

2023年 2月 1日 收到：城市規劃委員會

46-1

The _____ will formally acknowledge
the receipt of the application only upon receipt
of all the required information and documents.

1 FEB 2023

Form No. S16-I
表格第 S16-I 號

APPLICATION FOR PERMISSION UNDER SECTION 16 OF THE TOWN PLANNING ORDINANCE (CAP.131)

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

Applicable to proposals not involving or not only involving:
適用於建議不涉及或不祇涉及：

- (i) Construction of "New Territories Exempted House(s)";
興建「新界豁免管制屋宇」；
- (ii) Temporary use/development of land and/or building not exceeding 3 years in rural areas; and
位於鄉郊地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展；及
- (iii) Renewal of permission for temporary use or development in rural areas
位於鄉郊地區的臨時用途或發展的許可續期

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.info.gov.hk/tpb/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.info.gov.hk/tpb/tc/plan_application/apply.html

General Note and Annotation for the Form 填寫表格的一般指引及註解

* "Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號 — —

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2203254 13/12 by courier

For Official Use Only 請勿填寫此欄	Application No. 申請編號	11/16-KTS/999
	Date Received 收到日期	1 FEB 2003

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件(倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.info.gov.hk/tpb/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載(網址: <http://www.info.gov.hk/tpb/>), 亦可向委員會秘書處(香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835)及規劃署的規劃資料查詢處(熱線: 2231 5000)(香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓)索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☒ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☐ Organisation 機構)

TANG Wing Kwan Jackson 鄧詠鈞

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

R-riches Property Consultants Limited 盈卓物業顧問有限公司

3. Application Site 申請地點

- | | |
|---|---|
| (a) Full address / location / demarcation district and lot number (if applicable)
詳細地址/地點/丈量約份及地段號碼(如適用) | Lots 1363 S.A (Part) and 1363 S.B RP (Part) in D.D. 106, Tin Sam San Tsuen, Kam Tin, Yuen Long, New Territories |
| (b) Site area and/or gross floor area involved
涉及的地盤面積及/或總樓面面積 | <input checked="" type="checkbox"/> Site area 地盤面積 3,075 sq.m 平方米 <input checked="" type="checkbox"/> About 約
<input checked="" type="checkbox"/> Gross floor area 總樓面面積 48 sq.m 平方米 <input checked="" type="checkbox"/> About 約 |
| (c) Area of Government land included (if any)
所包括的政府土地面積(倘有) | N/A sq.m 平方米 <input type="checkbox"/> About 約 |

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Kam Tin South Outline Zoning Plan No. S/YL-KTS/15
(e) Land use zone(s) involved 涉及的土地用途地帶	"Agriculture" zone
(f) Current use(s) 現時用途	Vacant (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 -

- ☐ is the sole "current land owner"[#] (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」[#] (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners"[#] (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」[#] (請夾附業權證明文件)。
- ☒ is not a "current land owner"[#].
並不是「現行土地擁有人」[#]。

- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)"[#].
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」[#]。

(b) The applicant 申請人 -

- ☐ has obtained consent(s) of "current land owner(s)"[#].
已取得 名「現行土地擁有人」[#]的同意。

Details of consent of "current land owner(s)" [#] obtained 取得「現行土地擁有人」 [#] 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified "current land owner(s)"[#]
已通知 名「現行土地擁有人」[#]。

Details of the "current land owner(s)" [#] notified 已獲通知「現行土地擁有人」 [#] 的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼/處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☒ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on _____ (DD/MM/YYYY)[#]
於 _____ (日/月/年)向每一名「現行土地擁有人」[#]郵遞要求同意書^{*}

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☒ published notices in local newspapers on 30/12/2022 (DD/MM/YYYY)[#]
於 _____ (日/月/年)在指定報章就申請刊登一次通知^{*}
- ☐ posted notice in a prominent position on or near application site/premises on _____ (DD/MM/YYYY)[#]
於 _____ (日/月/年)在申請地點/申請處所或附近的顯明位置貼出關於該申請的通知^{*}
- ☒ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on 7/12/2022 (DD/MM/YYYY)[#]
於 _____ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會^{*}

Others 其他

- ☐ others (please specify)
其他(請指明)

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註: 可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段(倘適用)及處所(倘有)分別提供資料

6. Type(s) of Application 申請類別

- ☐ Type (i) Change of use within existing building or part thereof
第(i)類 更改現有建築物或其部分內的用途
- ☒ Type (ii) Diversion of stream / excavation of land / filling of land / filling of pond as required under Notes of Statutory Plan(s)
第(ii)類 根據法定圖則《註釋》內所要求的河道改道／挖土／填土／填塘工程
- ☒ Type (iii) Public utility installation / Utility installation for private project
第(iii)類 公用事業設施裝置/私人發展計劃的公用設施裝置
- ☐ Type (iv) Minor relaxation of stated development restriction(s) as provided under Notes of Statutory Plan(s)
第(iv)類 略為放寬於法定圖則《註釋》內列明的發展限制
- ☐ Type (v) Use / development other than (i) to (iii) above
第(v)類 上述的(i)至(iii)項以外的用途／發展

Note 1: May insert more than one 「✓」.

註 1: 可在多於一個方格內加上「✓」號

Note 2: For Development involving columbarium use, please complete the table in the Appendix.

註 2: 如發展涉及靈灰安置用途, 請填妥於附件的表格。

(i) For Type (i) application 供第(i)類申請			
(a) Total floor area involved 涉及的總樓面面積	sq.m 平方米		
(b) Proposed use(s)/development 擬議用途/發展	(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施, 請在圖則上顯示, 並註明用途及總樓面面積)		
(c) Number of storeys involved 涉及層數		Number of units involved 涉及單位數目	
(d) Proposed floor area 擬議樓面面積	Domestic part 住用部分		sq.m 平方米 <input type="checkbox"/> About 約
	Non-domestic part 非住用部分		sq.m 平方米 <input type="checkbox"/> About 約
	Total 總計		sq.m 平方米 <input type="checkbox"/> About 約
(e) Proposed uses of different floors (if applicable) 不同樓層的擬議用途(如適用) (Please use separate sheets if the space provided is insufficient) (如所提供的空間不足, 請另頁說明)	Floor(s) 樓層	Current use(s) 現時用途	Proposed use(s) 擬議用途

(ii) For Type (ii) application 供第(ii)類申請

(a) Operation involved 涉及工程	<input type="checkbox"/> Diversion of stream 河道改道		
	<input type="checkbox"/> Filling of pond 填塘		
	Area of filling 填塘面積	..... sq.m 平方米	<input type="checkbox"/> About 約
	Depth of filling 填塘深度	..... m 米	<input type="checkbox"/> About 約
	<input checked="" type="checkbox"/> Filling of land 填土		
	Area of filling 填土面積	148.7 sq.m 平方米	<input checked="" type="checkbox"/> About 約
	Depth of filling 填土厚度	0.5 m 米	<input checked="" type="checkbox"/> About 約
	<input type="checkbox"/> Excavation of land 挖土		
	Area of excavation 挖土面積	..... sq.m 平方米	<input type="checkbox"/> About 約
	Depth of excavation 挖土深度	..... m 米	<input type="checkbox"/> About 約
(Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用圖則顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍))			
(b) Intended use/development 有意進行的用途/發展	Proposed Public Utility Installation (Solar Photovoltaic System for FIT scheme) and Associated Filling of Land		

(iii) For Type (iii) application 供第(iii)類申請

(a) Nature and scale 性質及規模	<input checked="" type="checkbox"/> Public utility installation 公用事業設施裝置												
	<input type="checkbox"/> Utility installation for private project 私人發展計劃的公用設施裝置												
	Please specify the type and number of utility to be provided as well as the dimensions of each building/structure, where appropriate 請註明有關裝置的性質及數量, 包括每座建築物/構築物(倘有)的長度、高度和闊度												
	<table border="1"> <thead> <tr> <th>Name/type of installation 裝置名稱/種類</th> <th>Number of provision 數量</th> <th>Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)</th> </tr> </thead> <tbody> <tr> <td>Solar Panels with Metal Plinths</td> <td>1020</td> <td>1,755mm (L) x 1,038mm (W) x 35mm (H) (3.5m high for combined height)</td> </tr> <tr> <td>Meter Room and Store Room</td> <td>2</td> <td>2m (1-storey) high</td> </tr> <tr> <td>H-Poles</td> <td>2</td> <td>10.5m high</td> </tr> </tbody> </table>	Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)	Solar Panels with Metal Plinths	1020	1,755mm (L) x 1,038mm (W) x 35mm (H) (3.5m high for combined height)	Meter Room and Store Room	2	2m (1-storey) high	H-Poles	2	10.5m high
	Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)										
Solar Panels with Metal Plinths	1020	1,755mm (L) x 1,038mm (W) x 35mm (H) (3.5m high for combined height)											
Meter Room and Store Room	2	2m (1-storey) high											
H-Poles	2	10.5m high											
(Please illustrate on plan the layout of the installation 請用圖則顯示裝置的布局)													

(iv) For Type (iv) application 供第(iv)類申請

- (a) Please specify the proposed minor relaxation of stated development restriction(s) and also fill in the proposed use/development and development particulars in part (v) below –
請列明擬議略為放寬的發展限制並填妥於第(v)部分的擬議用途/發展及發展細節 –

- ☐ Plot ratio restriction From 由 to 至
地積比率限制
- ☐ Gross floor area restriction From 由sq. m 平方米 to 至sq. m 平方米
總樓面面積限制
- ☐ Site coverage restriction From 由% to 至 %
上蓋面積限制
- ☐ Building height restriction From 由m 米 to 至 m 米
建築物高度限制
From 由 mPD 米 (主水平基準上) to 至mPD 米 (主水平基準上)
From 由 storeys 層 to 至 storeys 層
- ☐ Non-building area restriction From 由m to 至 m
非建築用地限制
- ☐ Others (please specify)
其他 (請註明)

(v) For Type (v) application 供第(v)類申請

- (a) Proposed use(s)/development
擬議用途/發展

(Please illustrate the details of the proposal on a layout plan 請用平面圖說明建議詳情)

(b) Development Schedule 發展細節表

- | | | |
|---|---|----------------------------------|
| Proposed gross floor area (GFA) 擬議總樓面面積 | sq.m 平方米 | <input type="checkbox"/> About 約 |
| Proposed plot ratio 擬議地積比率 | | <input type="checkbox"/> About 約 |
| Proposed site coverage 擬議上蓋面積 | % | <input type="checkbox"/> About 約 |
| Proposed no. of blocks 擬議座數 | ..... |  |
| Proposed no. of storeys of each block 每座建築物的擬議層數 | storeys 層 | |
| | <input type="checkbox"/> include 包括.....storeys of basements 層地庫 | |
| | <input type="checkbox"/> exclude 不包括.....storeys of basements 層地庫 | |
| Proposed building height of each block 每座建築物的擬議高度 | mPD 米(主水平基準上) | <input type="checkbox"/> About 約 |
| | m 米 | <input type="checkbox"/> About 約 |

<input type="checkbox"/> Domestic part 住用部分		
GFA 總樓面面積	..... sq. m 平方米	□About 約
number of Units 單位數目	.....
average unit size 單位平均面積	.....sq. m 平方米	□About 約
estimated number of residents 估計住客數目	.....
<input type="checkbox"/> Non-domestic part 非住用部分		
<u>GFA 總樓面面積</u>		
<input type="checkbox"/> eating place 食肆	..... sq. m 平方米	□About 約
<input type="checkbox"/> hotel 酒店	..... sq. m 平方米	□About 約
(please specify the number of rooms 請註明房間數目)		
<input type="checkbox"/> office 辦公室	..... sq. m 平方米	□About 約
<input type="checkbox"/> shop and services 商店及服務行業	..... sq. m 平方米	□About 約
<input type="checkbox"/> Government, institution or community facilities 政府、機構或社區設施	(please specify the use(s) and concerned land area(s)/GFA(s) 請註明用途及有關的地面面積／總樓面面積)	
.....		
.....		
.....		
<input type="checkbox"/> other(s) 其他	(please specify the use(s) and concerned land area(s)/GFA(s) 請註明用途及有關的地面面積／總樓面面積)	
.....		
.....		
.....		
<input type="checkbox"/> Open space 休憩用地	(please specify land area(s) 請註明地面面積)	
<input type="checkbox"/> private open space 私人休憩用地	..... sq. m 平方米	□ Not less than 不少於
<input type="checkbox"/> public open space 公眾休憩用地	..... sq. m 平方米	□ Not less than 不少於
(c) Use(s) of different floors (if applicable) 各樓層的用途 (如適用)		
[Block number] [座數]	[Floor(s)] [層數]	[Proposed use(s)] [擬議用途]
.....
.....
.....
.....
.....
(d) Proposed use(s) of uncovered area (if any) 露天地方 (倘有) 的擬議用途		
.....		
.....		
.....		
.....		
.....		

7. Anticipated Completion Time of the Development Proposal**擬議發展計劃的預計完成時間**

Anticipated completion time (in month and year) of the development proposal (by phase (if any)) (e.g. June 2023)

擬議發展計劃預期完成的年份及月份 (分期 (倘有)) (例: 2023 年 6 月)

(Separate anticipated completion times (in month and year) should be provided for the proposed public open space and Government, institution or community facilities (if any))

(申請人須就擬議的公眾休憩用地及政府、機構或社區設施 (倘有) 提供個別擬議完成的年份及月份)

2023/24 (tentatively)

8. Vehicular Access Arrangement of the Development Proposal**擬議發展計劃的行人通道安排**

Any vehicular access to the site/subject building? 是否有車路通往地盤/有關建築物?	Yes 是 No 否	<input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) Accessible from Kam Shui South Road via a local access <input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示, 並註明車路的闊度) <input type="checkbox"/>
Any provision of parking space for the proposed use(s)? 是否有為擬議用途提供停車位?	Yes 是 No 否	<input type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示 Private Car Parking Spaces 私家車車位 _____ Motorcycle Parking Spaces 電單車車位 _____ Light Goods Vehicle Parking Spaces 輕型貨車泊車位 _____ Medium Goods Vehicle Parking Spaces 中型貨車泊車位 _____ Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 _____ Others (Please Specify) 其他 (請列明) _____ _____ _____ <input checked="" type="checkbox"/>
Any provision of loading/unloading space for the proposed use(s)? 是否有為擬議用途提供上落客貨車位?	Yes 是 No 否	<input type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示 Taxi Spaces 的士車位 _____ Coach Spaces 旅遊巴車位 _____ Light Goods Vehicle Spaces 輕型貨車車位 _____ Medium Goods Vehicle Spaces 中型貨車車位 _____ Heavy Goods Vehicle Spaces 重型貨車車位 _____ Others (Please Specify) 其他 (請列明) _____ _____ _____ <input checked="" type="checkbox"/>

9. Impacts of Development Proposal 擬議發展計劃的影響

If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures.

如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。

<p>Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> Please provide details 請提供詳情</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p><input checked="" type="checkbox"/> No 否</p>																														
<p>Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程? (Note: where Type (ii) application is the subject of application, please skip this section. 註: 如申請涉及第(ii)類申請, 請跳至下一條問題。)</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍)</p> <p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> No 否</p>																														
<p>Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?</p>		<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input type="checkbox"/></td> </tr> </table> <p>.....</p> <p>.....</p> <p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木, 請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>	On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>
On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																														
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Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>																														

10. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

Please refer to supplementary statement.

11. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion. 本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署

☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Michael Wong

Name in Block Letters
姓名 (請以正楷填寫)

Position (if applicable)
職位 (如適用)

Professional Qualification(s)
專業資格

☐ Member 會員 / ☐ Fellow of 資深會員

☐ HKIP 香港規劃師學會 /

☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 /

☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 /

☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他

on behalf of
代表

R-Riches Property Consultants Limited



☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章 (如適用)

Date 日期

9/12/2022

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

(a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and

處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

(b) facilitating communication between the applicant and the Secretary of the Board/Government departments. 方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

For Developments involving Columbarium Use, please also complete the following:
如發展涉及靈灰安置所用途，請另外填妥以下資料：

Ash interment capacity 骨灰安放容量^②

Maximum number of sets of ashes that may be interred in the niches

在龕位內最多可安放骨灰的數量

Maximum number of sets of ashes that may be interred other than in niches

在非龕位的範圍內最多可安放骨灰的數量

Total number of niches 龕位總數

Total number of single niches

單人龕位總數

Number of single niches (sold and occupied)

單人龕位數目 (已售並佔用)

Number of single niches (sold but unoccupied)

單人龕位數目 (已售但未佔用)

Number of single niches (residual for sale)

單人龕位數目 (待售)

Total number of double niches

雙人龕位總數

Number of double niches (sold and fully occupied)

雙人龕位數目 (已售並全部佔用)

Number of double niches (sold and partially occupied)

雙人龕位數目 (已售並部分佔用)

Number of double niches (sold but unoccupied)

雙人龕位數目 (已售但未佔用)

Number of double niches (residual for sale)

雙人龕位數目 (待售)

Total no. of niches other than single or double niches (please specify type)

除單人及雙人龕位外的其他龕位總數 (請列明類別)

Number of niches (sold and fully occupied)

龕位數目 (已售並全部佔用)

Number of niches (sold and partially occupied)

龕位數目 (已售並部分佔用)

Number of niches (sold but unoccupied)

龕位數目 (已售但未佔用)

Number of niches (residual for sale)

龕位數目 (待售)

Proposed operating hours 擬議營運時間

^② Ash interment capacity in relation to a columbarium means –

就靈灰安置所而言，骨灰安放容量指：

- the maximum number of containers of ashes that may be interred in each niche in the columbarium;
每個龕位內可安放的骨灰容器的最高數目；
- the maximum number of sets of ashes that may be interred other than in niches in any area in the columbarium; and
在該靈灰安置所並非龕位的範圍內，總共最多可安放多少份骨灰；以及
- the total number of sets of ashes that may be interred in the columbarium.
在該靈灰安置所內，總共最多可安放多少份骨灰。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)
(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置/地址	Lots 1363 S.A (Part) and 1363 S.B RP (Part) in D.D.106, Tin Sam San Tsuen, Kam Tin, Yuen Long, New Territories		
Site area 地盤面積	3,075 sq. m 平方米	<input checked="" type="checkbox"/> About 約	
	(includes Government land of 包括政府土地	N/A sq. m 平方米	<input type="checkbox"/> About 約)
Plan 圖則	Approved Kam Tin South Outline Zoning Plan No. S/YL-KTS/15		
Zoning 地帶	"Agriculture" zone		
Applied use/ development 申請用途/發展	Proposed Public Utilities Installations (Solar Photovoltaic System for FIT Scheme) and Associated Filling of Land		
(i) Gross floor area and/or plot ratio 總樓面面積及/或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	48 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.016 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of block 幢數	Domestic 住用	/	
	Non-domestic 非住用	2	
	Composite 綜合用途	/	

(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	/	m 米 <input type="checkbox"/> (Not more than 不多於)
		/	mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		/	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Non-domestic 非住用	2 (about)	m 米 <input type="checkbox"/> (Not more than 不多於)
		/	mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		1	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Composite 綜合用途	/	m 米 <input type="checkbox"/> (Not more than 不多於)
		/	mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		/	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
(iv) Site coverage 上蓋面積	1.6 % <input checked="" type="checkbox"/> About 約		
(v) No. of units 單位數目	/		
(vi) Open space 休憩用地	Private 私人	/	sq.m 平方米 <input type="checkbox"/> Not less than 不少於
	Public 公眾	/	sq.m 平方米 <input type="checkbox"/> Not less than 不少於

(vii) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數 Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____	/
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位/停車處總數 Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____	/

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件

	Chinese 中文	English 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖/布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖/園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<u>Location plan, Plan showing surrounding environment, Plan showing the land status of the application site, Plan showing the zoning of the application site, Plan showing the filling of land area of the application site</u>		
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及/或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>

Note: May insert more than one '✓'. 註：可在多於一個方格內加上「✓」號

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

Supplementary Statement

1) Background

- 1.1 The applicant seeks planning permission from the Town Planning Board (the Board) to use Lots 1363 S.A (Part) and 1363 S.B RP (Part) in D.D. 106, Tin Sam San Tsuen, Kam Tin, Yuen Long, New Territories (the Site) for proposed public utility installation (solar photovoltaic system for FIT scheme) and associated filling of land with total site area of 3,075 m² (Plan 1). Application for participation in the CLP's Renewal Energy Feed-in Tariff (FIT) Scheme has been submitted and consent Letters have been obtained from CLP in August 2021 (Appendices I and II).
- 1.2 The proposed development is in line with the Government's policy to promote the development of renewable energy (RE) and forms part of the Hong Kong's decarbonisation strategies, including the Hong Kong's Climate Action Plan 2030+ and Clean Air Plan for Hong Kong 2035. The proposed development is in line with the Board's assessment criteria for considering applications for solar photovoltaic (SPV) system in various respects.

2) Planning Context

- 2.1 The Site falls within an area zoned as "Agriculture" ("AGR") on the Approved Kam Tin South Outline Zoning Plan No.: S/YL-KTS/15 (Plan 2). According to the Notes of the OZP, 'Public Utility Installation' ('PUI') is a Column 2 use within the "AGR" zone, which requires planning permission from the Board. Filling of land at area zoned as "AGR" also requires planning permission from the Board.
- 2.2 The Site is currently vacant with no agricultural activity. As minimal disturbance to the existing ground within the Site would be minimal, the proposed development would not frustrate the long-term planning intention of the "AGR" zone and the potential for agricultural rehabilitation in the future.
- 2.3 In addition, the building height and form of the structures are insignificant and similar to the nearby structures within the "AGR" zone, therefore, it is considered not incompatible with the surrounding environment.

3) Development Proposal

- 3.1 The Site consists of 2 private lots, i.e. 1363 S.A and 1363 S.B RP in D.D. 106 of Old Schedule Lots held under the Block Government Lease with total area of 3,075 m² (about)(Plan 3). Since there is the restriction that no structure is allowed to be erected without the prior approval of the Government on the private land portion of the Site. The applicant will submit Short Term Waiver (STW) application to make way for erection of the proposed structure at the Site.
- 3.2 The proposed development will comprise not more than 1,020 solar panels (1,755mm (L) x 1038mm (W) x 35mm (H) each), which will be mounted on metal plinths (not more than 2.8m

high) situated below the ground surface with soil cover of 0.5m in depth (Plans 4 and 5). The combined height of each panel and stand would be about 3.5 m (including the portion below the ground surface). Dimensions and details of solar panels are provided at **Appendix II** and **Table 1** below:

Table 1: Details of Solar Panels

Solar Panel with Metal Plinths (SP)	No. of Solar Panels
SP1	89
SP2	110
SP3	95
SP4	89
SP5	120
SP6	120
SP7	120
SP8	24
SP9	50
SP10	84
SP11	88
Total	1020

- 3.3 Besides, there will be 2 single-storey structures (about 2m high) with a total non-domestic floor area of about 48 m² for meter and store room; and two H-poles, which will be maintained by the CLP Power Hong Kong Limited, for operation of the proposed solar energy system. Details of structures are shown at **Table 2** below:

Table 2: Details of Proposed Structure

Structure	Use	Covered Area	Gross Floor Area	Building Height
B1	Meter Room and Store Room	24 m ² (about)	24 m ² (about)	2 m
B2		24 m ² (about)	24 m ² (about)	(1-storey)
Total		48 m ² (about)	48 m ² (about)	-

- 3.4 The Site is accessible from Kam Shui South Road via a local access (**Plan 1**). No parking or loading/unloading spaces will be provided on-site. The proposed solar energy system is anticipated to be completed by 2023/24 and operated under the Feed-in Tariff (FIT) Scheme until 2034. The major development parameters are summarized at **Table 3**:

Table 3: Major Development Parameters

Application Site Area	3,075 m ² (about)
Number of Structure	2
Building Height	2 m (1-storey)
Gross Floor Area	48 m ² (about)
Number of Solar Panels	Not more than 1,020
Estimated Max. Electricity Generated Per Panel Per Hour	380W
Estimated No. of Hours of Bright Sunshine Each Year	1,277.5
Number of H-Poles	2
Annual Generation	434,350 kWh
Anticipated Completion Time	2023/24

*The bright sunshine hours are based on the 3.5 hours/day

3.5 The footing of metal plinths will be buried below ground with 500mm in depth of concrete and site formation of structure with 200mm in depth of concrete, involving 148.7 sq.m of filling of land at the Site (Plan 6). No extra filling of land is required at ground level to stabilise the metal plinths to minimize the hard-paved area. As heavy loading of structures would compact the existing soiled ground and weaken the ground surface, concrete site formation is required to provide stronger ground reinforcement to stabilise the plinth to support the solar panels and to prevent erosion from surface run-off. Therefore, the scale of filling of land is required and have been kept to minimal for the operation of the proposed development.

3.6 The applicant will strictly comply with the relevant pollution control ordinances, including the Waste Disposal Ordinance and the Water Pollution Control Ordinance, and to implement appropriate pollution control measures to minimise any potential environmental impacts during construction of the project. During the construction stage, the applicant will follow the good practices stated in ProPECC PN 1/94 on "Construction Site Drainage" and 'Recommended Pollution Control Clauses for Construction Contracts'.

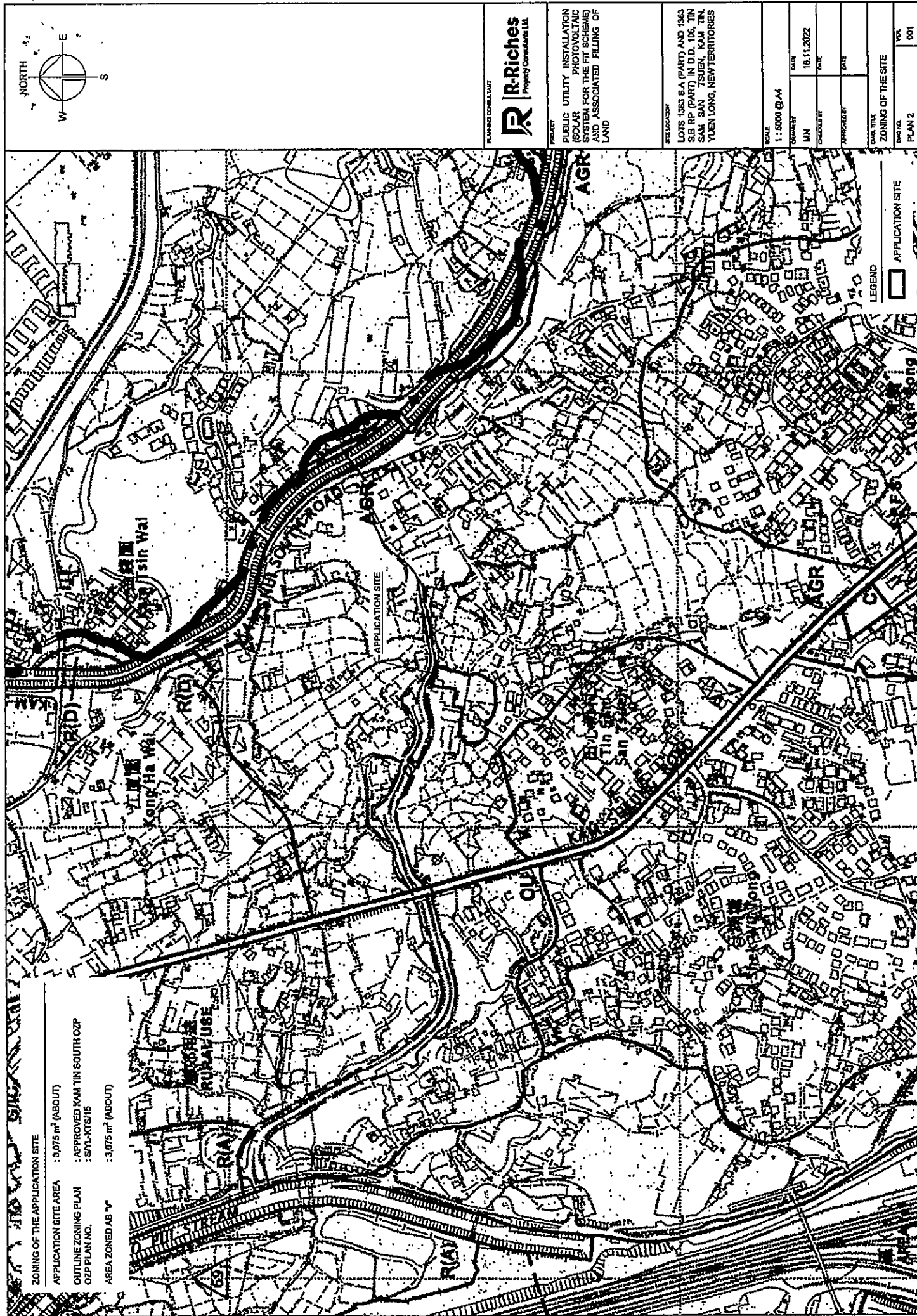
4) Conclusion

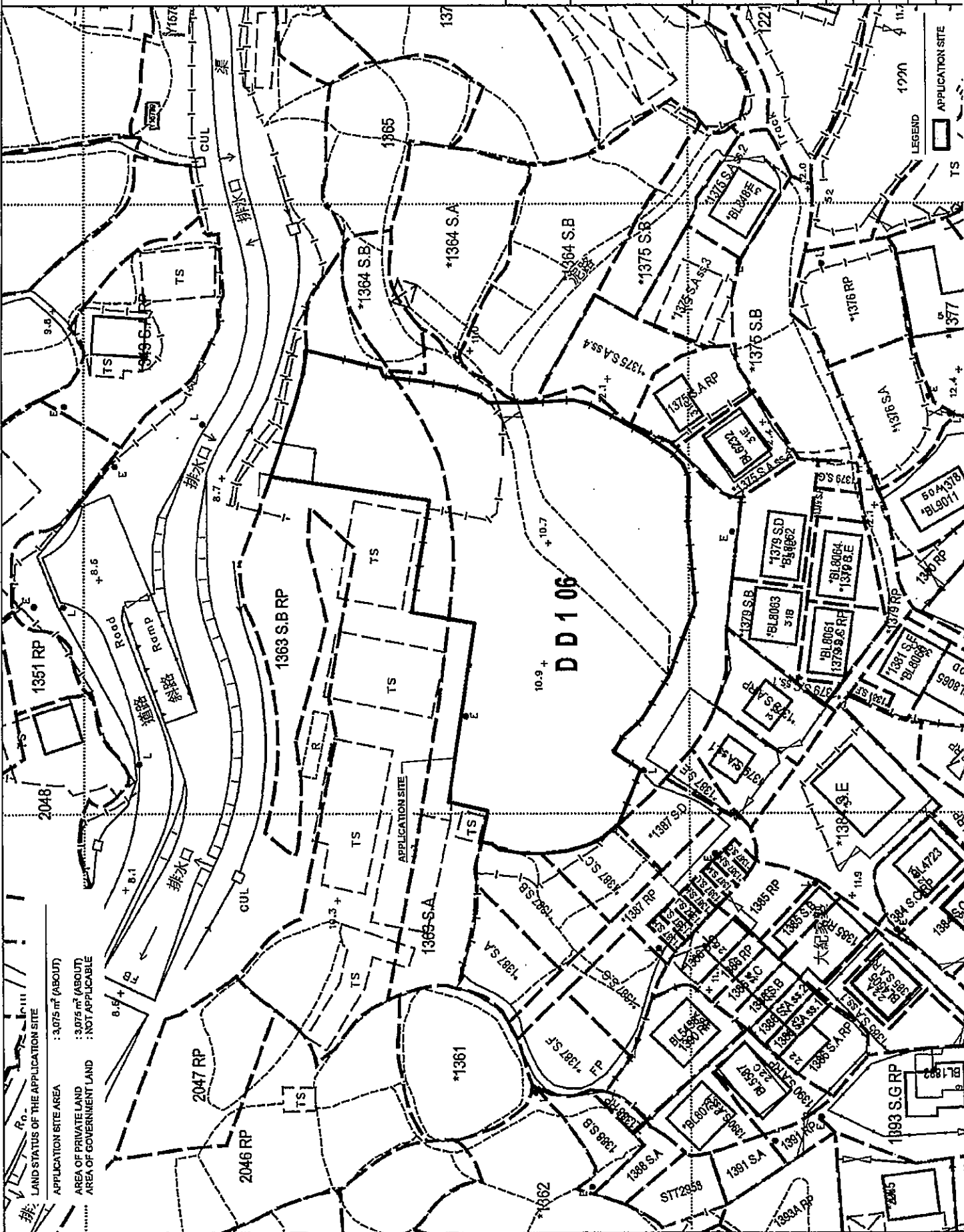
4.1 The proposed development will not create significant adverse traffic, environmental, landscape and drainage impacts to the surrounding areas. Adequate mitigation measures will be provided after planning approval has been granted from the Board, i.e. submission of drainage and fire service installations proposals to mitigate any adverse impact arising from the proposed development.

4.2 Sympathetic consideration should be given to the application as the Site has been left vacant for years and there is no active agricultural activities, it is also in line with Government's policies to promote the development of RE, as well as forming part of Hong Kong's decarbonisation strategies.

- 4.3 In view of the above, the Board is hereby respectfully recommended to approve the subject application for 'Proposed Public Utilities Installation (Solar Photovoltaic System for FIT Scheme) and Associated Filling of Land'.







APPENDIX 1



R-Riches
Property Consultants Ltd.

PROJECT
PUBLIC UTILITY INSTALLATION
PHOTOVOLTAIC
(SOLAR
SYSTEM FOR THE FIT SCHEME)
AND ASSOCIATED FILLING OF
LAND

THE LOCATION

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Page 1111

1. INTRODUCTION

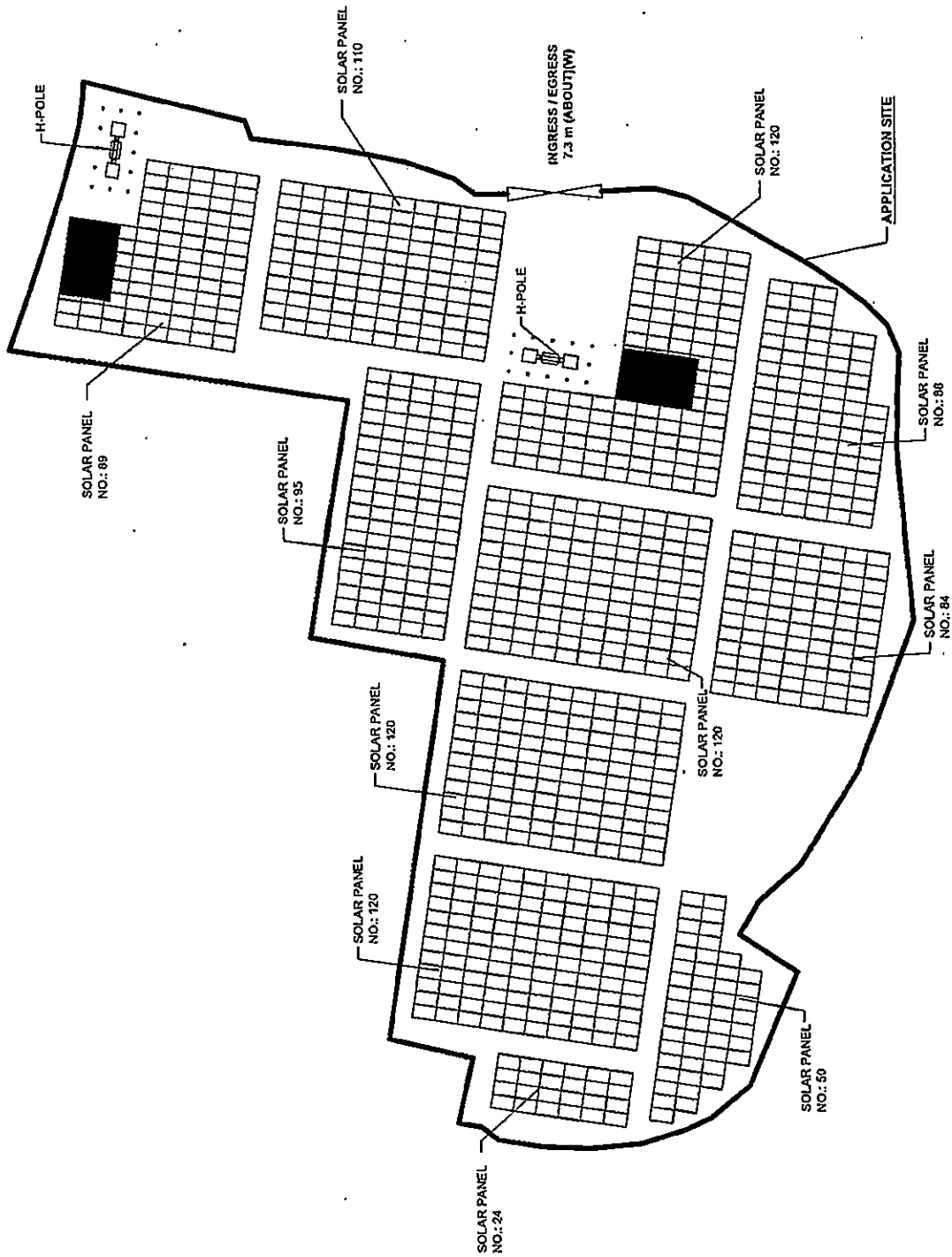
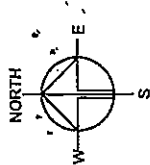
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DWG NO.	YER.
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PLAN 3 001

DEVELOPMENT PARAMETERS

APPLICATION SITE AREA : 3,075 m² (ABOUT)
 DIMENSIONS OF PANEL : 1755 mm (L) x 1038 mm (W) x 35 mm (D)
 TOTAL NUMBER OF PANELS : 1,020



LEGEND

	APPLICATION SITE
	STRUCTURE
	SOLAR PANELS WITH PLINTHS
	INGRESS / EGRESS

PLANNING CONSULTANT
R-Riches
 Property Consultants Ltd.

PROJECT
 PUBLIC UTILITY INSTALLATION
 (SOLAR PHOTOVOLTAIC
 SYSTEM FOR THE FIT SCHEME)
 AND ASSOCIATED FILLING OF
 LAND

SITE LOCATION
 LOTS 1363 SA (PART) AND 1363
 SB RP (PART) IN D.D. 106, TIN
 SAM, SAN, TSUEN, KAM, TIN,
 YUEN LONG, NEW TERRITORIES

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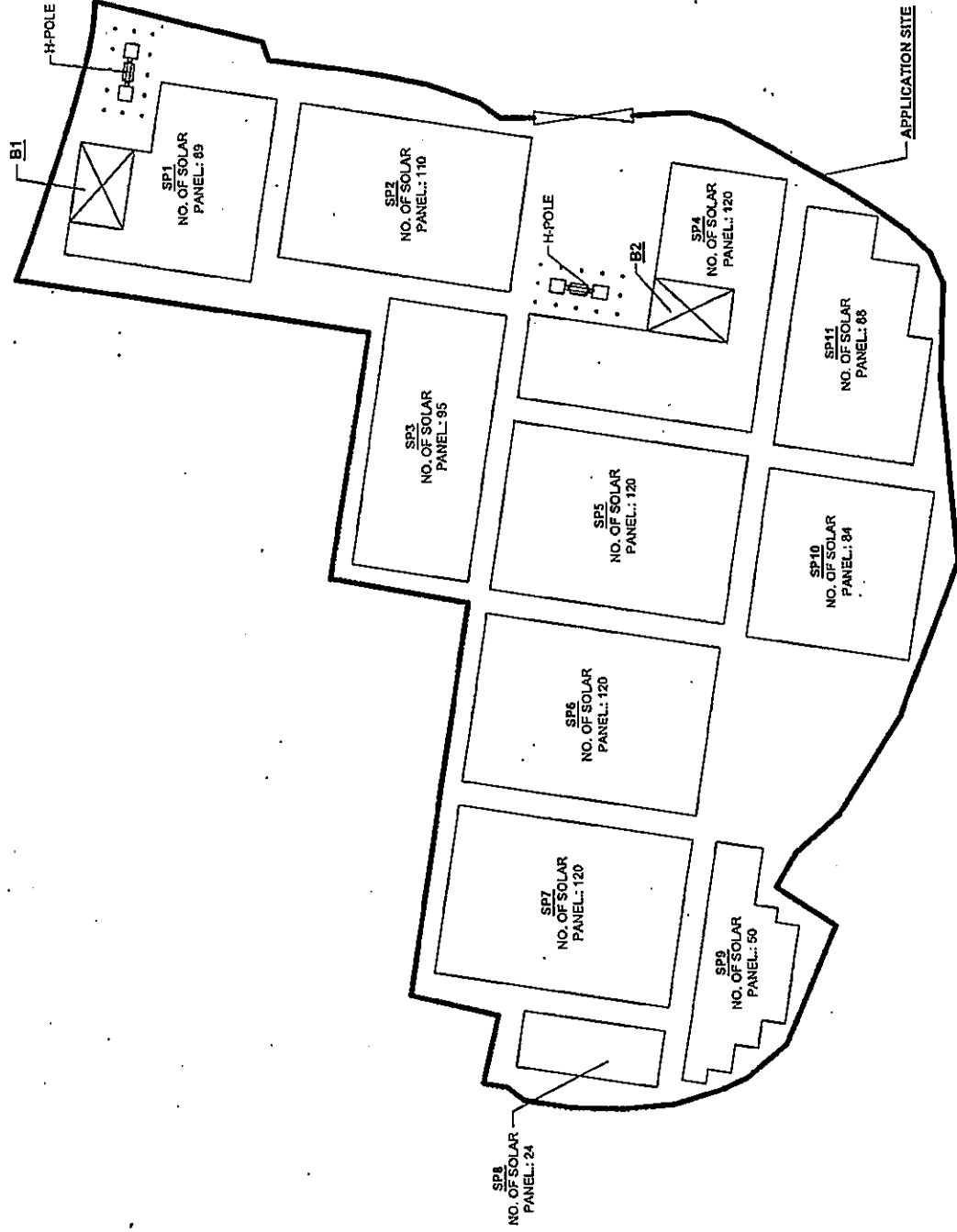
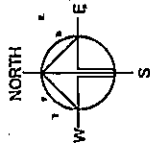
DATE

DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	: 3,075 m ² (ABOUT)
NO. OF STRUCTURE	: 2
DOMESTIC GFA	: NOT APPLICABLE
NON-DOMESTIC GFA	: 48 m ² (ABOUT)
TOTAL GFA	: 48 m ² (ABOUT)
BUILDING HEIGHT	: 2 m (ABOUT)
NO. OF STOREY	: 1

STRUCTURE USE COVERED AREA GFA BUILDING HEIGHT

B1	METER ROOM AND STORE ROOM	24 m ² (ABOUT)	24 m ² (ABOUT)	2 m (ABOUT)
B2	METER ROOM AND STORE ROOM	24 m ² (ABOUT)	24 m ² (ABOUT)	2 m (ABOUT)
TOTAL		48 m ² (ABOUT)	48 m ² (ABOUT)	



PLANNING CONSULTANT
R-Riches
 Property Consultants Ltd.

PROJECT
 PUBLIC UTILITY INSTALLATION
 (SOLAR PHOTOVOLTAIC
 SYSTEM FOR THE FIT SCHEME)
 AND ASSOCIATED FILLING OF
 LAND

SITE LOCATION
 LOTS 1353 SA (PART) AND 1353
 SB RP (PART) IN D.D. 106, TIN
 SAM SAN TSUEN, KAM TIN,
 YUEN LONG, NEW TERRITORIES

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LEGEND
 APPLICATION SITE
 STRUCTURE
 INGRESS / EGRESS

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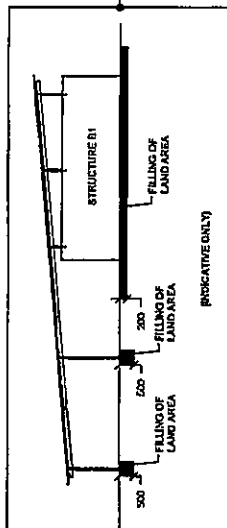
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FILLING AND EXCAVATION OF LAND AREA OF THE APPLICATION SITE

APPLICATION SITE AREA	: 3,075 m ²	(ABOUT)
FILLING OF LAND AREA	: 148.7 m ²	(ABOUT)
DEPTH OF LAND FILLING	: NOT MORE THAN 0.5 m	(ABOUT)
MATERIAL OF LAND FILLING	: CONCRETE	
PURPOSE OF LAND FILLING	: SITE FORMATION OF STRUCTURES, TO STABILISE THE METAL PUNTHS FOR SOLAR PANELS	

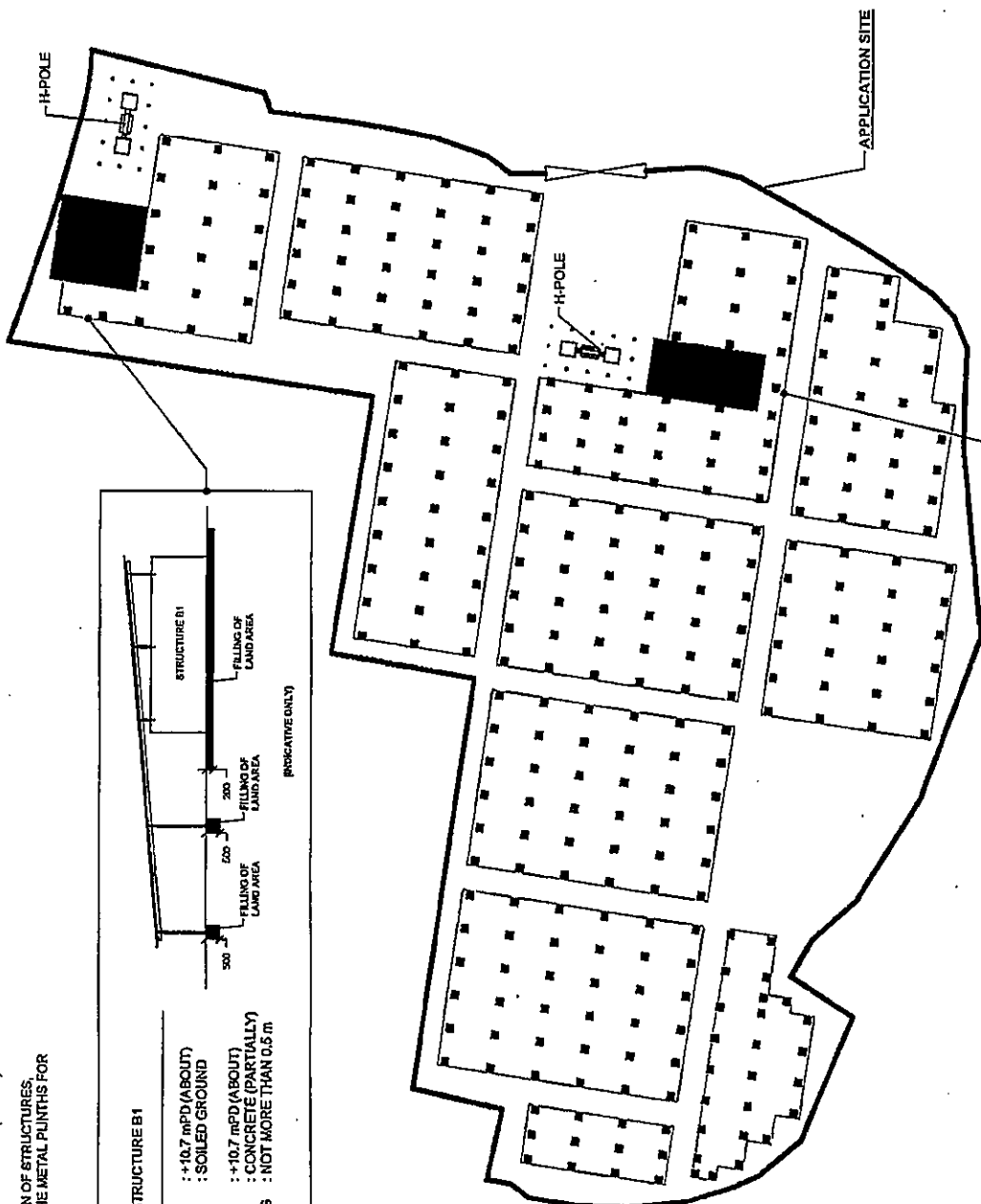
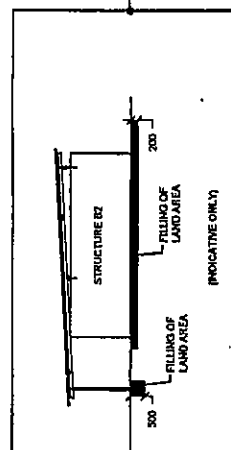
SITE FORMATION OF STRUCTURE B1

EXISTING SITE LEVEL	: +10.7 mPD (ABOUT)
EXISTING GROUND SURFACE	: SOILED GROUND
PROPOSED SITE LEVEL	: +10.7 mPD (ABOUT)
MATERIAL OF FILLING	: CONCRETE (PARTIALLY)
DEPTH OF EXCAVATION/FILLING	: NOT MORE THAN 0.5 m



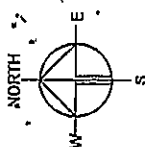
SITE FORMATION OF STRUCTURE B2

EXISTING SITE LEVEL	: +10.7 mPD (ABOUT)
EXISTING GROUND SURFACE	: SOILED GROUND
PROPOSED SITE LEVEL	: +10.7 mPD (ABOUT)
MATERIAL OF FILLING	: CONCRETE (PARTIALLY)
DEPTH OF EXCAVATION/FILLING	: NOT MORE THAN 0.5 m



LEGEND

	APPLICATION SITE
	INGRESS / EGRESS



PLANNING CONSULTANT
R-Riches
Property Consultants Ltd.

PROJECT
PUBLIC UTILITY INSTALLATION
(SOLAR PHOTOVOLTAIC
SYSTEM FOR THE FIT SCHEME)
AND ASSOCIATED FILLING OF
LAND

SITE LOCATION
LOTS 1353 6A (PART) AND 1353
5B RP (PART) IN O.D. 106, TIN
SHAN SAN TSIEN, KAM TIN,
YUEN LONG, NEW TERRITORIES

SCALE
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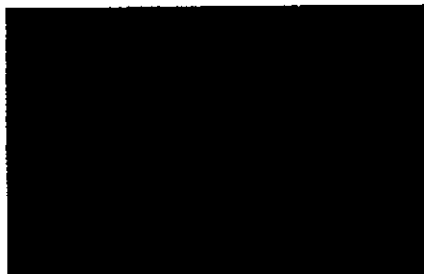
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DATE
FILLING & EXCAVATION OF LAND
DATE
PLAN 6
001

20 July 2021



Scheme No.:

Please quote our scheme number in response to this letter

中環電力有限公司
CLP Power Hong Kong Limited企業客戶服務部
Corporate Customer Experience (CCE)Dear 

Network Reinforcement Condition Letter
DD 106 LOT 1363B, KAM SHEUNG ROAD, SHEK WU TONG TSUEN, KAM TIN YUEN
LONG ("Premises")
CLP Electricity Account Number:
FIT Application No.:

We refer to your application to take part in the CLP Renewable Energy Feed-in Tariff (FIT) Scheme. Reference is also made to your application for network reinforcement for the purposes of your participation in the FIT Scheme.

We are pleased to inform you that we will carry out the necessary network reinforcement works ("Reinforcement Works") subject to your acceptance of the following terms and conditions:

1. We estimate that the Reinforcement Works will be completed in around 24 months after receipt of your written acceptance of these terms and conditions. While we will strive to complete the Reinforcement Works within this estimated timeframe, there may be circumstances which affect the progress or the completion date. We will not be liable for any loss, damage suffered or any cost incurred arising from any delay or incompleteness of the Reinforcement Works.
2. If there is a need to revise the estimated timeframe required to complete the Reinforcement Works, we will discuss and agree with you on a new estimated timeframe.
3. The progress and completion of the Reinforcement Works are also subject to your agreement on the terms of the Supply Condition Letter to be issued by us after the design of the Reinforcement Works has been finalised. A sample of a Supply Condition Letter is enclosed for your reference. The final terms of the Supply Condition Letter are subject to the final design of the Reinforcement Works and if you accept the final terms of the Supply Condition letter, please return to us a signed copy of the letter.
4. Your provisional FIT rate, following the prevailing rate published on our website on the date we received your FIT Scheme application, is set out below together with the validity period of each FIT rate:

Renewable energy system	Generation capacity (kW)	Provisional FIT rate (\$/kWh)	Validity period (expiry date)
New solar System at DD 106 LOT 1363B, KAM SHEUNG ROAD, SHEK WU TONG TSUEN, KAM TIN YUEN LONG, NEW TERRITORIES	170.00	4.00	12 months from the date of Acknowledgement Letter

5. Please be reminded that the design, installation, operation and maintenance of the renewable energy system should comply with all applicable laws, regulations, guidelines, and safety and technical requirements. This includes compliance with the requirements set out under the Technical Guidelines on Grid Connection of Renewable Energy Power Systems and the Guidance Notes for Solar Photovoltaic (PV) System Installation, both issued by the Electrical and Mechanical Services Department.

If you accept the above terms and conditions, please return a copy of this letter with the signed reply slip to the following address: -

CLP Power Hong Kong Limited

If we do not receive your written acceptance of the above terms and conditions within three months from the date of this letter, we may not be able to process your FIT Scheme application and your network reinforcement application further.

Should you have any queries regarding the progress of the construction work, please contact our Account Manager Lam, Hon Sing on telephone number

Yours sincerely,



Wong, Jason Siu Ming
Senior Account Manager
CLP Power Hong Kong Limited

Encl. as stated

中華電力有限公司
CLP Power Hong Kong Limited

企業客戶服務部
Corporate Customer Experience (CCE)

24 August 2021



Scheme No.:

Please quote our scheme number in response to this letter

Dear [REDACTED]

Network Reinforcement Condition Letter

NO 95-A2, KAM SHEUNG ROAD, SHEK WU TONG TSUEN, KAM TIN YUEN LONG ("Premises")

CLP Electricity Account Number:

FIT Application No.:

We refer to your application to take part in the CLP Renewable Energy Feed-in Tariff (FIT) Scheme. Reference is also made to your application for network reinforcement for the purposes of your participation in the FIT Scheme.

We are pleased to inform you that we will carry out the necessary network reinforcement works ("Reinforcement Works") subject to your acceptance of the following terms and conditions:

1. You are required to make a deposit payment of HK\$ 180,000.00 (HONG KONG DOLLARS ONE HUNDRED EIGHTY THOUSAND) ("Deposit") before we commence the Reinforcement Works.
2. We estimate that the Reinforcement Works will be completed in around 24 months after receipt of your written acceptance of these terms and conditions and the full amount of your Deposit. While we will strive to complete the Reinforcement Works within this estimated timeframe, there may be circumstances which affect the progress or the completion date. We will not be liable for any loss, damage suffered or any cost incurred arising from any delay or incompleteness of the Reinforcement Works.
3. If there is a need to revise the estimated timeframe required to complete the Reinforcement Works, we will discuss and agree with you on a new estimated timeframe.
4. The progress and completion of the Reinforcement Works are also subject to your agreement on the terms of the Supply Condition Letter to be issued by us after the design of the Reinforcement Works has been finalised. A sample of a Supply Condition Letter is enclosed for your reference. The final terms of the Supply Condition Letter are subject to the final design of the Reinforcement Works and if you accept the final terms of the Supply Condition Letter, please return to us a signed copy of the letter.
5. You will be entitled to a refund of the Deposit (without interest) if an agreement cannot be reached on the revised estimated timeframe mentioned in point 3 above or where you are not able to agree to the terms of the Supply Condition Letter. However, we will have no obligation to proceed with the Reinforcement Works.
6. The Deposit will also be refunded (without interest) if a renewable energy system with a total capacity of 170.00kW (the capacity of the renewable energy system will be calculated excluding any

Page 1/3

Information Classification:

renewable energy system that is already /will be installed at the Premises prior to the date of your FIT Scheme application) is installed and connected to our network within the applicable validity period after the date of Acknowledgement Letter. You will be notified of the actual Reinforcement Works completion date in writing after completion of the Reinforcement Works.

7. Except in circumstances expressly mentioned in this letter, you will not be entitled to a refund of the Deposit even if you withdraw your FIT Scheme application or network reinforcement application before the completion of Reinforcement Works.
8. Further, if there is a change in the registered holder of the CLP electricity account holder of the Premises, you will not be entitled to a refund of the Deposit regardless of the circumstances and we will have no obligation to proceed with the Reinforcement Works.
9. Your provisional FIT rate, following the prevailing rate published on our website on the date we received your FIT Scheme application, is set out below together with the validity period of each FIT rate:

Renewable energy system	Generation capacity (kW)	Provisional FIT rate (\$/kWh)	Validity period (expiry date)
New solar System at NO 95-A2, KAM SHEUNG ROAD, SHEK WU TONG TSUEN, KAM TIN YUEN LONG, NEW TERRITORIES	170.00	4.00	12 months from the date of Acknowledgement Letter

10. Please be reminded that the design, installation, operation and maintenance of the renewable energy system should comply with all applicable laws, regulations, guidelines, and safety and technical requirements. This includes compliance with the requirements set out under the Technical Guidelines on Grid Connection of Renewable Energy Power Systems and the Guidance Notes for Solar Photovoltaic (PV) System Installation, both issued by the Electrical and Mechanical Services Department.

If you accept the above terms and conditions, please pay the Deposit according to any one of the payment methods stated on the attached bill and return a copy of this letter with the signed reply slip to the following address: -

CLP Power Hong Kong Limited

If we do not receive both your written acceptance of the above terms and conditions and the full amount of your Deposit payment within three months from the date of this letter, we may not be able to process your FIT Scheme application and your network reinforcement application further.

Should you have any queries regarding the progress of the construction work, please contact our Account Manager Lam, Hon Sing on telephone number

Yours sincerely,

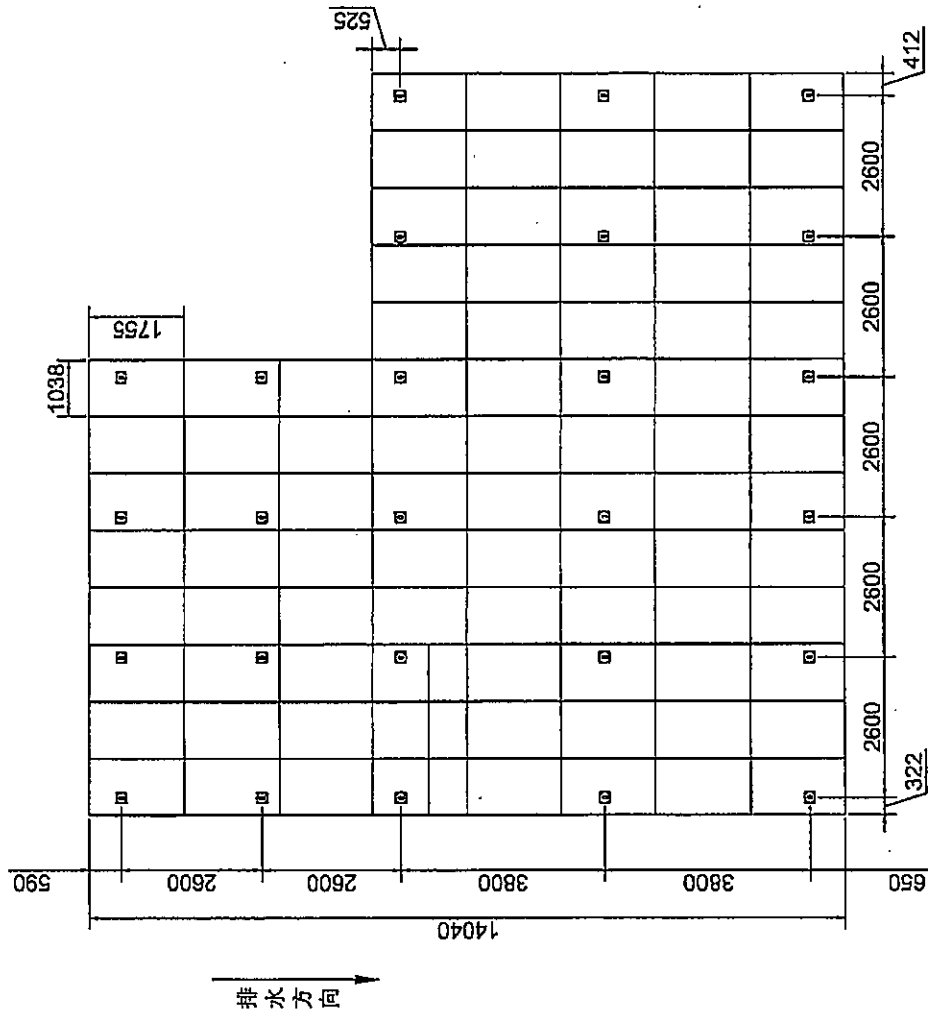


Wong, Jason Siu Ming
Senior Account Manager
CLP Power Hong Kong Limited

SP1

No. of Solar Panel: 89

Appendix III



俯視圖 (光伏組件)

備註: 此圖為初步設計方案, 最終光伏排布, 裝機容量, 需與業主溝通確認安裝位置 and 面積後再做調整。

項目位址 田心新村340KW

屋面面積

組件品牌 隆基

組件型號 LR4-60HPH-380M

組件尺寸 1755*1038*35mm

組件瓦數 380W

安裝數量 89Pcs

總瓦數 33.82kW

REMARKS:

Wind Speed

Snow Load

Solar Panel Size

Solar Panel Power

Tilt Angle

Designer:

金緯訂工程有限公司

Kin's Decoration & Engineering Co., Limited

E:\Project\Project Name\...

Project Name

Project No.

Verified by

Checked by

Drawn by

TITLE

Drawing No.

SCALE

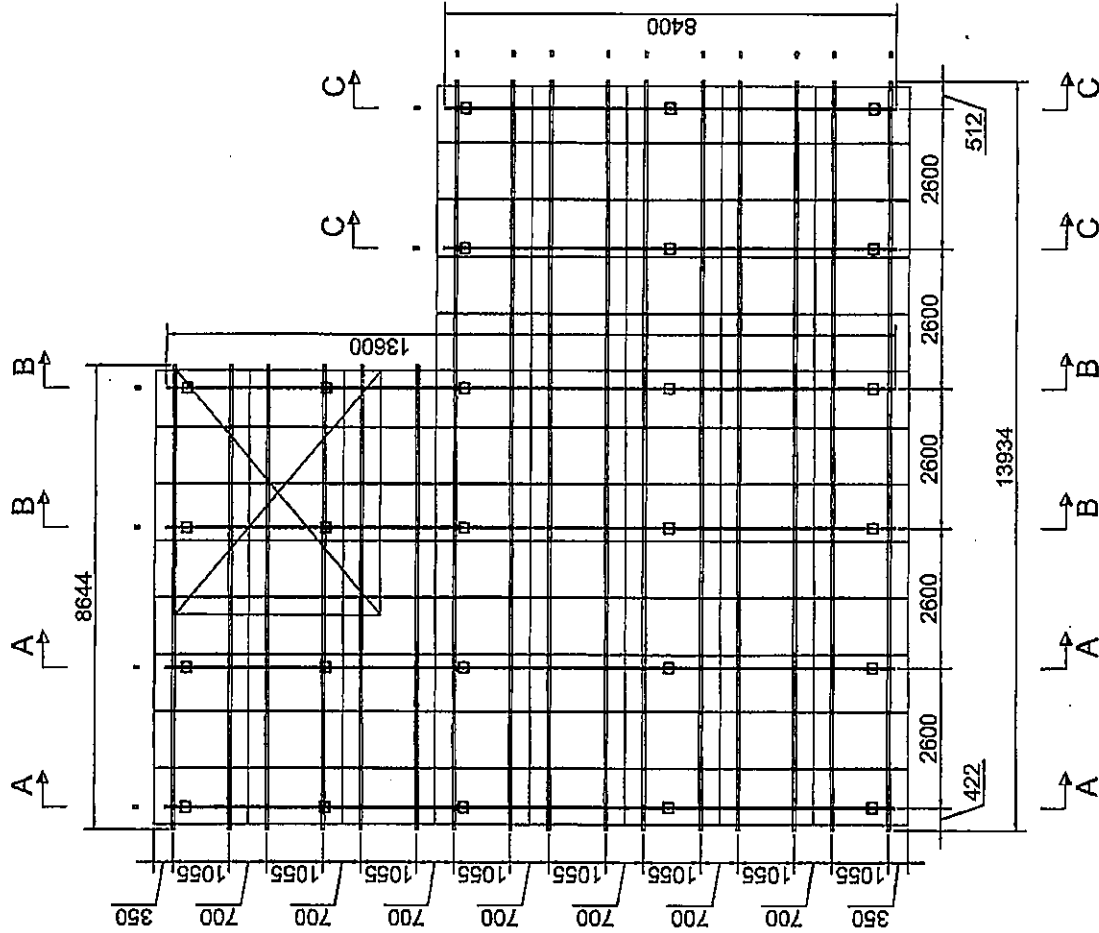
SHEET

Signature

Date

SP1
No. of Solar Panel: 89

項目位址	田心新村340KW
屋面面積	
組件品牌	隆基
組件型號	LR4-60HPH-380M
組件尺寸	1755*1038*35mm
組件瓦數	380W
安裝數量	89Pcs
總瓦數	33.82kW



俯視圖(支架結構-主樑-斜樑)

備註: 此圖為初步設計方案, 最終光伏排布, 裝機容量, 需與業主溝通確認安裝位置和面積後再做調整。

REMARK:

Wind Speed
Snow Load
Solar Panel Size
Solar Panel Power
Tilt Angle

Designer:

金隆計工程有限公司
Jinlong Engineering Co., Limited

Project Name

Project No.

Signature

Date

Verified by

Checked by

Drawn by

TITLE

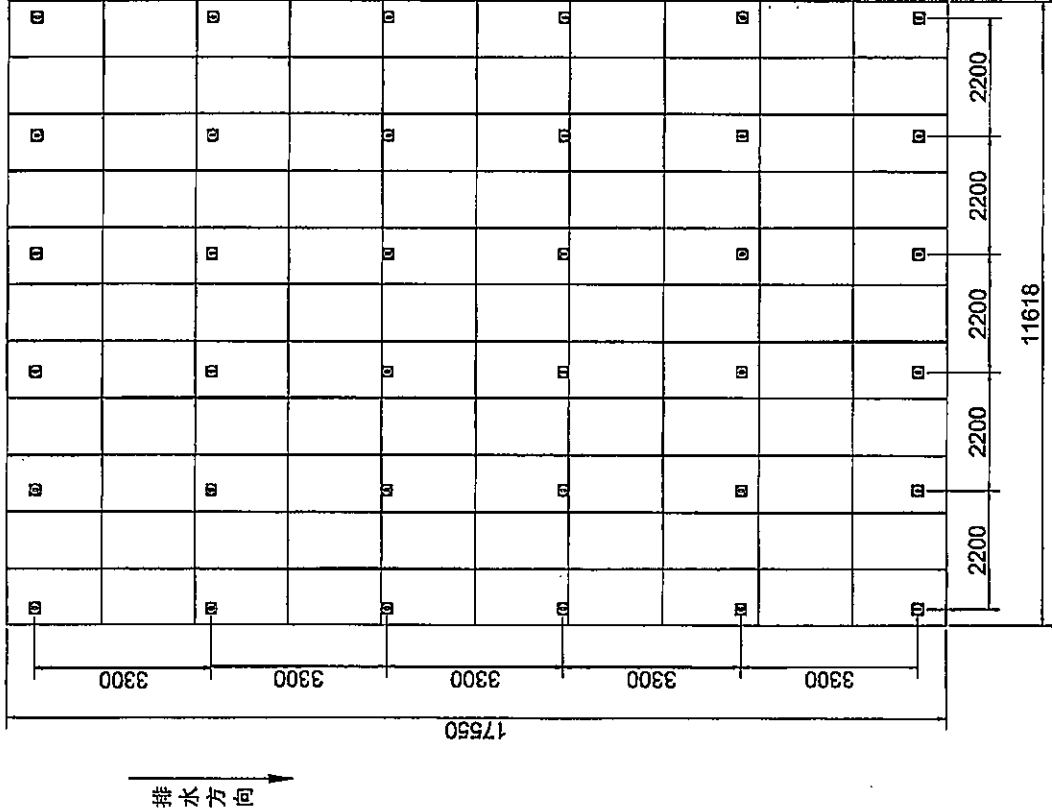
Drawing No.

SCALE

SHEET

SP2
No. of Solar Panel: 110

項目位址	田心新村340KW
屋面面積	
組件品牌	隆基
組件型號	LR4-60HPH-380M
組件尺寸	1755*1038*35mm
組件瓦數	380W
安裝數量	110Pcs
總瓦數	41.8kW



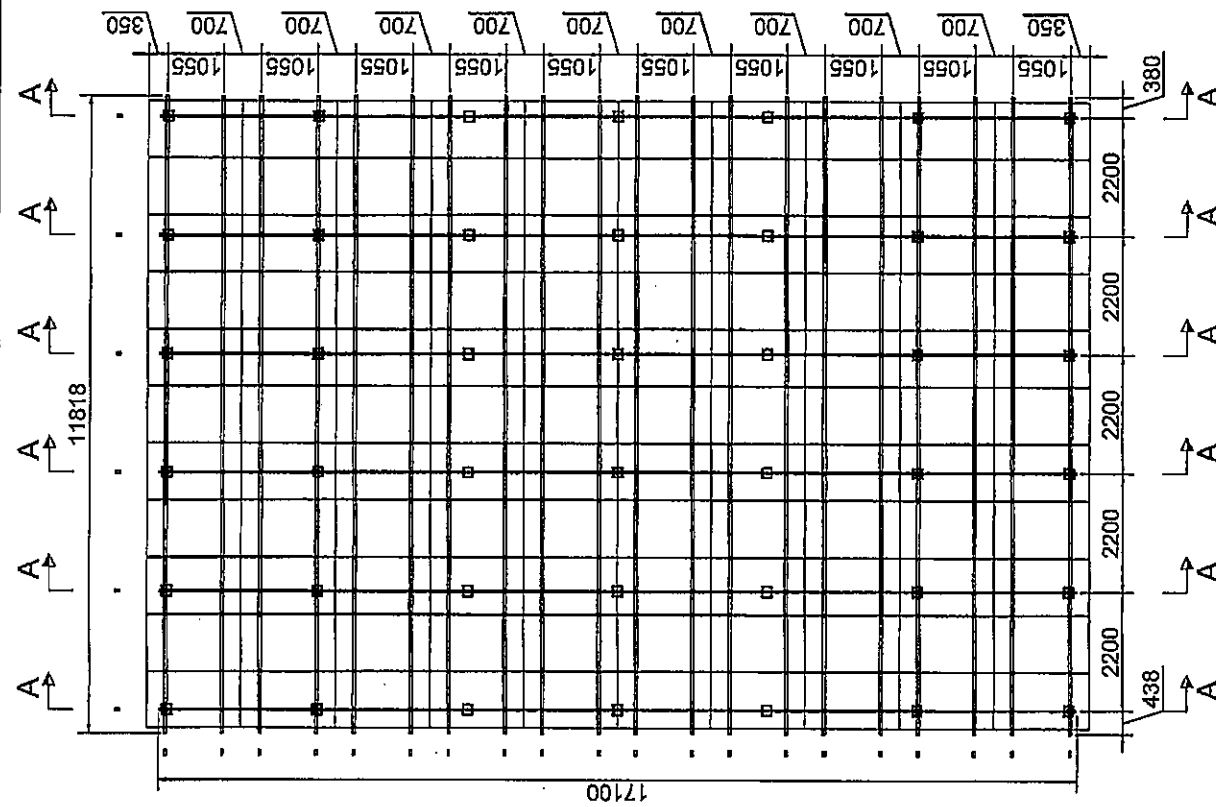
俯視圖 (光伏組件)

備註: 此圖為初步設計方案, 最終光伏排布, 裝機容量, 需與業主溝通確認安裝位置和面積後再做調整。

REMARK:	
Wind Speed	
Snow Load	
Solar Panel Size	
Solar Panel Power	
Tilt Angle	
Designer:	金誠計工程有限公司 Kim's Decoration & Engineering Co. Limited
Project Name	
Project No.	
Signature	
Date	
Verified by	
Checked by	
Drawn by	
TITLE	
Drawing No.	
SCALE	
SHEET	7

SP2
No. of Solar Panel: 110

項目位址	田心新村340KW
屋面面積	
組件品牌	隆基
組件型號	LR4-60HPH-380M
組件尺寸	1755*1038*35mm
組件瓦數	380W
安裝數量	110Pcs
總瓦數	41.8kW



俯視圖(支架結構-主樑-斜樑)

備註: 此圖為初步設計方案, 最終光伏排布, 裝機容量, 需與業主溝通確認安裝位置和面積後再做調整。

REMARK:

Wind Speed

Snow Load

Solar Panel Size

Solar Panel Power

Tilt Angle

Designer:

金設計工程有限公司

Kan's Decoration & Engineering Co., Limited

Project Name

Project No.

Verified by

Checked by

Drawn by

TITLE

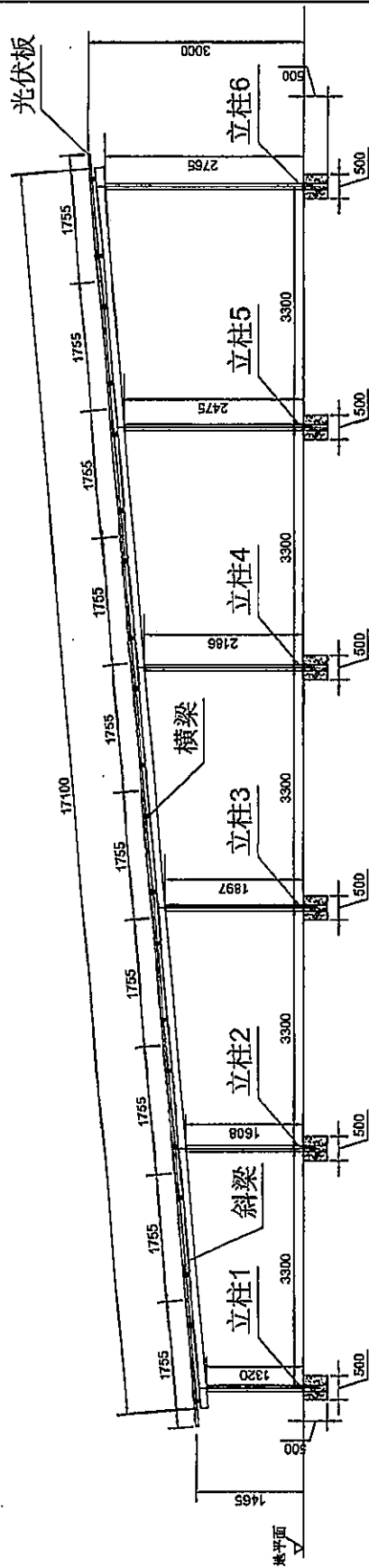
Drawing No.

SCALE

SHEET

SP2

No. of Solar Panel: 110



A-A

側視圖(支架結構)

備註: 此圖為初步設計方案, 最終光伏排布, 裝機容量, 需與業主溝通確認安裝位置和面積後再做調整。

REMARK:

Wind Speed

Snow Load

Solar Panel Size

Solar Panel Power

Tilt Angle

Designer:

金發利工程有限公司

Kai's Decoration & Engineering Co., Limited

Project Name

Project No.

Signature

Date

Verified by

Checked by

Drawn by

TITLE

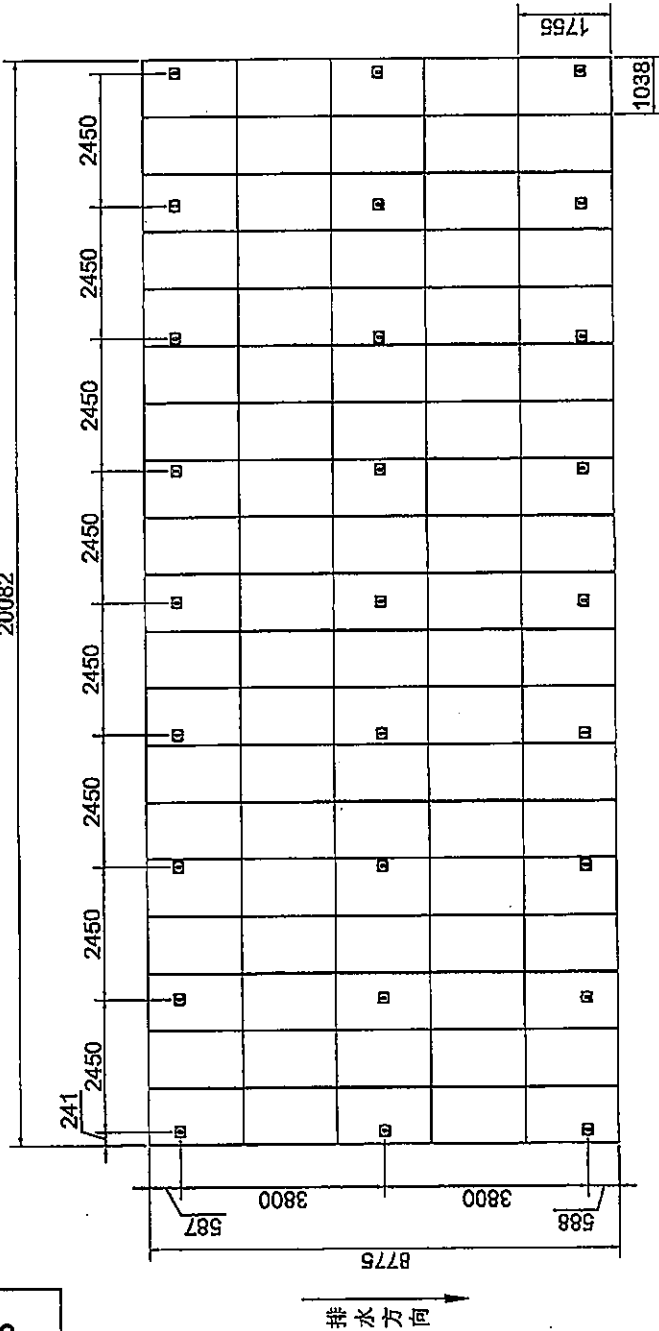
Drawing No.

SCALE

SHEET

SP3
No. of Solar Panel: 95

20082



項目位址 田心新村340KW

屋面面積

組件品牌 隆基

組件型號 LR4-60HPH-380M

組件尺寸 1755*1038*35mm

組件瓦數 380W

安裝數量 95 pcs

總瓦數 36.10KW

俯視圖（光伏組件）

備註： 此圖為初步設計方案，最終光伏排布，裝機容量，需與業主溝通確認安裝位置和面積後再做調整。

REMARK:

Wind Speed

Snow Load

Solar Panel Size

Solar Panel Power

Tilt Angle

Designer:

金設計工程有限公司

Xin's Decoration & Engineering Co., Limited

Project Name

Project No.

Signature

Date

Verified by

Checked by

Drawn by

ITLX

Drawing No.

SCALE

SHEET

No. of Solar Panel: 95

PROCES PURA

Load

Load

Solar Panel Size

Solar Panel Power

Test Angle

田心新村340KW

組件品牌

隆基

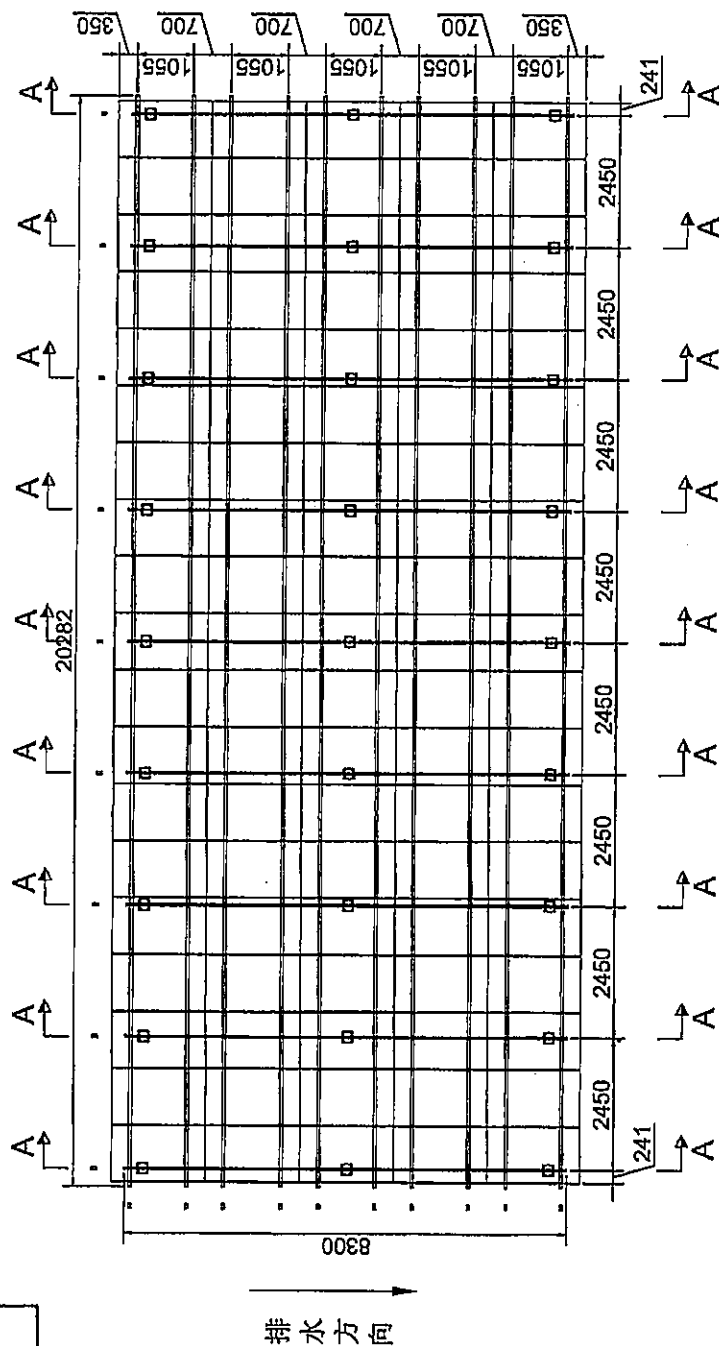
LR4-60HPH-380M

1755*1038*35mm

380W

95 pcs

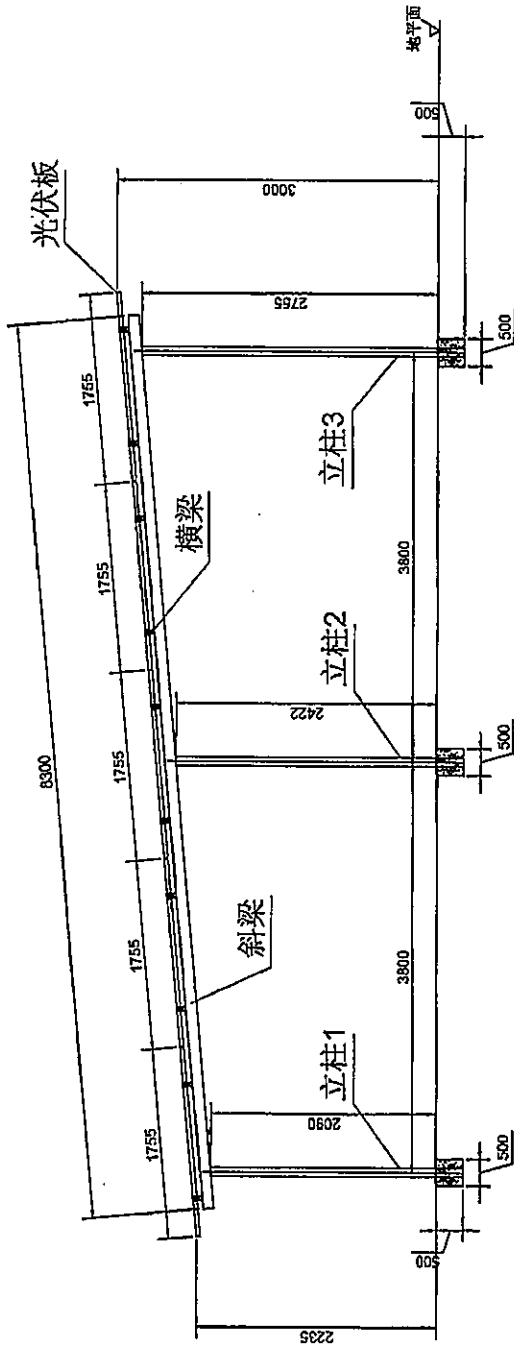
36. 10KW



俯視圖(支架構-主樑-斜樑)

備註：此圖為初步設計方案，最終光伏排布，裝機容量，需與業主溝通確認安裝位置和面積後再做調整。

SP3
No. of Solar Panel: 95



A-A

側視圖(支架結構)

備註: 此圖為初步設計方案, 最終光伏排布, 裝機容量, 需與業主溝通確認安裝位置和面積後再做調整。

項目位址	田心新村340KW
屋面面積	
組件品牌	隆基
組件型號	LR4-60HPH-380M
組件尺寸	1755*1038*35mm
組件瓦數	380W
安裝數量	95 pcs
總瓦數	36.10KW

REMARK:

Wind Speed

Snow Load

Solar Panel Size

Solar Panel Power

Tilt Angle

Designer:

金設計工程有限公司

Jin's Decoration & Engineering Co., Limited

Project Name

Project No.

Signature

Date

Verified by

Checked by

Drawn by

TITLE

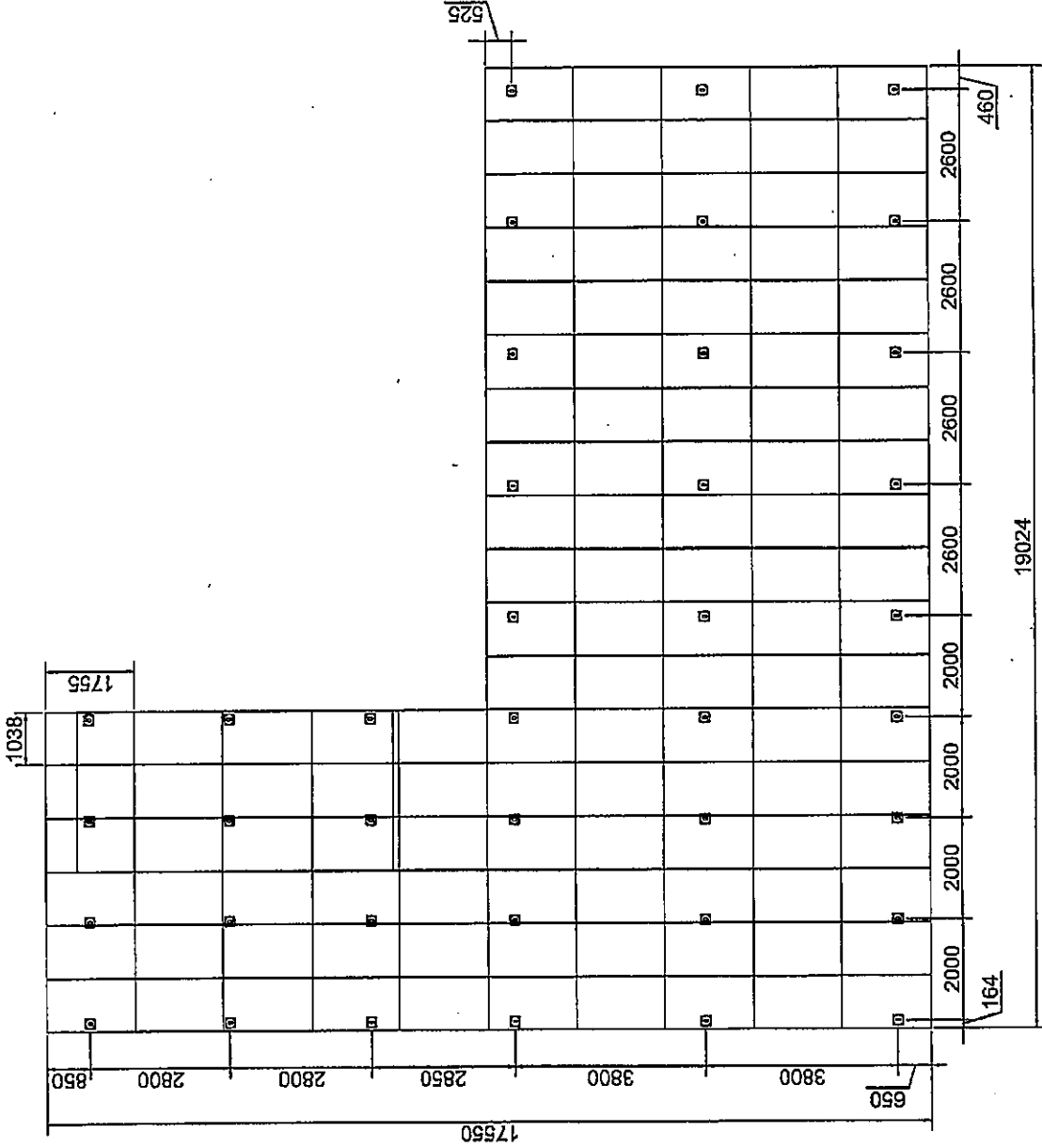
Drawing No.

SCALE

SHEET

SP4
No. of Solar Panel: 89

排水方向



項目位址	田心新村340KW
屋面積	
組件品牌	隆基
組件型號	LR4-60HPH-380M
組件尺寸	1755*1038*35mm
組件瓦數	380W
安裝數量	120Pcs
總瓦數	45.6kW

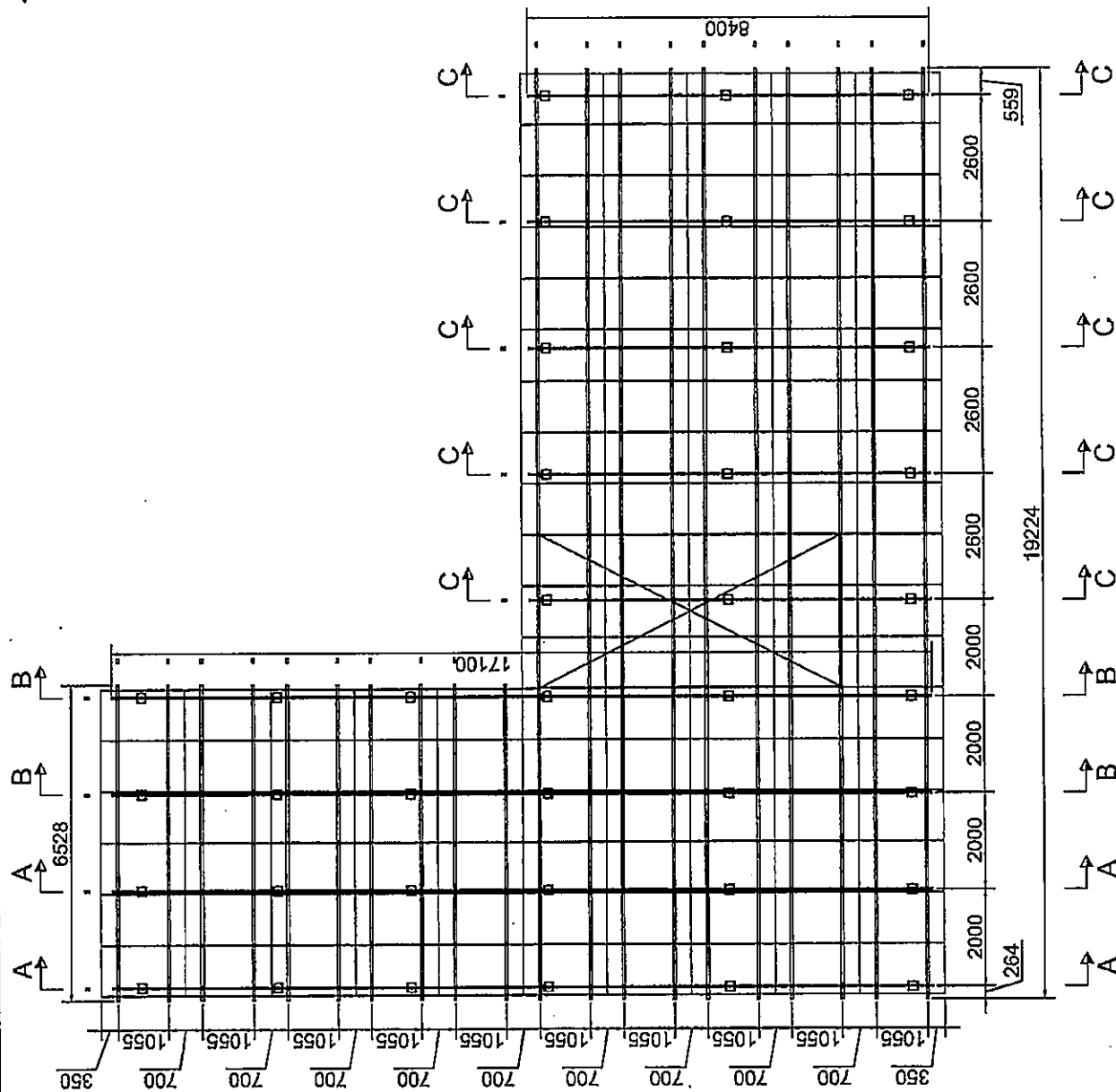
俯視圖（光伏組件）

備註： 此圖為初步設計方案，最終光伏排布，裝機容量，需與業主溝通確認安裝位置和面積後再做調整。

REMARK:	
Wind Speed	
Snow Load	
Solar Panel Size	
Solar Panel Power	
Tilt Angle	
Designer:	金設計門有限公司 Kun's Decoration & Engineering Co., Limited
Project Name	
Project No.	
Verified by	
Checked by	
Drawn by	
Signature	
Date	
TITLE	
Drawing No.	
SCALE	
SHEET	

No. of Solar Panel: 89

REMARK:					
	Wind Speed				
	Snow Load				
	Solar Panel Size				
	Solar Panel Power				
	Tilt Angle				
Designer: 金誠計工環有限公司 Jin Cheng Design & Engineering Co., Limited					
Project Name					
Project No.					
Signature		Date			
Verified by					
Checked by					
Drawn by					
TITLE					
Drawing No.					
SCALE					
SHEET					

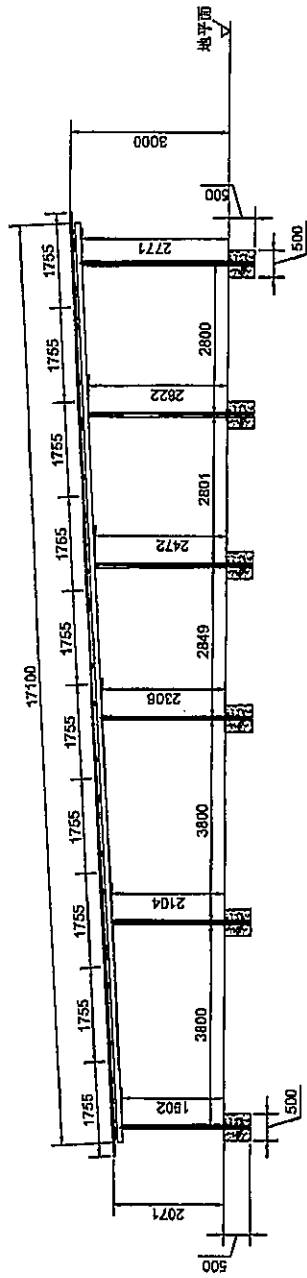


俯視圖(支架結構-主樑-斜樑)

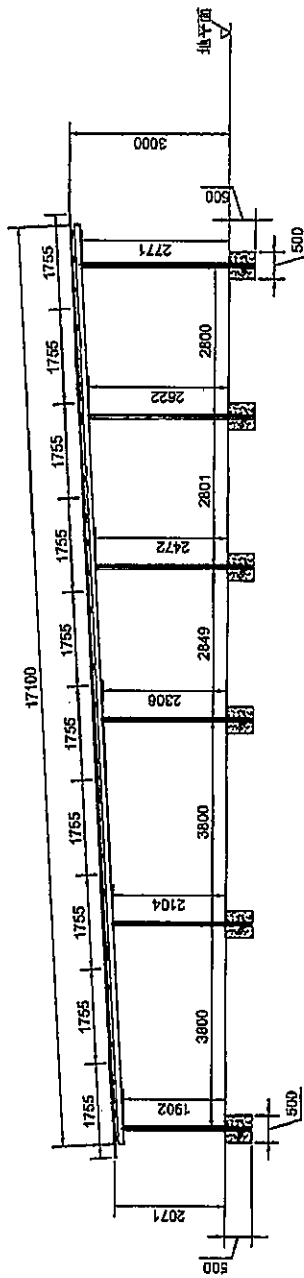
備註：此圖為初步設計方案，最終光伏排布，裝機容量，需與業主溝通確認安裝位置和面積後再做調整。

SP4

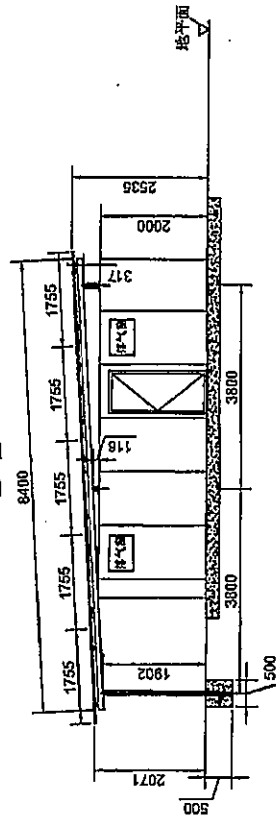
No. of Solar Panel: 89



A-A



B-B



C-C

側視圖(支架結構)

備註: 此圖為初步設計方案, 最終光伏排布, 最終容量, 需與業主溝通確認安裝位置和面積後再做調整。

項目位址	田心新村340KW
屋面面積	
組件品牌	隆基
組件型號	LR4-60HPH-380M
組件尺寸	1755*1038*35mm
組件瓦數	380W
安裝數量	120Pcs
總瓦數	45.6kW

REMARK:

Wind Speed

Snow Load

Solar Panel Size

Solar Panel Power

Tilt Angle

Designer:

金設計工程有限公司

Kai's Decoration & Engineering Co. Limited

21

Project Name

Project No.

Signature

Date

Verified by

Checked by

Drawn by

TITLE

Drawing No.

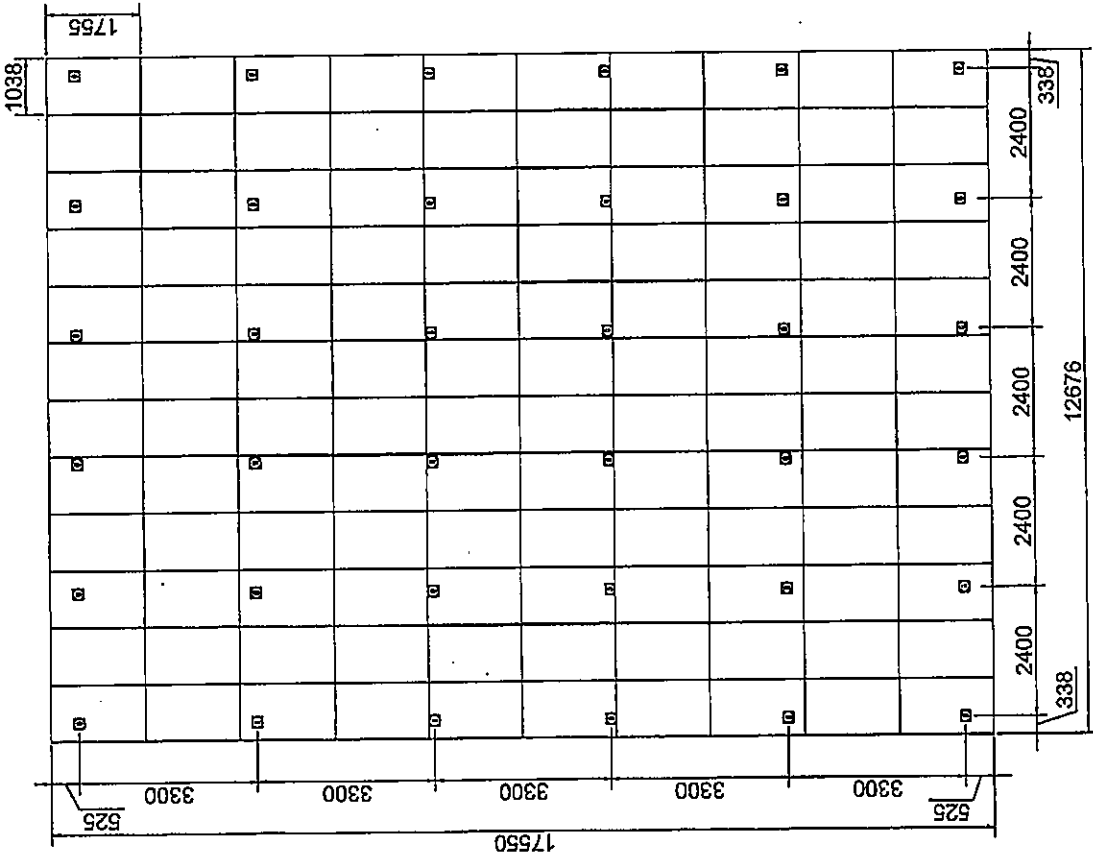
SCALE

SHEET

SP5, SP6 and SP7
No. of Solar Panel: 120

項目位址	田心新村340KW
屋面面積	
組件品牌	隆基
組件型號	LR4-60HPH-380M
組件尺寸	1755*1038*35mm
組件瓦數	380W
安裝數量	120Pcs
總瓦數	45.6kW

排水方向



俯視圖（光伏組件）

備註： 此圖為初步設計方案，最終光伏排布，裝機容量，需與業主溝通確認安裝位置和面積後再做調整。

REMARK:

Wind Speed

Snow Load

Solar Panel Size

Solar Panel Power

Tilt Angle

Designer:

金設計工程有限公司

Kim's Decoration & Engineering Co., Limited

Project Name

Project No.

Signature

Date

Verified by

Checked by

Drawn by

TITLE

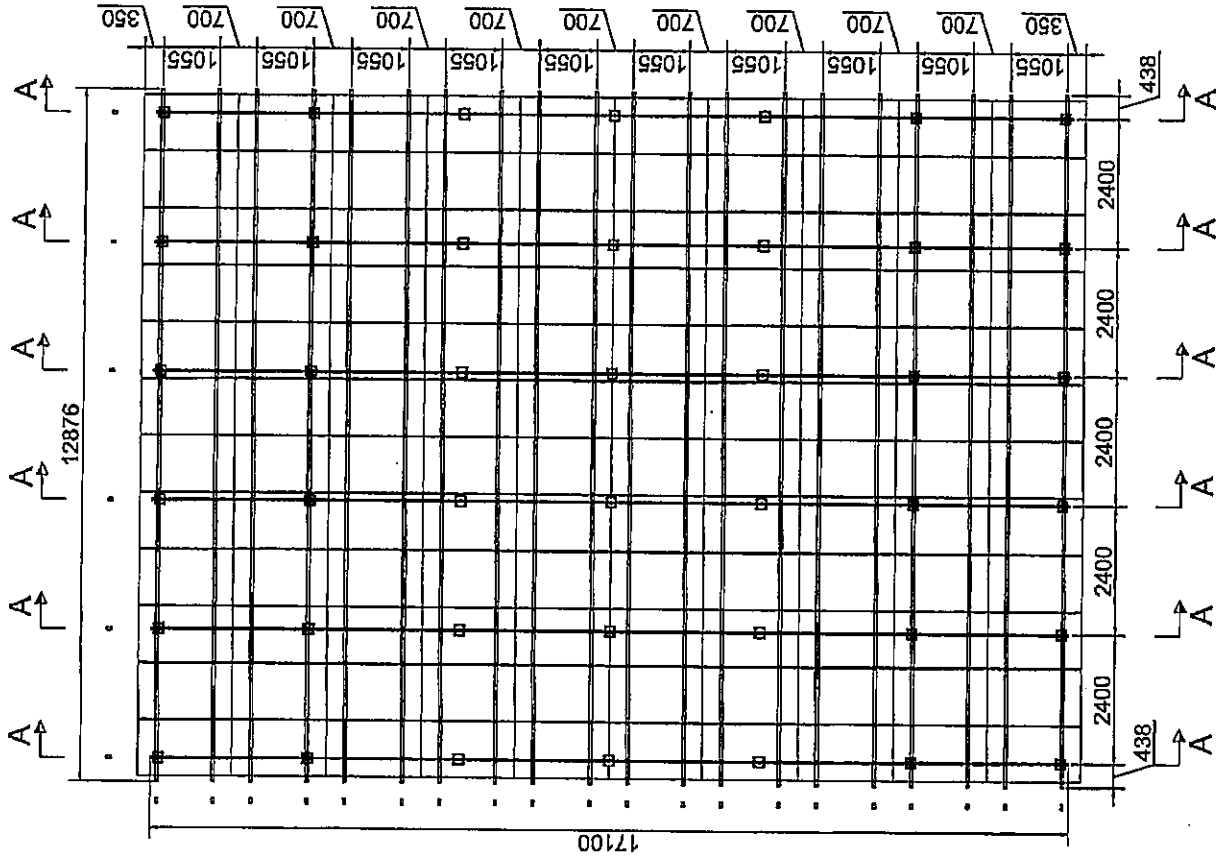
Drawing No.

SCALE

SHEET

SP5, SP6 and SP7
No. of Solar Panel: 120

項目位址	田心新村340KW
屋面面積	
組件品牌	隆基
組件型號	LR4-60HPH-380M
組件尺寸	1755*1038*35mm
組件瓦數	380W
安裝數量	120Pcs
總瓦數	45.6kW



俯視圖(支架結構-主樑-斜樑)

備註: 此圖為初步設計方案, 最終光伏排布, 裝機容量, 需與業主溝通確認安裝位置和面積後再做調整。

REMARK:

Wind Speed
Snow Load
Solar Panel Size
Solar Panel Power
Tilt Angle

Designer:

金設計工程有限公司
Kim's Decoration & Engineering Co., Limited

Project Name

Project No.

Signature

Date

Verified by

Checked by

Drawn by

TITLE

Drawing No.

SCALE

SHEET

SP5, SP6 and SP7
No. of Solar Panel: 120

REMARK:

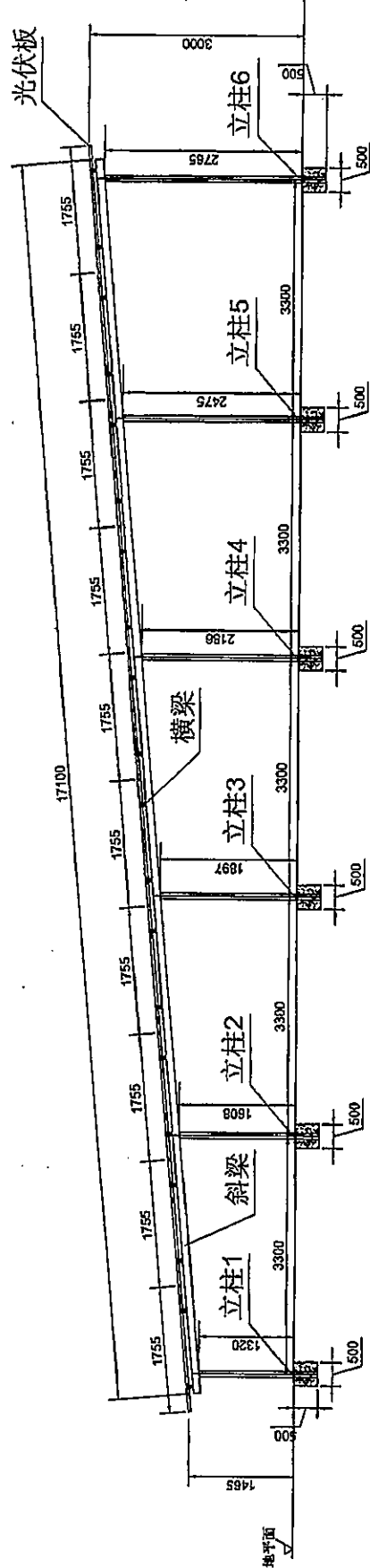
Wind Speed

Snow Load

Solar Panel Size

Solar Panel Power

Tilt Angle



A-A

側視圖(支架結構)

備註: 此圖為初步設計方案, 最終光伏排布, 裝機容量, 需與業主溝通確認安裝位置和面積後再做調整。

項目位址	田心新村340KW
屋面面積	
組件品牌	隆基
組件型號	LR4-60HPH-380M
組件尺寸	1755*1038*35mm
組件瓦數	380W
安裝數量	120Pcs
總瓦數	45.6kW

Designer:

金校計工程有限公司

Kin's Decoration & Engineering Co., Limited

mm

Project Name

Project No.

Signature

Date

Verified by

Checked by

Drawn by

TITLE

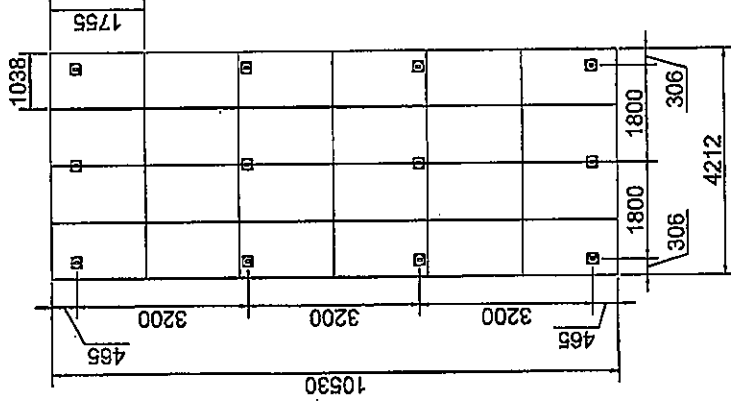
Drawing No.

SCALE

SHEET

SP8
No. of Solar Panel: 24

項目位址	田心新村340KW
屋面面積	
組件品牌	隆基
組件型號	LR4-60HPH-380M
組件尺寸	1755*1038*35mm
組件瓦數	380W
安裝數量	24Pcs
總瓦數	9.12kW



俯視圖（光伏組件）

備註： 此圖為初步設計方案，最終光伏排布，裝機容量，需與業主溝通確認安裝位置和面積後再做調整。

REMARK:	
Wind Speed	
Snow Load	
Solar Panel Size	
Solar Panel Power	
Tilt Angle	
Designer:	金設計工程有限公司 Kim's Decoration & Engineering Co. Limited
Project Name	
Project No.	
Signature	Date
Verified by	
Checked by	
Drawn by	
TITLE	
Drawing No.	
SCALE	
SHEET	

No. of Solar Panel: 24

備註：此圖為初步設計方案，最終光伏排布，裝機容量，需與業主溝通確認裝位置 and 面積後再做調整。

SP8
No. of Solar Panel: 24

REMARK:

Wind Speed

Snow Load

Solar Panel Size

Solar Panel Power

Tilt Angle

Designer:

金設計工程有限公司

Kan's Decoration & Engineering Co., Limited

Project Name

Project No.

Signature

Date

Verified by

Checked by

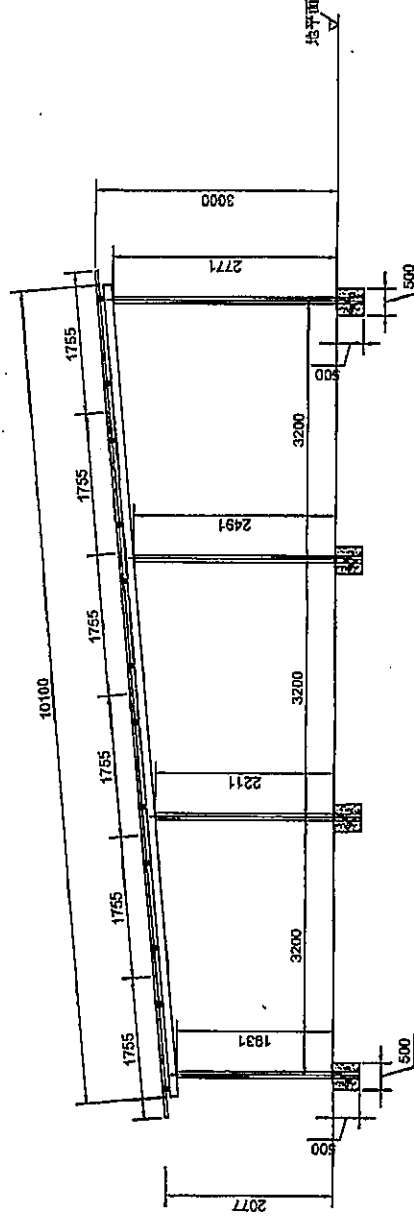
Drawn by

TITLE

Drawing No.

SCALE

SHEET



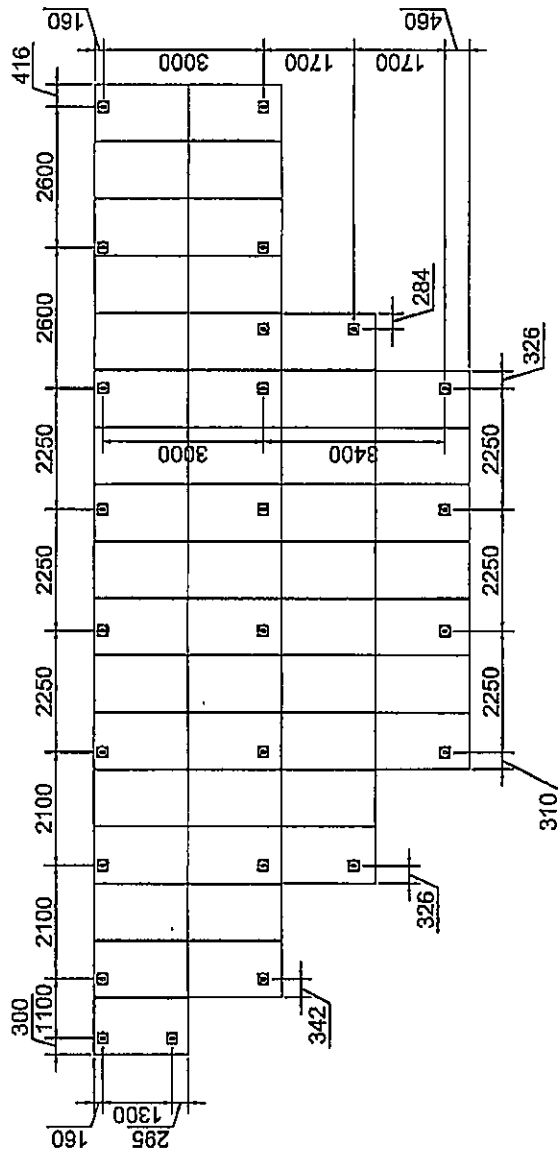
A-A

側視圖(支架結構)

備註: 此圖為初步設計方案, 最終光伏排布, 裝機容量, 需與業主溝通確認安裝位置 and 面積後再做調整。

項目位址	田心新村340KW
屋面積	
組件品牌	隆基
組件型號	LR4-60HPH-380M
組件尺寸	1755*1038*35mm
組件瓦數	380W
安裝數量	24Pcs
總瓦數	9.12kW

SP9
No. of Solar Panel: 50



俯視圖 (光伏組件)

備註: 此圖為初步設計方案, 最終光伏排布, 裝機容量, 需與業主溝通確認安裝位置和面積後再做調整。

項目位址	田心新村340KW
屋面面積	
組件品牌	隆基
組件型號	LR4-60HPH-380M
組件尺寸	1755*1038*35mm
組件瓦數	380W
安裝數量	50Pcs
總瓦數	19kW

REMARK:	
Wind Speed	
Snow Load	
Solar Panel Size	
Solar Panel Power	
Tilt Angle	

Designer: 金誠計工程有限公司 Kai's Decoration & Engineering Co. Limited	
Project Name	
Project No.	
Signature	Date
Verified by	
Checked by	
Drawn by	
TITLE	
Drawing No.	
SCALE	
SHEET	

SP9

No. of Solar Panel: 50

REMARK:

Wind Speed

Snow Load

Solar Panel Size

Solar Panel Power

Tilt Angle

Designer:

金設計工程有限公司

Kee's Decoration & Engineering Co., Limited

m

Project Name

Project No.

Verified by

Checked by

Drawn by

TITLE

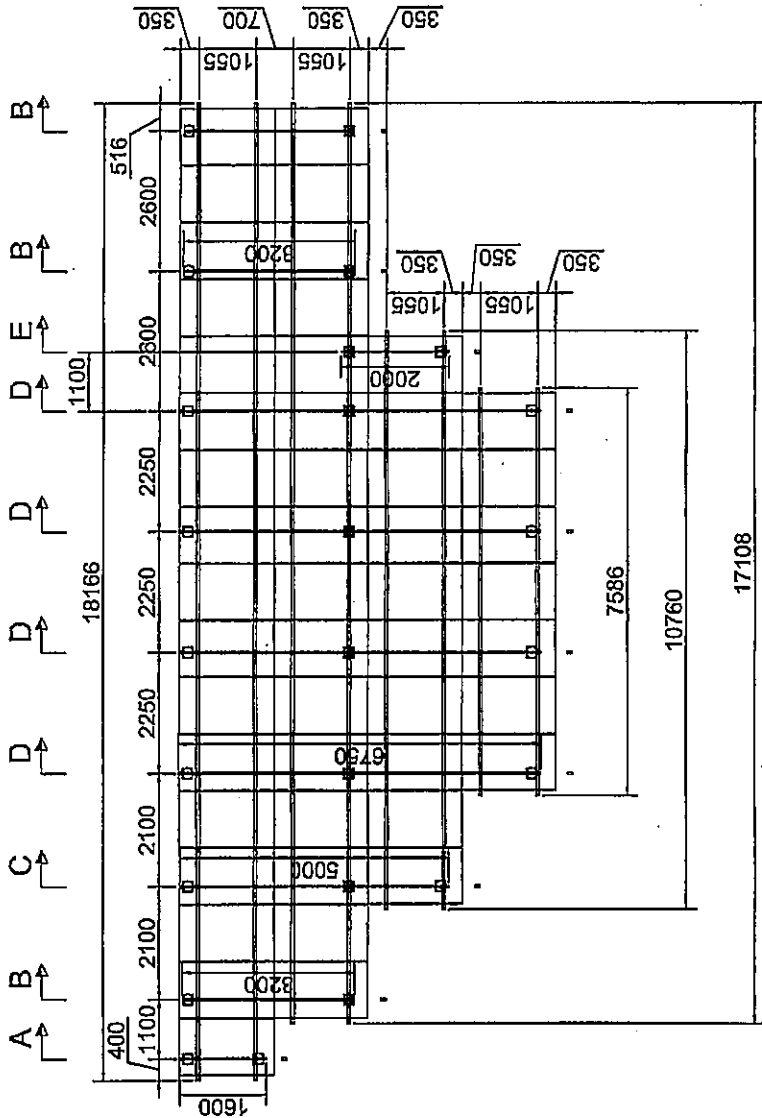
Drawing No.

SCALE

SHEET

俯視圖(支架結構-主樑-斜樑)

備註: 此圖為初步設計方案, 最終光伏排布, 裝機容量, 需與業主溝通確認安裝位置和面積後再做調整。



項目位址 田心新村340KW

屋面面積

組件品牌 隆基

組件型號 LR4-60HPH-380M

組件尺寸 1755*1038*35mm

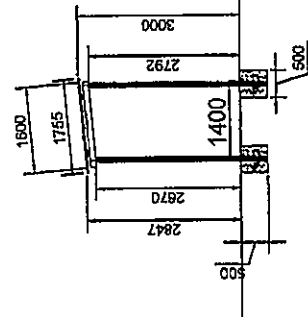
組件瓦數 380W

安裝數量 50Pcs

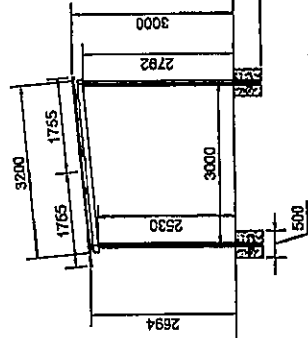
總瓦數 19kW

SP9

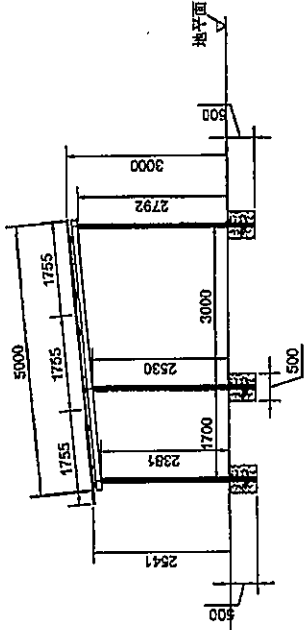
No. of Solar Panel: 50



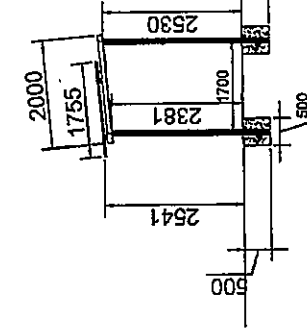
A-A



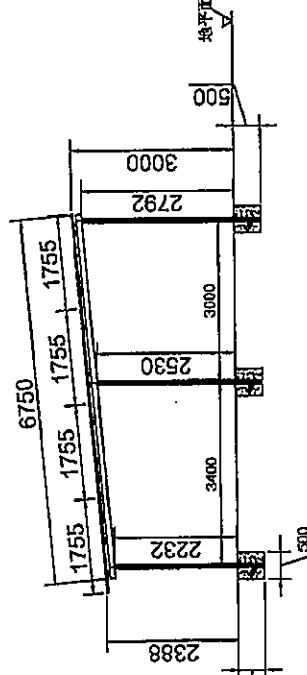
B-B



C-C



E-E



D-D

側視圖(支架結構)

備註: 此圖為初步設計方案, 最終光伏排布, 裝機容量, 需與業主溝通確認安裝位置和面積後再做調整。

項目位址	田心新村340KW
屋面積	
組件品牌	隆基
組件型號	LR4-60HPH-380M
組件尺寸	1755*1038*35mm
組件瓦數	380W
安裝數量	50Pcs
總瓦數	19kW

REMARK:

Wind Speed

Snow Load

Solar Panel Size

Solar Panel Power

Tilt Angle

Designer:

金設計工程有限公司

Jin's Decoration & Engineering Co., Limited

Project Name

Project No.

Signature

Date

Verified by

Checked by

Drawn by

TITLE

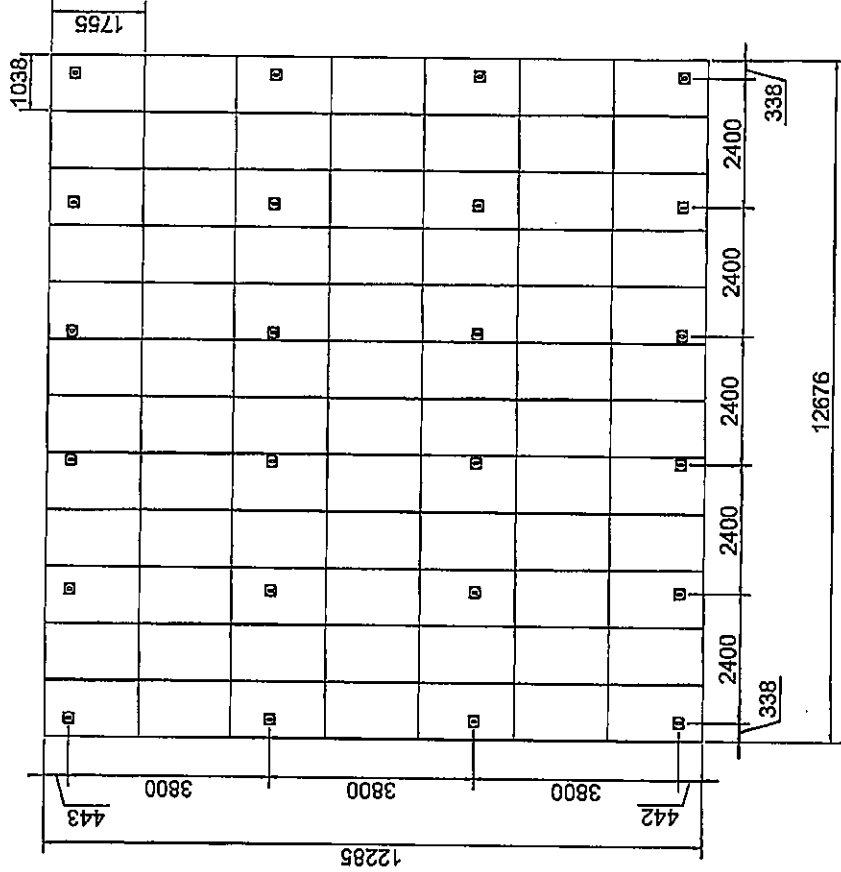
Drawing No.

SCALE

SHEET

SP10
No. of Solar Panel: 84

項目位址	田心新村340KW
屋面面積	
組件品牌	隆基
組件型號	LR4-60HPH-380M
組件尺寸	1755*1038*35mm
組件瓦數	380W
安裝數量	84Pcs
總瓦數	31.92kW



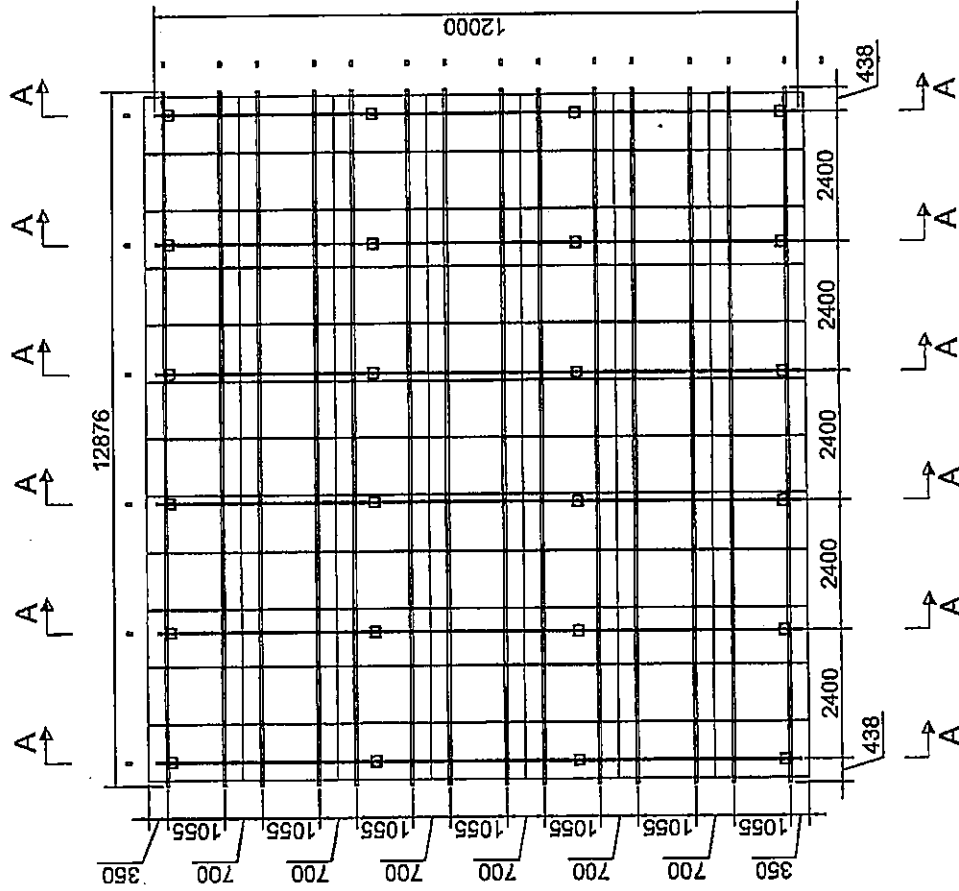
俯視圖 (光伏組件)

備註: 此圖為初步設計方案, 最終光伏排布, 裝機容量, 需與業主溝通確認安裝位置和面積後再做調整。

REMARKS:	
Wind Speed	
Snow Load	
Solar Panel Size	
Solar Panel Power	
Tilt Angle	
Designer: 金誠創工程有限公司 Kee's Decoration & Engineering Co. Limited	
Project Name	
Project No.	
Verified by	Signature
Checked by	Date
Drawn by	
TITLE	
Drawing No.	
SCALE	
SHEET	

SP10

No. of Solar Panel: 84



俯視圖(支架結構-主樑-斜樑)

備註: 此圖為初步設計方案, 最終光伏排布, 裝機容量, 需與業主溝通確認安裝位置和面積後再做調整。

項目位址	田心新村340KW
屋面面積	
組件品牌	隆基
組件型號	LR4-60HPH-380M
組件尺寸	1755*1038*35mm
組件瓦數	380W
安裝數量	84Pcs
總瓦數	31.92kW

REMARK:

Wind Speed

Snow Load

Solar Panel Size

Solar Panel Power

Tilt Angle

Designer:

金發設計工程有限公司

Kia's Recreation & Engineering Co., Limited

Project Name

Project No.

Verified by

Checked by

Drawn by

TITLE

Drawing No.

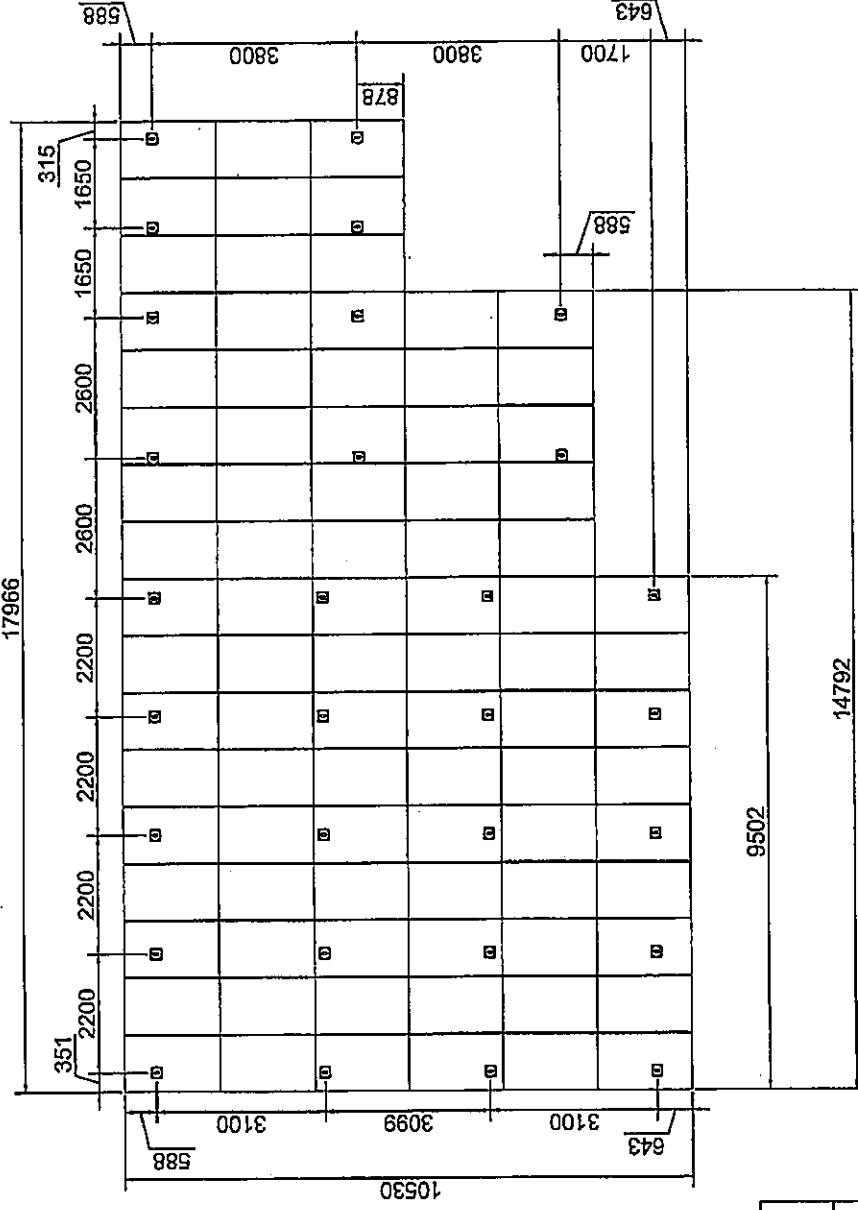
SCALE

SHEET

SHEET

SP11

No. of Solar Panel: 88



項目位址 田心新村340KW

屋面面積

組件品牌 隆基

組件型號 LR4-60HPH-380M

組件尺寸 1755*1038*35mm

組件瓦數 380W

安裝數量 88Pcs

總瓦數 33.44kW

俯視圖 (光伏組件)

備註: 此圖為初步設計方案, 最終光伏排布, 裝機容量, 需與業主溝通確認安裝位置 and 面積後再做調整。

REMARK:

Wind Speed

Snow Load

Solar Panel Size

Solar Panel Power

Tilt Angle

Designer:

金設計工程有限公司

Kin's Decoration & Engineering Co. Limited

Project Name

Project No.

Signature

Date

Verified by

Checked by

Drawn by

Title

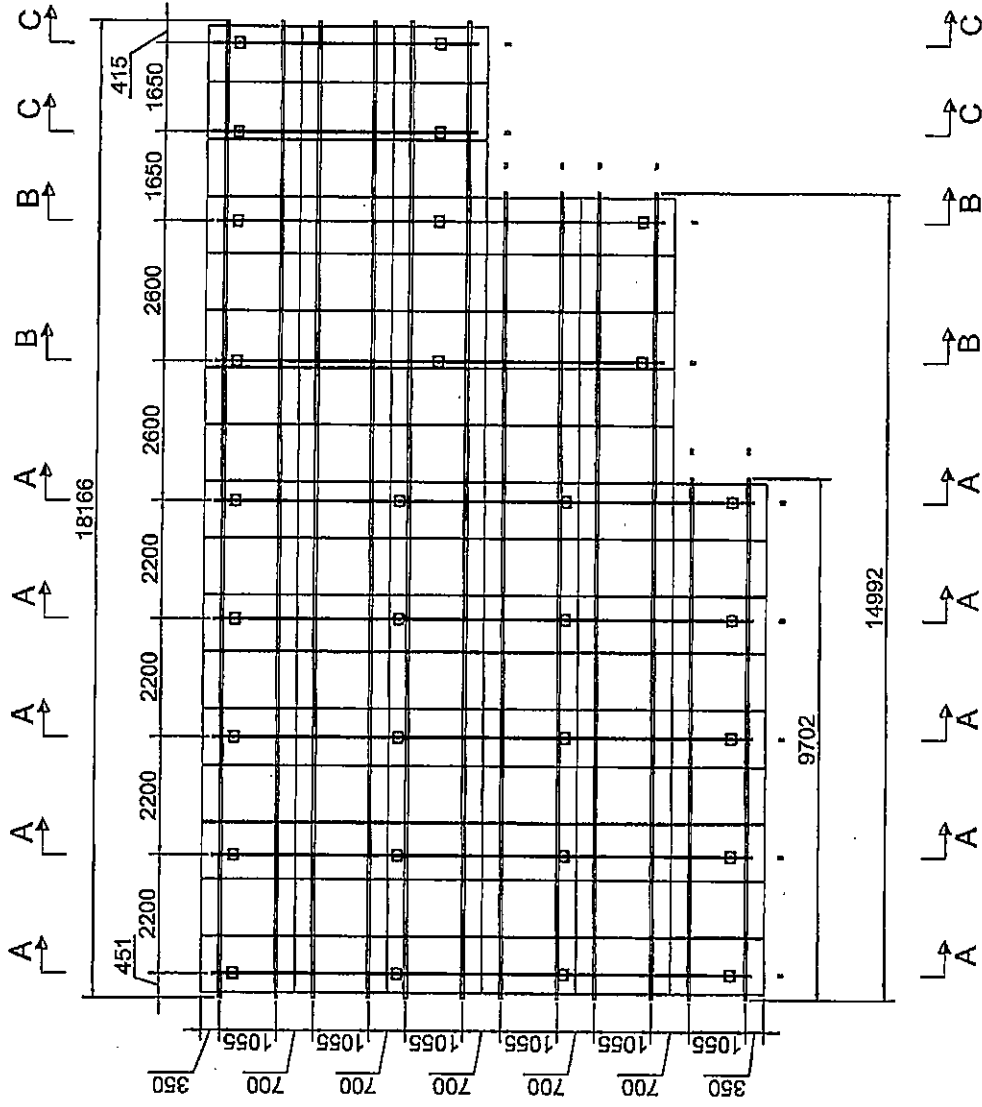
Drawing No.

SCALE

SHEET

SP11

No. of Solar Panel: 88



項目位址 田心新村340KW

屋面面積

組件品牌 隆基

組件型號 LR4-60HPH-380W

組件尺寸 1755*1038*35mm

組件瓦數 380W

安裝數量 88Pcs

總瓦數 33.44kW

俯視圖(支架結構-主樑-斜樑)

備註: 此圖為初步設計方案, 最終光伏排布, 裝機容量, 需與業主溝通確認安裝位置和面積後再做調整。

REMARK:

Wind Speed

Snow Load

Solar Panel Size

Solar Panel Power

Tilt Angle

Designer:

金銳設計有限公司

Karl's Decorative & Engineering Co. Limited

Project Name

Project No.

Verified by

Checked by

Drawn by

TITLE

Drawing No.

SCALE

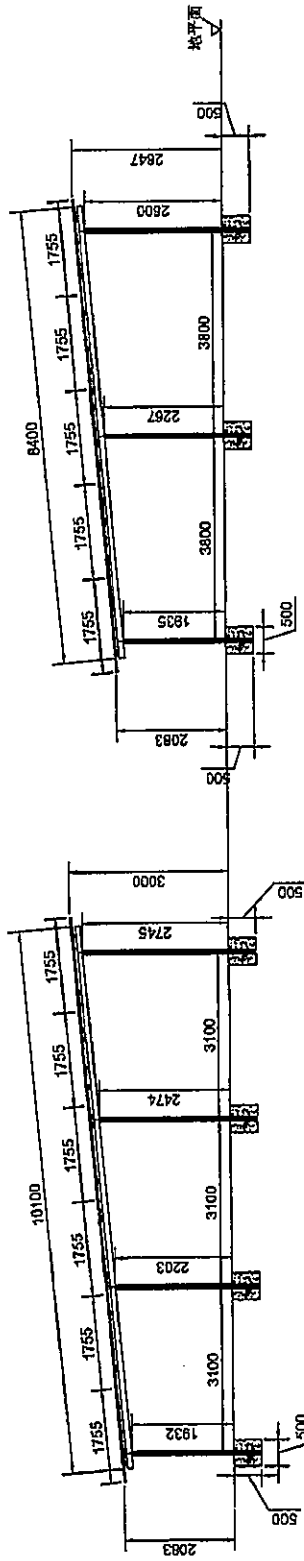
SHEET

Signature

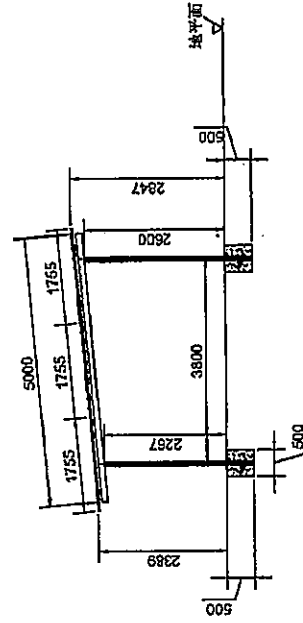
Date

SP11

No. of Solar Panel: 88



B-B



項目位址 田心新村340KW

屋面面積

組件品牌 隆基

組件型號 LR4-60HPH-380M

組件尺寸 1755*1038*35mm

組件瓦數 380W

安裝數量 88Pcs

總瓦數 33.44kW

側視圖(支架結構)

備註: 此圖為初步設計方案, 最終光伏排布, 裝機容量, 需與業主溝通確認安裝位置和面積後再做調整。

REMARK:

Wind Speed

Snow Load

Solar Panel Size

Solar Panel Power

Tilt Angle

Designer:

金設計工程有限公司

Jin's Decoration & Engineering Co., Limited

Project Name

Project No.

Signature

Date

Verified by

Checked by

Drawn by

TITLE

Drawing No.

SCALE

SHEET

20 July 2021

中環電力有限公司
CLP Power Hong Kong Limited

企業客戶服務部
Corporate Customer Experience (CCE)

網址

Attention: KAM BOR

Scheme No.:

Please quote our scheme number in response to this letter

Dear KAM BOR,

Network Reinforcement Condition Letter

**DD 106 LOT 1363B, KAM SHEUNG ROAD, SHEK WU TONG TSUEN, KAM TIN YUEN
LONG ("Premises")**

CLP Electricity Account Number:

FIT Application No.:

We refer to your application to take part in the CLP Renewable Energy Feed-in Tariff (FIT) Scheme. Reference is also made to your application for network reinforcement for the purposes of your participation in the FIT Scheme.

We are pleased to inform you that we will carry out the necessary network reinforcement works ("Reinforcement Works") subject to your acceptance of the following terms and conditions:

1. We estimate that the Reinforcement Works will be completed in around 24 months after receipt of your written acceptance of these terms and conditions. While we will strive to complete the Reinforcement Works within this estimated timeframe, there may be circumstances which affect the progress or the completion date. We will not be liable for any loss, damage suffered or any cost incurred arising from any delay or incompleteness of the Reinforcement Works.
2. If there is a need to revise the estimated timeframe required to complete the Reinforcement Works, we will discuss and agree with you on a new estimated timeframe.
3. The progress and completion of the Reinforcement Works are also subject to your agreement on the terms of the Supply Condition Letter to be issued by us after the design of the Reinforcement Works has been finalised. A sample of a Supply Condition Letter is enclosed for your reference. The final terms of the Supply Condition Letter are subject to the final design of the Reinforcement Works and if you accept the final terms of the Supply Condition letter, please return to us a signed copy of the letter.
4. Your provisional FIT rate, following the prevailing rate published on our website on the date we received your FIT Scheme application, is set out below together with the validity period of each FIT rate:

Renewable energy system	Generation capacity (kW)	Provisional FIT rate (\$/kWh)	Validity period (expiry date)
New solar System at DD 106 LOT 1363B, KAM SHEUNG ROAD, SHEK WU TONG TSUEN, KAM TIN YUEN LONG, NEW TERRITORIES	170.00	4.00	12 months from the date of Acknowledgement Letter

5. Please be reminded that the design, installation, operation and maintenance of the renewable energy system should comply with all applicable laws, regulations, guidelines, and safety and technical requirements. This includes compliance with the requirements set out under the Technical Guidelines on Grid Connection of Renewable Energy Power Systems and the Guidance Notes for Solar Photovoltaic (PV) System Installation, both issued by the Electrical and Mechanical Services Department.

If you accept the above terms and conditions, please return a copy of this letter with the signed reply slip to the following address: -

CLP Power Hong Kong Limited

If we do not receive your written acceptance of the above terms and conditions within three months from the date of this letter, we may not be able to process your FIT Scheme application and your network reinforcement application further.

Should you have any queries regarding the progress of the construction work, please contact our Account Manager Lam, Hon Sing on telephone number .

Yours sincerely,



Wong, Jason Siu Ming
Senior Account Manager
CLP Power Hong Kong Limited

Encl. as stated

Reply Slip

I / We hereby accept the terms and conditions in this letter issued by CLP Power Hong Kong Limited dated 20 July 2021 (Scheme No.:

Signature/Chop : *CAM* *ES*

Name : *KAM BOR*
(IN BLOCK LETTERS)

Date : *2-8-2021*

20 July 2021

Attention: KAM BOR

Scheme No.:

Please quote our scheme number in response to this letter

Dear KAM BOR,

Network Reinforcement Condition Letter

DD 106 LOT 1363B, KAM SHEUNG ROAD, SHEK WU TONG TSUEN, KAM TIN YUEN
LONG ("Premises")
CLP Electricity Account Number:
FIT Application No.:

We refer to your application to take part in the CLP Renewable Energy Feed-in Tariff (FIT) Scheme. Reference is also made to your application for network reinforcement for the purposes of your participation in the FIT Scheme.

We are pleased to inform you that we will carry out the necessary network reinforcement works ("Reinforcement Works") subject to your acceptance of the following terms and conditions:

1. We estimate that the Reinforcement Works will be completed in around 24 months after receipt of your written acceptance of these terms and conditions. While we will strive to complete the Reinforcement Works within this estimated timeframe, there may be circumstances which affect the progress or the completion date. We will not be liable for any loss, damage suffered or any cost incurred arising from any delay or incompleteness of the Reinforcement Works.
2. If there is a need to revise the estimated timeframe required to complete the Reinforcement Works, we will discuss and agree with you on a new estimated timeframe.
3. The progress and completion of the Reinforcement Works are also subject to your agreement on the terms of the Supply Condition Letter to be issued by us after the design of the Reinforcement Works has been finalised. A sample of a Supply Condition Letter is enclosed for your reference. The final terms of the Supply Condition Letter are subject to the final design of the Reinforcement Works and if you accept the final terms of the Supply Condition letter, please return to us a signed copy of the letter.
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Renewable energy system	Generation capacity (kW)	Provisional FIT rate (\$/kWh)	Validity period (expiry date)
New solar System at DD 106 LOT 1363B, KAM SHEUNG ROAD, SHEK WU TONG TSUEN, KAM TIN YUEN LONG, NEW TERRITORIES	170.00	4.00	12 months from the date of Acknowledgement Letter

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Should you have any queries regarding the progress of the construction work, please contact our Account Manager Lam, Hon Sing on telephone number

Yours sincerely,



Wong, Jason Siu Ming
Senior Account Manager
CLP Power Hong Kong Limited

Encl. as stated

Reply Slip

I / We hereby accept the terms and conditions in this letter issued by CLP Power Hong Kong Limited dated 20 July 2021 (Scheme No.: ')

Signature/Chop : *CAH* *ES*

Name : *KAM BOR*
(IN BLOCK LETTERS)

Date : *2-8-2021*



顧問有限公司
盈卓物業

Our Ref.: DD106 Lots 1363 S.A & 1363 S.B RP
Your Ref.: TPB/A/YL-KTS/949

The Secretary
Town Planning Board
15/F, North Point Government office
333 Java Road
North Point, Hong Kong

By Email

14 March 2023

Dear Sir,

1st Further Information

**Proposed Public Utility Installation (Solar Photovoltaic System)
and Filling of Land in "Agriculture" Zone, Lots 1363 S.A (Part) and
1363 S.B RP (Part) in D.D. 106, Tin Sam San Tsuen, Kam Tin, Yuen Long**

(S.16 Planning Application No. A/YL-KTS/949)

We are writing to submit further information to address departmental comments of the subject application (Appendix I).

Should you require more information regarding the application, please contact our Mr. Louis TSE at the undersigned at your convenience. Thank you for your kind attention.

Yours faithfully,

For and on behalf of
R-riches Property Consultants Limited

Matthew NG
Planning and Development Manager

cc DPO/FSYLE, Pland

(Attn.: Mr. Christopher PANG
(Attn.: Mr. Peter NGAN

email: cyfpang@pland.gov.hk)
email: pplngan@pland.gov.hk)



Responses-to-Comments

**Proposed Public Utility Installation (Solar Photovoltaic System)
and Filling of Land in "Agriculture" Zone, Lots 1363 S.A (Part) and
1363 S.B RP (Part) in D.D. 106, Tin Sam San Tsuen, Kam Tin, Yuen Long**

(Application No. A/YL-KTS/949)

(i) A RtoC Table:

Departmental Comments	Applicant's Responses
1. Comments of Secretary for Environment and Ecology (SEE)	
<p>The applicant is required to advise the following for our further review of the application:</p> <p>(a) The reason(s) of mounting the solar panel systems at a height of 3.5m (para. 3.2 of supplementary statement refers) and justification(s) on the usage of the spaces under the systems;</p>	<p>The combined height of each panel and stand would be 3.5m (i.e. not more than 3m above ground and 0.5m below ground) (Plan 1). Two single-storey structures (about 2m high) for meter and store rooms with a total non-domestic GFA of 48 m² (about) are proposed to be erected under the solar panel system, in order to minimise disturbance to uncovered soiled area of the application site (the Site). Nitrogen fixing plants are also proposed to be planted at the spaces under the system and uncovered area of the Site to retain soil quality and prevent soil erosion and degradation during the operation of the proposed development (Plan 1).</p> <p>The Site is currently surrounded by temporary structures (about 3m high) and New Territories Exempted Houses (about 8.23m high) at the immediate north and south respectively. By mounting the solar panel system at the proposed height, the system could potentially receive more direct, unobstructed sunlight throughout the day, thereby increasing the amount of energy generated. Low reflective and advance solar panels with anti-reflection coating would be adopted to reduce reflection, in order to</p>

		minimise potential glare impact to the surrounding area.
(b)	Whether the proposed solar panel systems shall be a temporary use for a period of 3 years (a S.16 application) or a permanent use till 2034 (para. 3.4 of supplementary statement refers);	The proposed solar energy system is anticipated to be completed by 2023/24 and operated under the Feed-in Tariff Scheme until 2034.
(c)	Any plant species to be planted at the Site so as to retain the soil quality and prevent potential soil erosion and degradation;	Nitrogen-fixing plants (i.e. <i>Crotalaria juncea</i> , <i>Arachis duranensis</i> etc.), are chosen to help maintaining soil quality and preventing potential soil erosion at the Site during operation of the proposed solar energy system (Plan 1).
(d)	Whether the FIT approval by the power company remains valid (as the validity period is 12 months from the date of acknowledgement as stated in CLP's letter in August 2021); and	Please be confirmed that FiT approvals by the power company are still valid (Annex I).
(e)	Whether filling of land / hard paving would affect the potential for agricultural rehabilitation of the Site after the dismantling of the solar panels and the long-term planning intention of the "AGR" zone.	<p>Please note that only a minor portion of the Site, i.e. 148.7 m², 4.8% (about) will be filled with concrete for site formation of structures and to stabilise the plinth to support the solar panels. The extent of filling mentioned above is for reference only and would be subject to change at detailed design stage.</p> <p>Concrete and solar panels will be dismantled and the Site will be reinstated to a state that is suitable for agricultural use after the anticipated project life in 2034. With the applicant's initiative to plant nitrogen-fixing plants during the operation, which function as natural fertiliser, the Site would retain its potential for future agricultural use.</p>
2. Comments of Director of Agriculture, Fisheries and Conservation (DAFC)		
(a)	Planning application for stand-alone Solar Photovoltaic System as 'PUI' ('Public Utility Installation') use in the "AGR" zone is generally not supported except those on land	Please note that majority of the Site is currently vacant with no active farming activities. Besides, only a minor portion of the Site (i.e. about 148.7 m ² , 4.8%) will be

	with no active farming activities and low agricultural rehabilitation potential.	filled with concrete for site formation of structures and to stabilise the metal plinth to support the solar panels. Nitrogen-fixing plants are also proposed to be planted under the system in order to retain its potential for future agricultural rehabilitation. As disturbance to the soil is minimal, the proposed development would not jeopardize the long-term planning intention of the "AGR" zone.
(b)	The subject site falls within the "AGR" zone and is occupied by some sundries. The agricultural activities are active in the vicinity, and agricultural infrastructures such as road access and water source are also available. The subject site can be used for agricultural activities such as open-field cultivation, greenhouses, plant nurseries, etc. As the subject site possesses potential for agricultural rehabilitation, the proposed development is not supported from an agricultural perspective.	
3. Comments of Chief Engineer/Mainland North, Drainage Services Department		
(a)	The existing stream beside the site is not maintain by this office. Since there is no record of the said discharge path, please provide site photos to demonstrate its presence and existing condition.	Noted. The applicant will submit a revised drainage proposal, with provision of peripheral u-channels and catchpits to mitigate potential adverse drainage impact generated by the proposed development after planning approval has been granted from the Town Planning Board (the Board). The applicant will implement the proposed drainage facilities at the application site (the Site) once the drainage proposal is accepted by Drainage Services Department/the Board.
(b)	Please demonstrate with hydraulic calculation that the existing stream are adequate to collect, convey and discharge the surface runoff accrued on the application site and the overland flow intercepted from the adjacent lands.	
(c)	The proposal should indicate how the runoff (the flow direction) within the site would be discharged to the proposed u-channel.	
(d)	Cross sections showing the existing and proposed ground levels of the captioned site with respect to the adjacent areas should be given.	
(e)	Where walls or hoarding are erected or laid along the site boundary, adequate opening should be provided to intercept the existing overland flow passing through the site.	

(f)	The development should neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent areas, etc.	
(g)	The applicant should consult DLO/YL and seek consent from the relevant owners for any drainage works to be carried out outside his lot boundary before commencement of the drainage works.	
(h)	The applicant should submit form HBP1 to this Division for application of technical audit for any proposed connection to DSD's drainage facilities.	

RE: CLP FiT Scheme Applications - Lots 1363 S.A (Part) and 1363 S.B RP (Part) in D.D. 106, Tin Sam San Tsuen, Kam Tin, Yuen Long, New Territories

Lam, Tommy Hon Sing

Tue 14/03/2023 14:13

To: Louis Tse

Cc: Matthew Ng <matthewng>

Dear Louis,

As communicated over the phone in the morning today, we would like to confirm network reinforcement condition letters of below two FiT scheme applications are still valid:

FiT Application No.:

FiT Application No..

Should you have further enquiry, pls. feel free to contact me at [redacted] nks!

Regards,

Tommy Lam

Manager - Business Centre & FIT Operation

Customer Success & Experience/ Customer Experience



From: Louis Tse <louistse>

Sent: Tuesday, March 14, 2023 1:02 PM

To: Lam, Tommy Hon Sing

Cc: Matthew Ng <r

<gracewong

Subject: CLP FiT Scheme Applications - Lots 1363 S.A (Part) and 1363 S.B RP (Part) in D.D. 106, Tin Sam San Tsuen, Kam Tin, Yuen Long, New Territories

External email: Please pay attention and check whether the sender is trustworthy before clicking any links and opening any attachments.

Dear Mr. LAM,

I refer to our tele-conversation on 14/3/2023 and the attached CLP Network Reinforcement Condition Letters (Appendix I & II), grateful if you could advise whether the FiT Scheme Applications of the subject site are still valid. Your prompt reply would be much appreciated. Thank you for your kind attention.

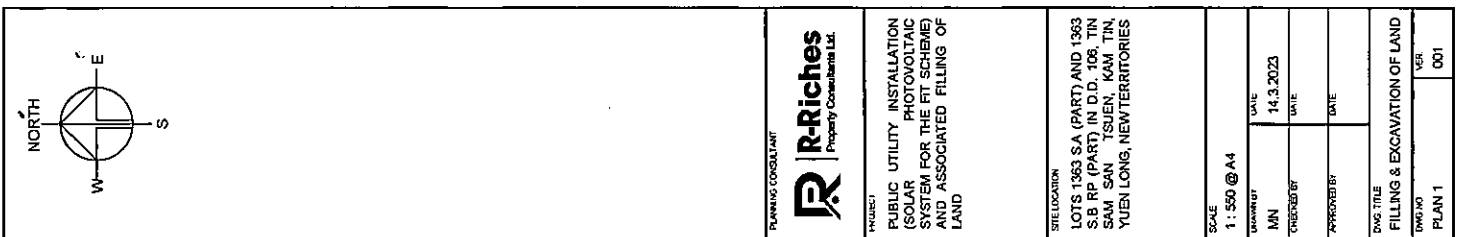
Kind Regards,

Louis TSE | Town Planner

R-riches Group (HK) Limited

R-riches Property Consultants Limited | R-riches Planning Limited | R-riches Construction Limited

T: [redacted] | F: [redacted] | M: [redacted] | E: [redacted]



R-Riches
Property Consultants Ltd.

SITE LOCATION:

SCALE
1:550 @ A4

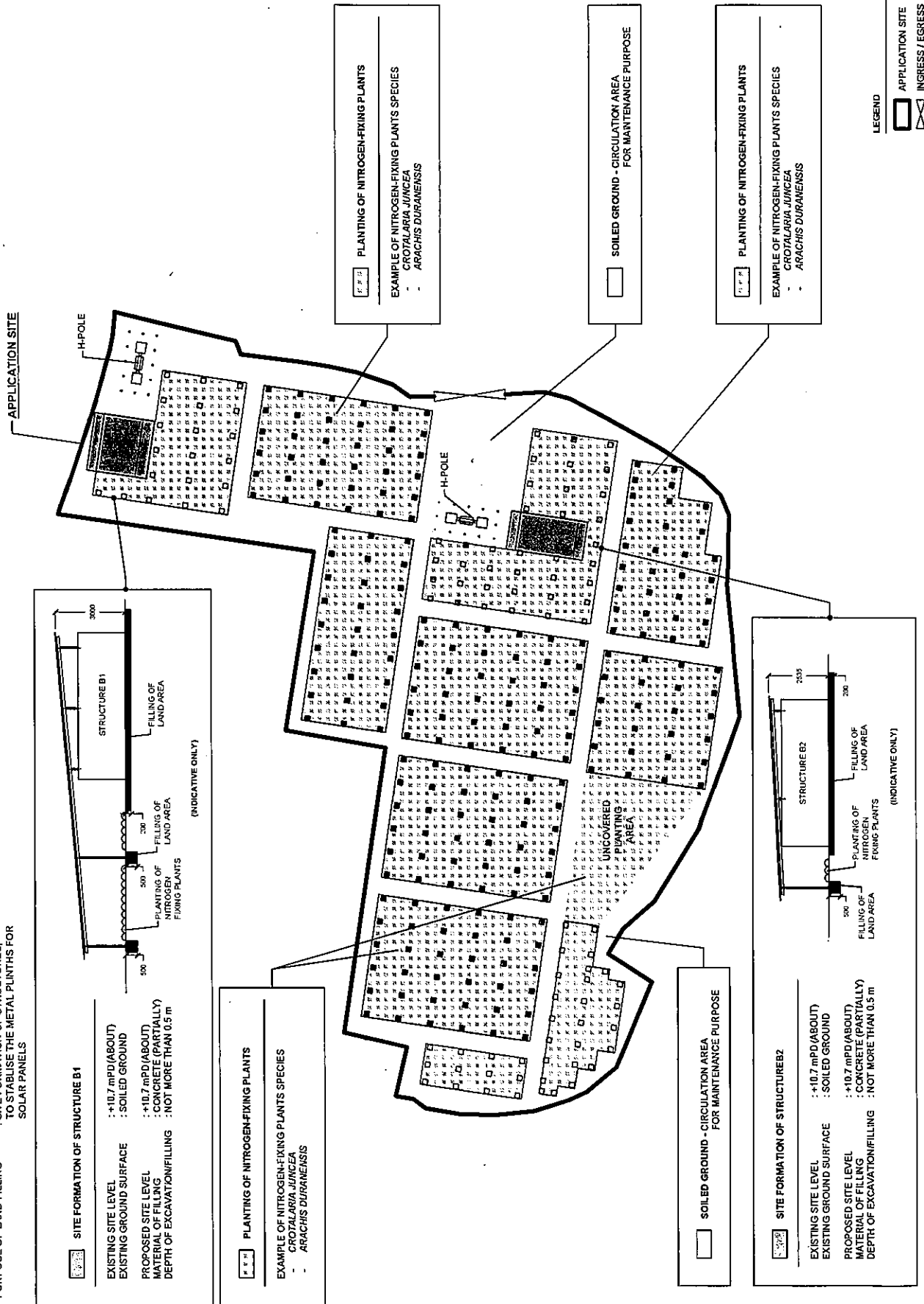
MN 14.3.2023

[illegible]

FILLING & EXCAVATION OF LAND

DMG NO	VER.

PLAN 1





盈卓物業
顧問有限公司

Our Ref.: DD106 Lots 1363 S.A & 1363 S.B RP
Your Ref.: TPB/A/YL-KTS/949

The Secretary
Town Planning Board
15/F, North Point Government office
333 Java Road
North Point, Hong Kong

By Email

20 April 2023

Dear Sir,

2nd Further Information

**Proposed Public Utility Installation (Solar Photovoltaic System)
and Filling of Land in "Agriculture" Zone, Lots 1363 S.A (Part) and
1363 S.B RP (Part) in D.D. 106, Tin Sam San Tsuen, Kam Tin, Yuen Long**

(S.16 Planning Application No. A/YL-KTS/949)

We are writing to submit further information to address departmental comments of the subject application (Appendix I).

Should you require more information regarding the application, please contact our
or the undersigned at your
convenience.

Yours faithfully,

For and on behalf of
R-riches Property Consultants Limited

A handwritten signature in black ink is written over a circular official stamp. The stamp contains the text 'RICHES PROPERTY CONSULTANTS LIMITED' around the perimeter and '盈卓物業顧問有限公司' in the center.

Louis TSE
Town Planner

Responses-to-Comments

**Proposed Public Utility Installation (Solar Photovoltaic System)
and Filling of Land in "Agriculture" Zone, Lots 1363 S.A (Part) and
1363 S.B RP (Part) in D.D. 106, Tin Sam San Tsuen, Kam Tin, Yuen Long**

(Application No. A/YL-KTS/949)

(i) A RtoC Table:

Departmental Comments		Applicant's Responses
1. Comments of Secretary for Environment and Ecology (SEE)		
(a)	It is noted that the combined height of each panel and stand would be 3.5m (i.e. not more than 3m above ground and 0.5m below ground). While AFCD had commented that the subject site can be used for agricultural activities such as open-field cultivation, greenhouses, plant nurseries, etc, the applicant shall further consider the possibility of the coexistence of the solar panel system and agricultural activities under the proposal so as to align with the planning intention of the "AGR" zone.	<p>Agrivoltaic farming will be adopted at the space under the system and uncovered planting area of the application site (the Site) to promote the cultivation of premium vegetables (Plan 1). Appropriate plant species, e.g. nitrogen-fixing plants and vegetable crops, are selected to help retain soil quality as well as to retain fallow arable land for agricultural purposes. Mulching will also be adopted for a protective layer of materials on top of the soil.</p> <p>As the proposed development coexists with the solar panel system and agricultural activities, it is considered in line with the planning intention of the "AGR" zone.</p>
2. Comments of Chief Town Planner, Urban Design and Landscape Section, Planning Department (Contact Person: Ms. Nicole LEE (Urban Design Unit); Tel: 3565 3945)		
(a)	According to the revised Assessment Criteria for Considering Application for Solar Photovoltaic System (SPV) made under Section 16 of the Town Planning Ordinance promulgated by the Town Planning Board on 7.10.2022, the SPV system, including the height of the proposed structures, should be in keeping with the surrounding areas/developments; and the applicant has to demonstrate that the SPV system will not have significant adverse visual impact which would	<p>Low reflective and advanced solar panels with anti-reflection coating would be adopted to reduce reflection. As the 3.5m height of each panel and stand (i.e., not more than 3m above ground and 0.5m below ground) is lower than the nearby residential development – Tin Sam San Tsuen (approximately 8.23m) (Plan 2), it is</p>

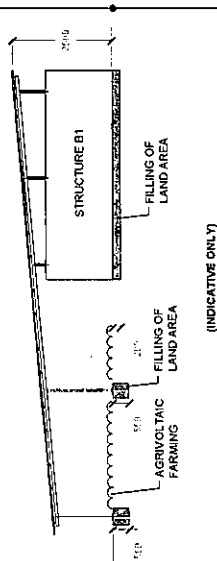
	catch the public's visual attention due to the scale and prominence of the proposed installation.	considered not incompatible with the surrounding area.
(b)	In the absence of any information on potential visual impact by the applicant, we are unable to determine whether the proposed solar energy system will not have significant adverse visual impact. The applicant is advised to submit information including section drawing to demonstrate how the proposed solar energy system and other proposed structures would not result in significant adverse visual impact to the surrounding area, as well as provide any mitigation measures as appropriate.	<p>To enhance visual and landscape quality, peripheral planting along the 4m high development fencing will be adopted along the site boundary (Plans 1 and 2).</p> <p>In view of the above mitigation measures, adverse impact on the surrounding areas should not be anticipated.</p>
3. Comments of Chief Town Planner, Urban Design and Landscape Section, Planning Department (Contact Person: Mr. Samuel HUI (Landscape Unit); Tel 3565 3957)		
(a)	Based on aerial photo of 2022, the site is situated in an area of rural inland plains landscape character comprising of farmlands, vacant lands, temporary structures, village houses and scattered tree groups. There is concern that the approval of the application may alter the landscape character of "AGR" zone and degrade the landscape quality of the surrounding environment.	The applicant will adopt agrivoltaic farming and peripheral planting at the Site. The farming activities are regarded as always permitted agricultural use, the proposed development would therefore not alter the landscape character of "AGR" zone and degrade the landscape quality of the surrounding environment.



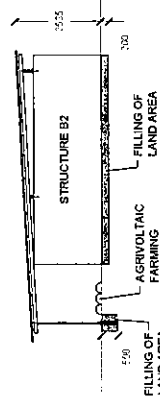
APPLICATION SITE AREA	: 3.075 m ²	(ABOUT)
-----------------------	------------------------	---------

FILLING OF LAND AREA	: 148.7 m ²	(ABOUT)
DEPTH OF LAND FILLING	: NOT MORE THAN 0.5 m	(ABOUT)
MATERIAL OF LAND FILLING	: CONCRETE	
PURPOSE OF LAND FILLING	: SITE FORMATION OF STRUCTURES, TO STABILISE THE METAL PLINTHS FOR SOLAR PANELS	

EXISTING SITE LEVEL	+10.7 mPD (ABOUT)
EXISTING GROUND SURFACE	. SOILED GROUND
PROPOSED SITE LEVEL	+10.7 mPD (ABOUT)
MATERIAL OF FILLING	CONCRETE (PARTIALLY)
DEPTH OF EXCAVATION/FILLING	NOT MORE THAN 0.5 m



EXISTING SITE LEVEL	+10.7 mPD (ABOUT)
EXISTING GROUND SURFACE	SOILED GROUND
PROPOSED SITE LEVEL	+10.7 mPD (ABOUT)
MATERIAL OF FILLING	CONCRETE (PARTIALLY)
DEPTH OF EXCAVATION/FILLING	: NOT MORE THAN 0.5 m



EXAMPLE OF NITROGEN-FIXING PLANTS SPECIES

- CROTALARIA JUNCCEA
- ARACHIS DURANENSIS


EXAMPLE OF VEGETABLE CROP SPECIES

- FLOWERING CHINESE CABBAGE
- CHINESE WHITE CABBAGE

EXAMPLE OF SELF CLIMBING SPECIES

- *FICUS PUMILA*
- *LONICERA JAPONICA*

LEGEND

 APPLICATION SITE
 DEVELOPMENT FENCING
 INGRESS / EGRESS

PLANNING CONSULTANT

PROJECT
PUBLIC UTILITY INSTALLATION
PHOTOVOLTAIC
(SOLAR
SYSTEM FOR THE FIT SCHEME)
AND ASSOCIATED FILLING OF
LAND

SIZE LOCATION

LOTS 1363 SA (PART) AND 1363
S.B RP (PART) IN D.D. 106, TIN
SAM SAN TSUEN, KAM TIN,
YUEN LONG, NEW TERRITORIES

SCALE
1 : 55M

DRAWN BY	DATE
MIN	14.03.2023
CHECKED BY	DATE
OL	19.04.2023
APPROVED BY	DATE

PROJECT TITLE	FILLING & EXCAVATION OF LAND	
PROJECT NO	VER	001
PLAN 1		

FILLING AND EXCAVATION OF LAND AREA OF THE APPLICATION SITE

APPLICATION SITE AREA	: 3.075 m ²	(ABOUT)
FILLING OF LAND AREA	: 148.7 m ²	(ABOUT)
DEPTH OF LAND FILLING	: NOT MORE THAN 0.5 m	(ABOUT)
MATERIAL OF LAND FILLING	: CONCRETE	
PURPOSE OF LAND FILLING	: SITE FORMATION OF STRUCTURES, TO STABILISE THE METAL PLINTHS FOR SOLAR PANELS	

APP
SITE

APP
SITE

EXISTING
NTEH
8.23(H)(ABOUT)

PROPOSED
DEVELOPMENT
FENCING
4m (ABOUT)
PERIPHERAL
PLANTING

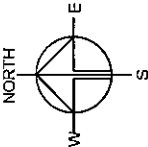
300mm
SETBACK

PROPOSED
4m (ABOUT)
FENCING

300mm
SETBACK

AGRIVOLTAIC
FARMING

FILLING OF
LAND AREA



PLANNING CONSULTANT

PROJECT
PUBLIC UTILITY INSTALLATION
(SOLAR PHOTOVOLTAIC
SYSTEM FOR THE FIT SCHEME)
AND ASSOCIATED FILLING OF
LAND

SITE LOCATION
LOTS 1363 SA (PART) AND 1363
SB RP (PART) IN D.D. 106, TIN
SAM SAN TSUEN, KAM TIN,
YUEN LONG, NEW TERRITORIES

SCALE 1: 550 @ A4	DATE 18.3.2023
DRAWN BY OL	CHECKED BY DATE
APPROVED BY DATE	
DWG. TITLE SECTION PLAN OF A-A	
DWG. NO. PLAN 2	VER. 001



顧問有限公司
盈卓物業

Our Ref.: DD106 Lots 1363 S.A & 1363 S.B RP
Your Ref.: TPB/A/YL-KTS/949

The Secretary
Town Planning Board
15/F, North Point Government office
333 Java Road
North Point, Hong Kong

By Email

14 July 2023

Dear Sir,

3rd Further Information

**Proposed Public Utility Installation (Solar Photovoltaic System)
and Filling of Land in "Agriculture" Zone, Lots 1363 S.A (Part) and
1363 S.B RP (Part) in D.D. 106, Tin Sam San Tsuen, Kam Tin, Yuen Long**

(S.16 Planning Application No. A/YL-KTS/949)

We are writing to submit further information to address departmental comments of the subject application (Appendix I).

Should you require more information regarding the application, please contact our
or the undersigned at your
convenience.

Yours faithfully,

For and on behalf of
R-riches Property Consultants Limited

A handwritten signature in black ink is written over a circular official stamp. The stamp contains the text 'RICHES PROPERTY CONSULTANTS LIMITED' around the perimeter and '盈卓物業顧問有限公司' in the center.

Louis TSE
Town Planner

Responses-to-Comments

**Proposed Public Utility Installation (Solar Photovoltaic System)
and Filling of Land in "Agriculture" Zone, Lots 1363 S.A (Part) and
1363 S.B RP (Part) in D.D. 106, Tin Sam San Tsuen, Kam Tin, Yuen Long**

(Application No. A/YL-KTS/949)

(i) A RtoC Table:

Departmental Comments		Applicant's Responses
1. Comments of Secretary for Environment and Ecology (SEE)		
(a)	The applicant mentioned that plant species, e.g. nitrogen-fixing plants and vegetable crops, will be grown under the solar panels. Please note that adequate light has to be provided for healthy plant growth. Furthermore, an estimate on the cultivation area and the quantity of crop production as well as possible marketing channels should be provided to demonstrate it is commercial agricultural production.	<p>Please note that solar panels are set up in clusters with spacing in between each panel to provide a mix of shading and sunlight for healthy plant growth within the application site (the Site) (Plan 1). Appropriate plant species (i.e. nitrogen-fixing plants and vegetable crops) are selected to help retain soil quality and prevent soil erosion at the Site during the operation of the proposed solar photovoltaic system.</p> <p>The crop production is free to give to the residents of Tin Sam San Tsuen and for the applicant's own use. No commercial activities for crop production will be carried out.</p>
(b)	Building the solar panel system in light of not more than 3 m above the ground is considered excessive. The applicant shall consider reducing the height of the system to not more than 1.5m above ground.	Please note that the combined height of each panel and stand is revised to 2m (i.e. not more than 1.5m above ground and 0.5m below ground) (Plan 2) .
2. Comments of Commissioner for Transport, Transport Department		
(a)	The applicant should provide the trip generation and attraction due to the development and assess the traffic impact to Kam Sheung Road and the local access.	Please be confirmed that no parking and loading/unloading (L/UL) space is proposed at the Site, hence, it is anticipated that there would be no additional trip generation or adverse

		impact on the existing traffic impact to Kam Sheung Road and the local access.
(b)	The applicant should demonstrate the smooth manoeuvring of vehicles to / from Kam Sheung Road, along the local access and within the site.	Since no parking or L/UL spaces will be provided on-site, no manoeuvring of vehicles is provided.

FILLING AND EXCAVATION OF LAND AREA OF THE APPLICATION SITE

APPLICATION SITE AREA	: 3,075 m ²	(ABOUT)
FILLING OF LAND AREA	: 148.7 m ²	(ABOUT)
DEPTH OF LAND FILLING	: NOT MORE THAN 0.5 m	(ABOUT)
MATERIAL OF LAND FILLING	: CONCRETE	
PURPOSE OF LAND FILLING	: SITE FORMATION OF STRUCTURES, TO STABILISE THE METAL PLINTHS FOR SOLAR PANELS	

APP
SITE

APP
SITE

EXISTING
NTEH
8.23(H)(ABOUT)

PROPOSED
DEVELOPMENT
FENCING
4m (ABOUT)
PERIPHERAL
PLANTING

300mm
SETBACK

NITROGEN-FIXING
PLANTS

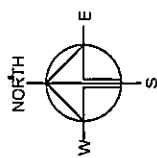
FILLING OF
LAND AREA

NITROGEN-FIXING
PLANTS

AGRIVOLTAIC
FARMING

300mm
SETBACK

PROPOSED
4m (ABOUT)
FENCING



PLANNING CONSULTANT

PROJECT

PUBLIC UTILITY INSTALLATION
(SOLAR PHOTOVOLTAIC
SYSTEM FOR THE FT SCHEME)
AND ASSOCIATED FILLING OF
LAND

SITE LOCATION

LOTS 1363 SA (PART) AND 1363
SB RP (PART) IN D.D. 106, TIN
SAM SAN TSUEN, KAM TIN,
YUEN LONG, NEW TERRORIES

SCALE

1: 550 @ A4

DRAWN BY

DATE

18.3.2023

CHECKED BY

DATE

APPROVED BY

DATE

DWG TITLE

SECTION PLAN OF A-A

DWG NO

PLAN 2

VER

001



盈卓物業
顧問有限公司

Our Ref.: DD106 Lots 1363 S.A & 1363 S.B RP
Your Ref.: TPB/A/YL-KTS/949

The Secretary
Town Planning Board
15/F, North Point Government office
333 Java Road
North Point, Hong Kong

By Email

23 August 2023

Dear Sir,

4th Further Information

**Proposed Public Utility Installation (Solar Photovoltaic System)
and Filling of Land in "Agriculture" Zone, Lots 1363 S.A (Part) and
1363 S.B RP (Part) in D.D. 106, Tin Sam San Tsuen, Kam Tin, Yuen Long**

(S.16 Planning Application No. A/YL-KTS/949)

We are writing to submit further information to address departmental comments of the subject application (**Appendix I**).

Should you require more information regarding the application, please contact our
or the undersigned at your
convenience. Thank you for your kind attention.

Yours faithfully,

For and on behalf of
R-riches Property Consultants Limited

A handwritten signature in black ink is placed over a circular official stamp. The stamp contains the text 'R-RICHES PROPERTY CONSULTANTS LIMITED' around the perimeter and '盈卓物業顧問有限公司' in the center.

Louis TSE
Town Planner

Responses-to-Comments

**Proposed Public Utility Installation (Solar Photovoltaic System)
and Filling of Land in "Agriculture" Zone, Lots 1363 S.A (Part) and
1363 S.B RP (Part) in D.D. 106, Tin Sam San Tsuen, Kam Tin, Yuen Long**

(Application No. A/YL-KTS/949)

(i) A RtoC Table:

Departmental Comments		Applicant's Responses
1. Comments of Director-General of Civil Aviation (DGCA)		
(a)	For the proposed installation of solar PV panels at Tin Sam San Tsuen, Kam Tin, the applicant should be informed that the reflection rate of solar panels with anti-reflective coating shall not exceed 5%.	Please be confirmed that the reflection rate of solar panels with anti-reflective coating will not exceed 5%.
(b)	As the proposed site is located in close proximity to the Shek Kong Aerodrome, additional considerations, including but not limited to the design, tilt angle and orientation of the panels, may be required to ensure that the panels will not form solar glare and affect aircraft departing and/or approaching the aerodrome. Operators of the aerodrome should also be consulted regarding the proposal.	<p>The combined height of each panel and stand is 2m (i.e. not more than 1.5m above ground and 0.5m below ground), which is significantly lower than the nearby village development (approximately 8.23m). Low-reflective and advanced solar panels with anti-reflection coatings would be adopted to reduce reflection.</p> <p>Therefore, the proposed development would not cause solar glare to pilots and/or unacceptable adverse impact on aviation. The applicant will consult the operators of the aerodrome after planning approval is granted by the Town Planning Board.</p>
(c)	In addition, all lights, including those installed during construction works, shall not be projected skyward and form a source of glare or in any way affect pilots in flight.	Noted.

Our Ref.: DD106 Lots 1363 S.A & 1363 S.B RP

Your Ref.: TPB/A/YL-KTS/949

The Secretary
 Town Planning Board
 15/F, North Point Government office
 333 Java Road
 North Point, Hong Kong

By Email

31 August 2023

Dear Sir,

5th Further Information

**Proposed Public Utility Installation (Solar Photovoltaic System)
 and Filling of Land in "Agriculture" Zone, Lots 1363 S.A (Part) and
1363 S.B RP (Part) in D.D. 106, Tin Sam San Tsuen, Kam Tin, Yuen Long**

(S.16 Planning Application No. A/YL-KTS/949)

We are writing to submit further information to provide clarifications of the subject application, details are as follows:

- (i) The major development parameters of the solar photovoltaic system are summarized at **Table 1** as follow:

Table 1 - Major Development Parameters

Number of Solar Panels	Not more than 1,020
Estimated Max. Electricity Generated Per Panel Per Hour	380W
Annual Generation	434,350 kWh (equivalent to about 131 domestic households' annual consumption ¹)

- (ii) A set of submitted plans are provided at **Plans 1 to 3** and **Table 2** as follows:

Table 2 - Submitted Plans

Plans		Submission Date
(a)	Layout Plan (Plan 1)	1/2/2023
(b)	Plan showing the paved ratio of the Site (Plan 2)	14/7/2023
(c)	Section Plan (Plan 3)	14/7/2023

¹Average family electricity is about 3,300 kWh per year according to the Legislative Council Paper No. FC44/19-20(01)(<http://www.legco.gov.hk/yr19-20/english/fc/fc/papers/fc20191129fc-44-1-e.pdf>)

Should you require more information regarding the application, please contact our
or the undersigned at your
convenience. Thank you for your kind attention.

Yours faithfully,

For and on behalf of
R-riches Property Consultants Limited

The image shows a handwritten signature in black ink, which appears to be 'Louis TSE', written over a circular corporate seal. The seal contains the company name 'R-riches PROPERTY CONSULTANTS LIMITED' in English and Chinese, along with the year '1997' and a star.

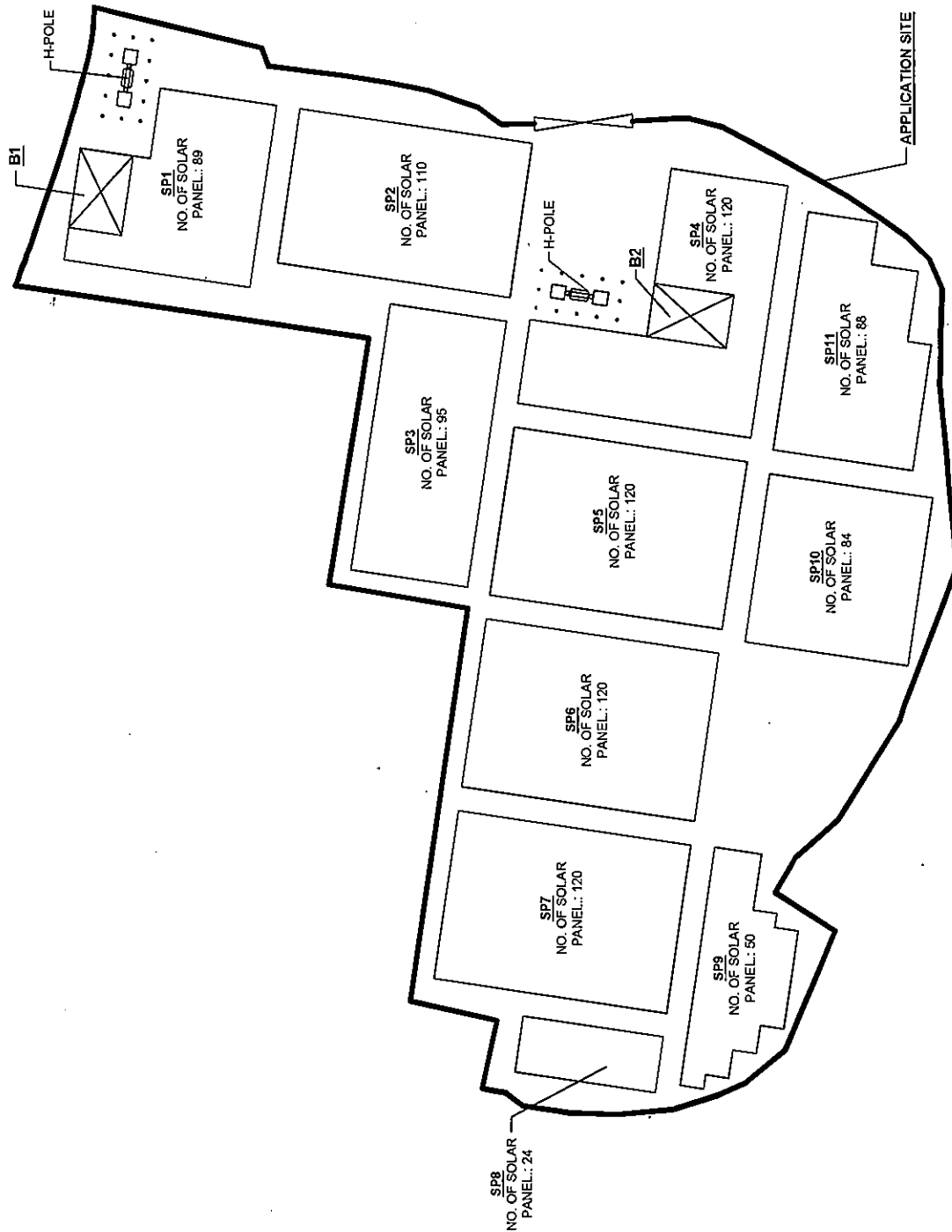
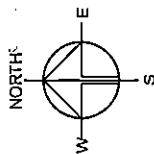
Louis TSE
Town Planner

DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	: 3,075 m ² (ABOUT)
NO. OF STRUCTURE	: 2
DOMESTIC GFA	: NOT APPLICABLE
NON-DOMESTIC GFA	: 48 m ² (ABOUT)
TOTAL GFA	: 48 m ² (ABOUT)
BUILDING HEIGHT	: 2 m (ABOUT)
NO. OF STOREY	: 1

STRUCTURE USE

STRUCTURE	USE	COVERED AREA	GFA	BUILDING HEIGHT
B1	METER ROOM AND STORE ROOM	24 m ² (ABOUT)	24m ² (ABOUT)	2 m (ABOUT)(1-STOREY)
B2	METER ROOM AND STORE ROOM	24 m ² (ABOUT)	24m ² (ABOUT)	2 m (ABOUT)(1-STOREY)
TOTAL		48 m ² (ABOUT)	48 m ² (ABOUT)	



LEGEND

☐ APPLICATION SITE
☐ STRUCTURE
☐ INGRESS / EGRESS

PLANNING CONSULTANT

R-Riches
Property Consultants Ltd.

PROJECT

PUBLIC UTILITY INSTALLATION (SOLAR PHOTOVOLTAIC SYSTEM FOR THE FIT SCHEME) AND ASSOCIATED FILLING OF LAND

SITE LOCATION

LOTS 1363 SA (PART) AND 1363 SB RP (PART) IN D.D. 106, TIN SAM SAN, TSUEN KAM TIN, YUEN LONG, NEW TERRORIES

SCALE

1: 600 @ A4

DATE

16.11.2022

DATE

29.12.2022

DATE

DATE

DWG. TITLE

LAYOUT PLAN

DWG. NO.

PLAN 1

VER.

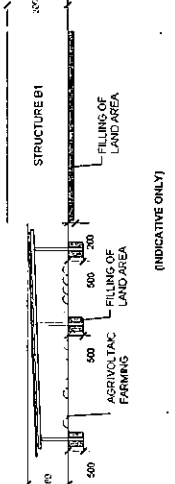
001

FILLING AND EXCAVATION OF LAND AREA OF THE APPLICATION SITE

APPLICATION SITE AREA	: 3,075 m ²	(ABOUT)
FILLING OF LAND AREA	: 148.7 m ²	(ABOUT)
DEPTH OF LAND FILLING	: NOT MORE THAN 0.5 m	(ABOUT)
MATERIAL OF LAND FILLING	: CONCRETE	
PURPOSE OF LAND FILLING	: SITE FORMATION OF STRUCTURES TO STABILISE THE METAL PLINTHS FOR SOLAR PANELS	

SITE FORMATION OF STRUCTURE B1

EXISTING SITE LEVEL	: +10.7 mPD (ABOUT)
EXISTING GROUND SURFACE	: SOILED GROUND
PROPOSED SITE LEVEL	: +10.7 mPD (ABOUT)
MATERIAL OF FILLING	: CONCRETE (PARTIALLY)
DEPTH OF EXCAVATION/FILLING	: NOT MORE THAN 0.5 m

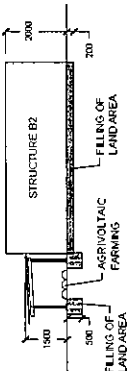


(INDICATIVE ONLY)

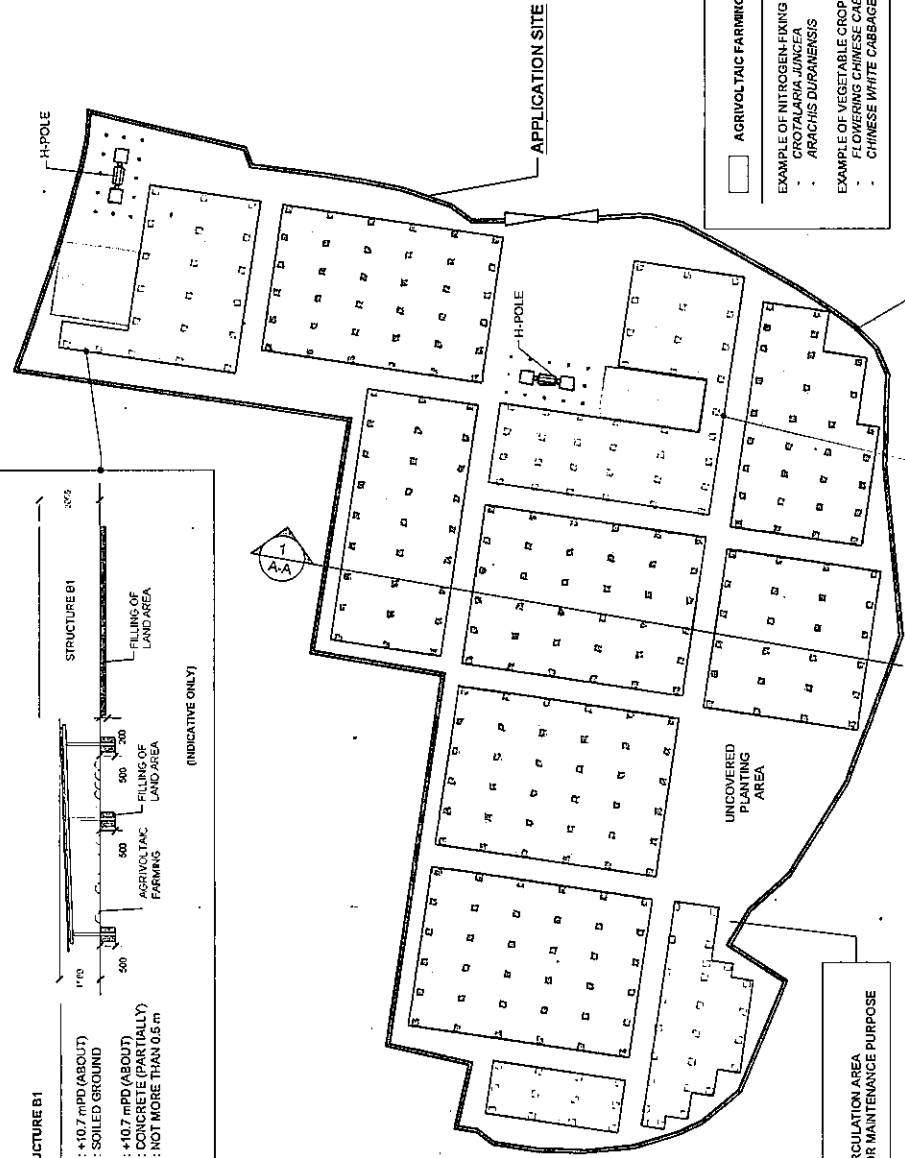
SOILED GROUND - CIRCULATION AREA FOR MAINTENANCE PURPOSE

SITE FORMATION OF STRUCTURE B2

EXISTING SITE LEVEL	: +10.7 mPD (ABOUT)
EXISTING GROUND SURFACE	: SOILED GROUND
PROPOSED SITE LEVEL	: +10.7 mPD (ABOUT)
MATERIAL OF FILLING	: CONCRETE (PARTIALLY)
DEPTH OF EXCAVATION/FILLING	: NOT MORE THAN 0.5 m



(INDICATIVE ONLY)



APPLICATION SITE

H-POLE

H-POLE

AGRICULTURAL FARMING AREA

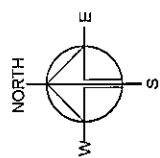
- EXAMPLE OF NITROGEN-FIXING PLANTS SPECIES
 - CROTALARIA JUNCIEA
 - ARACHIS DURANENSIS
- EXAMPLE OF VEGETABLE CROP SPECIES
 - FLOWERING CHINESE CABBAGE
 - CHINESE WHITE CABBAGE

PERIPHERAL PLANTING AREA

- EXAMPLE OF SELF CLIMBING SPECIES
 - FICUS PUMILA
 - LONICERA JAPONICA

LEGEND

- APPLICATION SITE
- INGRESS / EGRESS



PROJECT
PUBLIC UTILITY INSTALLATION
(SOLAR PHOTOVOLTAIC
SYSTEM FOR THE FIT SCHEME)
AND ASSOCIATED FILLING OF
LAND

SITE LOCATION
LOTS 1363 SA (PART) AND 1363
SB RP (PART) IN D.D. 106, TIN
SAM SAN TSUEN, KAM TIN,
YUEN LONG, NEW TERRITORIES

SCALE	1:500 @ A4
DRAWN BY	MM
DATE	16.11.2022
CHECKED BY	MM
DATE	29.5.2023
APPROVED BY	
DATE	

OWN TITLE	
FILLING & EXCAVATION OF LAND	
DRAWN NO.	PLAN 2
VER.	003

FILLING AND EXCAVATION OF LAND AREA OF THE APPLICATION SITE

- APPLICATION SITE AREA : 3,075 m² (ABOUT)
- FILLING OF LAND AREA : 148.7 m² (ABOUT)
- DEPTH OF LAND FILLING : NOT MORE THAN 0.5 m (ABOUT)
- MATERIAL OF LAND FILLING : CONCRETE
- PURPOSE OF LAND FILLING : SITE FORMATION OF STRUCTURES, TO STABILISE THE METAL PLINTHS FOR SOLAR PANELS

APP SITE

APP SITE

EXISTING NTEH 8.23(H)(ABOUT)

PROPOSED DEVELOPMENT FENCING 4m (ABOUT) PERIPHERAL PLANTING

300mm SETBACK

NITROGEN-FIXING PLANTS

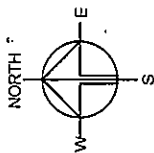
FILLING OF LAND AREA

NITROGEN-FIXING PLANTS

AGRIVOLTAIC FARMING

300mm SETBACK

PROPOSED 4m (ABOUT) FENCING



PLANNING CONSULTANT

PROJECT

PUBLIC UTILITY INSTALLATION (SOLAR PHOTOVOLTAIC SYSTEM FOR THE FT SCHEME) AND / ASSOCIATED FILLING OF LAND

SITE LOCATION

LOTS 1353 S.A (PART) AND 1363 S.B RP (PART) IN D.D. 106, TIN SAM, SAN TSUEN, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE

1 : 550 @ A4

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DATE

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DATE

CHECKED BY

DATE

APPROVED BY

DATE

DWG TITLE

SECTION PLAN OF A-A

DWG NO

PLAN 3

VER

001

**Assessment Criteria for Considering Applications for Solar Photovoltaic System
made under Section 16 of the Town Planning Ordinance**

Feed-in Tariff and Solar Photovoltaic System

1. Development of renewable energy (RE) is an important part of the Government's efforts in combating climate change. Increasing the use of RE, a zero-carbon energy, can help decarbonize the electricity generation sector, which contributes to about two-thirds of the carbon emissions in Hong Kong. The policy is for the Government to take the lead in developing RE where technically and financially feasible and to create conditions that are conducive to community participation. Against this background, Feed-in Tariff (FiT) was introduced under the post-2018 Scheme of Control Agreements (SCAs) between the Government and the two power companies, i.e. The Hongkong Electric Company, Limited (HKE) and CLP Power Hong Kong Limited (CLP) to provide incentives for individuals and non-Government bodies to invest in RE, including solar photovoltaic (SPV) system. Under the SCAs, FiT is offered for electricity generated by the RE systems throughout the project life of the RE systems¹ or until 31 December 2033, whichever is the earlier.
2. A SPV system includes SPV panels, inverter(s), energy meters, distribution board(s), cables and other components as necessary to form a complete grid connected SPV installation. The two key components are SPV panels and inverter(s). SPV panels convert sunlight into electricity. The inverter(s) convert the output direct current (DC) of the solar panels into alternating current (AC). A typical SPV system is shown in **Figure 1**.

Statutory Planning Provision for Solar Photovoltaic System

3. In general, SPV systems are commonly found on (i) rooftop of buildings (including New Territories Exempted House (NTEH)); and (ii) vacant land.
4. If installation of SPV system is incidental to, directly related and ancillary to and commensurate in scale with a permitted use/development within the same zone or at the rooftop of buildings, it is regarded as an ancillary use for supplementing power supply to the use/development, household or building². No planning permission for the system is required.
5. Installation of SPV system as a stand-alone facility on vacant land for the FiT Scheme would be regarded as 'Public Utility Installation' ('PUI'), which is always permitted in "Commercial", "Government, Institution or Community", "Industrial", "Industrial (Group D)", "Open Storage", "Other Specified Uses" ("OU") annotated "Business" and "OU" annotated "Industrial Estate" zones. Planning application is required for stand-alone SPV system for FiT Scheme in areas where 'PUI' is a Column 2 use under the statutory plan concerned. Any such planning permission granted would be for 'Public Utility Installation (Solar Photovoltaic System for the FiT Scheme)'. Only temporary approval would be considered where there may be potential impact generated by the proposed SPV system

¹ The lifespan of a SPV system is about 20 to 25 years.

² Installation of SPV system for generating electricity for a permitted use, such as that for a farm, green house/farm structures in the "Agriculture" zone mainly for generating electricity for agricultural purposes, or that installed in connection with NTEH in "Village Type Development" zone, are also regarded as an ancillary use.

which needs to be closely monitored or that the long term planning intention of the zone may be frustrated by the proposed use.

Assessment Criteria for Planning Applications

6. The following criteria should be taken into account in assessing planning applications for SPV system made under section 16 of the Town Planning Ordinance:
 - a) it is a prerequisite for the applicant to obtain the 'Consent Letter' or 'Acknowledgement Letter'/'Network Reinforcement Condition Letter' (or similar confirmation letter) from HKE and CLP respectively and submit a copy of the document together with the application to demonstrate the preliminary technical feasibility of the scheme in terms of serviceability, electrical safety and output generated by the SPV system;
 - b) unless with strong justifications, the SPV system, including the height of the proposed structures, should be in keeping with the surrounding area/developments and commensurate with the function(s) it performs;
 - c) for optimisation of use of land, favourable consideration may be given if viability of co-existence of the proposed SPV system and uses that are in line with the long-term planning intention of the land use zoning of the application site could be satisfactorily demonstrated;
 - d) it has to be demonstrated to the satisfaction of the relevant government departments that the SPV system will not have significant adverse impacts, including but not limited to those relating to the environment, drainage, sewerage, traffic, geotechnical safety, landscape and visual³ and, where needed, appropriate measures are to be adopted to mitigate the impacts;
 - e) unless with strong justifications⁴, proposals involving extensive site formation, vegetation clearance/tree felling, excavation or filling of land/pond or causing adverse impacts to wetland are generally not supported;
 - f) planning applications with proposed felling of existing Old and Valuable Trees (OVTs), potentially registrable OVTs, and trees of rare or protected species should not be supported. If tree removal is unavoidable, subject to the advice of relevant government departments, compensatory tree planting and/or landscape treatments should be provided within the application site as appropriate;

³ The applicant has to demonstrate that the proposal would not affect the visual and landscape amenities/character of the area adversely by, for instance, causing a significant change of landscape resources/character, dwarfing the surrounding developments or catching the public's visual attention due to the scale and prominence of the proposed installation. Where appropriate, measures should be taken to mitigate the visual/landscape impact, for example, by peripheral screen planting.

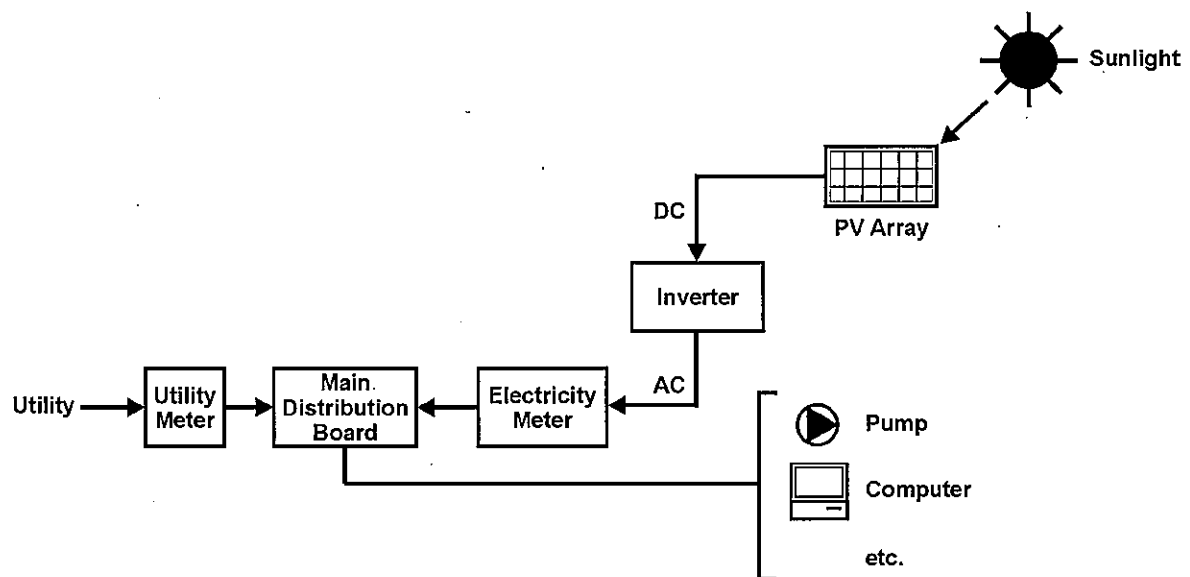
⁴ Ground-mounted SPV system is usually on steel frame or concrete plinth. It should normally not involve extensive site formation, excavation or filling of land.

- g) for SPV system falling within water gathering grounds, information should be provided to the satisfaction of the relevant government departments that the system, including its installation, maintenance and operation, will not contaminate the water supply. The SPV system should not cause material increase in pollution effect and affect yield collection within water gathering grounds;
- h) where the installation is proposed to be in area close to airports and/or heliports⁵, or major roads, it has to be demonstrated to the satisfaction of the relevant government departments that the SPV system should not cause glare to pilots/drivers and/or unacceptable adverse impact on aviation and/or traffic safety;
- i) the planning intention of “Agriculture” (“AGR”) zone is to retain and safeguard good quality agricultural farm land/fish ponds for agricultural purposes. SPV system ancillary to agricultural use would not require planning permission (as explained in Footnote 2 under Paragraph 4). Planning application for stand-alone SPV system as ‘PUI’ use in the “AGR” zone is generally not supported except those on land with no active farming activities and low agricultural rehabilitation potential. For application on fish ponds in the “AGR” zone, the applicant has to demonstrate that the SPV system will not hinder the use of the site for fisheries purposes;
- j) notwithstanding a general presumption against development in the “Green Belt” (“GB”) zone, planning permission for SPV system within the “GB” zone may be granted if after taking into consideration the conditions of the application site, among others, the SPV system would not adversely affect the landscape character/resources of the “GB” zone and jeopardise the integrity of the zone as a buffer and is in compliance with other assessment criteria particularly criterion (e);
- k) due to the sensitive nature of the conservation zones, such as the “Conservation Area”, “Coastal Protection Area” and “Site of Specific Scientific Interest” zones, planning application for SPV system within such zones is normally not supported to avoid any possible irreversible damages caused to the ecology or environment of the area within the zone;
- l) all other statutory or non-statutory requirements of the relevant government departments must be met. Depending on the specific land use zoning of the application site, the relevant Town Planning Board guidelines should be observed, as appropriate; and
- m) approval conditions to address the technical issues, if any, within a specified time and clauses to revoke the permission for non-compliance with approval conditions may be imposed as appropriate.

(Revised on 7 October 2022)

⁵ For installation of SPV system in area close to airports and/or heliports, the reflection rate of the SPV system with anti-reflection coating shall not exceed 5%.

Figure 1



Extracted from EMSD website HK RE Net:

https://re.emsd.gov.hk/english/solar/solar_ph/PV_Systems.html

Typical Solar Photovoltaic System

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review

參考編號

Reference Number:

230227-125734-74208

提交限期

Deadline for submission:

07/03/2023

提交日期及時間

Date and time of submission:

27/02/2023 12:57:34

有關的規劃申請編號

The application no. to which the comment relates:

A/YL-KTS/949

「提意見人」姓名/名稱

Name of person making this comment:

The Hong Kong Aviation Club Ltd.

意見詳情

Details of the Comment :

Town Planning Board (Email Address: tpbpd@pland.gov.hk)
[Address]

Re: Application A/YL-KTS/949 Kam Tin South, Yuen Long

Dear Town Planning Board Members:

We are writing to object to the application to install up to 1,020 solar panels on land currently zoned for Agricultural use at this location.

The application site (the "Site") is located adjacent to Shek Kong Airfield, which is used by the Hong Kong Aviation Club, Government Flying Services, and Heliservices (HK) Ltd, among others, for flying and flight training operations. Importantly, the Site is located directly under the downwind flight path used by aircraft approaching Runway 11 at Shek Kong Airfield. The applicant's proposed use of the Site to install a large array of solar panels would adversely affect the safety of flight operations in the surrounding area.

The applicant has not considered the safety implications of installing photovoltaic panels under such a widely used flight route. Safety of both aircraft personnel and the general public must be a top priority with respect to the existing flying activities around the Kam Tin, Pat Heung, and Shek Kong areas, and any modification to the existing land use of the Site must be carefully considered in light of the close proximity to such flying activities.

The photovoltaic ("PV") glare generated by solar panel installations under, or in close proximity to, aircraft flight paths can impair the ability of pilots to navigate and read flight instruments. Reflection from solar PV arrays is a significant concern for aviation stakeholders. As the installation of PV systems has become increasingly popular, jurisdictional authorities and other stakeholder groups are increasingly scrutinizing the potential impacts of PV arrays. Legislation in countries such as Canada and Australia treat glare from surrounding surfaces as a nuisance, much like noise.

Organizations such as the Federal Aviation Administration in the US have issued policies aimed at ensuring that solar projects in close proximity to airports do not create glare that poses safety hazards for pilots and air traffic controllers. Project developers are required to demonstrate that

proposed solar panel installations pose no potential for glint and glare before the projects are undertaken in proximity to airports.

Hazardous PV glare can affect pilots in the following ways:

- **Pilot Distraction:** One of the most common sources of safety concerns is the reflection of sunlight off the solar panels. Glare affects a pilot's ability to see clearly, and solar panels can produce blindingly intense light reflections. Glare distractions can be hazardous, particularly if the effects are felt during the crucial stages of flight, such as takeoff and landing.

Sunlight falls on solar photovoltaic panels which in turn lead to the production of electricity through the photoelectric effect. Since PV panels have a front surface made from glass material, the reflected sunlight has the potential to cause glare impact on nearby systems [21]. Solar reflection may cause glint (a quick reflection) or glare (a longer reflection) to those observers that are on the viewing angle. Glare/glint may impair the visibility of observers and cause annoyance, discomfort, or loss in visual performance. If solar insolation around 7 W/m

2

enters

the eye of the observer, it can cause after image that lasts from 4 to 12 s.

This represents 1–2% of typical solar irradiance (800–1000 W/m

2

).

The impact of glare can be broadly classified as permanent eye damage, the potential for after-image, low potential for after image. Since comfort is a matter of human feeling, visual performance cannot be estimated easily and requires the use of complex prediction algorithms. Typical blink response time for the observer is assumed. For scenarios where the glint or glare causes sufficiently high irradiances, permanent eye damage (retinal burn) can occur. It must be noted that retinal burn does not happen from PV glare as the reflected light is not focused. The yellow area in the glare hazard plot denotes sufficiently high retinal irradiance and can cause temporary flash blindness [22]. Temporary flash blindness is developed as a result of bleaching of visual pigments in the retina.

- **Permanent Eye Damage:** Solar reflection can cause glint (a quick reflection) or glare (a longer reflection). Glint/glare may impair visibility of pilots and cause annoyance, discomfort, loss of visual performance, "after images" that last from 4 to 12 seconds, temporary flash blindness, and even permanent eye damage (retinal burn). Temporary flash blindness can develop as a result of bleaching of visual pigments in the retina based on the degree of glare impact from solar panels.

- **Equipment interference:** PV glare can also interfere with radar and other equipment due to either the physical structure of the solar panels or radio interference between the electronic equipment, which means that the performance of radar in detecting aircraft in the airspace can be compromised. Interference can extend to up to 18 km from the radar site.

For the reasons set forth above, we ask Town Planning Board to reject this application, as maintaining public safety must be a top priority for the existing flying activities in and around the Kam Tin, Pat Heung and Shek Kong areas.

Sincerely,

Carrie Lau
General Manager
The Hong Kong Aviation Club Limited

| 附加

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review**參考編號****Reference Number:**

230227-171145-20127

提交限期**Deadline for submission:**

07/03/2023

提交日期及時間**Date and time of submission:**

27/02/2023 17:11:45

有關的規劃申請編號**The application no. to which the comment relates:**

A/YL-KTS/949

「提意見人」姓名/名稱**Name of person making this comment:**

The Hong Kong Aviation Club Ltd.

意見詳情**Details of the Comment :**

Town Planning Board (Email Address: tpbpd@pland.gov.hk)
[Address]

Re: Application A/YL-KTS/949 Kam Tin South, Yuen Long

Dear Town Planning Board Members:

We are writing to object to the application to install up to 1,020 solar panels on land currently zoned for Agricultural use at this location.

The application site (the "Site") is located adjacent to Shek Kong Airfield, which is used by the Hong Kong Aviation Club, Government Flying Services, and Heliservices (HK) Ltd, among others, for flying and flight training operations. Importantly, the Site is located directly under the downwind flight path used by aircraft approaching Runway 11 at Shek Kong Airfield. The applicant's proposed use of the Site to install a large array of solar panels would adversely affect the safety of flight operations in the surrounding area.

The applicant has not considered the safety implications of installing photovoltaic panels under such a widely used flight route. Safety of both aircraft personnel and the general public must be a top priority with respect to the existing flying activities around the Kam Tin, Pat Heung, and Shek Kong areas, and any modification to the existing land use of the Site must be carefully considered in light of the close proximity to such flying activities.

The photovoltaic ("PV") glare generated by solar panel installations under, or in close proximity to, aircraft flight paths can impair the ability of pilots to navigate and read flight instruments. Reflection from solar PV arrays is a significant concern for aviation stakeholders. As the installation of PV systems has become increasingly popular, jurisdictional authorities and other stakeholder groups are increasingly scrutinizing the potential impacts of PV arrays. *Legislation in countries such as Canada and Australia treat glare from surrounding surfaces as a nuisance, much like noise.

Organizations such as the Federal Aviation Administration in the US have issued policies aimed at ensuring that solar projects in close proximity to airports do not create glare that poses safety

hazards for pilots and air traffic controllers. **Project developers are required to demonstrate that proposed solar panel installations pose no potential for glint and glare before the projects are undertaken in proximity to airports.

Hazardous PV glare can affect pilots in the following ways:

- **Pilot Distraction:** One of the most common sources of safety concerns is the reflection of sunlight off the solar panels. Glare affects a pilot's ability to see clearly, and solar panels can produce blindingly intense light reflections. Glare distractions can be hazardous, particularly if the effects are felt during the crucial stages of flight, such as takeoff and landing.
- **Permanent Eye Damage:** Solar reflection can cause glint (a quick reflection) or glare (a longer reflection). Glint/glare may impair visibility of pilots and cause annoyance, discomfort, loss of visual performance, "after images" that last from 4 to 12 seconds, temporary flash blindness, and even permanent eye damage (retinal burn). Temporary flash blindness can develop as a result of bleaching of visual pigments in the retina based on the degree of glare impact from solar panels.
- **Equipment interference:** PV glare can also interfere with radar and other equipment due to either the physical structure of the solar panels or radio interference between the electronic equipment, which means that the performance of radar in detecting aircraft in the airspace can be compromised. Interference can extend to up to 18 km from the radar site.

For the reasons set forth above, we ask Town Planning Board to reject this application, as maintaining public safety must be a top priority for the existing flying activities in and around the Kam Tin, Pat Heung and Shek Kong areas.

* Analysis of Solar PV Glare in Airport Environment: Potential Solutions, Results in Engineering 5 (2020), available at:
https://www.researchgate.net/publication/337752251_Analysis_of_Solar_PV_Glare_in_airport_environment_potential_solutions

** FAA Issues Policy on Solar Projects on Airports, May 26, 2021, available at: <https://www.faa.gov/newsroom/faa-issues-policy-solar-projects-airports>

Sincerely,

Carrie Lau
General Manager
The Hong Kong Aviation Club Limited

2

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review

參考編號

Reference Number:

230303-113230-38140

提交限期

Deadline for submission:

07/03/2023

提交日期及時間

Date and time of submission:

03/03/2023 11:32:30

有關的規劃申請編號

The application no. to which the comment relates:

A/YL-KTS/949

「提意見人」姓名/名稱

Name of person making this comment:

先生 Mr. John moore

意見詳情

Details of the Comment :

I object to the proposed installation of up to 1,020 solar panels on land currently zone for Agricultural use at this location. The site is adjacent to the Shek Kong Airfield, which is used by various organizations for flight operations. The site is located directly under the downwind flight path used by aircraft approaching Runway 11 at the airfield. The applicant's proposed use of the site to install a large array of solar panels will adversely affect the safety of flight operations in the surrounding area.

Solar panels generate glare and glint, which when installed near aircraft flight paths, can impair the ability of pilots to navigate and read flight instruments. PV glare affects pilots by creating hazardous distraction, particularly if the effects are felt during the crucial stages of takeoff and landing. Solar reflections can also impair visibility for pilots and cause annoyance, discomfort, loss of visual performance, "after images" that last from 4 to 12 seconds, temporary flash blindness and even permanent eye damage. Solar panel glare can also interfere with radar and other flight equipment due to either the physical structure of the solar panels or radio interference between the electronic equipment, which means that the performance of radar in detecting aircraft in the airspace can be compromised. Interference can extend up to 18 km from the radar side.

For the safety reasons set forth above, I ask Town Planning Board to reject this application.

3

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review**參考編號****Reference Number:**

230303-171502-15724

提交限期**Deadline for submission:**

07/03/2023

提交日期及時間**Date and time of submission:**

03/03/2023 17:15:02

有關的規劃申請編號**The application no. to which the comment relates:**

A/YL-KTS/949

「提意見人」姓名/名稱**Name of person making this comment:**女士 Ms. Genevieve James
Moore**意見詳情****Details of the Comment :**

I object to the proposed application to install a solar panel array on Agricultural land in Kam Ti m. The proposed land use is incompatible with Agricultural zoning.

Moreover, the site is located directly beneath the flight path used by pilots and aircraft taking off and landing at Shek Kong Airfield. This airfield is used by the Hong Kong Aviation Club and Government Flying Services, among other organizations, and the safety of flight operations at this location is of paramount importance.

The flight path should be clear of hazardous obstructions. Solar Panels pose danger to pilots, aircraft, and flight equipment.

Hazardous glare from solar panels can affect pilots in the following ways:

- Pilot Distraction: One of the most common sources of safety concerns is the reflection of sunlight off the solar panels. Glare affects a pilot's ability to see clearly, and solar panels can produce blindingly intense light reflections. Glare distractions can be hazardous, particularly if the effects are felt during the crucial stages of flight, such as takeoff and landing.
- Permanent Eye Damage: Solar reflection can cause glint (a quick reflection) or glare (a longer reflection). Glint/glare may impair visibility of pilots and cause annoyance, discomfort, loss of visual performance, "after images" that last from 4 to 12 seconds, temporary flash blindness, and even permanent eye damage (retinal burn). Temporary flash blindness can develop as a result of bleaching of visual pigments in the retina based on the degree of glare impact from solar panels.
- Equipment interference: PV glare can also interfere with radar and other equipment due to either the physical structure of the solar panels or radio interference between the electronic equipment, which means that the performance of radar in detecting aircraft in the airspace can be compromised. Interference can extend to up to 18 km from the radar site.

Accordingly, I ask Town Planning Board to reject this application.

4

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review**參考編號****Reference Number:**

230303-170104-13777

提交限期**Deadline for submission:**

07/03/2023

提交日期及時間**Date and time of submission:**

03/03/2023 17:01:04

有關的規劃申請編號**The application no. to which the comment relates:**

A/YL-KTS/949

「提意見人」姓名/名稱**Name of person making this comment:**

女士 Ms. Melanie Moore

意見詳情**Details of the Comment :**

I object to the application to install an extensive array of solar panels on Agricultural land in Kam Tin South. Solar panels are not an approved use of land under this zoning. Moreover, this site is directly beneath the flight path used by pilots and aircraft taking off and landing at Shek Kong Airfield. The proposed use for solar panels will adversely affect the safety of flight operations in the surrounding area.

The photovoltaic ("PV") glare generated by solar panel installations under, or in close proximity to, aircraft flight paths can impair the ability of pilots to navigate and read flight instruments. Reflection from solar PV arrays is a significant concern for aviation stakeholders. As the installation of PV systems has become increasingly popular, jurisdictional authorities and other stakeholder groups are increasingly scrutinizing the potential impacts of PV arrays. Legislation in countries such as Canada and Australia treat glare from surrounding surfaces as a nuisance, much like noise.

Organizations such as the Federal Aviation Administration in the US have issued policies aimed at ensuring that solar projects in close proximity to airports do not create glare that poses safety hazards for pilots and air traffic controllers. Project developers are required to demonstrate that proposed solar panel installations pose no potential for glint and glare before the projects are undertaken in proximity to airports.

Please reject this application as maintaining public safety must be a top priority for the existing flying activities in and around the Kam Tin, Pak Heung and Shek Kong areas.

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review**參考編號****Reference Number:**

230303-170516-02418

提交限期**Deadline for submission:**

07/03/2023

提交日期及時間**Date and time of submission:**

03/03/2023 17:05:16

有關的規劃申請編號**The application no. to which the comment relates:**

A/YL-KTS/949

「提意見人」姓名/名稱**Name of person making this comment:**

女士 Ms. Wilhelmina Evelyn Moore

意見詳情**Details of the Comment :****I object to this application.**

The application site is located adjacent to Shek Kong Airfield, which is used by the Hong Kong Aviation Club, Government Flying Services, and Heliservices (HK) Ltd, among others, for flying and flight training operations. Importantly, the site is located directly under the downwind flight path used by aircraft approaching Runway 11 at Shek Kong Airfield. The applicant's proposed use of the Site to install a large array of solar panels would adversely affect the safety of flight operations in the surrounding area.

The applicant has not considered the safety implications of installing photovoltaic panels under such a widely used flight route. Safety of both aircraft personnel and the general public must be a top priority with respect to the existing flying activities around the Kam Tin, Pat Heung, and Shek Kong areas, and any modification to the existing land use of the Site must be carefully considered in light of the close proximity to such flying activities.

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KFBG's comments on one planning application

07/03/2023 16:23

From: EAP KFBG <eap@kfbg.org>
To: "tpbpd@pland.gov.hk". <tpbpd@pland.gov.hk>
File Ref:

1 attachment



230307 s16 KTS 949.pdf

Dear Sir/ Madam,

Attached please see our comments regarding one application. There is one pdf file attached to this email. If you cannot see/ download/ open this file, please notify us through email.

Thank You and Best Regards,

Ecological Advisory Programme
Kadoorie Farm and Botanic Garden

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嘉道理農場暨植物園公司
Kadoorie Farm & Botanic Garden Corporation

The Secretary,
Town Planning Board,
15/F, North Point Government Offices,
333, Java Road, North Point,
Hong Kong.
(Email: tpbpd@pland.gov.hk)

7th March 2023.

By email only

Dear Sir/ Madam,

Proposed Public Utility Installation (Solar Photovoltaic System) and filling of land
(A/YL-KTS/949)

1. We refer to the captioned.
2. We urge the Board to seriously consider the potential implication and cumulative impacts of approving this application as the approval would set a precedent for similar cases in the Agriculture (AGR) zone of concern.
3. Thank you for your attention.

Ecological Advisory Programme
Kadoorie Farm and Botanic Garden

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A/YL-KTS/949 DD 106 Tin Sam San Tsuen Solar Farm

06/03/2023 23:39

From:

To: tpbpd <tpbpd@pland.gov.hk>

File Ref:

A/YL-KTS/949

Lots 1363 S.A (Part) and 1363 S.B RP (Part) in D.D. 106, Tin Sam San Tsuen, Kam Tin, Yeung Long

Site area: About 3,075sq.m

Zoning : "Agriculture"

Applied development: Solar Farm – 1,020 Panels / **Filling of land**

Dear TPB Members,

There has been considerable maneuvering with this operation as 941 and 942 were withdrawn.

Strong Objections. The application is an excuse to fill in the land. It is clear that the village is gradually expanding outside the "V" zone into "AG".

Agriculture land is for growing food. I would remind both government officials and members of TPB that it is the duty of the Hong Kong SAR to follow the advice of the Central Government to preserve arable land for the cultivation of crops. Patriots would ensure that good land is fully utilized to provide food to ensure that China is self-sufficient.

Concerns about food supply have heightened in China this year amid reports of grain shortages and a call from President Xi Jinping to cut back on "shocking" food waste as concerns grow about crop shortages.

<https://www.scmp.com/economy/china-economy/article/3111623/china-food-security-hows-it-going-and-whys-it-important>

That our government departments, particularly EPD, are supporting the conversion of farmland to solar farms is certainly not compatible with the national interest and mandate.

The board has erred in its approval of commercial solar farms under the umbrella of the Feed in Tariff programme. It is ultra vires for CLP to collaborate with such

application under the FiT scheme.

It is quite clear from the Legco and other papers that the intention of scheme as per the presentation materials was to encourage the erection of solar panels on the roof tops of village house and other buildings. There was no mention of encouraging the development of solar farms and incursion onto sites intended for recreation, community facilities or the general enjoyment of the community or on arable farm land.

<https://www.legco.gov.hk/research-publications/english/1718in04-feed-in-tariff-for-solar-power-in-selected-places-20180117-e.pdf>

Programmes quoted from Australia, Japan and Korea all focus on rooftop installation.

<https://www.legco.gov.hk/yr18-19/english/panels/ea/papers/ea20181126cb1-189-4-e.pdf>

8. Under the FiT Scheme, distributed electricity generated by RE systems invested by the private sector and the community can be sold at a rate higher than the normal electricity tariff rate to the power companies.
9. Members opined that the Administration should introduce initiatives dedicated specifically to generating RE on a large scale locally, such as making use of restored landfills for developing solar plants, instead of relying on waste treatment initiatives (such as ORRCs) to increase the use of RE for power generation as a secondary goal.
10. The Administration advised that according to the experiences of other places, the contribution from distributed RE systems to the overall electricity demand was limited. Nevertheless, it was expected that implementation of the FiT Scheme would be conducive to the development of RE in Hong Kong by promoting public participation. The Administration would continue to explore further measures to facilitate installation of distributed RE systems in both new and existing buildings in collaboration with relevant professional bodies, such as the Hong Kong Green Building Council.
11. The Administration also advised that further support and facilitation would be provided to individuals and organizations participating in RE development, including suitably relaxing the restrictions on installation of PV systems on the rooftop of New Territories exempted houses ("NTEHs"). Moreover, the Administration would consider making appropriate relaxations for other private buildings, in particular the low-rise ones.
12. As regards incentive measures to attract non-business sectors to pursue the adoption of environmental protection installations to further promote green buildings, the Administration informed Members that it would introduce a new programme in 2019 to provide financial and technical support to assist schools (except government and profit-making schools) and non-governmental welfare organizations in installing small RE systems, such as conducting site visits and providing technical assessments, as well as installation and testing of the system.

<https://www.legco.gov.hk/yr18-19/english/panels/ea/papers/ea20181126cb1-189-4-e.pdf>

Support for the scheme was based on this principle. There has been no consultation with the public or Legco with regard to converting GIC, GB, OS, Recreation and Agriculture zoned sites to solar farms.

That EPD is supporting applications like this is both irresponsible and a failure on its part to protect our natural environment and ecosystems. TPB in approving these solar farms is setting precedents that could see large swathes of farm land covered in solar panels.

FIT is at best a cosmetic distraction whereby EPD pretends it is doing something to resolve our environmental issues while failing to follow through on the many initiatives that gone through years of consultation and obfuscation.

In addition the application appears intended to extend the Destroy to Build application 713 for Animal Boarding on adjoining lots. Approval was revoked last May.

Reminders:

Unless with strong justifications, proposals involving extensive site formation, vegetation clearance/tree felling, excavation or filling of land/pond are generally not supported.

Planning application for stand-alone SPV system as 'PUI' use in the "AGR" zone is generally not supported except those on land with no active farming activities and low agricultural rehabilitation potential.

Mary Mulvihill

Recommended Advisory Clauses

- (a) note the comments of the DLO/YL, LandsD that the Site comprises Old Schedule Agricultural Lots held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government. The lots owners will need to apply to his office to permit the structures to be erected or regularize any irregularities on site, if any. Besides, given the proposed use is temporary in nature, only application for regularization or erection of temporary structure(s) will be considered. Applications for any of the above will be considered by LandsD acting in the capacity as landlord or lessor at its sole discretion and there is no guarantee that such application will be approved. If such application(s) is approved, it will subject to such terms and conditions, including among others the payment of rent or fee, as may be imposed by the LandsD;
- (b) note the comments of the C for T that the Site is connected to the public road network via a section of a local access road which is not managed by Transport Department. The land status of the local access road should be checked with the LandsD. Moreover, the management and maintenance responsibilities of the local access road should be clarified with the relevant lands and maintenance authorities accordingly. Sufficient manoeuvring space shall be provided within the Site. No vehicle is allowed to queue back to or reverse onto / from public road at any time during the planning approval period;
- (c) note the comments of the CHE/NTW, HyD that:
 - (i) HyD shall not be responsible for the maintenance of any access connecting the Site and Kam Shui South Road; and
 - (ii) adequate drainage measures shall be provided to prevent surface water running from the Site to the nearby public roads and drains;
- (d) note the comments of the DEP that the applicant is reminded to strictly comply with relevant pollution control ordinances, including Waste Disposal Ordinance and Water Pollution Control Ordinance and to implement appropriate pollution control measures to minimise any potential environmental impacts during construction of the project. Reference could be made to relevant publications/guidelines including the followings:
 - Recommended Pollution Control Clauses for Construction Contracts; and
 - ProPECC PN 1/94, "Construction Site Drainage";
- (e) note the comments of the DAFC that the applicant should be reminded to adopt good practice to avoid impact to the watercourse nearby (**Plan A-2**);
- (f) note the comments of the CTP/UD&L, PlanD that approval of the application does not imply approval of tree works such as pruning, transplanting and felling under lease. The applicant is reminded to seek approval for any proposed tree works from relevant departments prior to commencement of the works;

- (g) note the comments of the CE/MN, DSD on the submitted drainage proposal as follows:
- (i) the existing stream beside the Site is not maintained by his office. Since there is no record of the said discharge path, site photos to demonstrate its presence and existing condition should be provided;
 - (ii) it is necessary to demonstrate with hydraulic calculation that the existing stream are adequate to collect convey and discharge the surface runoff accrued on the Site and the overland flow intercepted from the adjacent lands;
 - (iii) the drainage proposal should indicate how the runoff (the flow direction) within the Site would be discharged to the proposed u-channel;
 - (iv) cross sections showing the existing and proposed ground levels of the Site with respect to the adjacent areas should be given;
 - (v) where walls or hoarding are erected or laid along the site boundary, adequate opening should be provided to intercept the existing overland flow passing through the Site;
 - (vi) the proposed development should neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent areas, etc;
 - (vii) the applicant should consult DLO/YL, LandsD and seek consent from the relevant owners for any drainage works to be carried out outside his lot boundary before commencement of the drainage works; and
 - (viii) the applicant should submit form HBPI to his office for application of technical audit for any proposed connection to DSD's drainage facilities;
- (h) note the comments the DEMS that in the interests of public safety and ensuring the continuity of electricity supply, the parties concerned with planning, designing, organizing and supervising any activity near the underground cable or overhead line under the application should approach the electricity supplier (i.e. CLP Power) for the requisition of cable plans (and overhead line alignment drawings, where applicable) to find out whether there is any underground cable and/or overhead line within and/or in the vicinity of the Site. They should also be reminded to observe the Electricity Supply Lines (Protection) Regulation and the "Code of Practice on Working near Electricity Supply Lines" established under the Regulation when carrying out works in the vicinity of the electricity supply lines;
- (i) note the comments of the CBS/NTW, BD that:
- (i) the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;

- (ii) the Site does not abut on a specified street of not less than 4.5m wide, its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at building plan submission stage;
- (iii) before any new building works (including containers / open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on application site, prior approval and consent of the Building Authority should be obtained, otherwise they are unauthorized building works (UBW) under the Buildings Ordinance (BO). An Authorized Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO;
- (iv) the erection of supporting structure(s) for a solar PV system is building works subject to control under the BO. It may be carried out under the simplified requirements of the Minor Works (MW) Control System provided that the supporting structure is not higher than 1.5m (MW items 3.50 and 1.50). Otherwise, Buildings Department's prior approval of plans for such building works and consent for the commencement of such works are required;
- (v) for UBW erected on leased land, enforcement action may be taken by the BD to effect their removal in accordance with the BD's prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the application site under the BO; and
- (vi) detailed comments under the BO will be provided at building plan submission stage;
- (j) note the comments of the D of FS that in consideration of the design/nature of the proposal, fire service installations (FSIs) are anticipated to be required. Therefore, the applicant is advised to submit relevant layout plans incorporated with the proposed FSIs to his department for approval. The layout plans should be drawn to scale and depicted with dimensions and nature of occupancy. The location of where the proposed FSIs to be installed should be clearly marked on the layout plans. The applicant is reminded that if the proposed structure(s) is required to comply with the BO, detailed fire service requirements will be formulated upon receipt of formal submission of general building plans; and
- (k) note the comments of the DG of CA that as the Site is located in proximity to the Shek Kong Aerodrome, additional considerations, including but not limited to the design, tilt angle and orientation of the panels, may be required to ensure that the panels will not form solar glare and affect aircraft departing and/or approaching the aerodrome. In addition, all lights, including those installed during construction works, shall not be projected skyward and form a source of glare or in any way affect pilots in flight.

