

2023年 1月 3日
收到·城市規劃委員會
文件袋中正式圖章收到

3 JAN 2023

Form No. S16-III
表格第 S16-III 號

The Town Planning Board will formally acknowledge the receipt of this application only upon receipt of all the required information and documents.

APPLICATION FOR PERMISSION UNDER SECTION 16 OF THE TOWN PLANNING ORDINANCE (CAP.131)

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

Applicable to Proposal Only Involving Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Renewal of Permission for such Temporary Use or Development*

適用於祇涉及位於鄉郊地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議*

*Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.

*其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.info.gov.hk/tpb/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.info.gov.hk/tpb/tc/plan_application/apply.html

General Note and Annotation for the Form

填寫表格的一般指引及註解

"Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made

「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2203359 29/12 by hand

Form No. S16-III 表格第 S16-III 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	14/76-KTS/946
	Date Received 收到日期	3 JAN 2023

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件(倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.info.gov.hk/tpb/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載(網址: <http://www.info.gov.hk/tpb/>), 亦可向委員會秘書處(香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835)及規劃署的規劃資料查詢處(熱線: 2231 5000)(香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓)索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)Big Trend Logistics Limited (順泰物流有限公司)
Man Woo Hing (萬和興)

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Lawson David & Sung Surveyors Limited (羅迅測計師行有限公司)

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable)
詳細地址/地點/丈量約份及地段號碼(如適用)

Lots 123 (Part), 124 (part), 125 (Part), 126 (Part), 127 (Part) in D.D.113 and Adjoining Government Land, Ma On Kong, Kam Tin South, Yuen Long, N.T.

(b) Site area and/or gross floor area involved
涉及的地盤面積及/或總樓面面積
☒ Site area 地盤面積 6,133 sq.m 平方米 ☒ About 約
☒ Gross floor area 總樓面面積 3,908 sq.m 平方米 ☒ About 約
(c) Area of Government land included (if any)
所包括的政府土地面積(倘有)..... 1,043 sq.m 平方米 ☒ About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Kam Tin South Outline Zoning Plan No. S/YL-KTS/15
(e) Land use zone(s) involved 涉及的土地用途地帶	Agriculture ("AGR")
(f) Current use(s) 現時用途	Mostly vacant, partly for open storage of container tractors (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 -

- ☐ is the sole "current land owner"[#] (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」[#] (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners"[#] (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」[#] (請夾附業權證明文件)。
- ☒ is not a "current land owner"[#].
並不是「現行土地擁有人」[#]。

- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification 就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)"[#].
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」[#]。

(b) The applicant 申請人 -

- ☐ has obtained consent(s) of "current land owner(s)"[#].
已取得 名「現行土地擁有人」[#]的同意。

Details of consent of "current land owner(s)" [#] obtained 取得「現行土地擁有人」 [#] 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified "current land owner(s)"[#]
已通知 名「現行土地擁有人」[#]。

Details of the "current land owner(s)" [#] notified 已獲通知「現行土地擁有人」 [#] 的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼/處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☒ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on (DD/MM/YYYY)[#]
於 (日/月/年)向每一名「現行土地擁有人」[#]郵遞要求同意書^{*}

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on (DD/MM/YYYY)^{*}
於 (日/月/年)在指定報章就申請刊登一次通知^{*}
- ☒ posted notice in a prominent position on or near application site/premises on
3.1.2023 (DD/MM/YYYY)^{*}
於 (日/月/年)在申請地點/申請處所或附近的顯明位置貼出關於該申請的通知^{*}
- ☒ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on 3.1.2023 (DD/MM/YYYY)^{*}
於 (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會^{*}

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別	
(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas 位於鄉郊地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展 (For Renewal of Permission for Temporary Use or Development in Rural Areas, please proceed to Part (B)) (如屬位於鄉郊地區臨時用途/發展的規劃許可續期, 請填寫(B)部分)	
(a) Proposed use(s)/development 擬議用途/發展	Proposed Temporary Warehouse for Storage of Construction Materials (Timber and Metal) (Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)
(b) Effective period of permission applied for 申請的許可有效期	☒ year(s) 年 3 ☐ month(s) 個月
(c) Development Schedule 發展細節表	
Proposed uncovered land area 擬議露天土地面積	 2,225sq.m ☒ About 約
Proposed covered land area 擬議有上蓋土地面積	 3,908sq.m ☒ About 約
Proposed number of buildings/structures 擬議建築物/構築物數目	 5
Proposed domestic floor area 擬議住用樓面面積	 NAsq.m ☐ About 約
Proposed non-domestic floor area 擬議非住用樓面面積	 3,908sq.m ☒ About 約
Proposed gross floor area 擬議總樓面面積	 3,908sq.m ☒ About 約
Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足, 請另頁說明)	
...Two 1-storey warehouses for storage of timber/metal (Height: not exceeding 12m)...	
...1-storey site office (Height: not exceeding 3m).....	
...1-storey guard house (Height: not exceeding 3m).....	
...1-storey washroom (Height: not exceeding 3m).....	
Proposed number of car parking spaces by types 不同種類停車位的擬議數目	
Private Car Parking Spaces 私家車車位	 4
Motorcycle Parking Spaces 電單車車位	 NA
Light Goods Vehicle Parking Spaces 輕型貨車泊車位	 NA
Medium Goods Vehicle Parking Spaces 中型貨車泊車位	 NA
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	 NA
Others (Please Specify) 其他 (請列明)	 NA
Proposed number of loading/unloading spaces 上落客貨車位的擬議數目	
Taxi Spaces 的士車位	 NA
Coach Spaces 旅遊巴車位	 NA
Light Goods Vehicle Spaces 輕型貨車車位	 2
Medium Goods Vehicle Spaces 中型貨車車位	 NA
Heavy Goods Vehicle Spaces 重型貨車車位	 3 container vehicles (3.5m x 16m)
Others (Please Specify) 其他 (請列明)	 NA

Proposed operating hours 擬議營運時間 0900am - 1800pm from Mondays to Saturdays..... No operation on Sundays and Public Holidays.....			
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤/ 有關建築物?	Yes 是	☒ There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) The Application Site is connected via a local track to Kam Ho Road..	
	No 否	☐ There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度)	
(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。)			
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?	Yes 是	☐	Please provide details 請提供詳情
	No 否	☒	
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程?	Yes 是	☐	(Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／範圍)
		☐	Diversion of stream 河道改道
		☐	Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 ☐ About 約 Depth of filling 填塘深度 m 米 ☐ About 約
		☐	Filling of land 填土 Area of filling 填土面積 sq.m 平方米 ☐ About 約 Depth of filling 填土厚度 m 米 ☐ About 約
		☐	Excavation of land 挖土 Area of excavation 挖土面積..... sq.m 平方米 ☐ About 約 Depth of excavation 挖土深度m 米 ☐ About 約
	No 否	☒	
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?	On environment 對環境	Yes 會 ☐	No 不會 ☒
	On traffic 對交通	Yes 會 ☐	No 不會 ☒
	On water supply 對供水	Yes 會 ☐	No 不會 ☒
	On drainage 對排水	Yes 會 ☐	No 不會 ☒
	On slopes 對斜坡	Yes 會 ☐	No 不會 ☒
	Affected by slopes 受斜坡影響	Yes 會 ☐	No 不會 ☒
	Landscape Impact 構成景觀影響	Yes 會 ☐	No 不會 ☒
	Tree Felling 砍伐樹木	Yes 會 ☐	No 不會 ☒
	Visual Impact 構成視覺影響	Yes 會 ☐	No 不會 ☒
	Others (Please Specify) 其他 (請列明)	Yes 會 ☐	No 不會 ☒

	Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)
--	--

(B) Renewal of Permission for Temporary Use or Development in Rural Areas

位於鄉郊地區臨時用途/發展的許可續期

(a) Application number to which the permission relates 與許可有關的申請編號	A/ _____ / _____
(b) Date of approval 獲批給許可的日期	 (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期	 (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	
(e) Approval conditions 附帶條件	☐ The permission does not have any approval condition 許可並沒有任何附帶條件 ☐ Applicant has complied with all the approval conditions 申請人已履行全部附帶條件 ☐ Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件： Reason(s) for non-compliance: 仍未履行的原因： (Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)
(f) Renewal period sought 要求的續期期間	☐ year(s) 年 ☐ month(s) 個月

7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

Please refer to the planning statement attached.

8. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.

本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature

簽署


☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Cannis Lee

Associate Director (Planning)

Name in Block Letters

姓名（請以正楷填寫）

Position (if applicable)

職位（如適用）

Professional Qualification(s)

專業資格

☒ Member 會員 / ☐ Fellow of 資深會員

☐ HKIP 香港規劃師學會 /

☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 /

☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 /

☐ HKIUD 香港城市設計學會

☒ RPP 註冊專業規劃師 (RPP No. 342)

Others 其他 ...MPIA

on behalf of
代表

Lawson David & Sung Surveyors Limited


☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

29 DEC 2022

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

(a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and

處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.

方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第1段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第486章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道333號北角政府合署15樓。

Gist of Application 申請摘要	
(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.) (請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)	
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置/地址	Lots 123 (Part), 124 (Part), 125 (Part), 126 (Part), 127 (Part) in D.D.113 and Adjoining Government Land, Ma On Kong, Kam Tin South, Yuen Long, N.T.
Site area 地盤面積	6,133 sq. m 平方米 ☒ About 約 (includes Government land of 包括政府土地 1,043 sq. m 平方米 ☒ About 約)
Plan 圖則	Approved Kam Tin South Outline Zoning Plan No. S/YL-KTS/15
Zoning 地帶	Agriculture
Type of Application 申請類別	☒ Temporary Use/Development in Rural Areas for a Period of 位於鄉郊地區的臨時用途/發展為期 ☒ Year(s) 年 <u>3</u> ☐ Month(s) 月 <u> </u> ☐ Renewal of Planning Approval for Temporary Use/Development in Rural Areas for a Period of 位於鄉郊地區臨時用途/發展的規劃許可續期為期 ☐ Year(s) 年 <u> </u> ☐ Month(s) 月 <u> </u>
Applied use/ development 申請用途/發展	Proposed Temporary Warehouse for Storage of Construction Materials (Timber and Metal)

(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	NA ☐ About 約 ☐ Not more than 不多於	NA ☐ About 約 ☐ Not more than 不多於
	Non-domestic 非住用	3,908 ☒ About 約 ☐ Not more than 不多於	NA ☒ About 約 ☐ Not more than 不多於
(ii) No. of block 幢數	Domestic 住用	NA	
	Non-domestic 非住用	5	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	NA	☐ (Not more than 不多於) m 米
		NA	☐ (Not more than 不多於) Storeys(s) 層
	Non-domestic 非住用	3 - 12	☒ (Not more than 不多於) m 米
		1	☒ (Not more than 不多於) Storeys(s) 層
(iv) Site coverage 上蓋面積	63.7 % ☒ About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數		
	Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明)		4 NA NA NA NA NA
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數		
	Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明)		NA NA 2 NA 3 NA

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	Chinese 中文	English 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	☐	☒
Block plan(s) 樓宇位置圖	☐	☐
Floor plan(s) 樓宇平面圖	☐	☐
Sectional plan(s) 截視圖	☐	☐
Elevation(s) 立視圖	☐	☐
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	☐	☐
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	☐	☐
Others (please specify) 其他（請註明）	☐	☒
<u>Location Plan, Lot Index Plan, Plan Showing Vehicular Access to the Application Site, Swept Path Analysis</u>		
Reports 報告書		
Planning Statement/Justifications 規劃綱領／理據	☐	☒
Environmental assessment (noise, air and/or water pollutions) 環境評估（噪音、空氣及／或水的污染）	☐	☐
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	☐	☐
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	☐	☐
Visual impact assessment 視覺影響評估	☐	☐
Landscape impact assessment 景觀影響評估	☐	☐
Tree Survey 樹木調查	☐	☐
Geotechnical impact assessment 土力影響評估	☐	☐
Drainage impact assessment 排水影響評估	☐	☐
Sewerage impact assessment 排污影響評估	☐	☐
Risk Assessment 風險評估	☐	☐
Others (please specify) 其他（請註明）	☐	☒
<u>Drainage Proposal, Fire Services Installations Proposal</u>		
Note: May insert more than one '✓'. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。



羅迅測計師行
Lawson David & Sung
SURVEYORS LIMITED



RICS
The mark of
property professionalism worldwide

Appendix Ib

Lawson David & Sung Surveyors Limited
Est. 1928

宋梓華
Sung Tze Wah
FRICS FHKIS MSISV MCIREA ACIArb RPS (GP)

李霧儀
Lee Mo Yi
MPIA RPP MUDD 8A (Hons)

吳恆廣
Ng Hang Kwong, BBS
FRICS FHKIS RPS (GP)
Honorary World Valuer (WAVO)

林桂金
Daniel K.K. Lam
MRICS MHKIS MCIREA RPS (GP) BSc

宋樹鴻
Sung Shu Hung
FRICS MHKIS RPS (GP) MCIREA
MHIREA BSc (Hons)

Consultant:

陳志凌
Elwyn C. Chan
RPE PMgr CEnv FIHE FCIOS MICE
MHKIE MSOE FCI MI ACIArb MSc

劉志光
Lau Chi Kwong
FHKIS FRICS ALS MHKIS RPS (LS) MSc

潘孝維
Pun How Wai
MRIBA

By Email

Date: 17 February 2023
Your Ref.: TPB/A/YL-KTS/946
Our Ref.: LDS/PLAN/6859

Secretary
Town Planning Board
15/F, North Point Government Offices
333 Java Road
North Point, Hong Kong

Dear Sir/Madam,

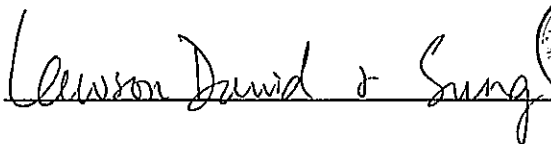
Proposed Temporary Warehouse for Storage of Construction Materials (Timber and Metal) for a Period of 3 Years at Lots 123 (Part), 124 (Part), 125 (Part), 126 (Part) and 127 (Part) in D.D.113 and Adjoining Government Land, Ma On Kong, Kam Tin South, Yuen Long, N.T.

(Application No. A/YL-KTS/946)

We refer to the captioned application and submit herewith our response to the comments from various Government Department on the application (see Table 1) for your consideration.

Should there be any queries, please contact our Miss Cannis Lee or Mr. Jeremy Poon at

Yours faithfully,
For and on behalf of
Lawson David & Sung Surveyors Limited





Encl.

c.c. DPO/FS&YLE (Attn.: Mr. Peter Ngan) – By Email
Client

Your Assets for Growth

Table 1: Responses to Comments from Government Department on Planning Application No. A/YL-KTS/946 (17 February, 2023)

COMMENTS		RESPONSES
1. Urban Design and Landscape Section, Planning Department		
(a) Some existing trees of common species are observed within the site and may be in conflict with the proposed layout. No tree information, proposed tree treatment and mitigation measures (if any) are provided. Potential impact on the existing landscape resources within the site cannot be reasonably ascertained.	(a) According to our recent site inspection, there are no existing trees within the Application Site. All the existing trees are found immediate outside and along the application boundary. These existing trees which would act as the natural hedges bounding the edge of the development and thus soften the building footprint of the proposed development, will not be disturbed by the Applicants.	
(b) Based on the aerial photo of 2021, the site is located in a miscellaneous rural fringe landscape character comprising of temporary structures, village houses, highway, West Rail maintenance centre and woodland surrounding the site. There is concern that approval of the application would alter the landscape character and degrade the landscape quality of the “AGR” zone. We have some reservations on the application from landscape planning perspective.	(b) The Application Site was previously used for storage purpose. The surrounding of the Application Site consists of open storage/storage yards, warehouses, vehicle parks and vacant land. The proposed development is merely relocation of the Applicants’ storage yards due to land resumption. It is noted the Application Site has been identified by the government as one of the four brownfield clusters shortlisted for public housing development in the second phase review on brownfield sites. The Applicants understand that the proposed development will only be temporary and agree to move out when the Application Site is resumed by the government for public housing development in the future. Due to the temporary nature of this application, approval of this application would not affect the landscape character of the area.	

COMMENTS	RESPONSES
2. Fire Services Department	
Please find the following comments on the submitted FSIs proposal:	
(a) Please clarify the length of the proposed openable windows for Structure 2, whether it is 53m as stated in the calculation or 55m as delineated in the section drawing;	(a) The length of the proposed openable windows for Structure 2 is 53m. Please refer to the revised FSIs proposal in Annex 1 .
(b) Fire extinguisher shall be provided for Structure 3 and clearly delineated on plan.	(b) Fire extinguisher will be provided for Structure 3. Please refer to the revised FSIs proposal in Annex 1 .
3. Transport Department	
Please find the following comments from traffic engineering perspective based on the information provided:	
(a) The applicant should provide the trip generation and attraction due to the development and assess the traffic impact to Kam Ho Road and the local access;	(a) The Annex D of TPDM (As shown below) indicated that the maximum attraction (AM) and generation (PM) is about 7 pcu or 7 PCs or 3 HGVs per hour. Kam Ho Road is a typical Single two lane and the Local Access Road is an one lane Two-way Van Track with Passing Bay. TPDM 2.4.1.1 - The design flow for a 2-lane single carriageway may be taken as 800 veh/h, 2-way, due to the presence of loading activities, standing vehicles and pedestrian crossings. The existing traffic flow at Kam Ho Road is very light. TPDM 3.11.3.1 - The capacity of One lane Two-way Van Track is 100 cars per hour, there is plenty of spare capacity.

Responses to Departmental Comments (Application No. AYL-KTS/946)

COMMENTS	RESPONSES
	According to the Applicants, trips for transporting the construction materials to/from the Application Site made by the container/light goods vehicles will not be more than 3 round trips daily at non-peak hours (between 10am – 4pm). There will be no more than 5 working staff on-site. Considering the business nature and operational needs, only 2 daily round trips for private vehicles to the Application Site is expected. It is considered that the attraction or generation will not cause serious traffic impact on Kam Ho Road and the access road.
(b) The applicant should demonstrate the smooth manoeuvring of vehicles to /from Kam Ho Road, and along the local access to the site;	(b) The Figure 1 , the swept path analysis shows that the swept path from Local Access Road to Kam Ho Road and to the application site are adequate.
(c) The applicant should note the local access between Kam Ho Road and the site is not managed by this Department.	(c) Noted.

Annex D

Traffic Generation and Attraction Rates

Table 2 - Traffic Rates for Non-Residential Developments at 95% Confidence Level

Land Use	Unit	Upper Limit / Mean / Lower Limit	AM Generation Rate	AM Attraction Rate	PM Generation Rate	PM Attraction Rate
Retail / Shopping Complex (Office + Retail)	(pcu/hr/100 sqm GFA)	Upper Limit	0.3307	0.3342	0.3839	0.4504
		Mean	0.2296	0.2434	0.3100	0.3563
		Lower Limit	0.1285	0.1525	0.2360	0.2622
		Upper Limit	0.2361	0.3257	0.1928	0.1510
Office	(pcu/hr/100 sqm GFA)	Mean	0.1703	0.2452	0.1573	0.1175
		Lower Limit	0.1045	0.1646	0.1217	0.0840
		Upper Limit	0.1153	0.3727	0.1648	0.1260
Industrial Building	(pcu/hr/100 sqm GFA)	Mean	0.0926	0.1386	0.1350	0.1049
		Lower Limit	0.0698	0.1044	0.1053	0.0838
		Upper Limit	0.1814	0.2082	0.1697	0.2183
Hotel	(pcu/hr/guest room)	Mean	0.1329	0.1457	0.1290	0.1546
		Lower Limit	0.0843	0.0832	0.0883	0.0908

The Total Floor area of the warehouse = $2,234\text{m}^2$ + $1,625\text{m}^2$ = $3,859\text{m}^2$

Under the Land Use of Industrial Building:-

Morning Peak Attraction Rate = 0.1727 , > $3,859/100 \times 0.1727 = 6.664\text{pcu}$, say 7pcu
 Evening Peak Generation Rate = 0.1648 , > $3,859/100 \times 0.1648 = 6.360\text{pcu}$, say 7pcu
 Therefore, 7pcu is equivalent to 7 private cars or 3 heavy goods vehicles per hour.

Responses to Departmental Comments (Application No. AT/L-KTS/946)

COMMENTS	RESPONSES
4. Drainage Services Department Please find the following comments on the submitted drainage proposal: (a) Cross sections showing the existing and proposed ground levels of the captioned site with respect to the adjacent areas should be given. (b) The existing drainage facilities, to which the stormwater of the development from the subject site would discharge, are not maintained by this office. The applicant should identify the owner of the existing drainage facilities to which the proposed connection will be made and obtain consent from the owner prior to commencement of the proposed works. In the case that it is a local village drains, DO/YL should be consulted. (c) Please also demonstrate with hydraulic calculation that the existing drainage facilities are adequate to collect, convey and discharge the surface runoff accrued on the application site and the overland flow intercepted from the adjacent lands. (d) The gradients and the sizes of the proposed U-channels and underground pipes should be shown on the drainage plan. (e) The sizes of the existing drainage facilities to be connected/discharged should be also shown on the drainage plan. (f) The cover levels and invert levels of the proposed u-channel, catchpits/sand traps should be shown on the drainage plan.	Noted. Detailed design of the proposed drainage facilities will be provided should this application be approved.

COMMENTS	RESPONSES
(g) Sand trap or provision alike should be provided before the collected runoff is discharged to the public drainage facilities. (h) Standard details should be provided to indicate the sectional details of the proposed u-channel and the catchpit/sand trap. (i) Where walls or hoarding are erected or laid along the site boundary, adequate opening should be provided to intercept the existing overland flow passing through the site. (j) The development should neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent areas, etc. (k) The applicant should consult DLO/YL and seek consent from the relevant owners for any drainage works to be carried out outside his lot boundary before commencement of the drainage works.	

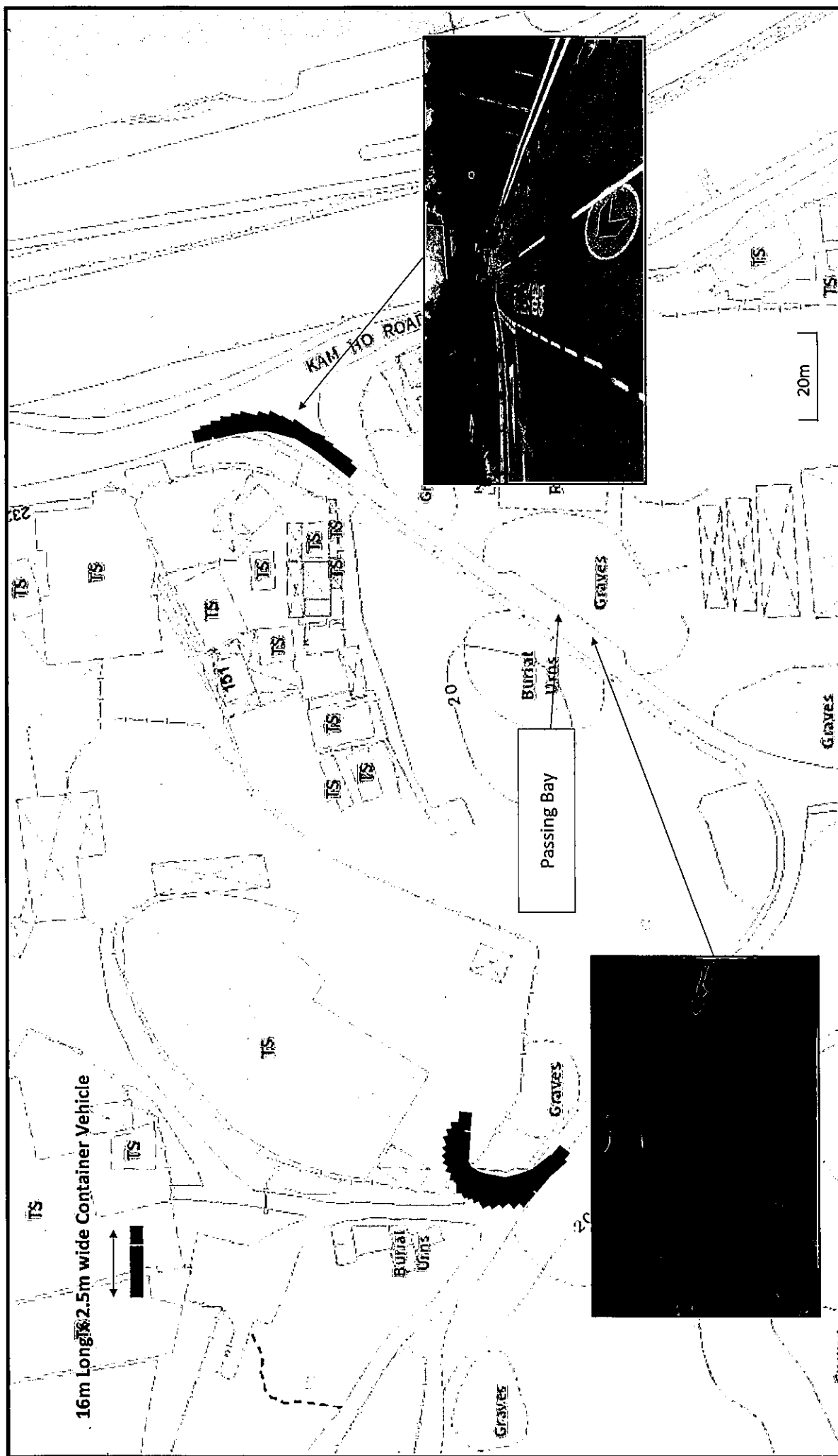


Figure 1 : Swept Path Analysis



羅迅測計師行
Lawson David & Sung
SURVEYORS LIMITED



RICS
The mark of
property professionalism worldwide

Appendix Ic

Lawson David & Sung Surveyors Limited
INC 1992

宋梓華
Sung Tze Wah
FRICS FHKIS MSISV MCIREA ACIarb RPS (GP)

李霧儀
Lee Mo Yi
MPIA RPP MUDD BA (Hons)

吳恆廣
Ng Hang Kwong, BBS
FRICS FHKIS RPS (GP)
Honorary World Valuer (WAVO)

林桂金
Daniel K.K. Lam
MRICS MHKIS MCIREA RPS (GP) BSc

宋樹鴻
Sung Shu Hung
FRICS MHKIS RPS (GP) MCIREA
MHREA BSc (Hons)

Consultant :

陳志凌
Elwyn C. Chan
RPE PMgr CEnv FIHE FCIQB MICE
MHKIE MSOE FCMI MCIArb MSc

劉志光
Lau Chi Kwong
FRICS FRICS ALS MHKIS RPS (LS) MSc

潘孝維
Pun How Wai
MRIBA

By Email

Date : 20 February 2023
Your Ref.: TPB/A/YL-KTS/946
Our Ref. : LDS/PLAN/6859

Secretary
Town Planning Board
15/F, North Point Government Offices
333 Java Road
North Point, Hong Kong

Dear Sir/Madam,

Proposed Temporary Warehouse for Storage of Construction Materials (Timber and Metal) for a Period of 3 Years at Lots 123 (Part), 124 (Part), 125 (Part), 126 (Part) and 127 (Part) in D.D.113 and Adjoining Government Land, Ma On Kong, Kam Tin South, Yuen Long, N.T.

(Application No. A/YL-KTS/946)

We refer to the captioned application and write to clarify that the occupation area (about 5,500 sq.m.) of the Applicants' previous storage yards in Ma Tso Lung is shown in the attached replacement page of Photo Plate 1.

Should there be any queries, please contact our Miss Cannis Lee or Mr. Jeremy Poon at

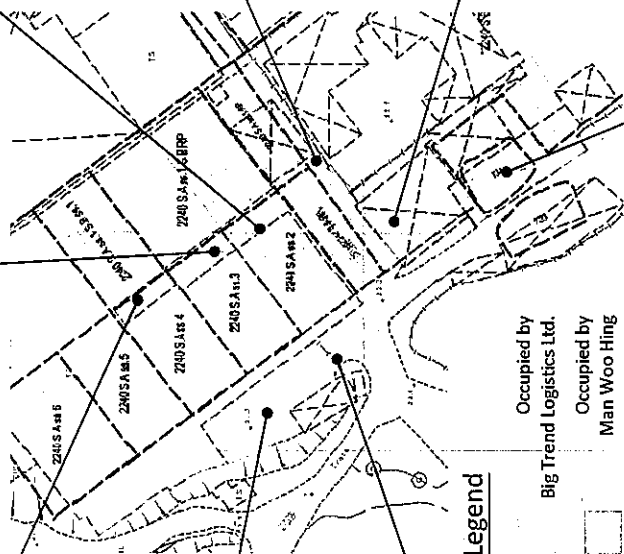
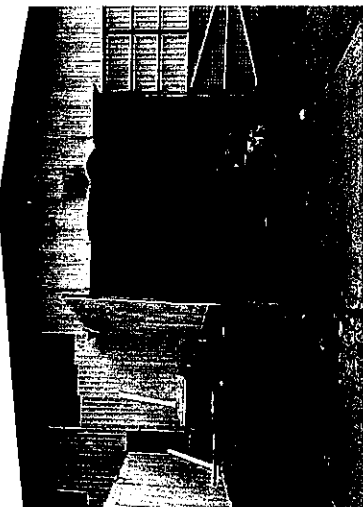
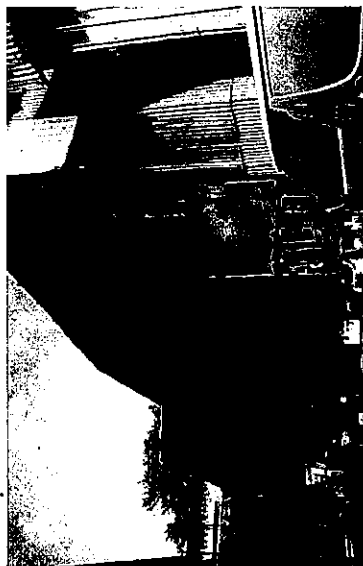
Yours faithfully,
For and on behalf of
Lawson David & Sung Surveyors Limited

Lawson David & Sung 

Encl.

c.c. DPO/FS&YLE (Attn.: Mr. Christopher Pang) – By Email
Client

Your Assets for Growth



Area: about 5,500 sq.m.

Condition of the Applicants' Previous Timber Yard in Ma Tso Lung, Kwu Tung North, N.T.

Photo Plate 1



羅迅測計師行
Lawson David & Sung
SURVEYORS LIMITED



RICS
The mark of
property professionalism worldwide



Appendix Id

By Email

Date : 30 March 2023
Your Ref.: TPB/A/YL-KTS/946
Our Ref. : LDS/PLAN/6859

Secretary
Town Planning Board
15/F, North Point Government Offices
333 Java Road
North Point, Hong Kong

Dear Sir/Madam,

Proposed Temporary Warehouse for Storage of Construction Materials (Timber and Metal) for a Period of 3 Years at Lots 123 (Part), 124 (Part), 125 (Part), 126 (Part) and 127 (Part) in D.D.113 and Adjoining Government Land, Ma On Kong, Kam Tin South, Yuen Long, N.T.

(Application No. A/YL-KTS/946)

We refer to the comments from various Government departments on the captioned application and submit herewith our response in **Table 1** for your consideration.

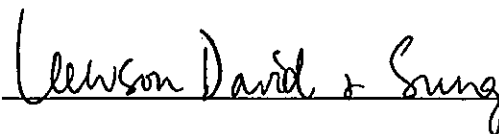
We would also like to clarify that this application will involve associated filling of land as follows:

Area of filling: about 6,133 sq.m.

Depth of filling: not more than 0.2m

Should there be any queries, please contact our Miss Cannis Lee or Mr. Jeremy Poon at

Yours faithfully,
For and on behalf of
Lawson David & Sung Surveyors Limited

Encl.

c.c. DPO/FS&YLE (Attn.: Mr. Christopher Pang) – By Email
Client

Table 1: Responses to Comments from Government Departments on Planning Application No. A/YL-KTS/946 (30 March, 2023)

COMMENTS		RESPONSES
1.	Fire Services Department Please find the following comments on the submitted FSIs proposal: (a) Re. FS Note 3.7, typo (i.e. HIEGHT) shall be rectified; (b) Storage category of wood should be at least Category II; (c) In connection to (b) above, please rectify the storage height; (d) Re. FS Note 5.1, typo (i.e. BS 5226) shall be rectified	(a) The typo has been rectified. (b) Noted. (c) The storage height has been rectified. (d) The typo has been rectified. A revised FSIs proposal is attached in 'Annex 1.
2.	Urban Design and Landscape Section, Planning Department Having reviewed the Further Information (FI), please find following comments from landscape planning perspective: (a) the applicant claimed in the FI that there are no existing trees within the application site. According to our site inspection taken in January 2023, some existing trees of common species are observed within the site and may be in conflict with the proposed structure 2 and site office. No tree information, proposed tree treatment and mitigation measures (if any) are provided in this FI; and (b) we remain our view of having some reservations on the application.	(a) According to our site visit in March 2023, only 2 existing trees (see Photo 1 in Annex 2) within the Application Site will be affected by the proposed structure 2. These trees of common species are proposed to be felled. It is proposed that 6 new trees will be planted along the eastern boundary of the site for compensation (see Landscape Proposal in Annex 2). The proposed tree species is Ficus Microcarpa, which grow to a mature height of 4 to 5 metres, with a canopy span of about 5 metres in diameter. The proposed tree height is 2.75 metres when first planted in the ground.

COMMENTS	RESPONSES
3. Drainage Services Department	
Please find the following comments on the submitted drainage proposal:	
(a) Cross sections showing the existing and proposed ground levels of the captioned site with respect to the adjacent areas should be given.	(a) Topographic survey on the Application Site and surrounding areas has been carried out and is shown on Drawing No. 001 – Drainage Plan and the cross-section details is shown on Drawing No. 002 – Catchpit details (see Annex 3).
(b) The existing drainage facilities, to which the stormwater of the development from the subject site would discharge, are not maintained by this office. The applicant should identify the owner of the existing drainage facilities to which the proposed connection will be made and obtain consent from the owner prior to commencement of the proposed works. In the case that it is a local village drains, DO/YL should be consulted.	(b) There is an existing water stream collecting the surface runoff from the adjacent areas including the Application Site. Obviously, it is not maintained by DSD, the applicant will seek comment from DO/YL and obtain consent from DLO/YL.
(c) Please also demonstrate with hydraulic calculation that the existing drainage facilities are adequate to collect, convey and discharge the surface runoff accrued on the application site and the overland flow intercepted from the adjacent lands.	(c) Drainage Design and calculation is enclosed for your comment and approval.
(d) The gradients and the sizes of the proposed U-channels and underground pipes should be shown on the drainage plan.	(d) The gradients and the sizes of the proposed U-channels are shown on the Drawing No. 001 – Drainage Plan.
(e) The sizes of the existing drainage facilities to be connected/discharged should be also shown on the drainage plan.	(e) The size of the existing water stream varies from 350mm to 450mm wide and is shown on both Drawing Nos. 001 and 002.

COMMENTS	RESPONSES
(f) The cover levels and invert levels of the proposed u-channel, catchpits/sand traps should be shown on the drainage plan.	(f) All cover level and invert levels for U-channels and catchpit have been shown on Drainage Plan.
(g) Sand trap or provision alike should be provided before the collected runoff is discharged to the public drainage facilities.	(g) Catchpit with sand trap is provided for Catchpit No. 2, this catchpit will discharge the collected runoff to the existing water stream.
(h) Standard details should be provided to indicate the sectional details of the proposed u-channel and the catchpit/sand trap.	(h) Drawing No. 003 – Typical Details for Catchpit and U-channel has shown the details.
(i) Where walls or hoarding are erected or laid along the site boundary, adequate opening should be provided to intercept the existing overland flow passing through the site.	(i) All u-channels are provided within the site boundary but in front of the building line. Therefore, all stormwater from adjacent land will be intercepted by the u-channels.
(j) The development should neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent areas, etc.	(j) The proposed drainage system has intercepted the stormwater from the adjacent land, therefore, the system will not obstruct overland flow and affect the existing natural stream.
(k) The applicant should consult DLO/YL and seek consent from the relevant owners for any drainage works to be carried out outside his lot boundary before commencement of the drainage works.	(k) Consent from DLO/YL will be sought for the work outside the site boundary before commencement of the drainage works.

Annex 1

Revised Fire Service Installations Proposal

Proposed Temporary Warehouse for Storage of Construction Materials (Timber and Metal) for a Period of 3 Years at Lots 123 (Part), 124 (part), 125 (Part), 126 (Part), 127 (Part) in D.D. 113 and Adjoining Government Land, Ma On Kong, Kam Tin South, Yuen Long, N.T.

1.1 FIRE SERVICE INSTALLATIONS SHALL BE PROVIDED IN ACCORDANCE WITH THE CODES OF PRACTICE FOR MARINE FIRE SERVICE INSTALLATIONS AND EQUIPMENT AND INSPECTION, TESTING AND MAINTENANCE OF INSTALLATIONS AND EQUIPMENT 2012 (COP 2012), FSD CIRCULAR LETTERS AND THE HONG KONG NAUTICALS STANDARD REQUIREMENTS.

12. ALL TUBES AND FITTINGS SHALL BE CLASS 2, EXCEPT MEDIAN CRANK WHERE PRODUCK UP TO 1500W.
13. ALL TUBES AND FITTINGS SHALL BE DUCTILE IRON TO BS EN1545 412 EXCEPT ABOVE 1500W.
14. ALL DRAIN PIPES SHALL BE DISCHARGED TO A CONVENIENT POSITION WITHOUT THE POSSIBILITY OF BEING SUBMERGED.
15. ALL PIPES AND FITTINGS SHALL BE MADE OF DUCTILE IRON.
16. THE AGGREGATE AREA OF PERFORATE MANHOLES NOT LESS THAN 0.52M² OF THE FLOOR AREA OF THE STRUCTURE.

HOSE ROLL SYSTEM

2.1 NEW FIRE HOSE ROLL SHALL BE PROVIDED AS INDICATED ON PLAN TO ENSURE THAT EVERY PART OF THE BUILDING CAN BE REACHED BY A LENGTH OF NEW HOSE TALL 5000 FEET LONG.

- 1.1 THE WATER SUPPLY FOR HOSE REEL SYSTEM WILL BE FED FROM A NEW 2" D.I.S. FIREPROOF WATER MAIN VIA TWO HOSE REEL PUMPS (BURY/STANDARD) LOCATED INSIDE ITS SHED ROOM AT EXTERNAL AREA.
- 1.2 HOSE REEL PUMPS SHALL BE MOUNTED BY MEANS OF ANY BRACKETS THAT FITTED ABOVE EACH HOSE REEL SETS
- 1.3 ALL FIRE HOSE REEL OUTLETS SHOULD BE HOUSED IN GLASS FRAMED COVER SECURED UNDER LOCK & KEY.
- 1.4 ALL FIRE HOSE REEL SHOULD BE PROVIDED WITH FISH APPROVED TYPE INSTRUCTION PLATE & RED WARNING PLATE
- 1.5 SECONDARY ELECTRICITY SUPPLY DIRECTLY FEED OF REDUCE CLIP'S INCOMING MAIN SWITCH SHALL BE PROVIDED FOR THE FIVE PUMPS.

NEW AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH LPC RULES FOR AUTOMATIC SPRINKLER INSTALLATIONS INCORPORATING BS EN 12243: 2015 (INCLUDING TECHNICAL BULLETINS, NOTES, COMMENTARY AND RECOMMENDATIONS) AND FSD CIRCULAR LETTER NO. 5/2000. THE CLASSIFICATION OF THE OCCUPANCIES WILL

- 01 ONE NEW 1/2" SPARKLER WATER VALVE WILL BE PROVIDED AS INDICATED ON PLAN. THE TOWN MAIN WATER SUPPLY WILL BE FED FROM SINGLE COU.
- 02 TWO NEW SPARKLER PUMPS (WAT/SWAMP) AND ONE WOODO FAN SHALL BE PROVIDED IN ITS PUMP ROOM LOCATED AT EXTERNAL ROAD.
- 03 TWO NEW SPARKLER PUMPS (WAT/SWAMP) AND ONE WOODO FAN SHALL BE PROVIDED IN ITS PUMP ROOM LOCATED AT EXTERNAL ROAD.
- 04 NOT SPARKLER CONTROL VALVE SET AND SPARKLER INLET SHALL BE PROVIDED AS INDICATED ON PLAN
- 05 ALL SUBSIDIARY STOP VALVES TO BE ELECTRIC MONITORING TYPE
- 06 SECONDARY ELECTRICAL SUPPLY DIRECTLY TEE OFF BEFORE CLIP'S MOUNTING MAIN SWITCH SHALL BE PROVIDED FOR THE SPARKLER PUMPS.
- 07 THE SPARKLER SYSTEM DESIGN IS BASED ON THE FOLLOWINGS:
 - A. SPARKLER PUMP CAPACITY - 100 GPM
 - B. TYPE OF STORAGE : POST-PAYMENT (HST)
 - C. STORAGE CATEGORY : CATEGORY I
 - D. PROTECTION CLASSIFICATION : CLASS II
 - E. SPARKLER PROTECTION : CEILING

1. NEW FIRE ALARM SYSTEM SHALL BE PROVIDED IN ACCORDANCE WITH BS 5819-1:2017 AND FSD CIRCULAR LETTERS NO. 6/2021.

2. NEW BROADCAST UNITS AND FIRE ALARM BELLS SHALL BE PROVIDED AT ALL NEW FIRE HOSE REEL POINTS. THE FIRE ALARM INITIATION WILL BE INTEGRATED WITH THE HOSE REEL SYSTEM.

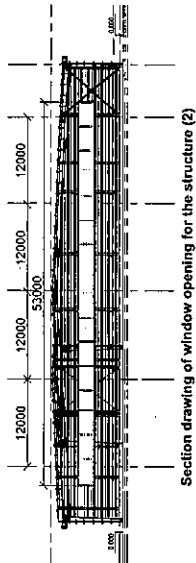
EMERGENCY LIGHTING SHALL BE PROVIDED IN ACCORDANCE WITH "BS 5266-1 :2016 AND BS EN 1838 :2013", AND FSD CIRCULAR LETTERS NO. 4/2021, COVERING ALL AREA. EMERGENCY LIGHTINGS SHALL BE BACKED UP BY BUILT-IN BATTERY AND CAPABLE OF MAINTAINING FUNCTION OF NOT LESS THAN 2 HOURS IN CASE OF POWER FAILURE.

- ALL EXIT SIGNS/DIRECTIONAL EXIT SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 5.10 OF COP 2012 AND FSD CIRCULAR LETTER NO. 5/2006, FOR THE BUILDING. EXIT SIGNS/DIRECTIONAL EXIT SIGNS SHALL BE BACKED UP BY BUILT-IN BATTERY AND CAPABLE OF MAINTAINING FUNCTION OF NOT LESS THAN 2 HOURS IN CASE OF POWER FAILURE.

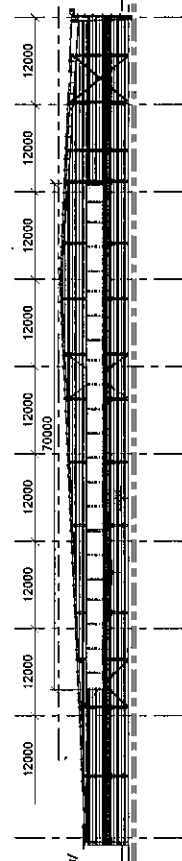
1. POSTING 3 HOURS OFSTREET APPROPRIATE SHUT BE PROVIDED AS INDICATED ON PLAN.

- PORTABLE HAND OPERATED APPLIANCES SHALL BE PROVIDED AS INDICATED ON PLAN.

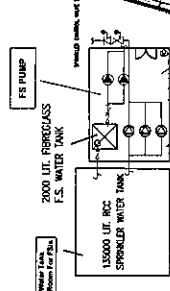
	FIRE ALARM BELL		EXIT SIGN		EMERGENCY LIGHT
	BREAK GLASS UNIT		HOSE REEL		

[illegible]

Section drawing of window opening for the structure (2)



Section drawing of window opening for the structure (1)



Structure No.	Uses	No. of Storeys	Floor Area (m ²)	Height (m)
1	Warehouse for Storage of Timber/Metal	1	2,234	12
2	Warehouse for Storage of Timber/Metal	1	1,625	12
3	Site Office	1	30	3
4	Guard House	1	4	3
5	Washroom	1	15	3

Ingress/ 8m
Egress

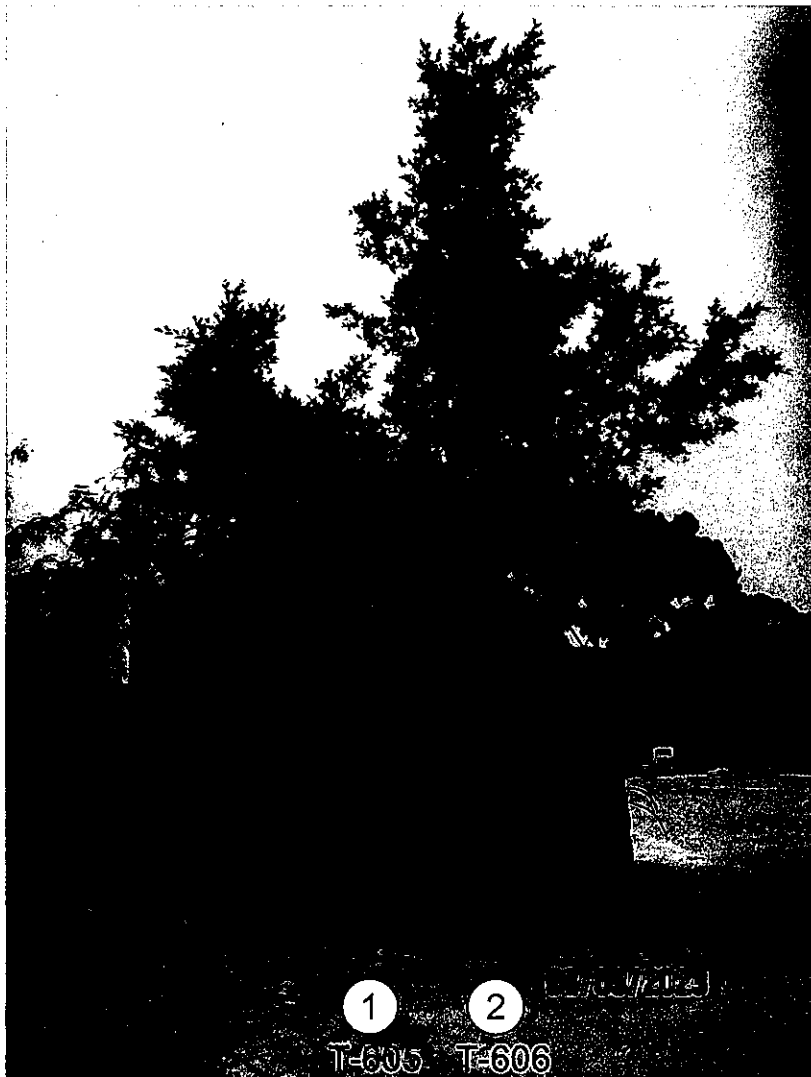
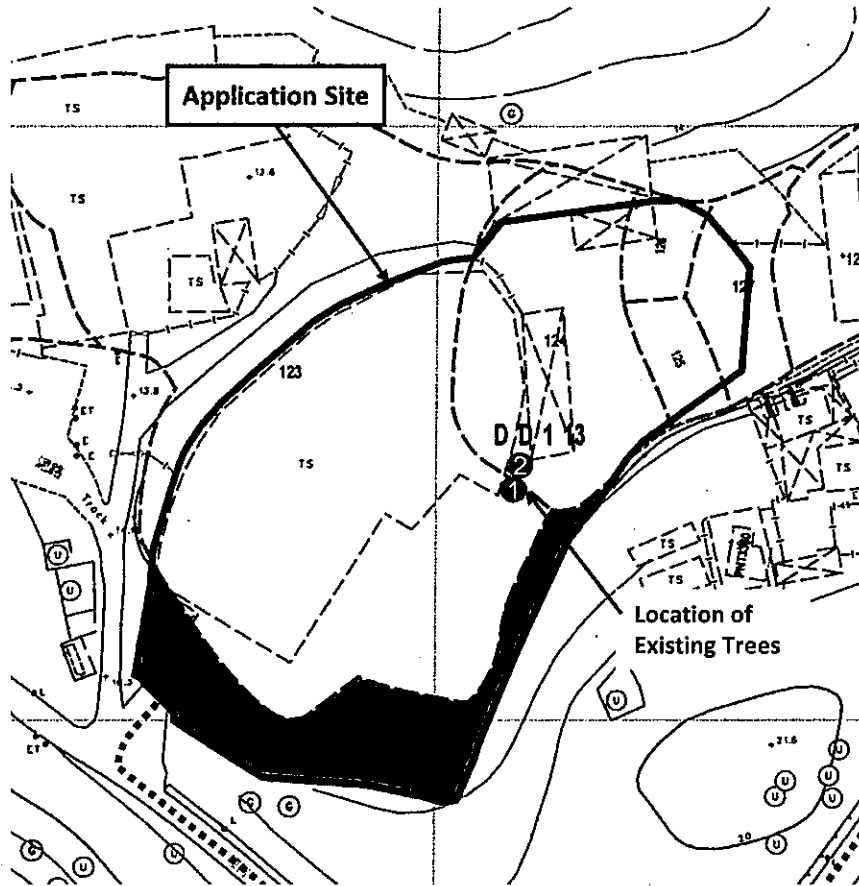
PROJECT : Proposed Temporary Warehouse for Storage of Construction Materials (Timber and Metal) for a Period of 3 Years at Lots 123 (Part), 124 (part), 125 (Part), 126 (Part), 127 (Part) in D.D.113 and Adjacent Government Land, Ma On Kong, Kaim Tin South, Yuen Long, N.T.	DRAWING TITLE :		ARCHITECT :		CONSULTANT :							
F.S. Notes, Legend, Fire Service Installation Layout Plan			REV	DESCRIPTION	DATE	FIRE SERVICE CONTRACTOR : Century Fire Service Engineering Co., Ltd.	NAME	DATE	DRAWING NO. : FS-01	REV.		
									SCALE : 1 : 250 (A0)			
									SOURCE : B.O.O. Rel. BD F.S.D. Rel. PP			

Annex 2

Site Photo of the Existing Trees and Landscape Proposal

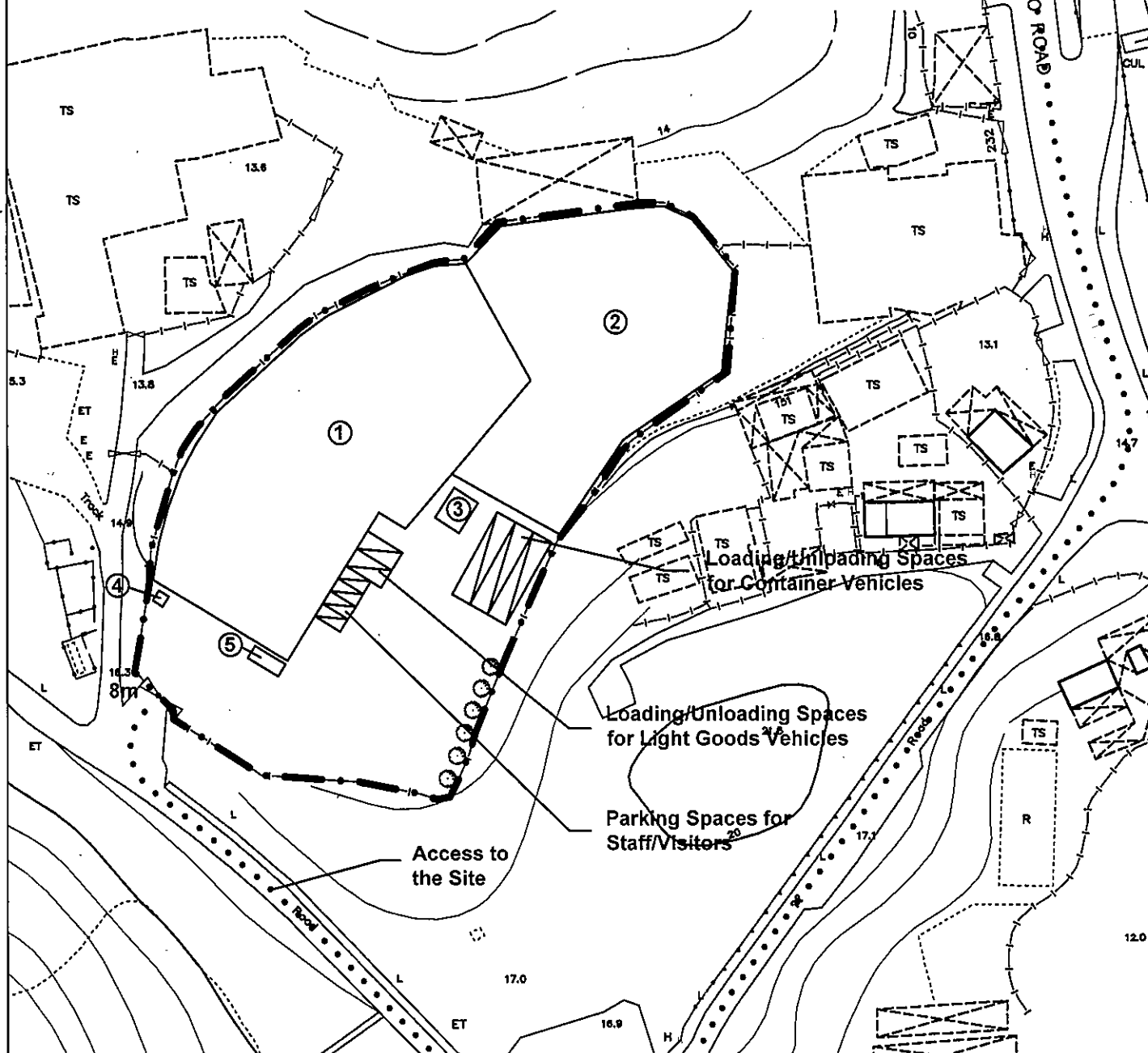
Existing Trees within the Application Site

ANNEX 2



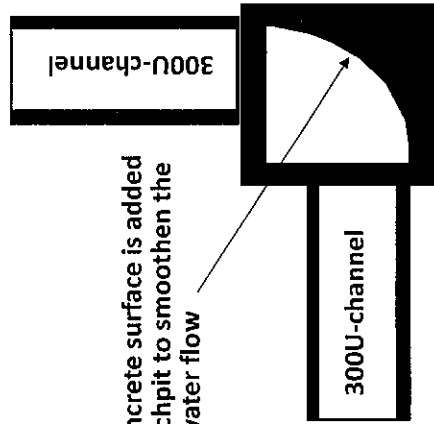
Structure No.	Uses	No. of Storeys	Floor Area (m ²)	Height (m)
1	Warehouse for Storage of Timber/Metal	1	2,234	12
2	Warehouse for Storage of Timber/Metal	1	1,625	12
3	Site Office	1	30	3
4	Guard House	1	4	3
5	Washroom	1	15	3

Plant Schedule:	Spacing (centre to centre)	Size (height / span)	Quantity
Ficus Microcarpa (細葉榕)	3000-4000mm	2750-3750mm	6

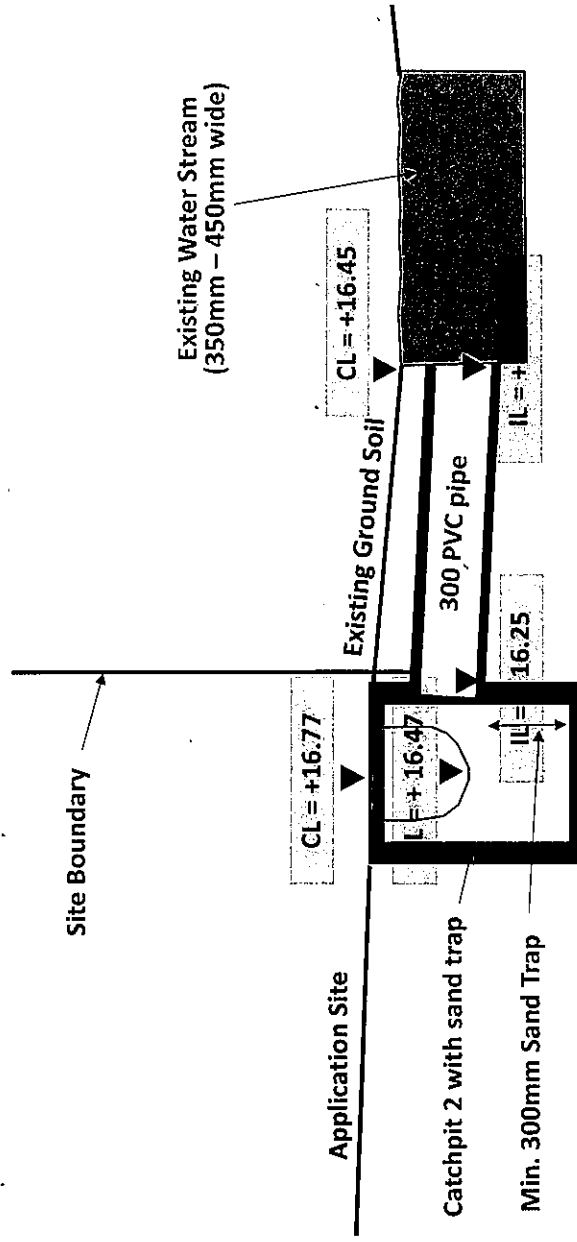


Annex 3

Revised Drainage Proposal



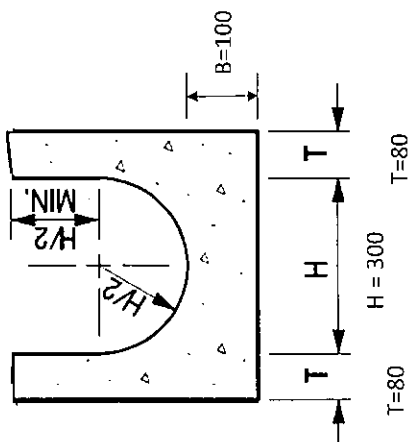
Details for Catchpit 1



Details for Catchpit 2

Catchpit Details

Drawing No. 002



TYPICAL SECTION

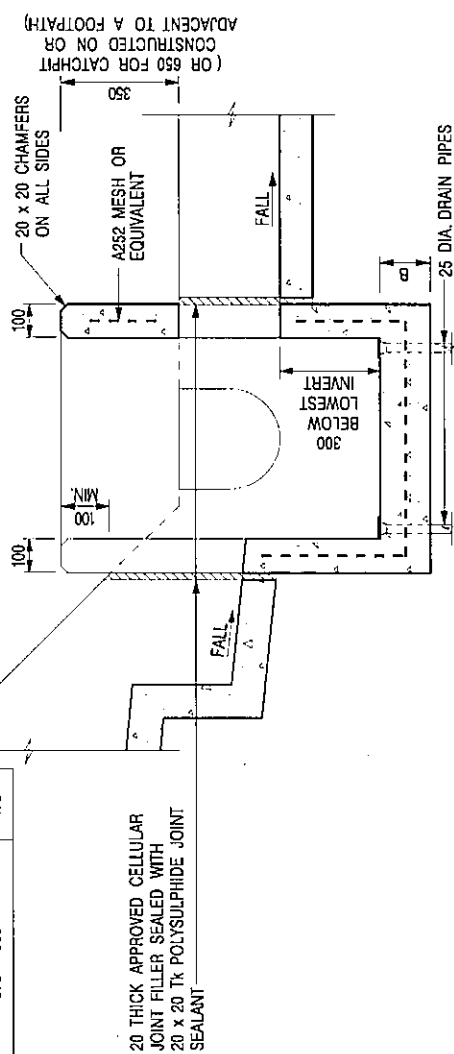
PLAN OF SLAB

U-CHANNELS WITH PRECAST CONCRETE SLABS

(UP TO H OF 525)

U-channel Details

NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175



Details of Catchpit with Sand Trap

Drainage Design

For the application near Kam Ho Road

DSD - STORMWATER DRAINAGE MANUAL

7.5.2 Rational Method

$$Q_p = 0.278CiA$$

where Q_p = peak runoff in m^3/s

C = runoff coefficient (dimensionless)

i = rainfall intensity in mm/hr

A = catchment area in km^2

In Hong Kong, a value of $C = 1.0$ is commonly used in developed urban areas. In less developed areas, appropriate C values in order to ensure that the design would be fully cost-effective.

Surface Characteristics Runoff coefficient, C^*

Asphalt	0.70 - 0.95
Concrete	0.80 - 0.95
Brick	0.70 - 0.85
Grassland (heavy soil**)	
Flat	0.13 - 0.25
Steep	0.25 - 0.35
Grassland (sandy soil)	
Flat	0.05 - 0.15
Steep	0.15 - 0.20

The surface of the site will be covered by Asphalt, the C should be **0.85** (Mid value)

6.6.1 Village Drainage and Main Rural Catchment Drainage Channels

‘Village Drainage’ refers to the local stormwater drainage system within a village. A stormwater drain conveying stormwater runoff from an upstream catchment but happens to pass through a village may need to be considered as either a ‘Main Rural Catchment Drainage Channel’ or ‘Village Drainage’, depending on the nature and size of the upstream catchment. In any case, the impact of a 50-year event should be assessed in the planning and design of village drainage system to check whether a higher standard than 10 years is justified. **20 Years** is normally used.

Table 2d – Intensity-Duration-Frequency (IDF) Relationship of North District Area
for durations not exceeding 240 minutes

Duration (min)	Extreme Intensity x (mm/h) for various Return Periods						
	T(year)						
	2	5	10	20	50	100	200
240	28.5	37.7	43.4	48.6	54.9	59.4	63.6
120	42.2	54.7	62.5	69.6	78.4	84.7	90.8
60	61.0	75.7	84.3	92	101	108	114
30	84.0	100	110	118	128	135	142
15	106	127	139	150	163	173	182
10	119	141	155	168	184	196	208
5	138	161	177	193	216	234	254

i (rainfall intensity) = **92mm/hr** (Duration of 60min is used)

$$Q_p = 0.278CiA$$

$$C = 0.85 \text{ (mid Value)}$$

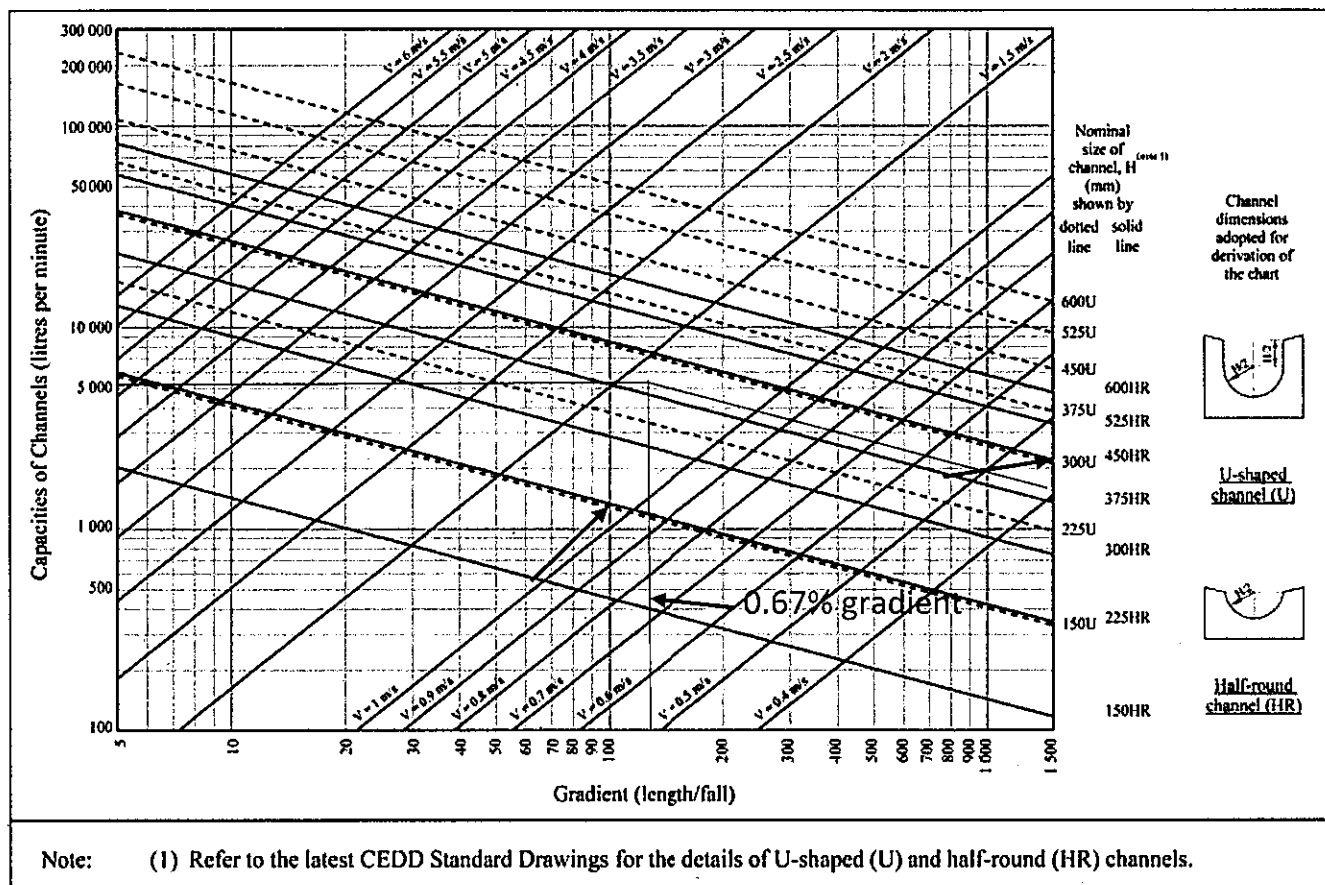
$$i = 92 \text{ mm/hr}$$

$$A = 4,000\text{m}^2 \text{ (0.004km}^2\text{)}$$

$$Q_p = 0.0869\text{m}^3/\text{s} \text{ or } 5,214 \text{ l/min}$$

GEO Technical Guidance Note No. 43 (TGN 43) Guidelines on Hydraulic Design of U-shaped

Figure 1 - Chart for the rapid design of U-shaped and half-round channels up to 600 mm



For 5,214 l/min, 300 U-channel is used.



羅迅測計師行
Lawson David & Sung
SURVEYORS LIMITED



RICS
The mark of
property professionalism worldwide

Appendix Ie

14th Anniversary
Lawson David & Sung Surveyors Limited
Est. 1972

By Email

Date : 24 April 2023
Your Ref.: TPB/A/YL-KTS/946
Our Ref. : LDS/PLAN/6859

Secretary
Town Planning Board
15/F, North Point Government Offices
333 Java Road
North Point, Hong Kong

Dear Sir/Madam,

Proposed Temporary Warehouse for Storage of Construction Materials (Timber and Metal) for a Period of 3 Years at Lots 123 (Part), 124 (Part), 125 (Part), 126 (Part) and 127 (Part) in D.D.113 and Adjoining Government Land, Ma On Kong, Kam Tin South, Yuen Long, N.T.

(Application No. A/YL-KTS/946)

We refer to the comments from various Government departments on the captioned application and submit herewith our response in Table 1 for your consideration.

Should there be any queries, please contact our Miss Cannis Lee or Mr. Jeremy Poon at

Yours faithfully,
For and on behalf of
Lawson David & Sung Surveyors Limited

Lawson David & Sung



Encl.

c.c. DPO/FS&YLE (Attn.: Mr. Christopher Pang) – By Email
Client

Table 1: Responses to Comments from Government Departments on Planning Application No. A/YL-KTS/946 (24 April, 2023)

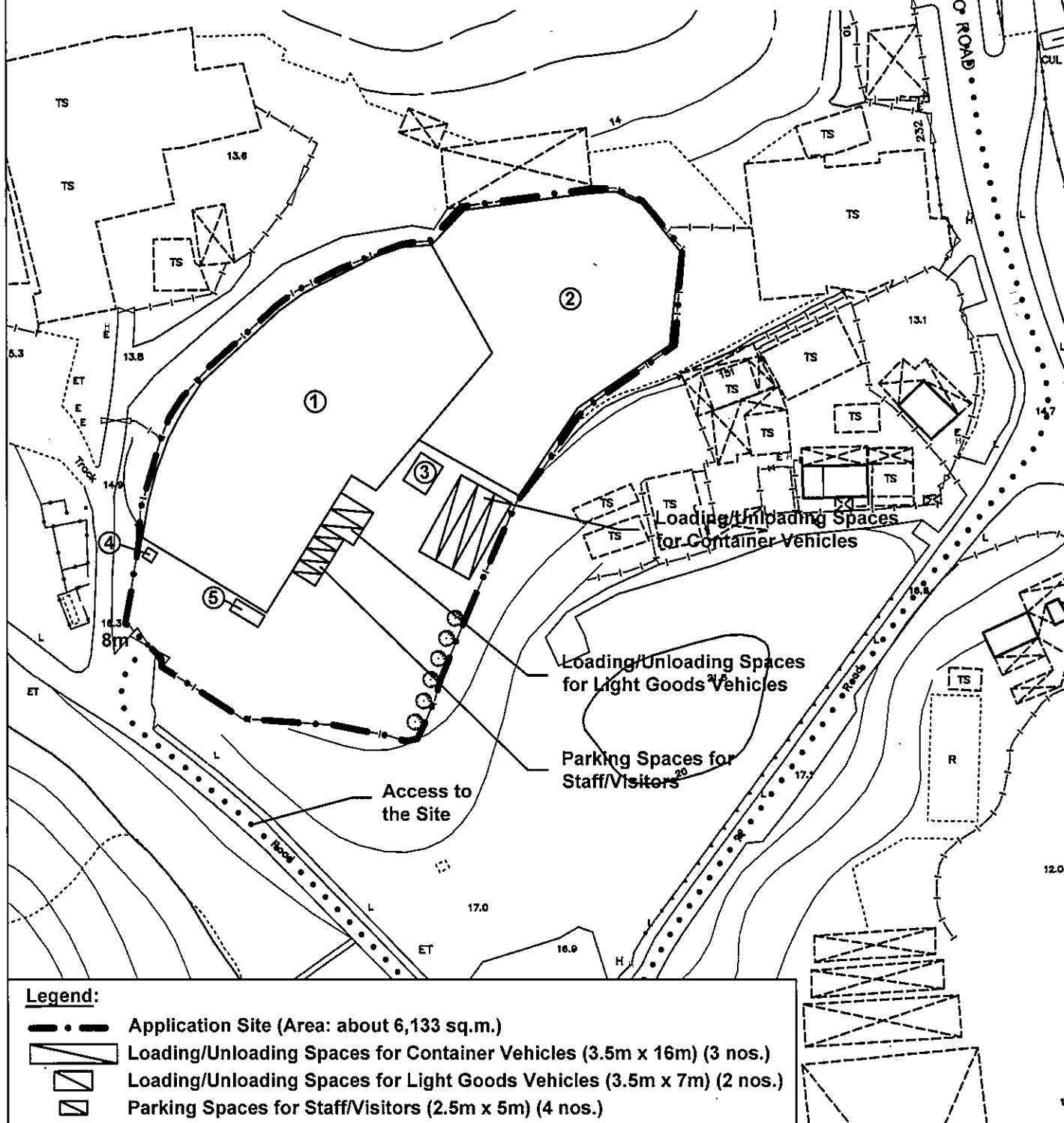
COMMENTS		RESPONSES
1. Fire Services Department		
Please find the following comments on the submitted FSIs proposal:		
(a) FSI shall be provided in accordance with the FSI Code 2022;	(a) Noted.	
(b) The duplicated words in FS Notes item 3.1 shall be deleted;	(b) Noted and deleted.	
(c) Directional and exit signs shall be provided in accordance with BS 5266-1:2016 and the FSD Circular Letter No. 5/2008;	(c) Noted. Please refer to FS Notes 6.1.	
(d) The provision of directional and exit signs shall be clearly indicated on plans;	(d) The directional and exit signs have been clearly shown on plans.	
(e) Fire extinguishers shall be provided to every structure within the application site;	(e) Fire extinguishers will be provided to every structure within the Application Site.	
(f) Section drawings with dimensions of all openable windows of Structures 1 and 2 shall be provided to justify the calculations;	(f) Section drawings with dimension of all openable windows of Structures 1 and 2 have been provided.	
and		
(g) Justifications for the non-provision of smoke extraction systems to Structures 1 and 2 shall be specified in the FS Notes.	(g) Noted. A revised FSIs proposal is attached in Annex 1 .	
2. Urban Design and Landscape Section, Planning Department		
Having reviewed the Further Information (FI2), please find our observation/comment from landscape planning perspective:		
<u>Landscape Observations and Comments:</u>		

Responses to Departmental Comments (Application No. A/YL-KTS/946)

COMMENTS	RESPONSES
(a) According to R to C and Annex 2, 2 existing trees within the site are proposed to be felled and 6 new trees will be planted along the eastern boundary of the site.	(a) Noted.
(b) There is concern that approval of the application would alter the landscape character and degrade the landscape quality of the "AGR" zone. We remain our view of having some reservations on the application.	(b) In view of the condition that only 2 existing trees are proposed to be felled and 6 new trees will be planted, it is considered that the landscape character of the area will not be affected. The Application Site is also surrounded by mature trees to the north and east. These existing trees will not be disturbed and act as a buffer to the surrounding areas. Since the Application Site will only be used on a temporary basis and will be developed for public housing in future, the landscape character of the area is anticipated to be gradually changed.
(c) <u>Detailed/Advisory Comments:</u> It is noted that 6 nos. of <i>Ficus microcarpa</i> are proposed as compensation. Considering mature <i>Ficus</i> is large in tree size, the applicant is advised to propose alternative species for new tree planting.	(c) The Applicant proposes to plant <i>Bauhinia blakeana</i> (see the revised Landscape Proposal in Figure 5A). The Applicant will submit a Landscape Proposal to the satisfaction of the Planning Department in detailed design stage, if necessary.
(d) According to our site inspection taken in January 2023, some existing trees are observed in the northern site boundary. No existing tree information (e.g. location, species and size) and proposed tree treatment are provided in this FI.	(d) As the existing trees observed in the northern site boundary are growing outside the Application Site Boundary and are of common species, these trees will not be disturbed and the Applicant is not in the position to propose any treatments on them.

Structure No.	Uses	No. of Storeys	Floor Area (m ²)	Height (m)
1	Warehouse for Storage of Timber/Metal	1	2,234	12
2	Warehouse for Storage of Timber/Metal	1	1,625	12
3	Site Office	1	30	3
4	Guard House	1	4	3
5	Washroom	1	15	3

Plant Schedule:	Spacing (centre to centre)	Size (height / span)	Quantity
Bauhinia blakeana (洋紫荊) ☉	3000-4000mm	2750-3750mm	6





羅迅測計師行
Lawson David & Sung
SURVEYORS LIMITED



RICS
The mark of
property professionalism worldwide



Appendix If

By Email

Date : 8 May 2023
Your Ref.: TPB/A/YL-KTS/946
Our Ref. : LDS/PLAN/6859

Secretary
Town Planning Board
15/F, North Point Government Offices
333 Java Road
North Point, Hong Kong

Dear Sir/Madam,

Proposed Temporary Warehouse for Storage of Construction Materials (Timber and Metal) for a Period of 3 Years at Lots 123 (Part), 124 (Part), 125 (Part), 126 (Part) and 127 (Part) in D.D.113 and Adjoining Government Land, Ma On Kong, Kam Tin South, Yuen Long, N.T.

(Application No. A/YL-KTS/946)

We refer to the comments from various Government departments on the captioned application and submit herewith our response in Table 1 for your consideration.

Should there be any queries, please contact our Miss Cannis Lee or Mr. Jeremy Poon at

Yours faithfully,
For and on behalf of
Lawson David & Sung Surveyors Limited

Lawson David & Sung



Encl.

c.c. DPO/FS&YLE (Attn.: Mr. Christopher Pang) – By Email
Client

Your Assets for Growth

Table 1: Responses to Comments from Government Departments on Planning Application No. A/YL-KTS/946 (8 May, 2023)

COMMENTS		RESPONSES
1. Fire Services Department		
Please find the following comments on the submitted FSIs proposal:		
(a)	The “FH/HR pumps” as mentioned in FS Notes item 2.6 shall tally with the information on plan; and	(a) The “FH/HR pumps” as mentioned in FS Notes item 2.6 has been shown on the plan (see Annex 1);
(b)	The height of openable windows shall be indicated on the Section Drawing.	(b) The height of openable windows has been indicated on the Section Drawing.
2. Drainage Services Department		
Please find below comments on the revised drainage proposal:		
(a)	Peripheral surface channels shall be provided along the site boundary to collect the surface runoff accrued on the application site.	(a) Peripheral surface channels will be provided along the site boundary to collect the surface runoff accrued on the application site. Please refer to the revised Drainage Plan attached (see Annex 2).
(b)	As noted, the proposed surface channel will be provided along the site boundary and in front of the building line. Please provide section drawing(s) showing the details of the above arrangement, which all overland flow will be intercepted by the above channel.	(b) Please refer to the section drawing (Drawing No. 002A).

Proposed Temporary Warehouse for Storage of Construction Materials (Timber and Metal) for a Period of 3 Years at Lots 123 (Part), 124 (part), 125 (Part), 126 (Part), 127 (Part) in D.D.113 and Adjoining Government Land, Ma On Kong, Kam Tin South, Yuen Long, N.T.

Area of High Bay Window (H.B.W.) = 2.0m(H) x 70m = 140 sq.m.

Total operable window area = 140 sq.m.

= 6.26% of floor area

1.2 ALL TUBES AND FITTINGS SHALL BE C.W.S. TO BS1387 MEDIAN GRADE WHERE NETWORK UP TO #150mm.

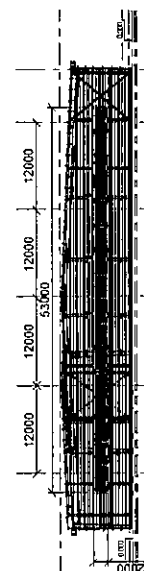
1.3 ALL TUBES AND FITTINGS SHALL BE DUCTILE IRON TO BS 24545 R12 WHERE NETWORK ABOVE #150mm.

Area of Structure 2 = 1625 sq m

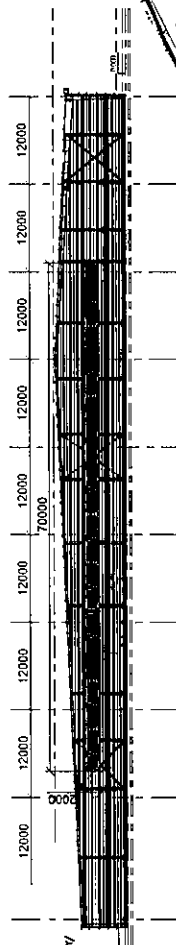
Area of Structure 2 = 1625 sq.m.

Area of High Bay Window (H.B.W.) = 2.0m²

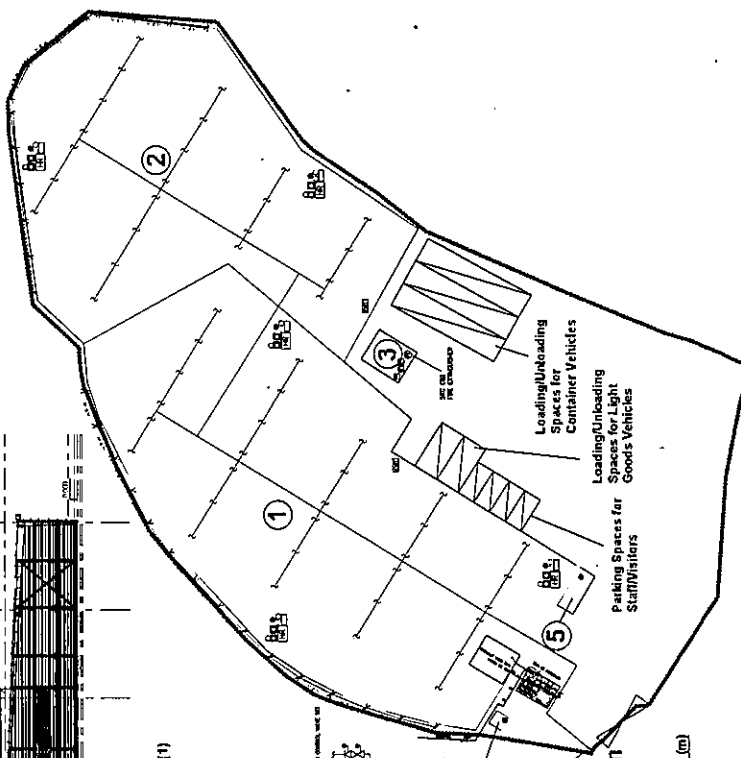
Total openable window area = 106 sq.m.



Section drawing of window opening for the structure (2)



SCALE : 1:250 (AD)

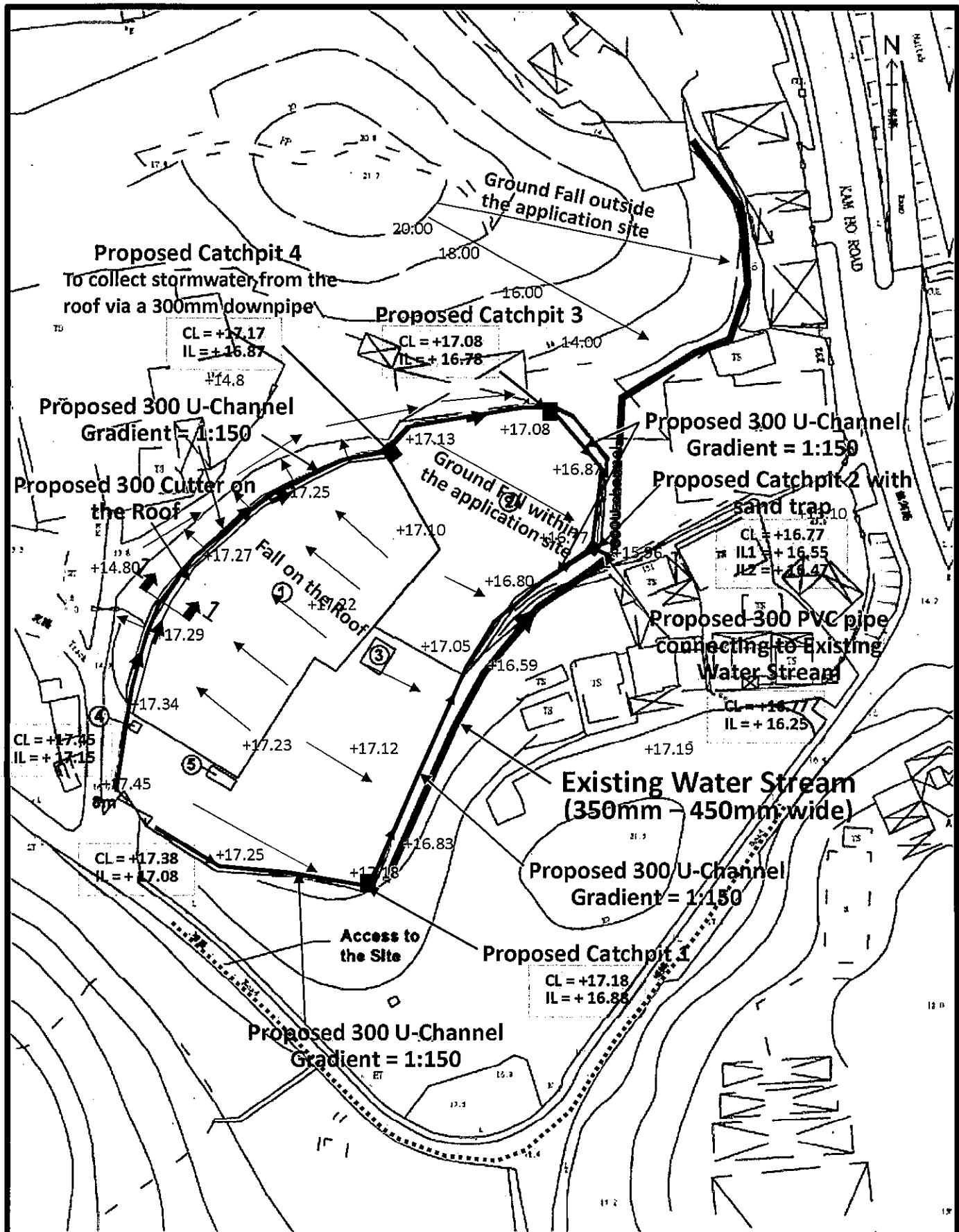


Section drawing of window opening for the structure (1)

Structure No.	Uses	No. of Storeys	Floor Area (m ²)	Height (m)
1	Warehouse for Storage of Timber/Metal	1	2,234	12
2	Warehouse for Storage of Timber/Metal	1	1,625	12
3	Site Office	1	30	3
4	Switch Room	1	4	3
5	Workroom	1	15	3

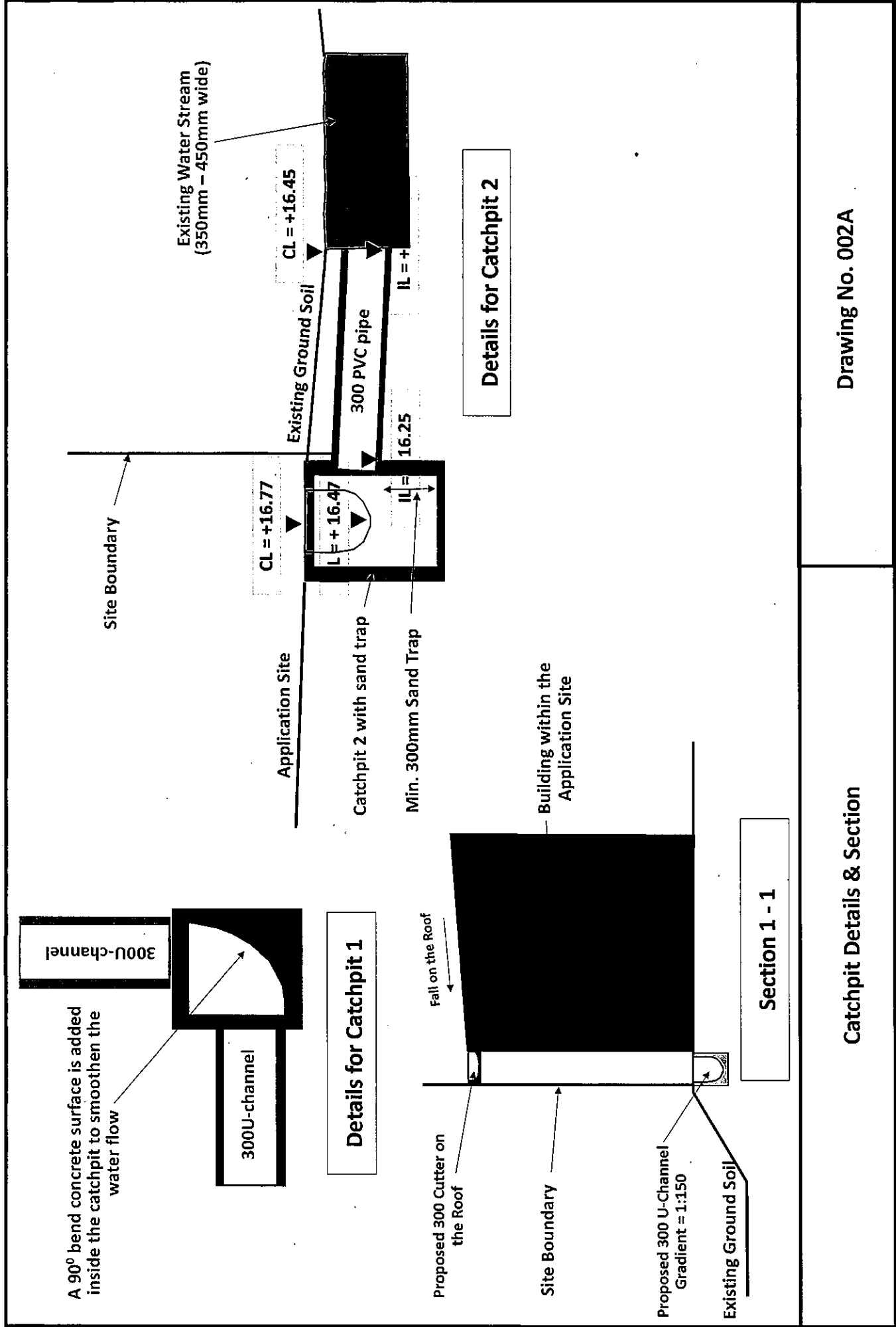
- | LEGEND | |
|---|----------------------------------|
|  | HOSE REEL |
|  | BREAK GLASS UNIT |
|  | FIRE ALARM BELL |
|  | EMERGENCY LIGHT |
|  | EXIT SIGN |
|  | NON-RETURN VALVE |
|  | SUBSIDIARY VALVE / FLOW SWITCH |
|  | SVC CO2 FIRE EXTINGUISHER |
|  | SAND BUCKET |
|  | SPRINKLER CONTROL VALVE SET |
|  | PUMP SET |
|  | Y-TYPE STRAINER |
|  | PRESSURE GAUGE |
|  | SPRINKLER HEAD (ON PLAN) |
|  | 5KG DRY POWDER FIRE EXTINGUISHER |

[illegible]



Drainage Plan

Drawing No. 001A





羅迅測計師行
Lawson David & Sung
SURVEYORS LIMITED



RICS
The mark of
property professionalism worldwide

Appendix Ig
LDS
Lawson David & Sung Surveyors Limited
1223

By Email

Date : 11 May 2023
Your Ref.: TPB/A/YL-KTS/946
Our Ref. : LDS/PLAN/6859

Secretary
Town Planning Board
15/F, North Point Government Offices
333 Java Road
North Point, Hong Kong

Dear Sir/Madam,

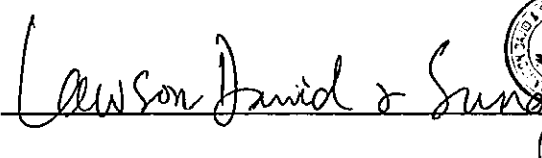
Proposed Temporary Warehouse for Storage of Construction Materials (Timber and Metal) for a Period of 3 Years at Lots 123 (Part), 124 (Part), 125 (Part), 126 (Part) and 127 (Part) in D.D.113 and Adjoining Government Land, Ma On Kong, Kam Tin South, Yuen Long, N.T.

(Application No. A/YL-KTS/946)

We refer to the captioned application and write to clarify that the loading/unloading activities will be conducted at the 5 loading/unloading spaces in the open areas as shown on the Layout Plan.

Should there be any queries, please contact our Miss Cannis Lee or Mr. Jeremy Poon at

Yours faithfully,
For and on behalf of
Lawson David & Sung Surveyors Limited




c.c. DPO/FS&YLE (Attn.: Mr. Christopher Pang) – By Email
Client

Previous s.16 Applications covering the Application Site

Approved Applications

Application No.	Use/Development	Date of Consideration
A/YL-KTS/891	Proposed Temporary Animal Boarding Establishment (Dog Kennel) for a Period of 3 Years	25.6.2021

Rejected Applications

Application No.	Use/Development	Date of Consideration	Rejection Reasons
A/YL-KTS/783	Temporary Warehouse for Storage of Drainage Pipes with Ancillary Site Office for a Period of 3 Years	7.9.2018	(1) to (3)
A/YL-KTS/885	Proposed Temporary Animal Boarding Establishment (Dog Kennel) for a Period of 3 Years	28.5.2021	(4)

Rejection Reasons:

- (1) The development was not in line with the planning intention for the area.
- (2) Insufficient information in the submission to demonstrate that the development would not generate environmental nuisance and adverse landscape impacts on the surrounding area.
- (3) Approval of the application would set an undesirable precedent.
- (4) The applicant failed to demonstrate how the access arrangement and interface with the existing warehouse occupying the site and adjoining area could be addressed.

Government Departments' General Comments

1. Land Administration

Comments of the District Lands Officer/ Yuen Long, Lands Department (DLO/YL, LandsD):

- no adverse comment on the application.

2. Traffic

Comments of the Commissioner for Transport (C for T):

- based on the FI (**Appendix Ib**) submitted by the applicant, he has no further comment on the application from traffic engineering perspective.
- the applicant shall liaise with relevant department for road improvement work (e.g. road widening works) as appropriate.

Comments of the Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD):

- no objection to the application.

3. Drainage

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD):

- no objection in-principle to the application; and
- should the application be approved, approval conditions requiring the submission, implementation and maintenance of the revised drainage proposal for the proposed development to his satisfaction or of the Board should be included.

4. Fire Safety

Comments of the Director of Fire Services (D of FS):

- no objection in-principle to the application subject to FSIs being provided to the satisfaction of his department;
- in consideration of the design/nature of the proposal, FSIs are anticipated to be required. Therefore, the applicant is advised to submit relevant layout plans incorporated with the proposed FSIs to this Department for approval. The layout plans should be drawn to scale and depicted with dimensions and nature of occupancy. The location of where the proposed FSI to be installed should be clearly marked on the layout plans; and

- the applicant is reminded that if the proposed structure(s) is required to comply with the Buildings Ordinance (Cap. 123), detailed fire service requirements will be formulated upon receipt of formal submission of general building plans.

5. **Building Matters**

Comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD):

- no objection to the application.

6. **District Officer's Comments**

Comments of the District Officer (Yuen Long), Home Affairs Department (DO(YL), HAD):

- his office has not received any local's comment on the application and he has no comment on the application.

7. **Other Departments**

The following government departments have no objection to/no adverse comment/no comment on the application:

- the Project Manager (West), Civil Engineering and Development Department (PM(W), CEDD);
- the Chief Engineer/Construction, Water Supplies Department (CE/C, WSD);
- the Chief Estate Surveyor/Railway Development, Lands Department (CES/RD, LandsD);
- the Chief Engineer/Railway Development 2-2, Railway Development Office, Highways Department (CE/RD 2-2, RDO, HyD);
- the Project Team Leader/Housing, Civil Engineering Office, CEDD (PTL/H, CEO, CEDD);
- the Director of Electrical and Mechanical Services (DEMS); and
- the Commissioner of Police (C of P).

Recommended Advisory Clauses

- (a) to resolve any land issues relating to the development with the concerned owners of the Site;
- (b) prior planning permission should have been obtained before commencing the applied use at the Site;
- (c) the permission is given to the development / uses and structures under application. It does not condone any other development / uses and structures which currently occur on the Site but not covered by the application. Immediate action should be taken to discontinue such development / uses and remove such structures not covered by the permission;
- (d) to note the comments of the District Lands Officer/ Yuen Long, Lands Department (DLO/YL, LandsD) that:
 - the Site comprises Government land (GL) and Old Schedule Agricultural Lots held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the government;
 - no permission is given for occupation of GL (about 1,043m² subject to verification) included in the Site. Any occupation of GL without Government's prior approval is not allowed; and
 - should the application be approved, the lot owner(s) will need to apply to his office to permit the structures to be erected or regularize any irregularities on Site, if any. Besides, given the proposed use is temporary in nature, only application for regularization or erection of temporary structure(s) will be considered. Furthermore, the applicants have to either exclude the GL from the Site or immediately apply for a formal approval prior to the actual occupation of the GL. Applications for any of the above will be considered by LandsD acting in the capacity as landlord or lessor at its sole discretion and there is no guarantee that such application will be approved. If such application(s) is approved, it will be subject to such terms and conditions, including among others the payment of premium or fee, as may be imposed by LandsD;
- (e) to note the comments of the Commissioner for Transport (C for T) that:
 - the Site is connected to the public road network via a section of a local access road which is not managed by Transport Department. The land status of the local access road should be checked with the LandsD. Moreover, the management and maintenance responsibilities of the local access road should be clarified with the relevant lands and maintenance authorities accordingly. Sufficient manoeuvring space shall be provided within the Site. No vehicle is allowed to queue back to or reverse onto / from public road at any time during the planning approval period;
- (f) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD) that:
 - his department shall not be responsible for the maintenance of any access connecting

the Site and Kam Ho Road; and

- adequate drainage measures should be provided to prevent surface water running from the Site to nearby public road and drains;
- (g) to note the comments of Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD) that:
- approval of the application does not imply approval of tree works such as pruning, transplanting, and felling under lease. The applicants are reminded to seek approval for any proposed tree works from relevant departments prior to commencement of the works;
- (h) to note the comments of the Director of Environmental Protection (DEP) that:
- the applicants are advised to follow the relevant mitigation measures and requirements in the latest “Code of Practice on Handling the Environmental Aspects of Temporary uses and Open Storage Sites” issued by DEP;
- (i) to note the comments of the Director of Fire Services (D of FS) that:
- the applicant are reminded that the installation /maintenance/ modification/ repair work of fire service installation (FSI) shall be undertaken by an Registered Fire Service Installation Contractor (RFSIC). The RFSIC shall after completion of the installation/maintenance/ modification/ repair work issue to the person on whose instruction the work was undertaken a certificate (FS 251) and forward a copy of the certificate to the D of FS;
- (j) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:
- if the existing structures (not being a New Territories Exempted House) are erected on leased land without the approval of the BD, they are unauthorized building works (UBW) under the BO and should not be designated for any proposed use under the application;
 - for UBW erected on leased land, enforcement action may be taken by the BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;
 - before any new building works (including containers/open sheds as temporary buildings, demolition and land filling, etc) are to be carried out on the Site, prior approval and consent of the BD should be obtained, otherwise they are UBW. An Authorized Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO;
 - the Site shall be considered as two separate sites and provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
 - the two sites do not abut on a specified street of not less than 4.5m wide and the permitted development intensity shall be determined under Regulation 19(3) of the

B(P)R at the building plan submission stage;

- any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings are subject to the control of Part VII of the B(P)R; and
- detailed checking under the BO will be carried out at building plan submission stage.

☐ Urgent ☐ Return Receipt Requested ☐ Sign ☐ Encrypt ☐ Mark Subject Restricted ☐ Expand personal&publi



A/YL-KTS/946 DD 113 Kam Tin
22/01/2023 03:42

From:

To:

tpbpd <tpbpd@pland.gov.hk>

File Ref:

A/YL-KTS/946

Lots 123 (Part), 124 (Part), 125 (Part), 126 (Part), 127 (Part) in D.D. 113 and
Adjoining Government Land, Ma On Kong, Kam Tin, Yuen Long

Site area: About 6,133sq.m Includes Government Land of About 1,043sq.m

Zoning: "Agriculture"

Applied use: Warehouse for Storage of Construction Materials / 9 Vehicle Parking

Dear TPB Members,

672nd RNTPC MEETING ON 28.05.2021 Application 885

After deliberation, the Committee decided to reject the application. The reason was:

**"the applicant fails to demonstrate how the access arrangement and interface with
the existing warehouse occupying the site and adjoining area can be addressed."**

891 small Animal Boarding approved 25/6/21 – **conditions not fulfilled**

902 large Animal Boarding withdrawn

**So having successfully avoided the issue for years, applicant is now back with
the real operation**

***"the site formed part of a larger warehouse which was currently in operation
without valid planning permission "***

Of course the obvious question here is how come such a large unapproved
operation, part of it utilizing 1,000+sq.mts government land has not been subject to
enforcement action.

But as we well know, rules and regulations are only applicable south of Tai Lam and
Lion Rock.

Mary Mulvihill

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
Date: Tuesday, 7 September 2021 3:17 AM CST
Subject: A/YL-KTS/902 DD 113 Kam Tin

A/YL-KTS/902

Lots 123 (Part) and 124 (Part) and Adjoining Government Land in D.D. 113, Pat Heung

Site area : About 4,700sq.m Includes Government Land of about 1,046sq.m

Zoning : "Agriculture"

Applied use : Animal Boarding Establishment (Dog Kennel) / 12 Vehicle Parking

Dear TPB Members,

So back again, bigger but not better.

Application 885 was rejected in May:

"the site formed part of a larger warehouse which was currently in operation without valid planning permission "

The Animal Boarding scam has been allowed to proliferate for far too long.

I would draw members attention to

New study on animal cruelty in Hong Kong by HKU Law Faculty and the SPCA (HK) finds mongrel dogs are the most common victims of animal cruelty 03 Sep 2021

https://www.hku.hk/press/news_detail_23193.html

Other findings of the report included the need for:

a duty of care for animals to be introduced to compliment current anti-cruelty legislation;

regulations to control grooming parlours, animal trainers **and boarding facilities;**

There is also the lack of data with regard to **GENUINE DEMAND FOR ANIMAL BOARDING**

And should they be encouraged? If people love their pets they will keep them at their home.

There is very little overseas travel at the moment so little need for boarding while owners are away.

This leads to the impression that these facilities are about breeding and puppy mills or more likely an excuse for brownfield operations.

Such activities should be restricted as many of these puppy mills produce inbred animals with health issues. There is also the need to ensure a more responsible form of pet ownership, not the 'oh so cute' and abandon as soon as problems arise approach.

In addition 1,000+sq.m of government owned land zoned Agriculture should certainly not be allocated to possible dodgy uses. President Xi has ordered that arable land be used to ensure that China is self-sufficient with regard to food supply. Government land should therefore be allocated for that purpose.

Members should again reject the application.

Mary Mulvihill

From: [REDACTED]
To: "tpbpd" <tpbpd@pland.gov.hk>
Sent: Tuesday, May 25, 2021 3:30:05 AM
Subject: A/YL-KTS/891 DD 113 Kam Tin

A/YL-KTS/891
Lots 125 and 126 in D.D. 113, Ma On Kong, Kam Tin
Site area : About 420sq.m
Zoning : "Agriculture"
Applied use: Animal Boarding - Dog Kennels / 4 Vehicle Parking

Dear TPB Members,

This was part of Application 854 that was withdrawn. This application should be considered together with 885 but that appears to have been withdrawn also as there are no details left on OZP website?

So what is going on?

In view of the numerous applications for ABEs in the district it is time that members consider applications like this with skepticism.

These animal boarding are often puppy mills. Members have a duty to consider the welfare of the animals, particularly when applications are opaque in nature. Questions please as to what activities are being carried out both on these and the adjoining lots.

Mary Mulvihill

From: [REDACTED]
To: "tpbpd" <tpbpd@pland.gov.hk>
Sent: Thursday, April 29, 2021 3:37:46 AM
Subject: A/YL-KTS/885 DD 113 Kam Tin
A/YL-KTS/885
Lots 122 (Part), 123 (Part) in D.D. 113, Pat Heung
Site area : About 1,339sq.m
Zoning : "Agriculture"
Applied use : Animal Boarding Establishment / **Filling of Land** / 4 Vehicle Parking

Dear TPB Members,

So 854 was withdrawn. But there are unanswered questions members must ask.

In view of the numerous applications for ABEs in the district it is time that members consider applications like this with skepticism.

Previous objections upheld.

Mary Mulvihill

From: [REDACTED]
To: "tpbpd" <tpbpd@pland.gov.hk>
Sent: Thursday, August 6, 2020 2:56:10 AM
Subject: A/YL-KTS/854 DD 113 Kam Tin
A/YL-KTS/854
Lots 122, 123 (Part), 124, 125 and 126 in D.D. 113, Pat Heung
Site area : About 8,964sq.m
Zoning : "Agriculture"
Applied use : Animal Boarding Establishment / **Filling of Land** / **5 years** / 6 Vehicle Parking

Dear TPB Members,

9,000sq.m for Animal Boarding, would anyone fall for that line? The footprint of a PH estate to be used to house animals? No indication as to how many and the credentials of the Applicant with regard to the provision of such a service. Members will remember the various scandals related to Puppy Mills and badly run animal shelters.

It is quite clear that despite rejections, brownfield use of the lots has been ongoing for years.

Minutes of 7 Sept 2018 - Rejection of 783

*PlanD's views – PlanD did not support the application based on the assessments set out in paragraph 11 of the Paper. The applied temporary warehouse for storage of drainage pipes with ancillary site office was not in line with the planning intention of the "Agriculture" ("AGR") zone and DAFC did not support the application. No strong planning justification had been given in the submission to justify for a departure from the planning intention, even on a temporary basis. **Given the extensive scale of the Site and its close proximity to adjacent "GB" and "CA" zones, the applied use was considered incompatible with existing rural landscape context. There were sensitive receivers located to the east of the Site and environmental nuisance was expected. DEP and CTP/UD&L, PlanD did not support and had strong reservations on the application respectively. No previous planning approval had been given at the Site and the similar application within the same "AGR" zone was rejected by the Town Planning Board on review.***

76. Two Members raised the following questions:

- (a) whether the applied use was currently in operation at the Site;
- (b) how long had such use been in operation;
- (c) **whether any enforcement action had been taken;** and
- (d) what would be done should the operator ignore the Enforcement Notice issued by the Planning Authority.

77. In response, Ms Ivy C.W. Wong, STP/FSYLE, said that the applied use had been in operation at the site. **According to the aerial photo of the Site, relevant structures had been in existence since 2017. The Site was the subject of a current planning enforcement action involving storage use. Enforcement Notice (EN) had been issued. Should the unauthorized development (UD) continue upon expiry of the EN, prosecution action might be taken .**

There was a discussion with regard to enforcement and fines. It appears that no enforcement action was taken.

Will members reward Applicant with approval to extend the brownfield, probably eliminating the few trees left in place?

Mary Mulvihill

From: [REDACTED]
To: "tpbpd" <tpbpd@pland.gov.hk>
Sent: Friday, May 4, 2018 1:53:59 AM
Subject: A/YL-KTS/783 DD 113 Kam Tin

A/YL-KTS/783

Lots 123 (Part), 124 (Part), 125 (Part), 126 (Part) and 127 (Part) in D.D.113 and Adjoining Government Land, Kam Tin

Site area 6,342 m² Includes Government Land of about 1,058 m²

Zoning : "Agriculture"

Applied Use : Warehouse for Storage of Drainage Pipes

Dear TPB Members,

This application appears to be to legitimize an ongoing unapproved use.

The development is not in line with the planning intention of the "Agriculture" ("AGR") zone, which was primarily to retain and safeguard good quality agricultural land/farm/fish ponds for agricultural purposes. It was also intended to retain fallow arable land with good potential for rehabilitation for cultivation and other agricultural purposes. There was no strong planning justification in the submission to merit a departure from such planning intention, even on a temporary basis;

This type of storage should be accommodated in custom built industrial/storage facilities with appropriate facilities such as canteens and washroom, parking, hydraulic lifts, etc.

Approval of the application would set an undesirable precedent for other similar applications within this part of the "AGR" zone. The cumulative effect of approving such similar applications would result in a general degradation of the environment of the area.

Moreover approval would encourage the status quo and remove the stimulus for both site owners and government departments to build the long overdue solutions that would eliminate random storage, particularly on government land.

Mary Mulvihill