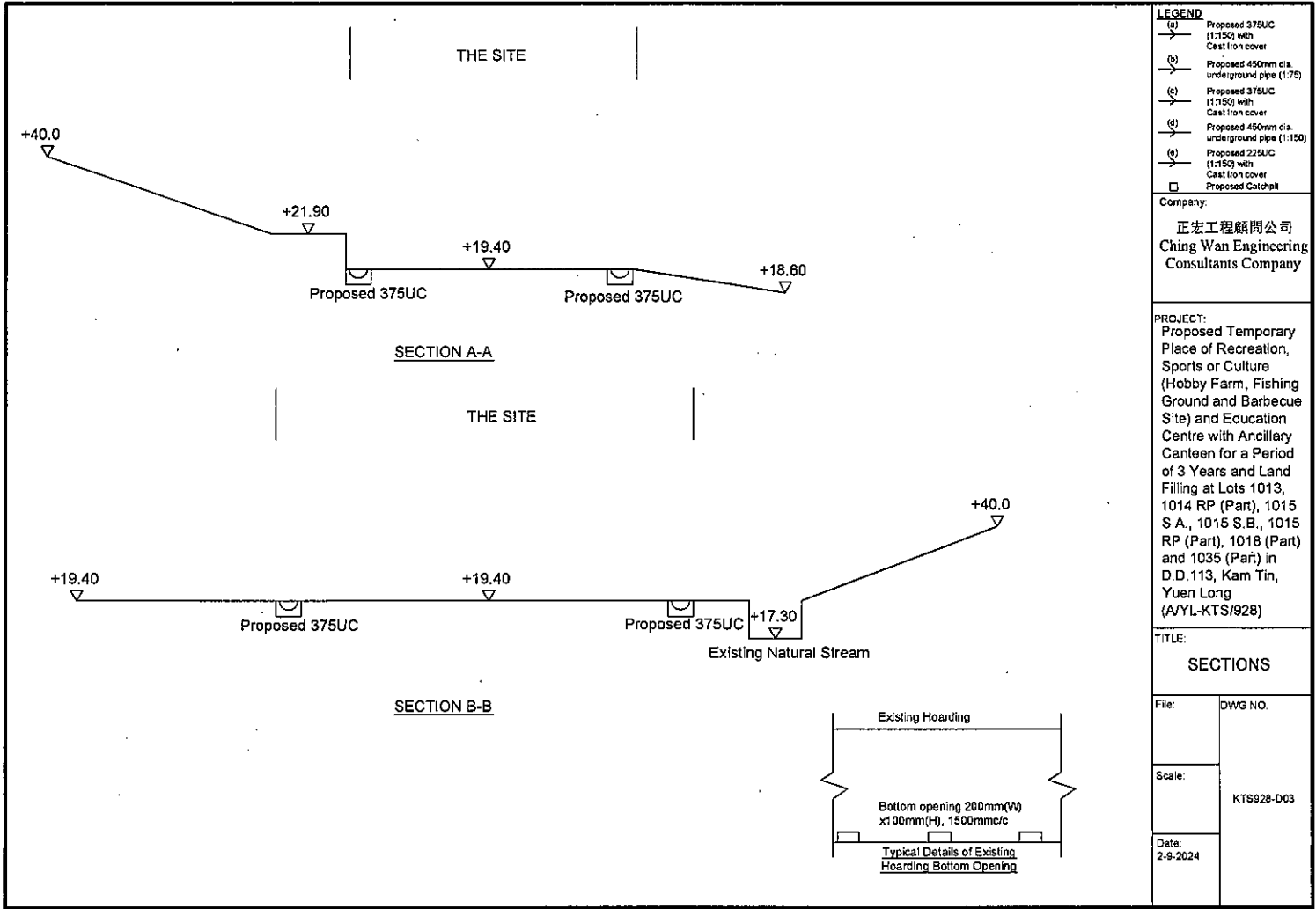
LEGEND	
(a)	Proposed 375UC (1:150) with Cast Iron cover
(b)	Proposed 450mm dia. underground pipe (1:75)
(c)	Proposed 375UC (1:150) with Cast Iron cover
(d)	Proposed 450mm dia. underground pipe (1:150)
(e)	Proposed 225UC (1:150) with Cast Iron cover
(f)	Proposed Catchpit
Company:	正宏工程顧問公司 Ching Wan Engineering Consultants Company

PROJECT:  
Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm, Fishing Ground and Barbecue Site) and Education Centre with Ancillary Canteen for a Period of 3 Years and Land Filling at Lots 1013, 1014 RP (Part), 1015 S.A., 1015 S.B., 1015 RP (Part), 1018 (Part) and 1035 (Part) in D.D.113, Kam Tin, Yuen Long (A/YL-KTS/928)

TITLE:  
Drainage Proposal

File:	DWG NO.
Scale:	KTS928-D01
Date:	2-9-2024
Annex I	





# PAVED RATIO OF THE APPLICATION SITE

APPLICATION SITE AREA	5,381 m <sup>2</sup>	(ABOUT)
COVERED BY STRUCTURE	950 m <sup>2</sup>	(ABOUT)
LAND FILLING AREA	1,545 m <sup>2</sup>	(ABOUT)
DEPTH OF LAND FILLING	NOT MORE THAN 0.2m	(ABOUT)
MATERIAL OF LAND FILLING	CONCRETE	
PURPOSE OF LAND FILLING	SITE FORMATION OF STRUCTURES PARKING AND LAUL SPACE	
SOILED GROUND AREA	989m <sup>2</sup>	(ABOUT)
USE	CIRCULATION SPACE AND FOOTPATH	

## FOR RECREATIONAL AGRICULTURAL USE (33% OF THE SITE)

FARMLAND AREA	2,438 m <sup>2</sup>	(ABOUT)
USE	OPEN SPACE	
ARTIFICIAL POND AREA	405m <sup>2</sup>	(ABOUT)
USE	FISHING AND PRAWN-FISHING	

SITE FORMATION OF STRUCTURE	
EXISTING SITE LEVEL	+19.2mPD (ABOUT)
PROPOSED SITE LEVEL	+18.4PD (ABOUT)
MATERIAL OF FILLING	CONCRETE
DEPTH OF FILLING	NOT MORE THAN 0.2m

FOOTPATH	
SOILED GROUND	NO LAND FILLING IS REQUIRED

SITE FORMATION OF STRUCTURE	
EXISTING SITE LEVEL	+19.2mPD (ABOUT)
PROPOSED SITE LEVEL	+18.4PD (ABOUT)
MATERIAL OF FILLING	CONCRETE
DEPTH OF FILLING	NOT MORE THAN 0.2m

CIRCULATION SPACE	
SOILED GROUND	NO LAND FILLING IS REQUIRED

FARMLAND	
NO LAND FILLING IS REQUIRED	

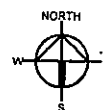
ARTIFICIAL POND FOR FISHING	
NO LAND FILLING IS REQUIRED	

CIRCULATION AND PARKING / LAUL SPACE	
EXISTING SITE LEVEL	+19.2mPD (ABOUT)
PROPOSED SITE LEVEL	+18.3mPD (ABOUT)
MATERIAL OF FILLING	CONCRETE
DEPTH OF FILLING	NOT MORE THAN 0.1m

FARMLAND	
NO LAND FILLING IS REQUIRED	

CIRCULATION SPACE	
SOILED GROUND	NO LAND FILLING IS REQUIRED

SITE FORMATION OF STRUCTURE	
EXISTING SITE LEVEL	+18.2mPD (ABOUT)
PROPOSED SITE LEVEL	+15.4PD (ABOUT)
MATERIAL OF FILLING	CONCRETE
DEPTH OF FILLING	NOT MORE THAN 0.3m



PLANNING CONSULTANT  
R. RICHES PROPERTY  
CONSULTANTS LIMITED

PROJECT  
PROPOSED TEMPORARY PLACE  
OF RECREATION, SPORTS OR  
CULTURE (HOBBY FARM,  
FISHING GROUND, BARBECUE  
SITE) WITH ANCILLARY  
CANTEN FOR A PERIOD OF 3  
YEARS AND LAND FILLING

SITE LOCATION  
VARIOUS LOTS IN D.D. 113, NAM  
THAI, YUEN LONG, NEW  
TERRITORIES

SCALE  
1:1,500 @ A4  
DATE  
17.5.2022

LAND FILLING AREA  
P05 061

申請編號 Application No.: A/L-KTS/928

此頁將自申請人提交的文件。

This page is extracted from applicant's submitted documents.

### LEGEND

APPLICATION SITE  
INGRESS / EGRESS

$$\begin{aligned}
 i &= 177 \times 1.16 \\
 &= 205.32 \quad \text{mm/hr}
 \end{aligned}$$

(5min duration, 10 yrs return period, Table 2d, SDM Corrigendum No. 1/2024)  
(Rainfall increase 16% due climate change, SDM Corrigendum No. 1/2022)

#### Calculation of Runoff from Catchment Area 1

$$\begin{aligned}
 \text{Catchment Area} &= 400 \quad \text{m}^2 \\
 Q &= 0.278 C i A \\
 C &= 0.95 \quad \text{(P.42 of Stormwater Drainage Manual)} \\
 A &= 400 \quad \text{m}^2 \\
 &= 0.0004 \quad \text{km}^2 \\
 \text{take } i &= 205.32 \quad \text{mm/hr} \\
 \text{Therefore, } Q &= 0.278 \times 0.95 \times 205.32 \times 0.0004 \\
 &= 0.022 \quad \text{m}^3/\text{sec} \\
 &= \underline{1301} \quad \text{lit/min}
 \end{aligned}$$

#### Calculation of Runoff from Catchment Area 2

Catchment Area for Farming

$$\begin{aligned}
 \text{Catchment Area} &= 2438 \quad \text{m}^2 \\
 Q &= 0.278 C i A \\
 C &= 0.25 \quad \text{(P.42 of Stormwater Drainage Manual)} \\
 A &= 2438 \quad \text{m}^2 \\
 &= 0.002438 \quad \text{km}^2 \\
 \text{take } i &= 205.32 \quad \text{mm/hr} \\
 \text{Therefore, } Q &= 0.278 \times 0.25 \times 205.32 \times 0.002438 \\
 &= 0.035 \quad \text{m}^3/\text{sec} \\
 &= \underline{2087} \quad \text{lit/min}
 \end{aligned}$$

Catchment Area for Hard Paving

$$\begin{aligned}
 \text{Catchment Area} &= 1454 \quad \text{m}^2 \\
 Q &= 0.278 C i A \\
 C &= 0.95 \quad \text{(P.42 of Stormwater Drainage Manual)} \\
 A &= 1454 \quad \text{m}^2 \\
 &= 0.001454 \quad \text{km}^2 \\
 \text{take } i &= 205.32 \quad \text{mm/hr} \\
 \text{Therefore, } Q &= 0.278 \times 0.95 \times 205.32 \times 0.001454 \\
 &= 0.079 \quad \text{m}^3/\text{sec} \\
 &= \underline{4731} \quad \text{lit/min} \\
 \text{Total Q for Area 2} &= \underline{6818} \quad \text{lit/min}
 \end{aligned}$$

### Calculation of Runoff from Catchment Area 3

$$\text{Catchment Area} = 680 \quad \text{m}^2$$

$$Q = 0.278 C i A$$

$$C = 0.95 \quad (\text{P.42 of Stormwater Drainage Manual})$$

$$\begin{aligned} A &= 680 \quad \text{m}^2 \\ &= 0.00068 \quad \text{km}^2 \end{aligned}$$

$$\text{take } i = 205.32 \quad \text{mm/hr}$$

$$\begin{aligned} \text{Therefore, } Q &= 0.278 * 0.95 * 205.32 * 0.00068 \\ &= 0.037 \quad \text{m}^3/\text{sec} \\ &= \underline{2212} \quad \text{lit/min} \end{aligned}$$

### Outside Catchment Area 1

$$\text{Catchment Area} = 3848 \quad \text{m}^2$$

Calculation of Runoff from the Proposed Development,

$$Q = 0.278 C i A$$

$$C = 0.25 \quad (\text{P.42 of Stormwater Drainage Manual})$$

$$\begin{aligned} A &= 3848 \quad \text{m}^2 \\ &= 0.003848 \quad \text{km}^2 \end{aligned}$$

$$\text{take } i = 205.32 \quad \text{mm/hr}$$

$$\begin{aligned} \text{Therefore, } Q &= 0.278 * 0.25 * 205.32 * 0.003848 \\ &= 0.055 \quad \text{m}^3/\text{sec} \\ &= \underline{3295} \quad \text{lit/min} \end{aligned}$$

### Outside Catchment Area 2

$$\text{Catchment Area} = 5095 \quad \text{m}^2$$

Calculation of Runoff from the Proposed Development,

$$Q = 0.278 C i A$$

$$C = 0.25 \quad (\text{P.42 of Stormwater Drainage Manual})$$

$$\begin{aligned} A &= 5095 \quad \text{m}^2 \\ &= 0.005095 \quad \text{km}^2 \end{aligned}$$

$$\text{take } i = 205.32 \quad \text{mm/hr}$$

$$\begin{aligned} \text{Therefore, } Q &= 0.278 * 0.25 * 205.32 * 0.005095 \\ &= 0.073 \quad \text{m}^3/\text{sec} \\ &= \underline{4362} \quad \text{lit/min} \end{aligned}$$

Drain (a) designed for catchment area 2

$$Q = 6818 \quad /0.9 \quad \text{lit/min} \quad (\text{Section 9.3 Stormwater Drainage Manual})$$
$$= \underline{7576} \quad \text{lit/min}$$

Provide 375UC (1:150) is OK

Drain (b) designed for all catchment areas

$$Q = \underline{17989} \quad \text{lit/min}$$

Manning Equation  $V = R^{2/3} \cdot S_f^{0.5} / n$

where  $R = \frac{\pi r^2}{2 \pi r} \quad \text{dia} \quad 450 \text{ mm}$   
 $= \frac{\pi r}{2} \quad r = 0.225 \text{ m}$   
 $= 0.1125 \quad \text{m}$

$$n = 0.012 \quad \text{s/m}^{1/3} \quad (\text{Table 13 of Stormwater Drainage Manual})$$

$$1/75 \quad S_f = 0.0133$$

Therefore,  $V = \frac{0.1125^{2/3} \cdot 0.0133^{0.5}}{0.012}$   
 $= 2.24 \quad \text{m/sec}$

Maximum Capacity ( $Q_{\max}$ )  $= V \cdot A$   
 $= 1.94 \cdot \pi r^2 \cdot 0.9 \quad (\text{Section 9.3 Stormwater Drainage Manual})$   
 $= 0.32 \quad \text{m}^3/\text{sec}$   
1 nos of pipe  $= 0.32 \quad \text{m}^3/\text{sec}$   
 $= 19259 \quad \text{lit/min}$   
 $> 17989 \quad \text{lit/min}$

Proposed 450 dia pipe (1:75) is OK



Drain (c) designed for outside catchment area 1 + outside catchment area 2

$$\begin{aligned} Q &= 7657 / 0.9 \text{ lit/min} && \text{(Section 9.3 Stormwater Drainage Manual)} \\ &= \underline{8508} \text{ lit/min} \end{aligned}$$

Provide 300UC (1:100) is OK

Drain (d) designed for outside catchment area 1 + outside catchment area 2 + catchment area 3

$$Q = \underline{13082} \text{ lit/min}$$

Manning Equation  $V = R^{2/3} S_f^{0.5} / n$

$$\begin{aligned} \text{where } R &= \pi r^2 / 2 \pi r && \text{dia } 450 \text{ mm} \\ &= r/2 && r = 0.225 \text{ m} \\ &= 0.1125 \text{ m} \end{aligned}$$

$$n = 0.012 \text{ s/m}^{1/3} \quad \text{(Table 13 of Stormwater Drainage Manual)}$$

$$1/150 \quad S_f = 0.0067$$

$$\begin{aligned} \text{Therefore, } V &= 0.1125^{2/3} * 0.0067^{0.5} / 0.012 \\ &= 1.59 \text{ m/sec} \end{aligned}$$

$$\begin{aligned} \text{Maximum Capacity (Q}_{\max}) &= V * A \\ &= 1.59 * \pi r^2 * 0.9 && \text{(Section 9.3 Stormwater Drainage Manual)} \end{aligned}$$

$$\begin{aligned} 1 \text{ nos of pipe} &= 0.23 \text{ m}^3/\text{sec} \\ &= 0.23 \text{ m}^3/\text{sec} \\ &= 13618 \text{ lit/min} \\ &> 13082 \text{ lit/min} \end{aligned}$$

Proposed 450 dia pipe (1:150) is OK

Drain (e) designed for Max. (catchment area 1, catchment area 3)

$$\begin{aligned} Q &= 2212 / 0.9 \text{ lit/min} && \text{(Section 9.3 Stormwater Drainage Manual)} \\ &= \underline{2458} \text{ lit/min} \end{aligned}$$

Provide 225UC (1:150) is OK

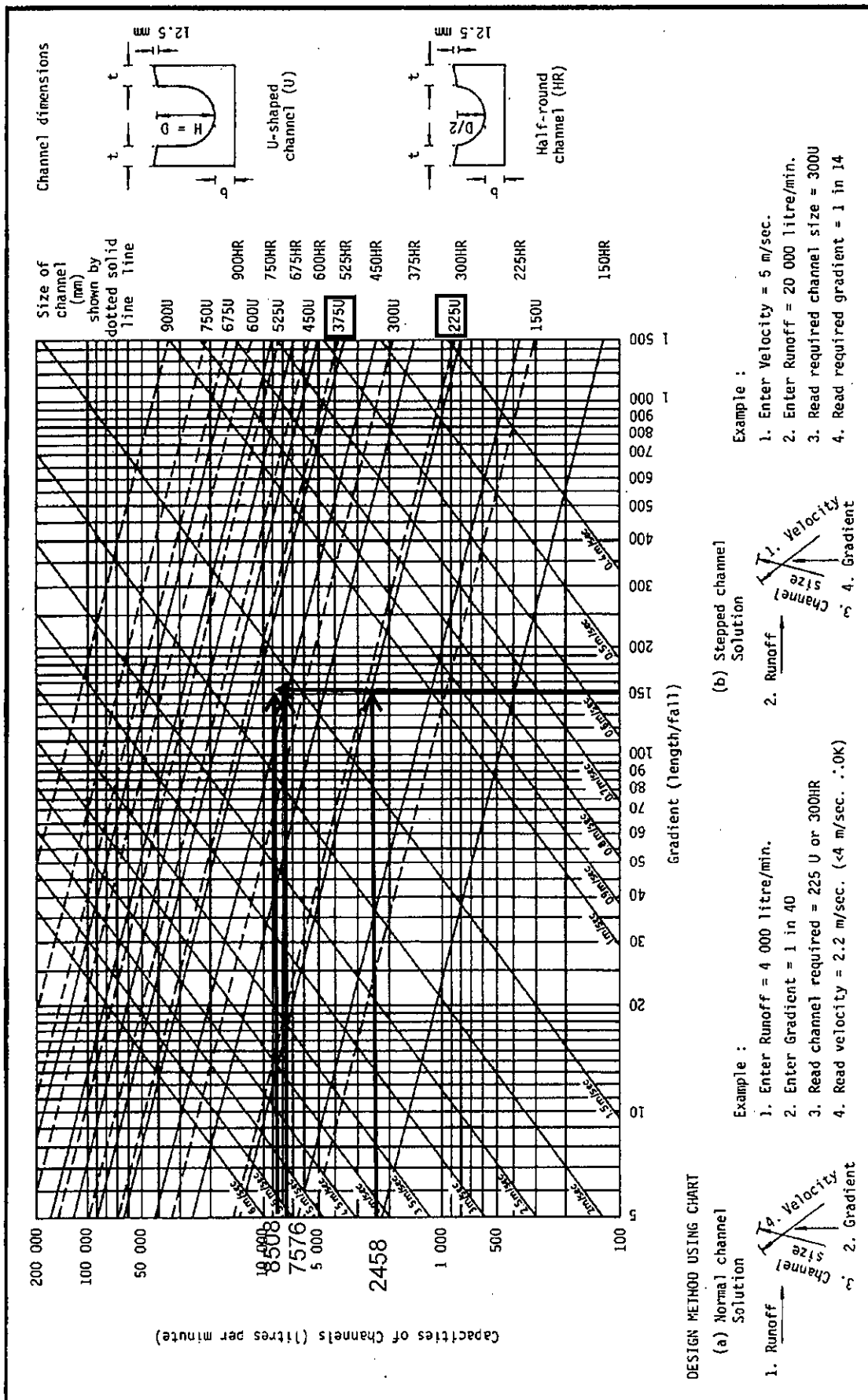


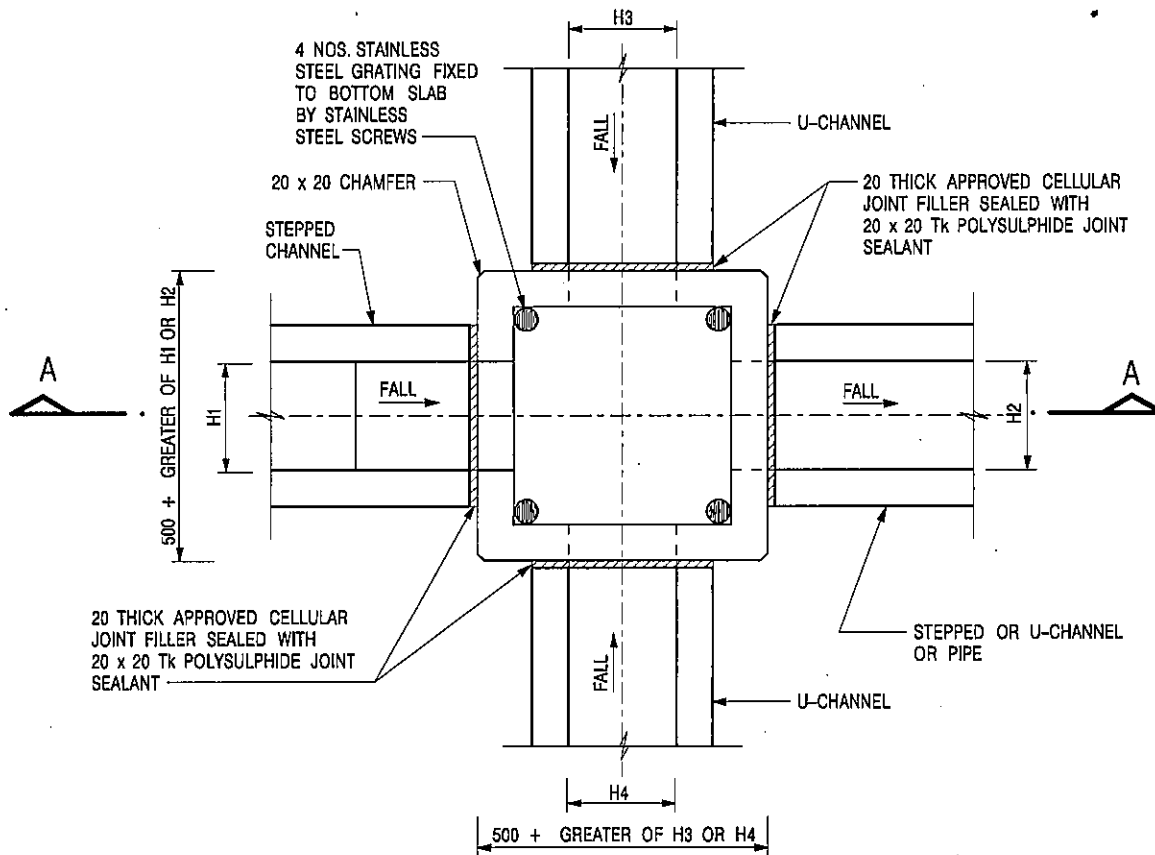
Figure 8.7 - Chart for the Rapid Design of Channels

Photo 2



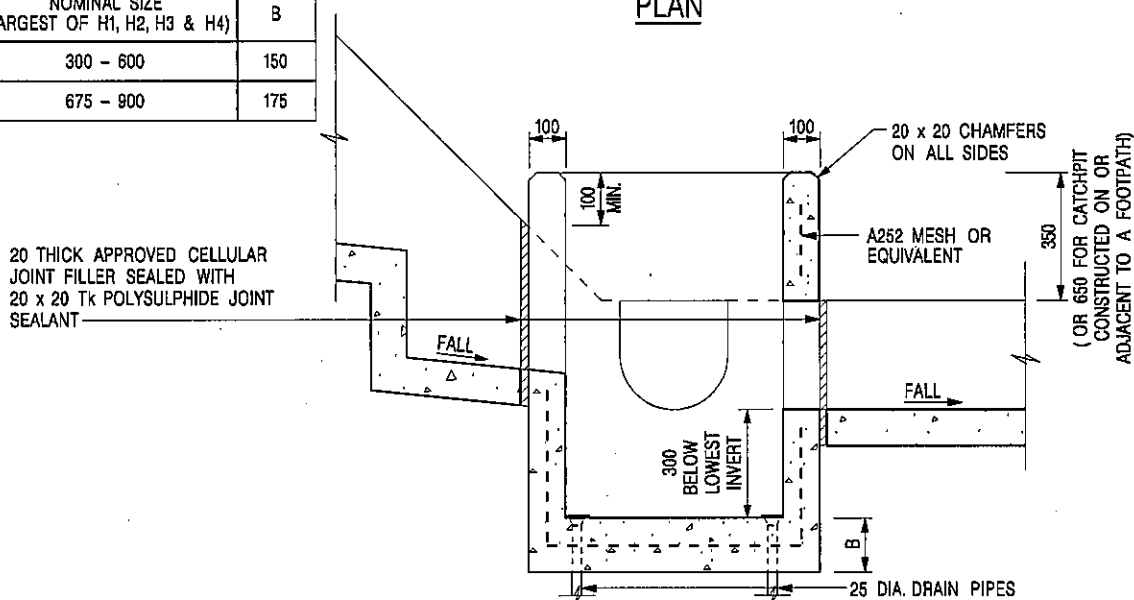
Photo 1





**PLAN**

NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175



**SECTION A - A**

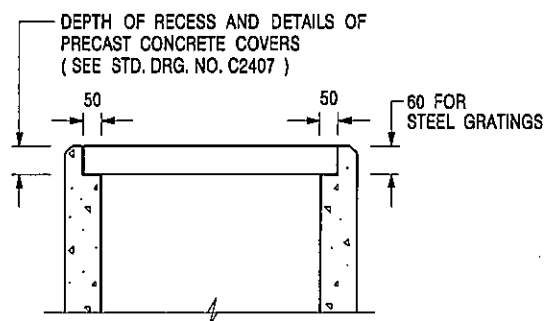
**NOTES:**

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 2 FOR OTHER NOTES.

**CATCHPIT WITH TRAP**  
**(SHEET 1 OF 2)**

卓越工程 建設香港

FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE DATE
<b>CEDD</b> <b>CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT</b>		
SCALE 1 : 20		DRAWING NO.
DATE JAN 1991		C2406 /1
We Engineer Hong Kong's Development		



### ALTERNATIVE TOP SECTION FOR PRECAST CONCRETE COVERS / GRATINGS

#### NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 / 20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS (SEE DETAIL 'A' ON STD. DRG. NO. C2405) OR CONCRETE COVERS (SEE STD. DRG. NO. C2407) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING (SEE DETAIL 'G' ON STD. DRG. NO. C2405; EXCEPT ON THE UPSLOPE SIDE) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS (SEE DSD STD. DRG. NO. DS1043) AT 300 mm STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'F' ON STD. DRG. NO. C2405.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE

**CATCHPIT WITH TRAP  
(SHEET 2 OF 2)**



**CIVIL ENGINEERING AND  
DEVELOPMENT DEPARTMENT**

**SCALE** 1 : 20

**DRAWING NO.**

**DATE** JAN 1991

**C2406 / 2**

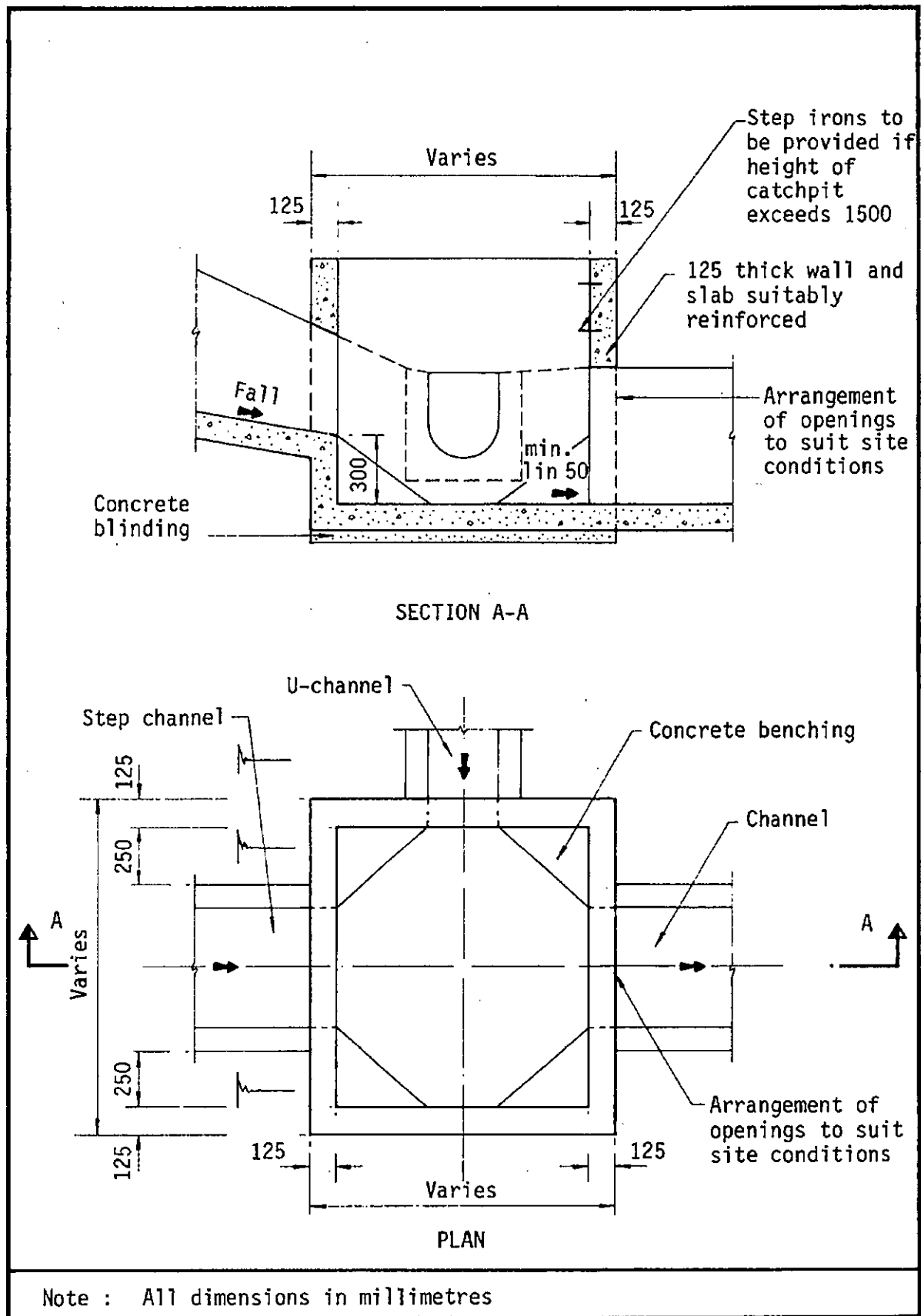
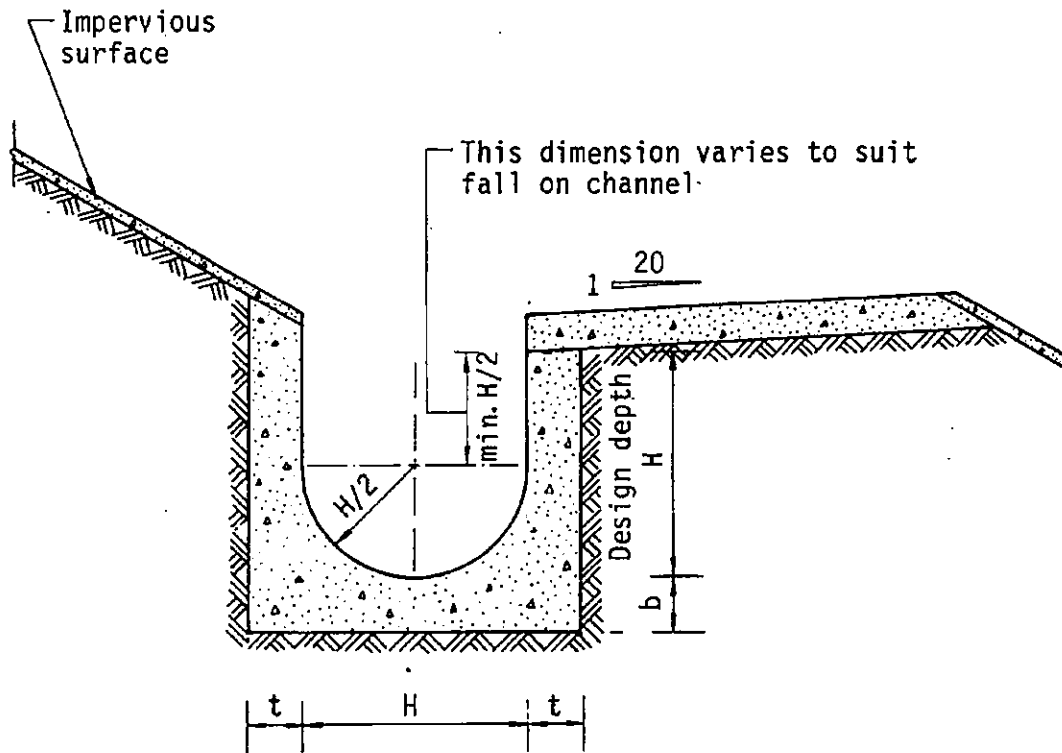


Figure 8.10 - Typical Details of Catchpits



Dimensions of U - channel

Nominal size of channel H (mm)	Thickness t (mm)	Thickness b (mm)
225 to 600	150	150
675 to 1200	175	225

Figure 8.11 - Typical U-channel Details



# DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	5,381 m <sup>2</sup> (ABOUT)
COVERED AREA	959 m <sup>2</sup> (ABOUT)
UNCOVERED AREA	4,431 m <sup>2</sup> (ABOUT)
PLOT RATIO	0.2 (ABOUT)
SITE COVERAGE	18 % (ABOUT)
NO. OF STRUCTURE	10
DOMESTIC GFA	NOT APPLICABLE
NON-DOMESTIC GFA	1,068 m <sup>2</sup> (ABOUT)
TOTAL GFA	1,068 m <sup>2</sup> (ABOUT)
BUILDING HEIGHT	3m - 8m (ABOUT)
NO. OF STOREY	1 - 2

## PARKING AND LOADING/UNLOADING PROVISIONS

NO. OF PRIVATE CAR PARKING SPACE	11
DIMENSION OF PARKING SPACE	5m (L) X 2.5m (W)
NO. OF LUL SPACE FOR LIGHT GOODS VEHICLE	1
DIMENSION OF LUL SPACE	7m (L) X 3.5m (W)
NO. OF LUL SPACE FOR LIGHT BUS	1
DIMENSION OF LUL SPACE	8m (L) X 3m (W)

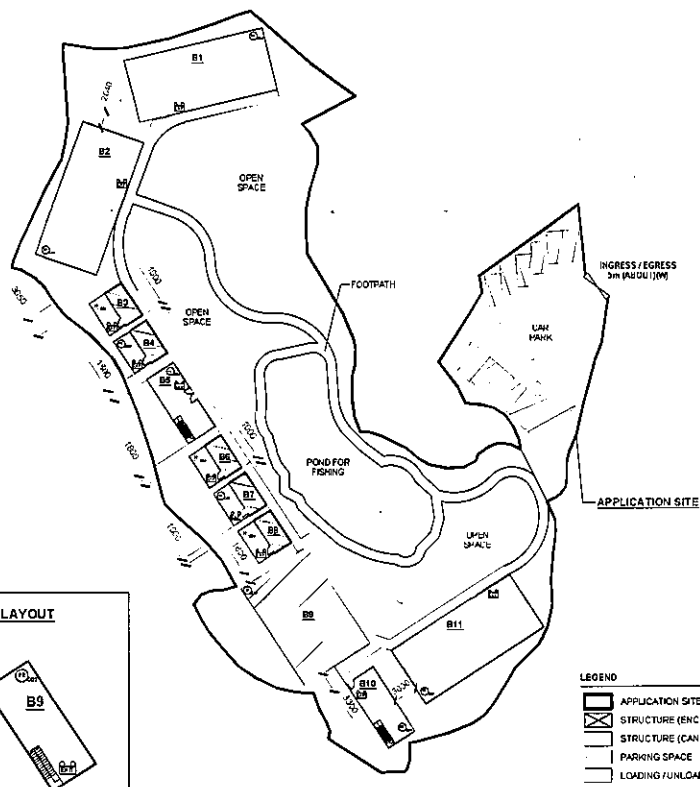
## FIRE SERVICE INSTALLATIONS

- EXIT SIGN AND EMERGENCY LIGHT
- 4.5 KG GAS-TYPE FIRE EXTINGUISHER

### FS NOTES:

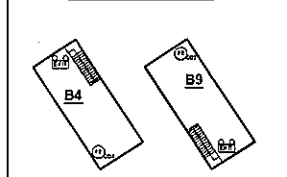
- SUFFICIENT EMERGENCY LIGHTING SHALL BE PROVIDED THROUGHOUT THE ENTIRE BUILDING IN ACCORDANCE WITH BS5266 PART 1 AND BS EN1838.
- SUFFICIENT DIRECTIONAL AND EXIT SIGN SHALL BE PROVIDED IN ACCORDANCE WITH BS5266 PART 1 AND FSD CIRCULAR LETTER 5/2008.
- PORTABLE HAND-OPERATED APPROVED APPLIANCE SHALL BE PROVIDED AS REQUIRED BY OCCUPANCY.
- ACCESS IS PROVIDED FOR EMERGENCY VEHICLE TO REACH 30m OF ALL PART OF STRUCTURES.

STRUCTURE	USE	COVERED AREA	GFA	BUILDING HEIGHT
B1	AGRICULTURAL EDUCATION CENTRE	220m <sup>2</sup> (ABOUT)	220m <sup>2</sup> (ABOUT)	8m (ABOUT)(1-STORY)
B2	AGR ACTIVITIES ROOM WITH RAIN SHELTER	38m <sup>2</sup> (ABOUT)	38m <sup>2</sup> (ABOUT)	3m (ABOUT)(1-STORY)
B3	AGR ACTIVITIES ROOM WITH RAIN SHELTER	38m <sup>2</sup> (ABOUT)	38m <sup>2</sup> (ABOUT)	3m (ABOUT)(1-STORY)
B4	REFRESHMENT KIOSK AND STORAGE OF TOOLS	55m <sup>2</sup> (ABOUT)	110m <sup>2</sup> (ABOUT)	8m (ABOUT)(2-STORY)
B5	AGR ACTIVITIES ROOM WITH RAIN SHELTER	38m <sup>2</sup> (ABOUT)	38m <sup>2</sup> (ABOUT)	3m (ABOUT)(1-STORY)
B6	AGR ACTIVITIES ROOM WITH RAIN SHELTER	38m <sup>2</sup> (ABOUT)	38m <sup>2</sup> (ABOUT)	3m (ABOUT)(1-STORY)
B7	AGR ACTIVITIES ROOM WITH RAIN SHELTER	38m <sup>2</sup> (ABOUT)	38m <sup>2</sup> (ABOUT)	3m (ABOUT)(1-STORY)
B8	BARBEQUE AREA WITH RAIN SHELTER	220m <sup>2</sup> (ABOUT)	220m <sup>2</sup> (ABOUT)	8m (ABOUT)(1-STORY)
B9	SITE OFFICE AND STORAGE OF TOOLS	55m <sup>2</sup> (ABOUT)	110m <sup>2</sup> (ABOUT)	8m (ABOUT)(2-STORY)
B10	ANCILLARY EATING PLACE, WASHROOM AND CHANGING ROOM	220m <sup>2</sup> (ABOUT)	220m <sup>2</sup> (ABOUT)	8m (ABOUT)(1-STORY)
TOTAL		959 m <sup>2</sup> (ABOUT)	1,068 m <sup>2</sup> (ABOUT)	



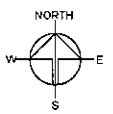
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### 1/F INTERNAL LAYOUT



### LEGEND

- APPLICATION SITE
- STRUCTURE (ENCLOSED)
- STRUCTURE (CANOPY)
- PARKING SPACE
- LOADING/UNLOADING SPACE
- INGRESS / EGRESS



PLANNING CONSULTANT  
R-RICHES PROPERTY CONSULTANTS LIMITED

PROJECT  
PROPOSED TEMPORARY PLACE OF RECREATION, SPORTS OR CULTURE (HOBBY FARM AND FISHING GROUND), BARBEQUE SITE, EDUCATION CENTRE WITH ANCILLARY EATING PLACE FOR A PERIOD OF 3 YEARS AND LAND FILLING

LOCATION  
VARIOUS LOTS IN D/D 113, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE  
1:800 @ A4

DESIGNED BY	DATE
OL	27.2.2023
REVIEWED BY	DATE
MIN	28.8.2024
APPROVED BY	DATE
DATE TITLE	
FS/PS PROPOSAL	
DATE	NO.
ANNEX II	001



盈卓物業  
顧問有限公司

Our Ref.: DD113 Lot 1013 & VL  
Your Ref.: TPB/A/YL-KTS/1011

The Secretary,  
Town Planning Board,  
15/F, North Point Government Offices,  
333 Java Road,  
North Point, Hong Kong

**By Email**

13 January 2025

Dear Sir,

**2<sup>nd</sup> Further Information**

**Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm and Fishing Ground),  
Barbecue Site and Education Centre with Ancillary Eating Place for a Period of  
3 Years and Associated Filling of Land in "Agriculture" Zone,  
Various Lots in D.D. 113, Kam Tin, Yuen Long, New Territories**

**(S.16 Planning Application No. A/YL-KTS/1011)**

We are writing to submit Further Information to address departmental comments of the subject application (**Appendix I**).

Should you require more information regarding the application, please contact our [REDACTED]  
[REDACTED] or the undersigned at your convenience.  
Thank you for your kind attention.

Yours faithfully,

For and on behalf of  
**R-riches Property Consultants Limited**

**Louis TSE**  
Town Planner

cc DPO/FSYLE, PlanD

(Attn.: Ms. Selena SIN  
(Attn.: Mr. Michael SO

email: symsin@pland.gov.hk )  
email: mckso@pland.gov.hk )



## Responses-to-Comments

**Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm and Fishing Ground),  
Barbecue Site and Education Centre with Ancillary Eating Place for a Period  
of 3 Years and Associated Filling of Land in “Agriculture” Zone,  
Various Lots in D.D. 113, Kam Tin, Yuen Long, New Territories**

**(Application No. A/YL-KTS/1011)**

(i) A RtoC Table:

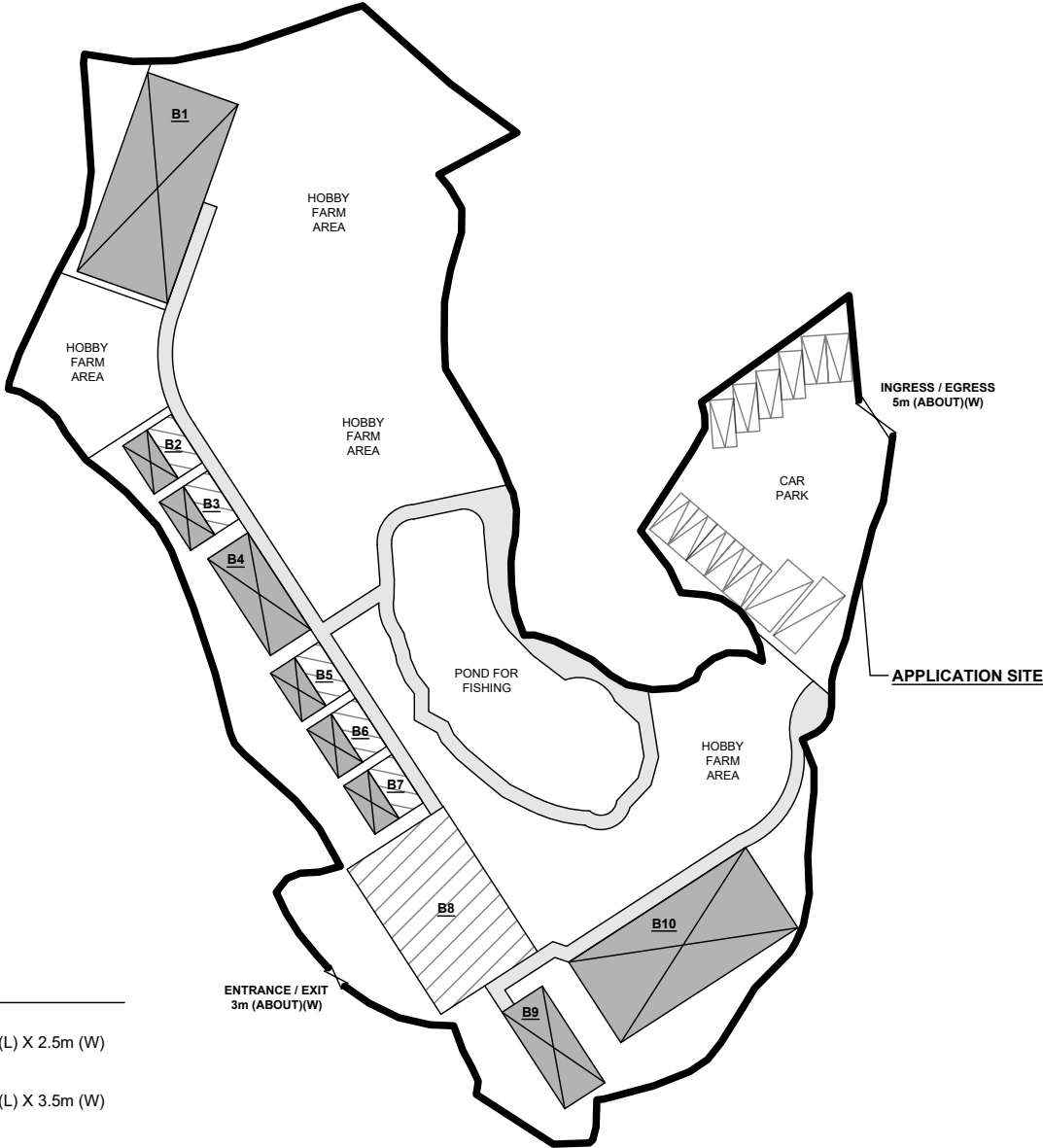
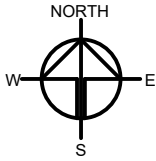
Departmental Comments		Applicant's Responses
1. Comments of District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD)		
(a)	It is noted that there is an additional structure on the layout plan on page 20, which differs from the original layout plan. Please clarify the layout plan.	Noted and revised. Please refer to the attached layout plan ( <b>Plan 1</b> ).
2. Comments of Director of Fire Services (D of FS) (Contact Person: Mr. YUEN; Tel: 2733 7781)		
(a)	The standards and specification of the proposed emergency lighting shall be revised to 'BS 5266-1:2016, BS EN 1838:2013 and the FSD Circular Letter No. 4/2021';	Noted and revised accordingly. Please refer to the revised fire service installations proposal ( <b>Annex I</b> ).
(b)	The total floor area and occupancies of structure B11 shall be clearly stated on plan; and	
(c)	Structures on the same site are regarded as adjoining structures if they are less than 1.8m apart. Additional FSIs (i.e. sprinkler system, modified hose reel system and fire alarm system) shall be provided for Structures B6, B7 & B8 as the total floor areas exceeds 230m <sup>2</sup> .	
3. Comments of the Antiquities and Monuments Office, Development Bureau (AMO, DEVB)		
(a)	The applicant is required to confirm / clarify with the Antiquities and Monuments Office (AMO) whether there is any ground excavation proposed for the development including but not limited to	Please note that the proposed pond for fishing is provided at-grade with no excavation involved. Excavation work is also not required for erection of structures at the application site (the Site). Regarding the construction method

	site formation works, drainage works, sewerage works, construction of septic tank etc, as the application is situated within the Ho Pui Site of Archaeological Interest; and	of structures, details are provided at <b>Annex II</b> . As the proposed development is only on a temporary basis and involves no excavation work, adverse impact to Ho Pui Site of Archaeological Interest should not be anticipated.
(b)	If affirmative, the applicant is required to provide details of the proposed works, e.g. the location, extent and depth of the proposed ground excavation for AMO's further comment.	

DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	: 5,381 m <sup>2</sup>	(ABOUT)
COVERED AREA	: 950 m <sup>2</sup>	(ABOUT)
UNCOVERED AREA	: 4,431 m <sup>2</sup>	(ABOUT)
PLOT RATIO	: 0.2	(ABOUT)
SITE COVERAGE	: 18 %	(ABOUT)
NO. OF STRUCTURE	: 10	
DOMESTIC GFA	: NOT APPLICABLE	
NON-DOMESTIC GFA	: 1,060 m <sup>2</sup>	(ABOUT)
TOTAL GFA	: 1,060 m <sup>2</sup>	(ABOUT)
BUILDING HEIGHT	: 3m - 6m	(ABOUT)
NO. OF STOREY	: 1 - 2	

STRUCTURE	USE	COVERED AREA	GFA	BUILDING HEIGHT
B1	AGRICULTURAL EDUCATION CENTRE	220m <sup>2</sup> (ABOUT)	220m <sup>2</sup> (ABOUT)	6m (ABOUT)(1-STOREY)
B2	AGR. ACTIVITIES ROOM WITH RAIN SHELTER	36m <sup>2</sup> (ABOUT)	36m <sup>2</sup> (ABOUT)	3m (ABOUT)(1-STOREY)
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TOTAL		950 m <sup>2</sup> (ABOUT)	1,060 m <sup>2</sup> (ABOUT)	



PARKING AND LOADING/UNLOADING PROVISIONS

NO. OF PRIVATE CAR PARKING SPACE	: 11
DIMENSION OF PARKING SPACE	: 5m (L) X 2.5m (W)
NO. OF L/UL SPACE FOR LIGHT GOODS VEHICLE	: 1
DIMENSION OF L/UL SPACE	: 7m (L) X 3.5m (W)
NO. OF L/UL SPACE FOR LIGHT BUS	: 1
DIMENSION OF L/UL SPACE	: 8m (L) X 3m (W)

LEGEND	
	APPLICATION SITE
	STRUCTURE (ENCLOSED)
	STRUCTURE (CANOPY)
	PARKING SPACE
	LOADING / UNLOADING SPACE
	INGRESS / EGRESS

PLANNING CONSULTANT	
R-RICHES PROPERTY CONSULTANTS LIMITED	
PROJECT	
PROPOSED TEMPORARY PLACE OF RECREATION, SPORTS OR CULTURE (HOBBY FARM AND FISHING GROUND), BARBECUE SITE, EDUCATION CENTRE WITH ANCILLARY EATING PLACE FOR A PERIOD OF 3 YEARS AND LAND FILLING	
SITE LOCATION	
VARIOUS LOTS IN D.D. 113, KAM TIN, YUEN LONG, NEW TERRITORIES	
SCALE	
1 : 800 @ A4	
DRAWN BY	DATE
MN	11.5.2022
REVISED BY	DATE
MN	21.7.2022
APPROVED BY	DATE
DWG. TITLE	
LAYOUT PLAN	
DWG. NO.	VER.
Plan 1	001

## DEVELOPMENT PARAMETERS

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NO. OF STRUCTURE	: 10	
DOMESTIC GFA	: NOT APPLICABLE	
NON-DOMESTIC GFA	: 1,060 m <sup>2</sup>	(ABOUT)
TOTAL GFA	: 1,060 m <sup>2</sup>	(ABOUT)
BUILDING HEIGHT	: 3m - 6m	(ABOUT)
NO. OF STOREY	: 1 - 2	

## PARKING AND LOADING/UNLOADING PROVISIONS

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DIMENSION OF L/UL SPACE	: 7m (L) X 3.5m (W)

NO. OF L/UL SPACE FOR LIGHT BUS	: 1
DIMENSION OF L/UL SPACE	: 8m (L) X 3m (W)

## FIRE SERVICE INSTALLATIONS



EXIT SIGN AND EMERGENCY LIGHT

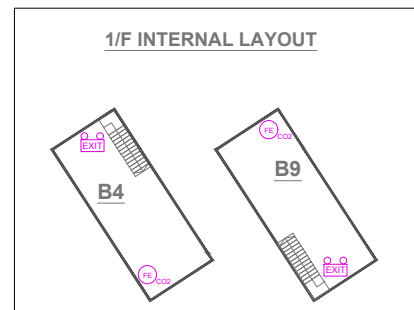


4.5 KG GAS-TYPE FIRE EXTINGUISHER

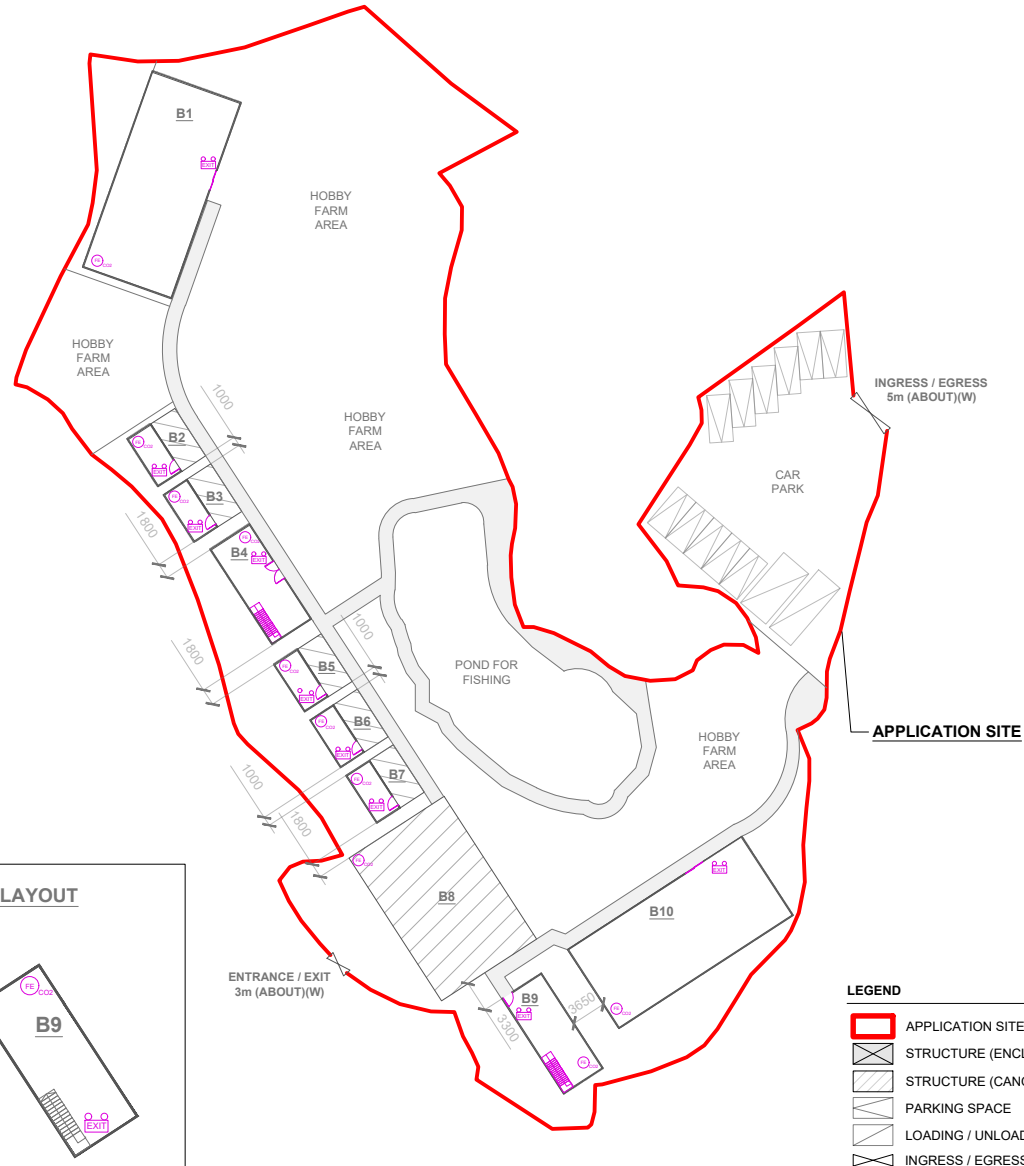
## FS NOTES:

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SCALE 1:500

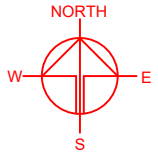


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TOTAL		950 m <sup>2</sup> (ABOUT)	1,060 m <sup>2</sup> (ABOUT)	



## LEGEND

	APPLICATION SITE
	STRUCTURE (ENCLOSED)
	STRUCTURE (CANOPY)
	PARKING SPACE
	LOADING / UNLOADING SPACE
	INGRESS / EGRESS



PLANNING CONSULTANT

R-RICHES PROPERTY  
CONSULTANTS LIMITED

PROJECT

PROPOSED TEMPORARY PLACE  
OF RECREATION, SPORTS OR  
CULTURE (HOBBY FARM AND  
FISHING GROUND), BARBECUE  
SITE, EDUCATION CENTRE WITH  
ANCILLARY EATING PLACE FOR  
A PERIOD OF 3 YEARS AND  
LAND FILLING

SITE LOCATION

VARIOUS LOTS IN D.D. 113, KAM  
TIN, YUEN LONG, NEW  
TERRITORIES

SCALE

1 : 800 @ A4

DRAWN BY OL	DATE 27.2.2023
REVISED BY LT	DATE 29.11.2024
APPROVED BY	DATE

DWG. TITLE

FSIs PROPOSAL

DWG NO.  
ANNEX IVER.  
001



**Annex II – Construction Method of Proposed Structures**

- (i) Majority of structures are container-converted structures, while the remaining are steel-frame structures with no foundation (i.e. excavation work is not required), details are as follows:

Structure	Proposed Use	Construction Method
B1	Agricultural Education Centre	Steel-frame structure with no foundation, will be assembled at the Site
B2	Agricultural Activities Room with Rain Shelter	Container-converted structure
B3	Agricultural Activities Room with Rain Shelter	Container-converted structure
B4	Refreshment Kiosk and Storage of Tools	Steel-frame structure with no foundation, will be assembled at the Site
B5	Agricultural Activities Room with Rain Shelter	Container-converted structure
B6	Agricultural Activities Room with Rain Shelter	Container-converted structure
B7	Agricultural Activities Room with Rain Shelter	Container-converted structure
B8	Barbeque Area with Rain Shelter	Steel-frame shed structure with no foundation, will be assembled at the Site
B9	Site Office and Storage of Tools	Steel-frame structure with no foundation, will be assembled at the Site
B10	Ancillary Eating Place, Washroom and Changing Room	Steel-frame structure with no foundation, will be assembled at the Site



盈卓物業  
顧問有限公司

Our Ref.: DD113 Lot 1013 & VL  
Your Ref.: TPB/A/YL-KTS/1011

The Secretary,  
Town Planning Board,  
15/F, North Point Government Offices,  
333 Java Road,  
North Point, Hong Kong

**By Email**

03 February 2025

Dear Sir,

**3<sup>rd</sup> Further Information**

**Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm and Fishing Ground),  
Barbecue Site and Education Centre with Ancillary Eating Place for a Period of  
3 Years and Associated Filling of Land in "Agriculture" Zone,  
Various Lots in D.D. 113, Kam Tin, Yuen Long, New Territories**

**(S.16 Planning Application No. A/YL-KTS/1011)**

We are writing to submit Further Information to address departmental comments of the subject application (**Appendix I**).

Should you require more information regarding the application, please contact our Mr. [REDACTED] or the undersigned at your convenience.  
Thank you for your kind attention.

Yours faithfully,

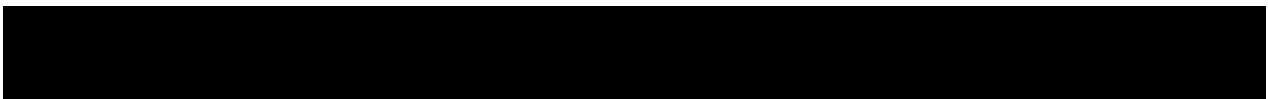
For and on behalf of  
**R-riches Property Consultants Limited**

**Louis TSE**  
Town Planner

cc DPO/FSYLE, PlanD

(Attn.: Mr. Gary LAM  
(Attn.: Mr. Michael SO

email: gtllam@pland.gov.hk )  
email: mckso@pland.gov.hk )



**Responses-to-Comments**

**Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm and Fishing Ground),  
Barbecue Site and Education Centre with Ancillary Eating Place for a Period  
of 3 Years and Associated Filling of Land in “Agriculture” Zone,  
Various Lots in D.D. 113, Kam Tin, Yuen Long, New Territories**

**(Application No. A/YL-KTS/1011)**

(i) A RtoC Table:

Departmental Comments		Applicant's Responses
<b>1. Comments of Director of Fire Services (D of FS)</b> <b>(Contact Person: Mr. CHEUNG; Tel: 2733 7781)</b>		
(a)	The standards and specification of the proposed emergency lighting shall be revised to “BS 5266-1:2016, BS EN 1838:2013 and the FSD Circular Letter No. 4/2021”.	Noted and revised accordingly. Please refer to the revised fire service installations proposal ( <b>Annex I</b> ).

## DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	: 5,381 m <sup>2</sup>	(ABOUT)
COVERED AREA	: 950 m <sup>2</sup>	(ABOUT)
UNCOVERED AREA	: 4,431 m <sup>2</sup>	(ABOUT)
PLOT RATIO	: 0.2	(ABOUT)
SITE COVERAGE	: 18 %	(ABOUT)

NO. OF STRUCTURE	: 10	
DOMESTIC GFA	: NOT APPLICABLE	
NON-DOMESTIC GFA	: 1,060 m <sup>2</sup>	(ABOUT)
TOTAL GFA	: 1,060 m <sup>2</sup>	(ABOUT)
BUILDING HEIGHT	: 3m - 6m	(ABOUT)
NO. OF STOREY	: 1 - 2	

## PARKING AND LOADING/UNLOADING PROVISIONS

NO. OF PRIVATE CAR PARKING SPACE	: 11
DIMENSION OF PARKING SPACE	: 5m (L) X 2.5m (W)

NO. OF L/UL SPACE FOR LIGHT GOODS VEHICLE	: 1
DIMENSION OF L/UL SPACE	: 7m (L) X 3.5m (W)

NO. OF L/UL SPACE FOR LIGHT BUS	: 1
DIMENSION OF L/UL SPACE	: 8m (L) X 3m (W)

## FIRE SERVICE INSTALLATIONS



EXIT SIGN AND EMERGENCY LIGHT

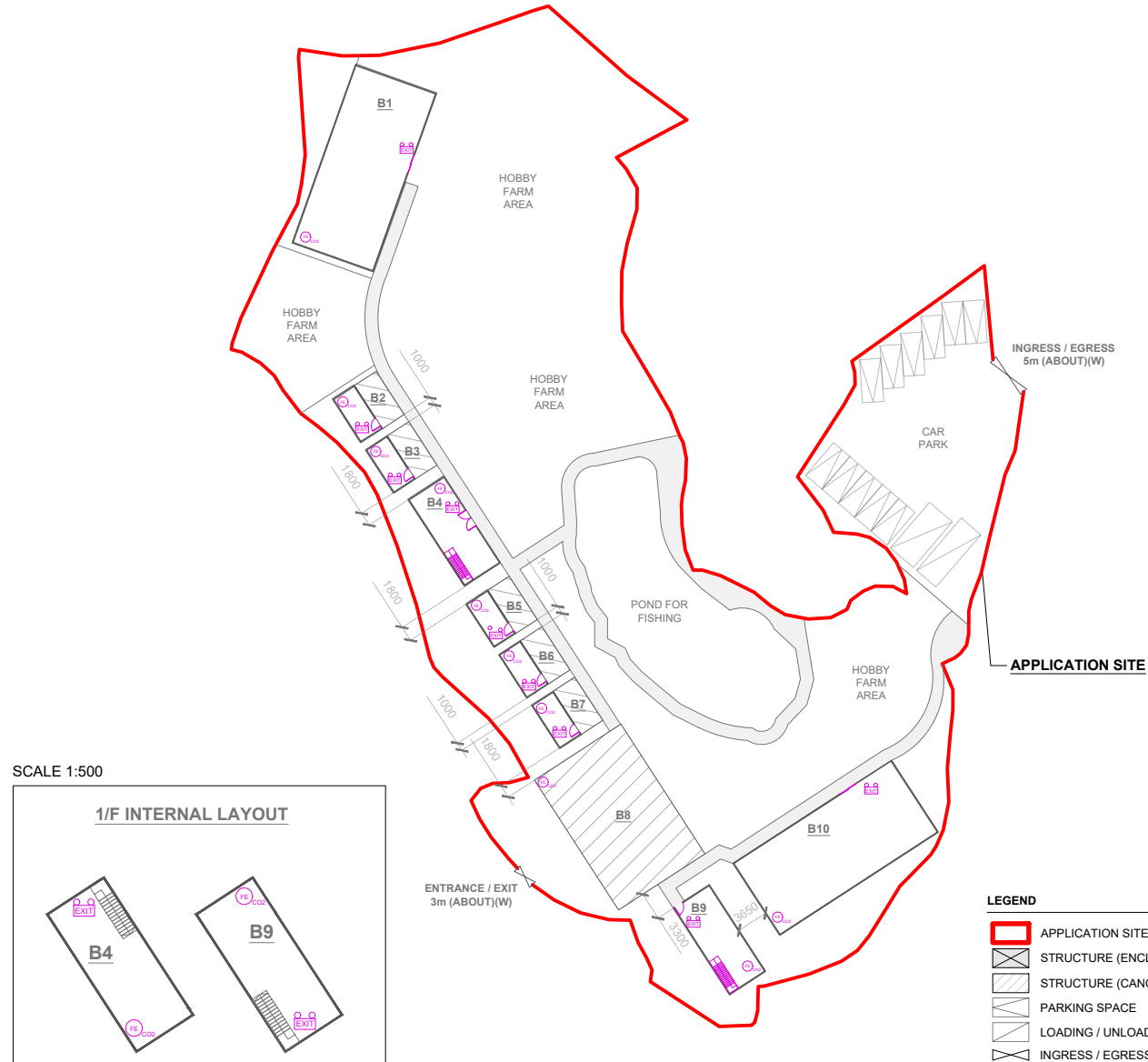
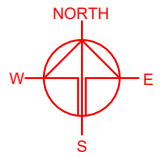


4.5 KG GAS-TYPE FIRE EXTINGUISHER

## FS NOTES:

- SUFFICIENT EMERGENCY LIGHTING SHALL BE PROVIDED THROUGHOUT THE ENTIRE BUILDING IN ACCORDANCE WITH BS 5266-1:2016, BS EN 1838:2013 AND THE FSD CIRCULAR LETTER NO. 4/2021
- SUFFICIENT DIRECTIONAL AND EXIT SIGN SHALL BE PROVIDED IN ACCORDANCE WITH BS5266: PART 1 AND FSD CIRCULAR LETTER 5/2008.
- PORTABLE HAND-OPERATED APPROVED APPLIANCE SHALL BE PROVIDED AS REQUIRED BY OCCUPANCY.
- ACCESS IS PROVIDED FOR EMERGENCY VEHICLE TO REACH 30m OF ALL PART OF STRUCTURES.

STRUCTURE	USE	COVERED AREA	GFA	BUILDING HEIGHT
B1	AGRICULTURAL EDUCATION CENTRE	220m <sup>2</sup> (ABOUT)	220m <sup>2</sup> (ABOUT)	6m (ABOUT)(1-STOREY)
B2	AGR. ACTIVITIES ROOM WITH RAIN SHELTER	36m <sup>2</sup> (ABOUT)	36m <sup>2</sup> (ABOUT)	3m (ABOUT)(1-STOREY)
B3	AGR. ACTIVITIES ROOM WITH RAIN SHELTER	36m <sup>2</sup> (ABOUT)	36m <sup>2</sup> (ABOUT)	3m (ABOUT)(1-STOREY)
B4	REFRESHMENT KIOSK AND STORAGE OF TOOLS	55m <sup>2</sup> (ABOUT)	110m <sup>2</sup> (ABOUT)	6m (ABOUT)(2-STOREY)
B5	AGR. ACTIVITIES ROOM WITH RAIN SHELTER	36m <sup>2</sup> (ABOUT)	36m <sup>2</sup> (ABOUT)	3m (ABOUT)(1-STOREY)
B6	AGR. ACTIVITIES ROOM WITH RAIN SHELTER	36m <sup>2</sup> (ABOUT)	36m <sup>2</sup> (ABOUT)	3m (ABOUT)(1-STOREY)
B7	AGR. ACTIVITIES ROOM WITH RAIN SHELTER	36m <sup>2</sup> (ABOUT)	36m <sup>2</sup> (ABOUT)	3m (ABOUT)(1-STOREY)
B8	BARBEQUE AREA WITH RAIN SHELTER	220m <sup>2</sup> (ABOUT)	220m <sup>2</sup> (ABOUT)	6m (ABOUT)(1-STOREY)
B9	SITE OFFICE AND STORAGE OF TOOLS	55m <sup>2</sup> (ABOUT)	110m <sup>2</sup> (ABOUT)	6m (ABOUT)(2-STOREY)
B10	ANCILLARY EATING PLACE, WASHROOM AND CHANGING ROOM	220m <sup>2</sup> (ABOUT)	220m <sup>2</sup> (ABOUT)	6m (ABOUT)(1-STOREY)
TOTAL		950 m <sup>2</sup> (ABOUT)	1,060 m <sup>2</sup> (ABOUT)	



## LEGEND

	APPLICATION SITE
	STRUCTURE (ENCLOSED)
	STRUCTURE (CANOPY)
	PARKING SPACE
	LOADING / UNLOADING SPACE
	INGRESS / EGRESS

PLANNING CONSULTANT

R-RICHES PROPERTY  
CONSULTANTS LIMITED

PROJECT

PROPOSED TEMPORARY PLACE  
OF RECREATION, SPORTS OR  
CULTURE (HOBBY FARM AND  
FISHING GROUND), BARBECUE  
SITE, EDUCATION CENTRE WITH  
ANCILLARY EATING PLACE FOR  
A PERIOD OF 3 YEARS AND  
LAND FILLING

SITE LOCATION

VARIOUS LOTS IN D.D. 113, KAM  
TIN, YUEN LONG, NEW  
TERRITORIES

SCALE

1 : 800 @ A4

DRAWN BY

OL

DATE

27.2.2023

REVISED BY

LT

DATE

29.11.2024

APPROVED BY

DATE

DWG. TITLE

FSIs PROPOSAL

DWG NO.

ANNEX I

VER.

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**Previous s.16 Applications covering the Application Site**

**Approved Application**

<b>Application No.</b>	<b>Use(s)/Development(s)</b>	<b>Date of Consideration (Rural and New Town Planning Committee (RNTPC)/Town Planning Board (TPB))</b>
A/YL-KTS/928	Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm, Fishing Ground and Barbecue Site) and Education Centre with Ancillary Canteen for a Period of 3 Years and Land Filling	23.9.2022 (RNTPC) [revoked on 23.3.2024]

**Rejected Applications**

<b>Application No.</b>	<b>Use(s)/Development(s)</b>	<b>Date of Consideration (Rural and New Town Planning Committee (RNTPC)/Town Planning Board (TPB))</b>	<b>Rejection Reasons</b>
A/YL-KTS/385	Temporary Open Storage of Construction Materials and Machinery for a Period of 3 Years	12.1.2007 (TPB)	(1) - (5)
A/YL-KTS/424	Temporary Open Storage of Construction Materials for a Period of 3 Years	26.9.2008 (TPB)	(1), (4), (6), (7)
A/YL-KTS/425	Temporary Open Storage of Construction Machinery (Excavators) for a Period of 3 Years	26.9.2008 (TPB)	(1), (4), (6), (7)
A/YL-KTS/522	Temporary Open Storage of Used Vehicle and Vehicle Parts for a Period of 3 Years	27.5.2011 (TPB)	(1), (5), (6), (7)

**Rejection Reasons:**

- (1) The development was not in line with the planning intention of the "Agriculture" ("AGR") zone which was to retain and safeguard good agricultural land for agricultural purposes.
- (2) The development was not compatible with the surrounding land uses which were predominantly rural in character with cultivated and fallow agricultural land, farms and plant nursery.
- (3) The application did not comply with the Town Planning Board Guidelines No. 13D in that there was no previous approval granted at the site and there were adverse comments from Government departments.
- (4) The applications did not comply with the TPB PG-No. 13D in that the developments were not compatible with the surrounding land uses which were predominantly rural in character; there was no previous approval granted at the sites and there were adverse departmental comments and local objection against the applications.
- (5) The application did not comply with the Town Planning Board PG-No. 13E in that the

development was not compatible with the surrounding land uses which were predominantly rural in character with a mixture of cultivated and fallow agricultural land, vacant/unused land and open storage yards; there was no previous approval granted at the site and there were adverse departmental comments and public objection against the application.

- (6) There was insufficient information to demonstrate that the proposed development would not generate adverse drainage, environmental, landscaping and/or traffic impacts on the surrounding areas.
- (7) The approval of the application, even on a temporary basis, would set an undesirable precedent for similar applications within the "AGR" zone. The cumulative effect of approving such applications would result in a general degradation of the rural environment of the area.



**Government Departments' General Comments**

**1. Traffic**

Comments of the Commissioner for Transport:

- no comment on the application from traffic engineering perspective; and
- advisory comments are in **Appendix IV**.

Comments of the Chief Highway Engineer/New Territories West, Highways Department (HyD):

- no in-principle objection to the application; and
- advisory comments are in **Appendix IV**.

**2. Drainage**

Comments of the Chief Engineer/Mainland North, Drainage Services Department:

- no objection in-principle to the application from the public drainage point of view; and
- advisory comments are in **Appendix IV**.

**3. Fire Safety**

Comments of the Director of Fire Services:

- no objection in-principle to the application subject to the fire service installations being provided to his satisfaction; and
- advisory comments are in **Appendix IV**.

**4. Building Matters**

Comments of the Chief Building Surveyor/New Territories West, Buildings Department:

- no objection to the application; and
- advisory comments are in **Appendix IV**.

**5. Landscape**

Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department:

- no objection to the application from landscape planning perspective; and
- based on the aerial photo, the application site (the Site) is located in a miscellaneous rural fringe landscape character comprising of vacant land, Pat Heung Depot, temporary

structures, village houses within the “Village Type Development” zone to the west and dense woodland within “Conservation Area” zone to the south. The Site is hard paved with temporary structures. According to the layout plan provided, there is no significant change in the proposed layout. Further significant adverse landscape impact within the Site arising from the proposed use is not anticipated.

## **6. District Officer’s Comments**

Comments of the District Officer (Yuen Long), Home Affairs Department:

- no comment on the application; and
- his office has not received any comment from the locals upon close of consultation.

## **7. Other Departments**

The following government departments have no objection to/no adverse comment/no comment on the application and their advisory comments, if any, are in **Appendix IV**:

- Director of Agricultural, Fisheries and Conservation;
- Commissioner for Heritage, Development Bureau;
- Director of Electrical and Mechanical Services;
- Commissioner of Police;
- Director of Food and Environmental Hygiene Department;
- Project Manager (West), Civil Engineering and Development Department;
- Chief Engineer/Railway Development 1-1, Railway Development Office, HyD; and
- Chief Engineer/Construction, Water Supplies Department.

**Recommended Advisory Clauses**

- (a) to resolve any land issues relating to the proposed use with the concerned owner(s);
- (b) should the applicant fail to comply with any of the approval conditions again resulting in the revocation of planning permission, sympathetic consideration may not be given to any further application;
- (c) failure to reinstate the application site (the Site) as required under the relevant approval condition upon expiry of the planning permission might constitute an unauthorized development under the Town Planning Ordinance and be subject to enforcement and prosecution actions;
- (d) to note the comments of the District Lands Officer/Yuen Long, Lands Department (LandsD) that:
  - the lot owner(s) shall apply to his office for a Short Term Waiver (STW) ~~and Short Term Tenancy (STT)~~ to permit the structure(s) erected within the said private lots ~~and the occupation of the Government Land (GL) at the Site~~. The application(s) for STW ~~and STT~~ will be considered by the Government in its capacity as a landlord and there is no guarantee that ~~they~~<sup>it</sup> will be approved. The STW ~~and STT~~, if approved, will be subject to such terms and conditions including the payment of waiver fee, ~~rent~~ and administrative fee as considered appropriate by LandsD. Besides, given the applied use is temporary in nature, only erection of temporary structure(s) will be considered; ~~and~~
  - ~~no STW application/modification will be considered for domestic use. Therefore, LandsD reserves the right to take enforcement action against such domestic purpose structures in the Site;~~
- (e) to note the comments of the Commissioner for Transport that:
  - the Site is connected to the public road network via a section of a local access road which is not managed by Transport Department (TD). The applicant should check the land status of the local access road with LandsD. The management and maintenance responsibilities of the local access road should be clarified with the relevant lands and maintenance authorities accordingly;
  - the applicant shall provide sufficient manoeuvring space within the Site; and
  - no vehicle is allowed to queue back to or reverse onto/from public road at any time during the planning approval period;
- (f) to note the comments of the Commissioner for Heritage, Development Bureau that:
  - pursuant to the Antiquities and Monuments Ordinance (Cap. 53), the applicant is required to inform Antiquities and Monuments Office immediately when any antiquities or supposed antiquities under the ordinance are discovered in the course of works;
- (g) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (HyD) that:

- the access arrangement should be commented by TD and/or relevant departments (or relevant parties noting TD's 1<sup>st</sup> bullet);
- HyD shall not be responsible for the maintenance of the proposed access, if any, connecting the Site to Kam Pok Road; and
- if the proposed vehicular access is approved by TD and/or relevant departments (or relevant parties noting TD's 1<sup>st</sup> bullet), the applicant should ensure the run-in/out at Kam Ho Road is constructed in accordance with the latest version of HyD Standard Drawings no. H1113 and H1114, or H5133, H5134 and H5135, whichever set is appropriate to match with the existing adjacent pavement. Should any modification on of the existing run-in among other road features (e.g. the existing footpath/ carriageway/ highway facilities) be required arising from the proposed use, the relevant details shall be submitted to TD and HyD for review prior to commencement of works on site. The applicant should be responsible and at his own cost for any modification or alternation works due to /arising from the development; and
- adequate drainage measures shall be provided to prevent surface water running from the Site to the nearby public roads and drains;

(h) to note the comments of the Director of Fire Services that:

- the applicant is advised that the installation/maintenance/modification/repair work of Fire Service Installations shall be undertaken by a Registered Fire Service Installation Contractor (RFSIC). The RFSIC shall after completion of the installation/maintenance/modification/repair work issue to the person on whose instruction the work was undertaken a certificate (F.S. 251) and forward a copy of the certificate to the Director of Fire Services;

(i) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department (DSD) that:

- the applicant is reminded to implement the drainage facilities on the Site in accordance with the agreed drainage proposal;
- the applicant shall maintain all the drainage facilities in good condition and ensure that the proposed/as-constructed development would neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent areas, etc.; and
- the applicant is required to rectify the drainage system at their own expense to the satisfaction of government parties concerned if they are found to be inadequate or ineffective during operation;

(j) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (BD) that:

- it is noted that 10 structures are proposed in the application. Before any new building works (including containers/open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent of the Building Authority should be obtained, otherwise they are unauthorised building works (UBW) under the BO. An Authorised Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO;

- the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
- the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at the building plan submission stage;
- if the existing structure is erected on leased land without the approval of the Building Authority (BA), they are UBW under the BO and should not be designated for any proposed use under the current application;
- for UBW erected on leased land, enforcement action may be taken by BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;
- if the proposed use under application is subject to issue of a license, the applicant should be reminded that any existing structures on the application site intended to be used for such purposes are required to comply with the building safety and other relevant requirements as may be imposed by the licensing authority;
- any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings are subject to the control of Part VII of the B(P)R; and
- detailed checking under the BO will be carried out at building plan submission stage;

(k) to note the comments of the Director of Environmental Protection that:

- the applicant is advised to avoid the use of public announcement system within the Site;
- the applicant is advised to follow the requirements in Professional Persons Environmental Consultative Committee Practice Note (ProPECC PN) 1/23 for any septic tank be used in the Site, and to follow the guidelines provided in “Control of Oily Fume and Cooking Odour from Restaurants and Food Business; and
- the proposed use at the Site shall meet the statutory requirements under relevant relevant pollution control ordinances;

(l) to note the comments of the Director of Electrical and Mechanical Services that:

- in the interests of public safety and ensuring the continuity of electricity supply, the parties concerned with planning, designing, organizing and supervising any activity near the underground cable or overhead line under the mentioned document should approach the electricity supplier (i.e. CLP Power) for the requisition of cable plans (and overhead line alignment drawings, where applicable) to find out whether there is any underground cable and/or overhead line within and/or in the vicinity of the Site. They should also be reminded to observe the Electricity Supply Lines (Protection) Regulation and the “Code of Practice on Working near Electricity Supply Lines” established under the Regulation when carrying out works in the vicinity of the electricity supply lines;

(m) to note the comments of the Director of Food and Environmental Hygiene that:

- pursuant to the Food Business Regulation, Cap. 132X, relevant food business licence is required subject to the type of food business to be operated listed in the Regulation. The operation of any eating place should be under a food licence issued by the Food and Environmental Hygiene Department (FEHD). If the operator intends to operate a restaurant business in the territory, a restaurant licence should be obtained from FEHD in accordance with the Public Health and Municipal Services Ordinance (Cap. 132). For the operation of other types of food business, relevant food licences should also be obtained from FEHD in accordance with Cap. 132. Under the Food Business Regulation, Cap. 132X, a Food Factory Licence should be obtained from FEHD for food business which involves the preparation of food for sale for human consumption off the premises before commencement of such business. The application for food business licences under Cap.132, if acceptable by FEHD, will be referred to relevant government departments for comment. If there is no objection from the departments concerned, a letter of requirements will be issued to the applicant for compliance and the licence will be issued upon compliance of all the requirements;
- when choosing a premises, the applicant must ensure that the operation of food business at the subject premises is in compliance with the requirements imposed under the legislation administered by FEHD, other government departments and the relevant authorities. Applicants are strongly advised to check well in advance the following documents: (a) the Government Lease, (b) the Occupation Permit of the building, and (c) the statutory plan. No part of a food premises shall be located in, under or over any structures built without the approval and consent of the BA;
- depending on the mode of operation, generally there are several types of food business licence/permits that the operator of a shop (shop & service) may apply for under the Food Business Regulation:
  - (i) if food is sold to customers for consumption on the premises, a restaurant licence should be obtained;
  - (ii) if food is only prepared for sale for consumption off the premises, a food factory licence should be obtained;
  - (iii) if fresh, chilled or frozen meat is sold, a fresh provision shop licence should be obtained; and
  - (iv) if milk, frozen confections, non-bottled drinks, cut fruit etc. are to be sold, relevant restricted food permits should be obtained;
- proper licence issued by FEHD is required if related place of entertainment is involved. Any person who desires to keep or use any place of public entertainment for example a theatre and cinema or a place, building, erection or structure, whether temporary or permanent, on one occasion or more, capable of accommodating the public presenting or carrying on public entertainment within Places of Public Entertainment Ordinance (Cap. 172) and its subsidiary legislation, such as a concert, opera, ballet, stage performance or other musical, dramatic or theatrical entertainment, cinematograph or laser projection display or an amusement ride and mechanical device which is designed for amusement, a Place of Public Entertainment Licence (or Temporary Place of Public Entertainment Licence) should be obtained from FEHD whatever the general public is admitted with or without payment; and



- the operation must not cause any environmental nuisance to the surrounding. The refuse generated by the proposed eating place are regarded as trade refuse. The management or owner of the site is responsible for its removal and disposal at their expenses. The operation of any business should not cause any obstruction or environmental nuisance in the vicinity.

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**From:** [REDACTED]  
**Sent:** 2024-08-15 星期四 02:39:52  
**To:** tpbpd/PLAND <tpbpd@pland.gov.hk>  
**Subject:** A/YL-KTS/1011 DD 113 Ho Pui Village, Kam Tin South BBQ

Dear TPB Members,

921 was withdrawn and subsequently approved under 928.

Conditions have not been fulfilled.

As the facility is a gathering place for recreational use, it is essential that conditions be fully complied with in order to ensure the safety of visitors.

Members have a duty to reject the application if the operation is not in compliance with measures put in place to ENSURE THE SECURITY OF THE COMMUNITY.

Mary Mulvihill

---

**From:** [REDACTED]  
**To:** tpbpd <tpbpd@pland.gov.hk>  
**Date:** Wednesday, 11 May 2022 2:36 AM HKT  
**Subject:** A/YL-KTS/921 DD 113 Ho Pui Village, Kam Tin South BBQ

A/YL-KTS/921

Lots 1013, 1014 RP (Part), 1015 S.A, 1015 S.B, 1015 RP (Part), 1018 (Part) and 1035 (Part) in D.D.113, Ho Pui Village, Kam Tin

Site area : About 5,381sq.m

Zoning : "Agriculture"

Applied use : Fishing Ground / Indoor Recreation Centre / BBQ / Canteen / 13 Vehicle Parking / **Land Filling** 1,801m<sup>2</sup>

Dear TPB Members,

Although application 720 was withdrawn, it is clear from images that the open storage activities continued unabated and without approval.

Why was no enforcement action taken?

Now it's the recreation card on the table.

No information provided as to what type of indoor recreational facilities are to be provided

No hobby farm use included

---

Storage of tools. What for, there is no farming activity involved

Canteen but no indication as to drainage, hand washing, food preparation arrangements. This is POST COVID, hygiene should be of paramount importance going forward

No mention of toilets, perhaps that's what the pond is for?

There is farming activity in the district and in view of the large amount of agricultural land that will be expunged when the Northern Metropolis is developed farm land that can be devoted to producing food should be retained for this purpose.

The application appears to be more about finding a route to secure approval for non agricultural use than a legitimate proposal.

Mary Mulvihill

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**From:** [REDACTED]  
**To:** tpbpd <[tpbpd@pland.gov.hk](mailto:tpbpd@pland.gov.hk)>  
**Date:** Tuesday, 11 October 2016 2:33 AM CST  
**Subject:** AYL-KTS/720 DD 113 Kam Tin South

AYL-KTS/720

Lots in D.D.113 and Adjoining Government Land, Kam Tin South, Yuen Long (Lots 1008 RP (Part), 1011 (Part), 1012 (Part), 1013, 1014 (Part), 1015 S.A, 1015 S.B (Part), 1015 RP (Part), 1016 (Part), 1017 (Part), 1018 (Part), 1029 (Part), 1030 (Part), 1031 (Part), 1032 (Part), 1033, 1034 (Part), 1035 (Part))

Site area : 9,659 m<sup>2</sup> Includes Government Land of about 212 m<sup>2</sup>

Zoning : "Agriculture" and "VTD"

Applied Use: Open Storage

Dear TPB Members,

The previous application was rejected on review on 27 May 2011 for the following reasons. No justification has been provided to reverse the decision. Moreover the site has a history of illegal activities. In view of the current public sentiment with regard to abuse of such sites for brownfield activities TPB must again reject the application.

33. The reasons for rejection for application No. AYL-KTS/523 were:

(a) the development was not in line with the planning intention of the "Agriculture" ("AGR") zone which was to retain and safeguard good agricultural land for agricultural purposes. This zone was also intended to retain fallow arable land with good potential for rehabilitation. It was also not in line with the planning intention of the "Village Type Development" ("V") zone which was to reflect the existing recognized and other villages, and to provide land considered suitable for village expansion and reprovisioning of village houses affected by Government projects. No strong planning justification had been given in the submission for a departure from the planning intentions, even on a temporary basis;

---

(b) the application did not comply with the Town Planning Board Guidelines No. 13E (TPB PG-No. 13E) in that the development was not compatible with the surrounding land uses which were predominantly rural in character, there was no previous approval granted at the site and there were adverse departmental comments and public objections against the application;

(c) the applicant failed to demonstrate that the development would not generate adverse environmental, landscape and drainage impacts on the surrounding areas; and

(d) the approval of the application, even on a temporary basis, would set an undesirable precedent for similar applications within the "AGR" and "V" zones. The cumulative effect of approving such applications would result in a general degradation of the rural environment of the area.

Mary Mulvihill



2024.8.16 2  
1/3

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

By e-mail : tpbpd@pland.gov.hk

有關的規劃申請編號 The application no. to which the comment relates

A/YL-KTS/1011

意見詳情 (如有需要，請另頁說明)

Details of the Comment (use separate sheet if necessary)

申請地段原為因西鐵興建而收  
徵用作工程建築物基地，該地段  
填海至勿誤派耕作。  
本村同意申請。

「提意見人」姓名/名稱 Name of person/company making this comment

簽署 Signature

日期 Date

河濱村居民代表  
范國強  
15-08-2024