

This document is received on 7 JUN 2023.
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-III
表格第 S16-III 號

**APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP.131)**

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of
Land and/or Building Not Exceeding 3 Years in Rural Areas or Renewal
of Permission for such Temporary Use or Development***

**適用於祇涉及位於鄉郊地區土地上及/或建築物內進行為期不超過三年的
臨時用途/發展或該等臨時用途/發展的許可續期的建議***

**Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.*

**其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展)及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。*

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.info.gov.hk/tpb/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.info.gov.hk/tpb/tc/plan_application/apply.html

General Note and Annotation for the Form

填寫表格的一般指引及註解

"Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2301477 30/5 by Courier

Form No. S16-III 表格第 S16-III 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A176-LPS/476
	Date Received 收到日期	- 7 JUN 2023

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會 (下稱「委員會」) 秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.info.gov.hk/tpb/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.info.gov.hk/tpb/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☒ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☐ Organisation 機構)

LAU Hung Ching

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

R-riches Property Consultants Limited 盈卓物業顧問有限公司

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lot 2159 S.A RP in D.D. 129, Lau Fau Shan, Yuen Long, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 656 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 420 sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有) NA sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Lau Fau Shan and Tsim Bei Tsui Outline Zoning Plan No.: S/YL-LFS/11
(e) Land use zone(s) involved 涉及的土地用途地帶	"Residential (Group E)" Zone
(f) Current use(s) 現時用途	Vacant (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 -

- ☐ is the sole "current land owner"[#] (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」[#] (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners"[#] (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」[#] (請夾附業權證明文件)。
- ☒ is not a "current land owner"[#].
並不是「現行土地擁有人」[#]。

- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)"[#].
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」[#]。

(b) The applicant 申請人 -

- ☐ has obtained consent(s) of "current land owner(s)"[#].
已取得 名「現行土地擁有人」[#]的同意。

Details of consent of "current land owner(s)" [#] obtained 取得「現行土地擁有人」 [#] 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified "current land owner(s)"[#]
已通知 名「現行土地擁有人」[#]。

Details of the "current land owner(s)" [#] notified 已獲通知「現行土地擁有人」的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☒ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on _____ (DD/MM/YYYY)^{#&}
於 _____ (日/月/年)向每一名「現行土地擁有人」[#]郵遞要求同意書[&]

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)在指定報章就申請刊登一次通知[&]
- ☒ posted notice in a prominent position on or near application site/premises on
19/05/2023 (DD/MM/YYYY)[&]
於 _____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知[&]
- ☒ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on 2/6/2023 (DD/MM/YYYY)[&]
於 _____ (日/月/年)把通知寄往相關的業主立案法團／業主委員會／互助委員會或管理處，或有關的鄉事委員會[&]

Others, 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別

(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas
位於鄉郊地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展
(For Renewal of Permission for Temporary Use or Development in Rural Areas, please proceed to Part (B))
(如屬位於鄉郊地區臨時用途/發展的規劃許可續期，請填寫(B)部分)

(a) Proposed use(s)/development 擬議用途/發展	Proposed Temporary Eating Place with Ancillary Facilities for a Period of 3 Years (Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)
--	---

(b) Effective period of permission applied for 申請的許可有效期	<input checked="" type="checkbox"/> year(s) 年 3 <input type="checkbox"/> month(s) 個月
--	---

(c) Development Schedule 發展細節表

Proposed uncovered land area 擬議露天土地面積	434	sq.m	<input checked="" type="checkbox"/> About 約
Proposed covered land area 擬議有上蓋土地面積	222	sq.m	<input checked="" type="checkbox"/> About 約
Proposed number of buildings/structures 擬議建築物/構築物數目	4		
Proposed domestic floor area 擬議住用樓面面積	N/A	sq.m	<input checked="" type="checkbox"/> About 約
Proposed non-domestic floor area 擬議非住用樓面面積	420	sq.m	<input checked="" type="checkbox"/> About 約
Proposed gross floor area 擬議總樓面面積	420	sq.m	<input checked="" type="checkbox"/> About 約

Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)

STRUCTURE	USE	COVERED AREA	GFA	BUILDING HEIGHT
B1	EATING PLACE	90m ² (ABOUT)	180m ² (ABOUT)	7.5m (ABOUT) (2-STOREY)
B2	EATING PLACE	108m ² (ABOUT)	216m ² (ABOUT)	7.5m (ABOUT) (2-STOREY)
B3	FS WATER TANK & CONTROL PANEL	15m ² (ABOUT)	15m ² (ABOUT)	3m (ABOUT) (1-STOREY)
B4	METER ROOM	9m ² (ABOUT)	9m ² (ABOUT)	3m (ABOUT) (1-STOREY)
TOTAL		222m ² (ABOUT)	420m ² (ABOUT)	

Proposed number of car parking spaces by types 不同種類停車位的擬議數目

Private Car Parking Spaces 私家車車位	4
Motorcycle Parking Spaces 電單車車位	
Light Goods Vehicle Parking Spaces 輕型貨車泊車位	
Medium Goods Vehicle Parking Spaces 中型貨車泊車位	
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	
Others (Please Specify) 其他 (請列明)	

Proposed number of loading/unloading spaces 上落客貨車位的擬議數目

Taxi Spaces 的士車位	
Coach Spaces 旅遊巴車位	
Light Goods Vehicle Spaces 輕型貨車車位	1
Medium Goods Vehicle Spaces 中型貨車車位	
Heavy Goods Vehicle Spaces 重型貨車車位	
Others (Please Specify) 其他 (請列明)	

Proposed operating hours 擬議營運時間

Monday to Sunday 10:00 - 23:00 including public holiday

(d) Any vehicular access to the site/subject building?
是否有車路通往地盤/
有關建築物?

Yes 是

☒ There is an existing access. (please indicate the street name, where appropriate)
有一條現有車路。(請註明車路名稱(如適用))

Accessible from Lau Fau Shan Road

☐ There is a proposed access. (please illustrate on plan and specify the width)
有一條擬議車路。(請在圖則顯示, 並註明車路的闊度)

No 否

(e) Impacts of Development Proposal 擬議發展計劃的影響

(If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話, 請另頁註明可盡量減少可能出現不良影響的措施; 否則請提供理據/理由。)

(i) Does the development proposal involve alteration of existing building?
擬議發展計劃是否包括現有建築物的改動?

Yes 是 ☐ Please provide details 請提供詳情No 否 ☒

(ii) Does the development proposal involve the operation on the right?
擬議發展是否涉及右列的工程?

Yes 是

☐ (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land)
(請用地盤平面圖顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍)

☐ Diversion of stream 河道改道☐ Filling of pond 填塘Area of filling 填塘面積 sq.m 平方米 ☐ About 約Depth of filling 填塘深度 m 米 ☐ About 約☐ Filling of land 填土Area of filling 填土面積 sq.m 平方米 ☐ About 約Depth of filling 填土厚度 m 米 ☐ About 約☐ Excavation of land 挖土Area of excavation 挖土面積 sq.m 平方米 ☐ About 約Depth of excavation 挖土深度 m 米 ☐ About 約No 否 ☒

(iii) Would the development proposal cause any adverse impacts?
擬議發展計劃會否造成不良影響?

On environment 對環境

Yes 會 ☐No 不會 ☒

On traffic 對交通

Yes 會 ☐No 不會 ☒

On water supply 對供水

Yes 會 ☐No 不會 ☒

On drainage 對排水

Yes 會 ☐No 不會 ☒

On slopes 對斜坡

Yes 會 ☐No 不會 ☒

Affected by slopes 受斜坡影響

Yes 會 ☐No 不會 ☒

Landscape Impact 構成景觀影響

Yes 會 ☐No 不會 ☒

Tree Felling 砍伐樹木

Yes 會 ☐No 不會 ☒

Visual Impact 構成視覺影響

Yes 會 ☐No 不會 ☒

Others (Please Specify) 其他 (請列明)

Yes 會 ☐No 不會 ☒

	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>
--	--

(B) Renewal of Permission for Temporary Use or Development in Rural Areas
 位於鄉郊地區臨時用途/發展的許可續期

(a) Application number to which the permission relates 與許可有關的申請編號	A/ _____ / _____
(b) Date of approval 獲批給許可的日期 (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期 (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	
(e) Approval conditions 附帶條件	<p><input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件</p> <p><input type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件</p> <p><input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件：</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>Reason(s) for non-compliance: 仍未履行的原因：</p> <p>.....</p> <p>.....</p> <p>(Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)</p>
(f) Renewal period sought 要求的續期期間	<p><input type="checkbox"/> year(s) 年</p> <p><input type="checkbox"/> month(s) 個月</p>

7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

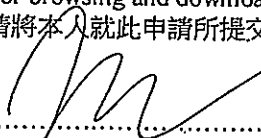
Please refer to supplementary statement.

8. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.
本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署



☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Michael WONG

Name in Block Letters
姓名（請以正楷填寫）

Position (if applicable)
職位（如適用）

Professional Qualification(s)
專業資格

☐ Member 會員 / ☐ Fellow of 資深會員

☐ HKIP 香港規劃師學會 /

☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 /

☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 /

☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他

on behalf of
代表

R-riches Property Consultants Limited



☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

29/5/2023

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
- (b) facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第1段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第486章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道333號北角政府合署15樓。

Gist of Application 申請摘要	
(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.) (請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)	
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置/地址	Lot 2159 S.A RP in D.D. 129, Lau Fau Shan, Yuen Long, New Territories
Site area 地盤面積	656 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 N/A sq. m 平方米 <input type="checkbox"/> About 約)
Plan 圖則	Approved Lau Fau Shan and Tsim Bei Tsui Outline Zoning Plan No. S/YL-LFS/11
Zoning 地帶	"Residential (Group E)" Zone
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas for a Period of 位於鄉郊地區的臨時用途/發展為期 <input checked="" type="checkbox"/> Year(s) 年 <u>3</u> <input type="checkbox"/> Month(s) 月 _____ <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas for a Period of 位於鄉郊地區臨時用途/發展的規劃許可續期為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____
Applied use/ development 申請用途/發展	Proposed Temporary Eating Place with Ancillary Facilities for a Period of 3 Years

(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	/ <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	/ <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	420 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.6 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of block 幢數	Domestic 住用	/	
	Non-domestic 非住用	4	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	/ m 米 <input type="checkbox"/> (Not more than 不多於)	
		/ Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)	
	Non-domestic 非住用	3 - 7.5 m 米 <input checked="" type="checkbox"/> (Not more than 不多於)	
		1 - 2 Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)	
(iv) Site coverage 上蓋面積	34 % <input checked="" type="checkbox"/> About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數		4
	Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明)		4 (PC).
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數		1
	Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明)		1 (LGV)

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	Chinese 中文	English 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Location plan, Zoning plan, Plan showing the land status of the application site,		
Plan Showing the paved ratio of the application site, Swept path analysis, Accepted drainage and FSI's Proposals		
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

Supplementary Statement

1) Background

- 1.1 The applicant seeks planning permission from the Town Planning Board (the Board) to use *Lot 2159 S.A RP in D.D. 129, Lau Fau Shan, Yuen Long, New Territories (the Site)* for 'Proposed Temporary Eating Place with Ancillary Facilities for a Period of 3 Years' (proposed development) (Plan 1).
- 1.2 The applicant proposed to operate a new eating place (restaurant) to serve the nearby villagers, workers and visitors to Lau Fau Shan area. The Site is located at the fringe of the "R(E)" zone and enjoys direct access from Lau Fau Shan Road, where most of the open storage and warehouse uses as well as residential development are located within walking distance. The proposed development would be able to alleviate the pressing demand for restaurants in the area.

2) Planning Context

- 2.1 The Site falls within an area zoned as "Residential (Group E)" ("R(E)") zone on the Approved Lau Fau Shan and Tsim Bei Tsui Outline Zoning Plan No. S/YL-LFS/11 (Plan 2). According to the Notes of the OZP, 'Eating Place' is a column 2 use within the "R(E)" zone, which requires permission from the Board. The Site is subject of a previously approved S.16 planning application (No. A/YL-LFS/407) for the same use submitted by the same applicant, which was approved by the Board on a temporary basis of 3 years in 2021. When compared with the previous application, all development parameters, i.e. site area, GFA, cover area, building height are the same for the current application. The applicant has made effort to comply with approval conditions of the previous application, details are shown at Table 1 below:

Table 1 – Details of Compliance with Approval Condition of the Previous Application

Approval Conditions of Application No. A/YL-LFS/407		Date of Compliance
(d)	The submission of a drainage proposal	15/3/2023
(e)	The implementation of the drainage proposal	Not complied with
(g)	The submission of the fire service installations (FSIs) proposal	24/6/2022
(h)	The implementation of FSIs proposal	Not complied with

- 2.2 Regarding approval condition (e) of the previous application, the applicant has complied with

condition (d) on 15/3/2023 and there is insufficient time to implement the accepted drainage proposal by the designated time period.

2.3 Regarding approval condition (h), the applicant had submitted Short Term Waiver (STW) application to the Lands Department (LandsD) for erection of structures at the Site on 3/11/2021. However, the applicant could not commence work for implementation of FSIs proposal prior LandsD's approval on STW application, therefore, the applicant failed to comply with this approval condition. In support of the application, the applicant submitted the accepted drainage and FSIs proposal of the previous application (No. A/YL-LFS/407) to support the current application (Appendices I and II).

2.4 Since the Site is surrounded by open storage, warehouse and residential uses, the layout and scale of the proposed development is considered not incompatible with the surrounding land uses and would benefit nearby residents and workers. In addition, as the proposed development is intended to support the daily lives of nearby locals, approval of the application on a temporary basis of 3 years would not jeopardize the long term planning intention of the "R(E)" zone.

3) Development Proposal

3.1 The Site occupies an area of 656 m² (about) of private land (Plan 3). Four structures are proposed at the Site for eating place, fire service water tank, control panel and meter room with total GFA of 420 m² (Plan 4). The operation hours of the proposed development are 10:00 to 23:00 daily, including public holidays. The estimated number of staff working at the Site is 8. The estimated number of visitors per day is 40. Details of development parameters are shown at Table 2 below:

Table 2 – Major Development Parameters

Application Site Area	656 m ² (about)
Covered Area	222 m ² (about)
Uncovered Area	434 m ² (about)
Plot Ratio	0.6 (about)
Site Coverage	34% (about)
Number of Structure	4
Total GFA	420 m ² (about)

Domestic GFA	Not applicable
Non-Domestic GFA	420 m ² (about)
Building Height	3m - 7.5 m (about)
No. of Storey	1 -2

- 3.2 The Site is accessible from Lau Fau Shan Road (Plan 1). A total of 4 parking and 1 loading/unloading (L/UL) spaces are provided at the Site, details are shown at Table 3 below:

Table 3 – Parking and L/UL Provisions

Type of Space	No. of Space
Private Car Parking Space for Staff - 2.5 m (W) x 5 m (L)	1
Private Car Parking Space for Visitor - 2.5 m (W) x 5 m (L)	3
L/UL Space for Light Goods Vehicle - 3.5 m (W) x 7 m (L)	1

- 3.3 No medium or heavy vehicles including container vehicles, as defined in the Road Traffic Ordinance, are allowed to be parked/stored on or enter/exit the Site at any time during the planning approval. Sufficient space is provided for vehicles to smoothly manoeuvre to/from and within the Site to ensure no queuing, turning back outside the Site during the planning approval period (Plan 5). As trip generation and attraction of the proposed development is minimal (as shown at Table 4 below), adverse traffic impact to the surrounding road network should not be anticipated.

Table 4 – Estimated Trip Generation and Attraction

Time Period	PC		LGV		2-Way Total
	In	Out	In	Out	
Trips at AM peak per hour (09:00 – 10:00)	3	0	1	0	4
Trips at PM peak per hour (18:00 – 19:00)	3	1	0	1	5
Traffic trip per hour (average)	2	2	0	0	4

- 3.4 The applicant will follow 'Control of Oil Fume and Cooking Odour from Restaurants and Food Business' issued by EPD to control oily fume and cooking odour emissions generated from the

eating place for the operation. Adequate air pollution control equipment is provided at the kitchen ventilation system for treating cooking fume emissions before being discharged to the odour environment, in order to fulfil the requirements of the Air Pollution Control Ordinance.

- 3.5 The applicant will strictly comply with all environmental protection / pollution control ordinances, i.e. Water Pollution Control Ordinance, Air Pollution Control Ordinance, Noise Control Ordinance etc. at all times during the planning approval period. The applicant will strictly follow the Professional Persons Environment Consultative Committee Practice Notes (ProPECCPN 5/93) for sewage treatment at the Site. Licensed collectors will be employed by the applicant to collect and dispose of sewage regularly to ensure no overflowing of sewage at the Site.

4) Conclusion

- 4.1 The proposed development will not create significant nuisance to the surrounding areas. Adequate mitigation measures are provided, i.e. submission of drainage and FSI proposals to mitigate any adverse impacts arising from the proposed development (Appendices I and II).
- 4.2 In view of the above, the Board is hereby respectfully recommended to approve the subject application for 'Proposed Temporary Eating Place with Ancillary Facilities for a Period of 3 Years'.

R-riches Property Consultants Limited

May 2023

LIST OF PLANS

Plan 1	Location Plan
Plan 2	Plan Showing the Zoning of the Application Site
Plan 3	Plan Showing the Land Status of the Application Site
Plan 4	Layout Plan
Plan 5	Swept Path Analysis



LOCATION OF THE APPLICATION SITE	
APPLICATION SITE AREA	: 656 m ² (ABOUT)

VEHICULAR ACCESS

APPLICATION SITE

ACCESSIBLE FROM LAU FAU
SHAN ROAD

Open Storage

Deep Bay Grove

LAU FAU SHAN ROAD

San Hing Tsuen

LEGEND

APPLICATION SITE

SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY.

DWG. TITLE
LOCATION PLAN

DWG NO.
PLAN 1

PLANNING CONSULTANT



PROJECT

PROPOSED EATING PLACE WITH TEMPORARY ANCILLARY FACILITIES FOR A PERIOD OF 3 YEARS

SITE LOCATION

LOT 2159 S.A RP IN D.D. 129, LAU
FAU SHAN, YUEN LONG, NEW
TERRITORIES

SCALE
1 : 200

DRAWN BY

DRAWN BY	DATE
----------	------

DATE	
REVISED BY	

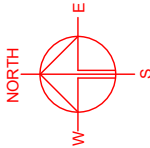
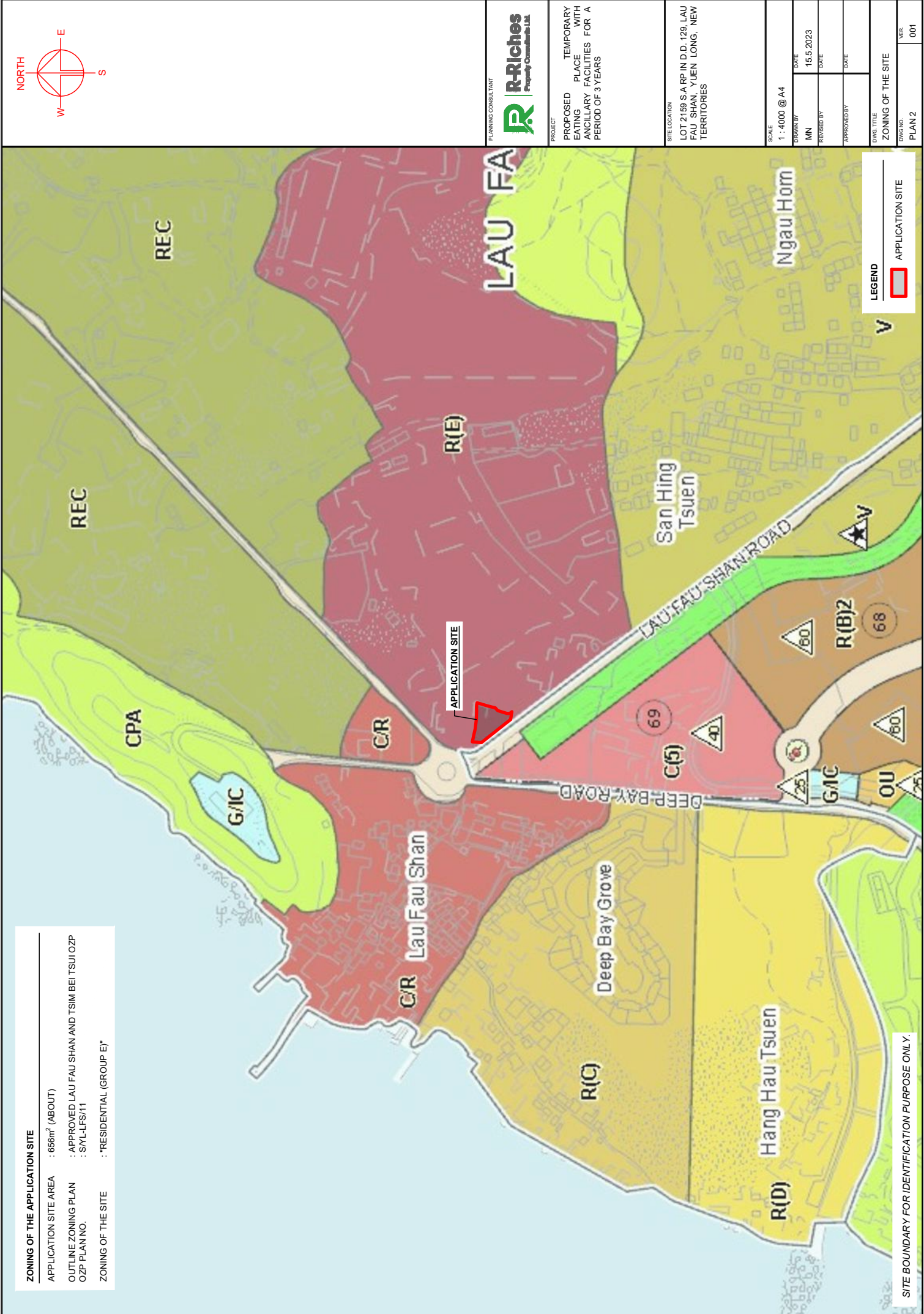
DATE	
REVISED BY	

DATE	
APPROVED BY	

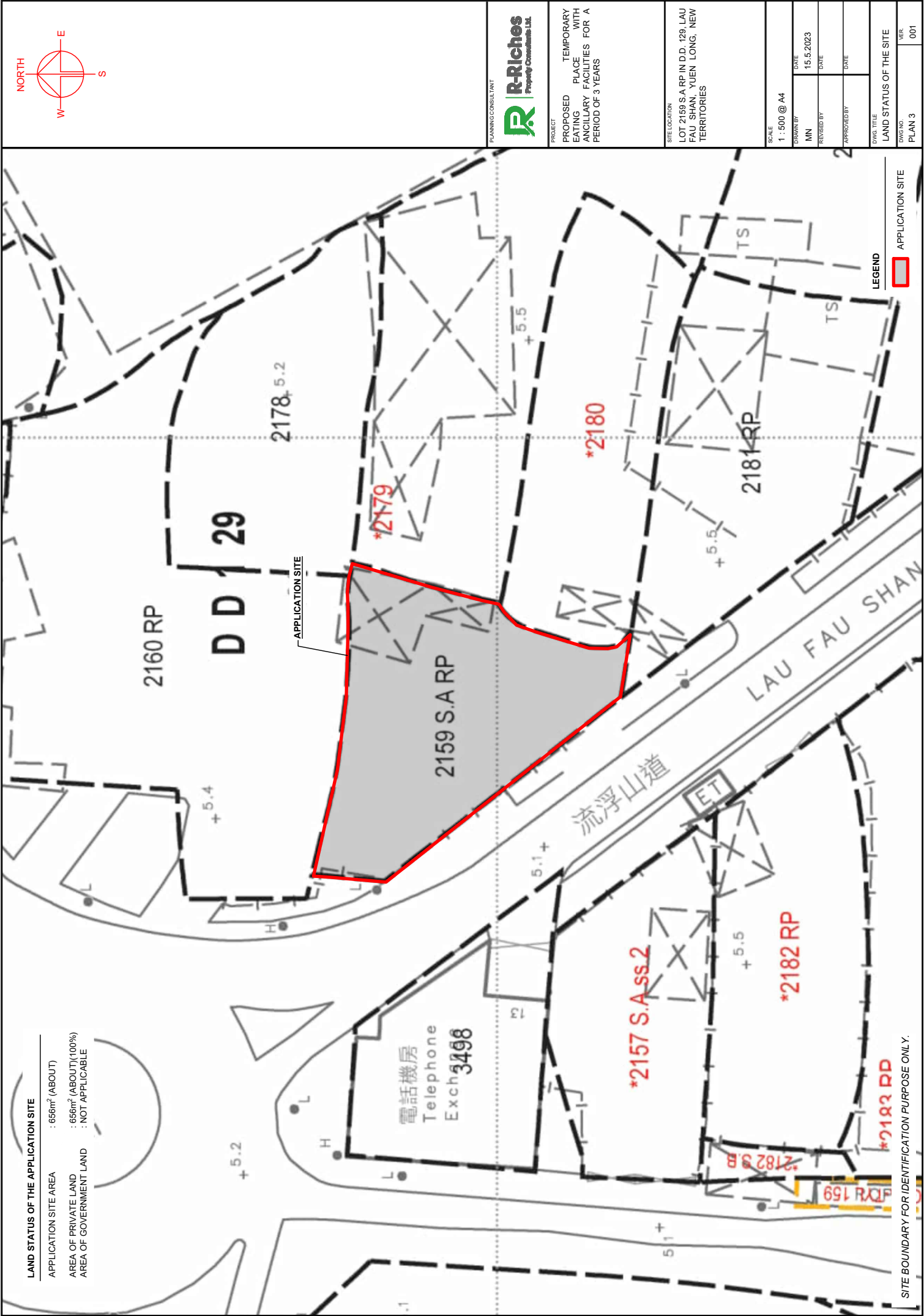
DWG. TITLE

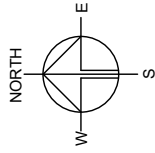
LOCATION PLAN

DWG NO.	VER.
PLAN 1	001



PLANNING CONSULTANT	R-Riches Property Consultants Ltd.	
	PROJECT	TEMPORARY EATING PLACE WITH ANCILLARY FACILITIES FOR A PERIOD OF 3 YEARS
SITE LOCATION		LOT 2159 S.A.R.P. IN D.D. 129, LAU FAU SHAN, YUEN LONG, NEW TERRITORIES
SCALE	1 : 4000 @ A4	
DRAWN BY	DATE	15.5.2023
REVIEWED BY	DATE	
APPROVED BY	DATE	
DWG. TITLE	ZONING OF THE SITE	
DWG. NO.	PLAN 2	
VER.	001	





PLANNING CONSULTANT



PROJECT

PROPOSED EATING PLACE WITH TEMPORARY ANCILLARY FACILITIES FOR A PERIOD OF 3 YEARS

SITE LOCATION

LOT 2159 S.A RP IN D.D. 129, LAU
FAU SHAN, YUEN LONG, NEW
TERRITORIES

SCALE

1 : 300 @ A4

DRAWN BY	DATE
----------	------

144

NIM

REVISOR	DATE
REVISOR BY	

DATE	
APPROVED BY	

DWG. TITLE
1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28
29
30
31
32
33
34
35
36
37
38
39
40
41
42
43
44
45
46
47
48
49
50
51
52
53
54
55
56
57
58
59
60
61
62
63
64
65
66
67
68
69
70
71
72
73
74
75
76
77
78
79
80
81
82
83
84
85
86
87
88
89
90
91
92
93
94
95
96
97
98
99
100

LAYOUT PLAN

DWG NO.

PLAN 4

7	3	0	-
---	---	---	---

DEVELOPMENT PARAMETERS OF THE APPLICATION SITE

APPLICATION SITE AREA	: 656m ²	(ABOUT)
COVERED AREA	: 222m ²	(ABOUT)
UNCOVERED AREA	: 434m ²	(ABOUT)
PLOT RATIO	: 0.6	(ABOUT)
SITE COVERAGE	: 34%	(ABOUT)

NO. OF STRUCTURE	: 4
DOMESTIC GFA	: NOT APPLICABLE
NON-DOMESTIC GFA	: 420m ² (ABOUT)
TOTAL GFA	: 420m ² (ABOUT)

BUILDING HEIGHT NO. OF STOREY	: 3m - 7.5m (ABOUT) : 1 - 2
1	1
2	2
3	3
4	4
5	5
6	6
7	7
8	8
9	9
10	10
11	11
12	12
13	13
14	14
15	15
16	16
17	17
18	18
19	19
20	20
21	21
22	22
23	23
24	24
25	25
26	26
27	27
28	28
29	29
30	30
31	31
32	32
33	33
34	34
35	35
36	36
37	37
38	38
39	39
40	40
41	41
42	42
43	43
44	44
45	45
46	46
47	47
48	48
49	49
50	50
51	51
52	52
53	53
54	54
55	55
56	56
57	57
58	58
59	59
60	60
61	61
62	62
63	63
64	64
65	65
66	66
67	67
68	68
69	69
70	70
71	71
72	72
73	73
74	74
75	75
76	76
77	77
78	78
79	79
80	80
81	81
82	82
83	83
84	84
85	85
86	86
87	87
88	88
89	89
90	90
91	91
92	92
93	93
94	94
95	95
96	96
97	97
98	98
99	99
100	100

The site plan shows a large irregular boundary labeled "APPLICATION SITE". Inside, there are four buildings labeled B1, B2, B3, and B4. Building B1 is a large rectangle on the left. Building B2 is a large rectangle on the top left. Building B3 is a small rectangle on the top right. Building B4 is a small square on the right. An "OUTDOOR DINING AREA (UNCOVERED)" is located between B1 and B2. An "INGRESS / EGRESS 7.3m (ABOUT)(W)" is indicated on the right side of the site. A north arrow is located in the bottom right corner.

INGRESS / EGRESS
7.3m (ABOUT)(W)

LEGEND



APPLICATION SITE



STRUCTURE



PARKING SPACE



LOADING / UNLOADING SPACE

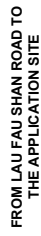
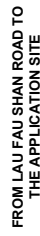
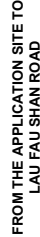


INGRESS / EGRESS

PARKING AND LOADING/UNLOADING PROVISIONS

NO. OF PRIVATE CAR PARKING SPACE	: 4
DIMENSION OF PARKING SPACE	: 2.5m (W) X 5m (L)

NO. OF L/UL SPACE FOR LIGHT GOODS VEHICLE	: 1
DIMENSION OF L/UL SPACE	: 3.5m (W) X 7m (L)



SWEPT PATHS GENERATED BY AUTODESK VEHICLE TRACKING 2019

SWEPT PATHS GENERATED BY AUTODESK VEHICLE TRACKING 2019

規 劃 署

屯門及元朗西規劃處
香港新界沙田上禾輦路1號
沙田政府合署14樓



By Fax (2323 3662) and Post

Planning Department

Tuen Mun and Yuen Long West
District Planning Office
14/F, Sha Tin Government Offices,
1 Sheung Wo Che Road, Sha Tin,
N.T. Hong Kong

15 March 2023

來函檔號 Your Reference
本署檔號 Our Reference () in TPB/A/YL-LFS/407
電話號碼 Tel. No.: 2158 6290
傳真機號碼 Fax No.: 2489 9711

R-riches Property Consultants Ltd.
208F, Kat Hing Wai
Kam Tin
Yuen Long, New Territories
(Attn: Orpheus Lee / Grace Wong)

Dear Sir/Madam,

Compliance with Approval Condition (d)
Planning Application No. A/YL-LFS/407

I refer to your submission dated 3.3.2023 to the Secretariat of the Town Planning Board, as well as those to the Drainage Services Department dated 14.3.2023 and 15.3.2023, all regarding the submission of a drainage proposal for compliance with the captioned approval condition. Your submissions are considered:

- ☒ Acceptable. The captioned condition has been complied with. Please find the departmental comments at **Appendix I**.
- ☐ Partially acceptable. Since the captioned condition requires both the submission and implementation of the proposal, it has not been fully complied with.
- ☐ Not acceptable. The captioned condition has not been complied with.

Should you have any queries on the departmental comments, please contact Mr. Victus KWAN (Tel: 2300 1235) of the Drainage Services Department direct.

Yours faithfully,

(Keith WONG)
for District Planning Officer/
Tuen Mun and Yuen Long West
Planning Department

LEGEND

- Proposed 150UC (1:200) with Cast Iron cover
- Proposed Catchpit
- Existing 700 pipe
- Existing Catchpit
- Existing Level

Company:
正宏工程顧問公司
Ching Wan Engineering Consultants Company

PROJECT:
Proposed Temporary Shop and Services (Real Estate Agency, Car Beauty Product Retail and Auto Parts Retail) for a Period of 3 Years at Lots 1576 (PART) and 1584 S.A. ss.2 in D.D.111, Kam Tin Road, Pat Heung, Yuen Long (AYL-PH/911)

TITLE:
Drainage Proposal

File:
DWG NO.

Scale:
PH911-D01

Date:
14-3-2023

APPLICATION SITE

2159 S.A.R.P.

MH1 (proposed connection catchpit, refer MH1 details)
CL=+5.20
IL=+2.47

CP2
CL=+5.20
IL=+4.48

Proposed 225UC (1:100) with Cast Iron cover

FALL

CP3 (with desilting facility)
CL=+5.20
IL=+4.42

Proposed 225mm dia. concrete pipe

Ex. 2nos. of 700mm dia. pipe

CP4 (with desilting facility)
CL=+5.20
IL=+4.36

Start Point
CL=+5.20
IL=+4.92

Proposed 225UC (1:100) with Cast Iron cover

FALL

CP5
CL=+5.20
IL=+4.72

Proposed 225UC (1:100) with Cast Iron cover

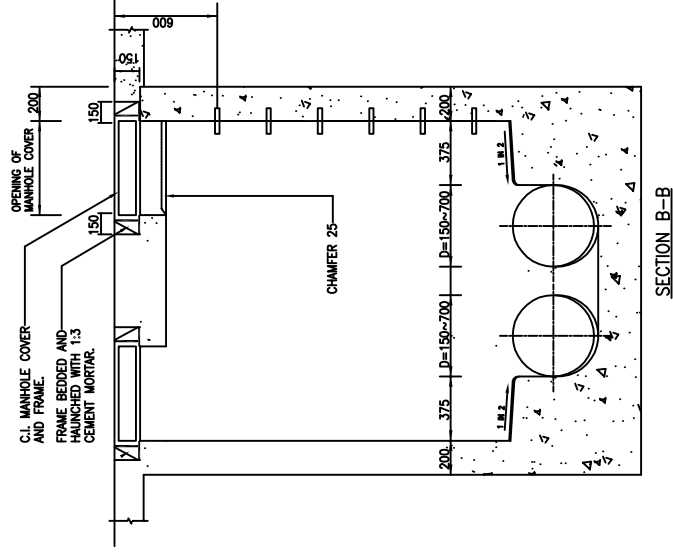
CP4
CL=+5.20
IL=+4.77

Start Point
CL=+5.20
IL=+4.92

CP1
CL=+5.20
IL=+4.80

Proposed 225UC (1:100) with Cast Iron cover

SITE AREA = 656 SQ.M
Q = 0.278C/A
= 0.278*0.95*250*656/1000000
= 0.0433 M³/S
= 2599 lit/min
PROVIDE 225UC (1:100) IS OK (FIG. 8.7)



SECTION B-B

1. Concrete Grade: 30/20,
2. Steel Grade: 500B3. Minimum Soil Cover: 40mm
3. Reinforcement: T12-150c/c horizontally, both faces.
4. Top Treatment: Refer to DS 1032
5. Trimmed existing 700mm dia. pipes to be grout all
6. Reinforcement to be provided to wall, slab and base
7. Manhole Cover shall follow DSD standard drawing
7. All materials shall comply with General Specifications

1. ALL NEW CONCRETE TO BE GRADE 30D/20 DESIGN MIX TO
CSI:2010 EXCEPT SECTION 7.1.

2. ALL REINFORCED CONCRETE DESIGN SHALL COMPLY WITH THE HONG KONG CODE OF PRACTICE ON THE STRUCTURAL USE OF CONCRETE - 2013.

3. CONCRETE COVER TO WALL TO BE 40MM FOR VERTICAL WALL. CONCRETE COVER TO WALL TO BE 75MM FOR RETAINING WALL.

4. ALL REINFORCEMENT TO BE HIGH TENSILE BAR CONFORM WITH CS2, 2012 (DENOTED BY 'Y'), Grade 500B
5. THE REACTIVE ALKALI OF CONCRETE EXPRESSED AS THE

EQUIVALENT SODIUM OXIDE PER CUBE METER OF CONCRETE SHOULD NOT EXCEED 3.0 KG WHEN DETERMINE IN ACCORDANCE WITH THE APPENDIX A OF PNAPAP74.

6. LAP LENGTH OF REINFORCEMENT TO BE 46 DIAMETERS OF BAR UNLESS OTHERWISE SPECIFIED.

Proposed 150LC (1:200) with Cast iron cover	Proposed Catchpit	Existing 700 pipe	Existing Catchpit	Existing Level

正宏工程顧問公司
Ching Wan Engineering
Consultants Company

Proposed Temporary Shop and Services (Real Estate Agency, Car Beauty Product Retail and Auto Parts Retail) for a Period of 3 Years at Lots 1576 (PART) and 1584 S.A. ss.2 in D.D.111, Kam Tin Road, Pat Heung, Yuen Long (A/YL-PH/911)

MH1

Date: 14-3-2023

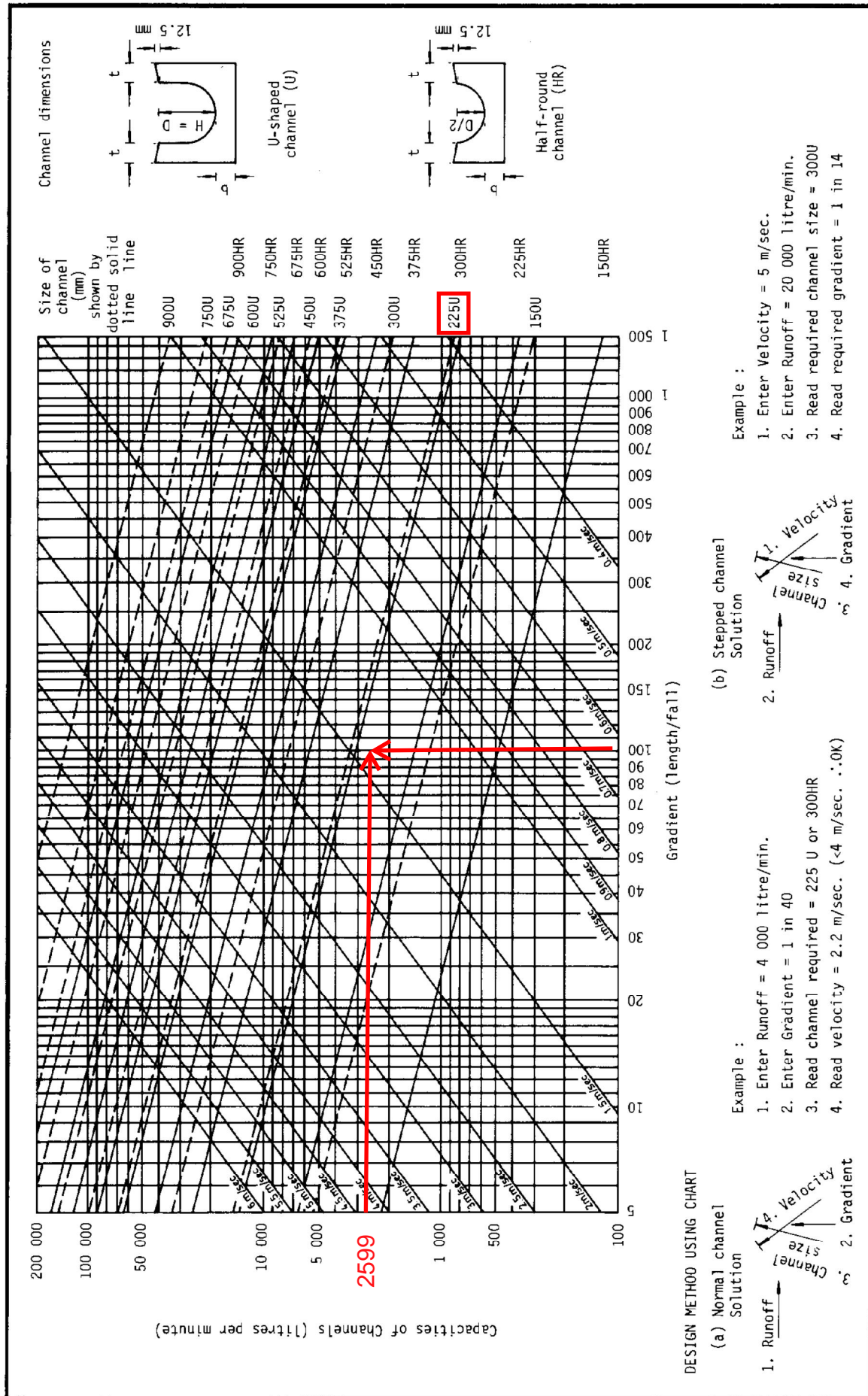
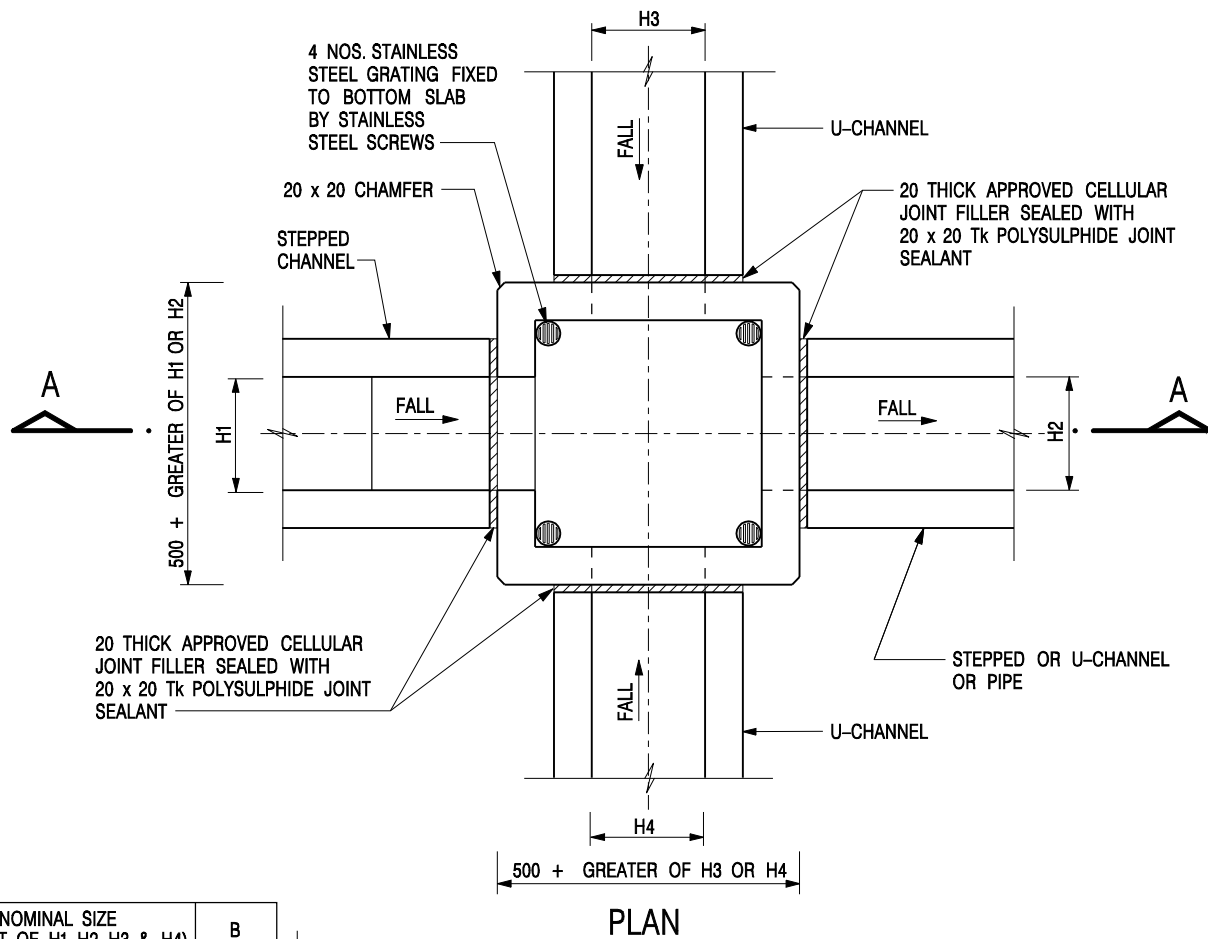
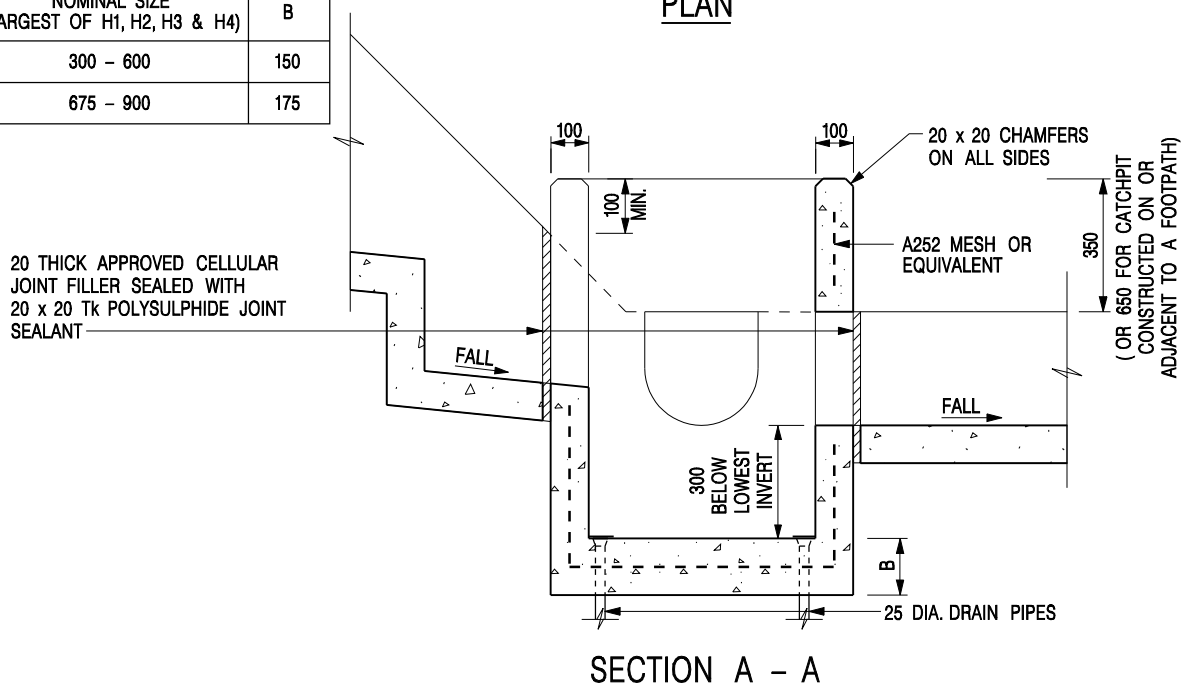


Figure 8.7 - Chart for the Rapid Design of Channels



NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175



NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 2 FOR OTHER NOTES.

CATCHPIT WITH TRAP
(SHEET 1 OF 2)

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE



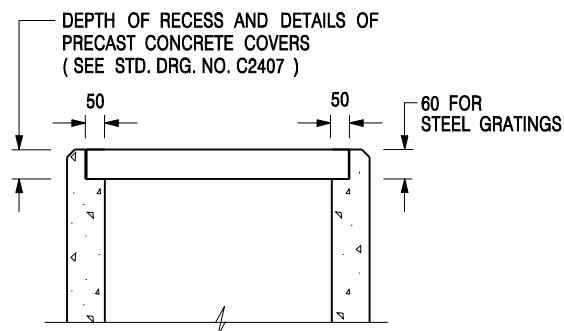
**CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT**

SCALE 1 : 20

DATE JAN 1991

DRAWING NO.

C2406 /1



ALTERNATIVE TOP SECTION FOR PRECAST CONCRETE COVERS / GRATINGS

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS (SEE DETAIL 'A' ON STD. DRG. NO. C2405) OR CONCRETE COVERS (SEE STD. DRG. NO. C2407) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING (SEE DETAIL 'G' ON STD. DRG. NO. C2405; EXCEPT ON THE UPSLOPE SIDE) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS (SEE DSD STD. DRG. NO. DS1043) AT 300 c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'F' ON STD. DRG. NO. C2405.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE

CATCHPIT WITH TRAP
(SHEET 2 OF 2)



**CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT**

SCALE 1 : 20

DATE JAN 1991

DRAWING NO.

C2406 /2

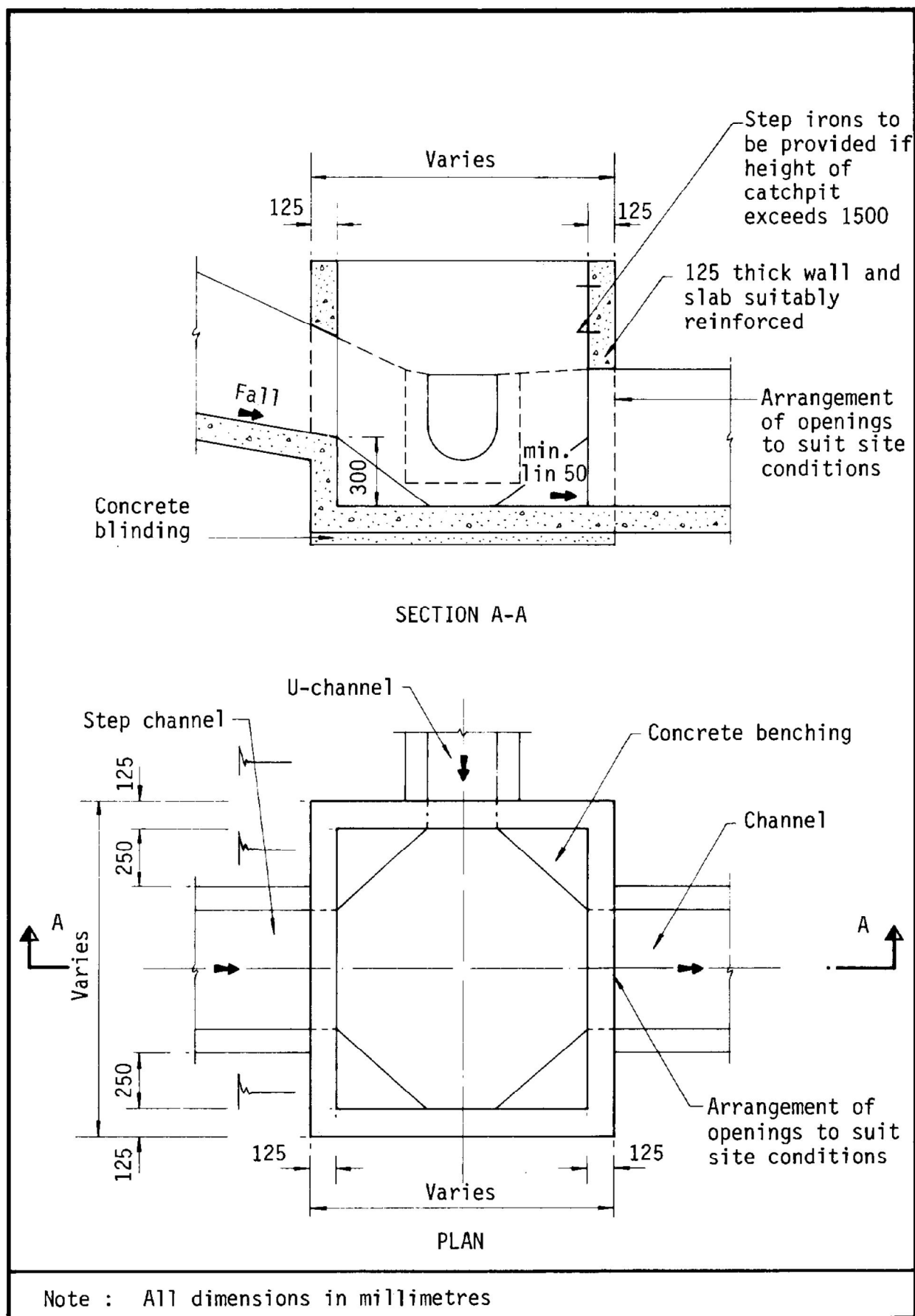


Figure 8.10 - Typical Details of Catchpits

1 ~ 3 COURSES BRICKWORK
HAVING AN AVERAGE
COMPRESSIVE STRENGTH OF
NOT LESS THAN 48.5 MPa

ISOLATION JOINT (SEE H 1004)

GRADE 30/10 CONCRETE

ROAD SLAB

MANHOLE COVER AND FRAME

APPROVED JOINT FILLER

MANHOLE OPENING

ROAD SUB-BASE

1:3 CEMENT MORTAR BEDDING

TOP TREATMENT APPLIED TO CONCRETE ROAD SURFACE

1 ~ 3 COURSES BRICKWORK
HAVING AN AVERAGE
COMPRESSIVE STRENGTH OF
NOT LESS THAN 48.5 MPa

1:3 CEMENT MORTAR BEDDING

MANHOLE COVER AND FRAME

BITUMINOUS SURFACING
& ROAD-BASE

150
APPROX.

ROAD SUB-BASE

225

MANHOLE OPENING

225

TOP TREATMENT APPLIED TO FLEXIBLE ROAD SURFACE

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.

B	REDRAWN BY CAD	ORIGINAL SIGNED	8.8.2001
A	GENERAL REVIEW	ORIGINAL SIGNED	2.2.2001
REV.	DESCRIPTION	SIGNATURE	DATE

TOP TREATMENT TO MANHOLE

DRAINAGE SERVICES DEPARTMENT

REFERENCE

DRAWING No.

SCALE

1 : 10

DS 1032B

METHOD STATEMENT OF MH1

1. The works shall be carried out in dry season.
2. Underground utility detection shall be carried out before excavation. Besides, excavation plan and temporary traffic diversion scheme shall be applied and executed.
3. Excavating to the required level and expose the existing 2nos of 700mm dia pipes
4. Trim the 2nos of existing 700mm dia. pipes and excavate a sump for pumping any runoff inside.
Minimum pump capacity to be 4500 lit/min and 5nos of pump ($5 \times 4000 = 20000$ lit/min > 19265 lit/min (refer to cal enclosed))
5. Construct MH1 and proposed 225mm dia pipe.
6. Sealing up the gap at connection point between MH1 and the 2nos of existing 700mm dia. pipes..
7. Carrying out leak test and arranging joint inspection with DSD.
8. Backfilling upon acceptance of the leak test.

Contingency Plan

Scenario 1: Pump failure with whatever reason:

Spare pump prepared on site and electrician stand by.

Scenario 2: Accident of workers during works, rendering road closure may be longer for rescue: Proper access down to working place shall be provided. Safety training shall be provided to workers before works.

Remarks:

1. Excavation permit shall be applied from Highways Department and the application procedures to deal with traffic aspects without causing any unacceptable traffic impact shall be followed.
2. Temporary Traffic Arrangement shall be applied.
3. All Confined Space operation must obey Code of Practice: Safety and Health at Work in Confined

Calculation Runoff of 2nos of existing 700mm dia. Underground pipe.

Manning Equation	V	$= R^{2/3} * S_f^{0.5} / n$	
			dia 700 mm
where	R	$= \pi r^2 / 2 \pi r$	$r = 0.35$ m
		$= r/2$	
		$= 0.175$	m
	n	$= 0.015$	s/m ^{1/3} (Talbe 13 of Stormwater Drainage Manual)
1/625	S_f	$= 0.0016$	
Therefore,	V	$= 0.175^{2/3} * 0.01^{0.5} / 0.012$	
		$= 0.83$	m/sec
Maximum Capacity (Q_{max})		$= V * A/2$	(assume half full)
		$= 0.83 * \pi r^2 / 2$	
		$= 0.16$	m ³ /sec
2 nos of pipe		$= 0.321$	m ³ /sec
		$= 19265$	lit/min

Structural Check of MH1

$\gamma_w =$	9.8	kN/m ³
$\gamma_s =$	19.8	kN/m ³

Assumption;

$c' =$	0	
$\phi =$	30	degree
$K_a = (1 - \sin \Phi) / (1 + \sin \Phi) =$	0.33	

1/3 water table

Critical structural element is the wall of MH1

take it as a simply supported beam

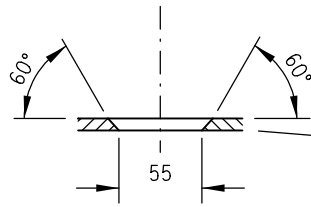
$H = (0.15 + 0.225) / 2 + (5.2 - 0.15 - 2.47) =$	2.77	m
$H_w =$	$H / 3 =$	0.92 m

Design Shear =	$0.5 * \gamma_w * H_w^2 + 0.5 * K_a * \gamma_s * (H)^2 =$	29.24	kN
----------------	---	-------	----

Design Moment =	$0.5 * \gamma_w * H_w^2 * H_w / 3 + 0.5 * K_a * \gamma_s * (H)^2 * H / 3 =$	36.00	kNm
-----------------	---	-------	-----

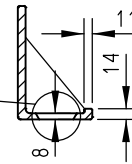
Structural Check

b	=	1000	mm	
cover	=	40	mm	
Member thk	=	200	mm	
f_{cu}	=	30	kPa	
d	=	200-40	=	160.00 mm
K	=	$M / bd^2 f_{cu}$	=	0.047
			<	0.156
z	=	$d * (0.5 + (0.25 - K / 0.9) * 0.5)$	=	0.60 d
	=	$d * (0.5 + (0.25 - 0.047 / 0.9) * 0.5)$	=	205.66 mm
Required A_s	=	$M / 0.87 f_y z$	=	
	=	$36.00 * 10^6 / 0.87 * 500 * 205.66$	=	402 mm ²
Y16 150cc				
A_s	=	$\pi * r^2 * 1000 / 150$	=	1340 mm ²
			>	402 mm ² O.K.
v	=	V / bvd	=	29.24 * 1000 / 1000 / 160
			=	0.18278 N/mm ²
			<	V_c OK

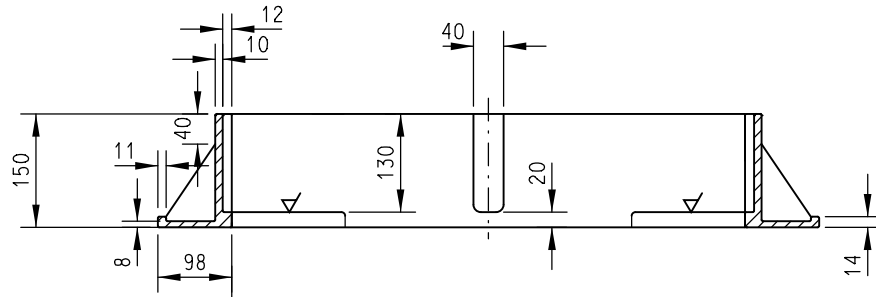


ENLARGED DETAIL

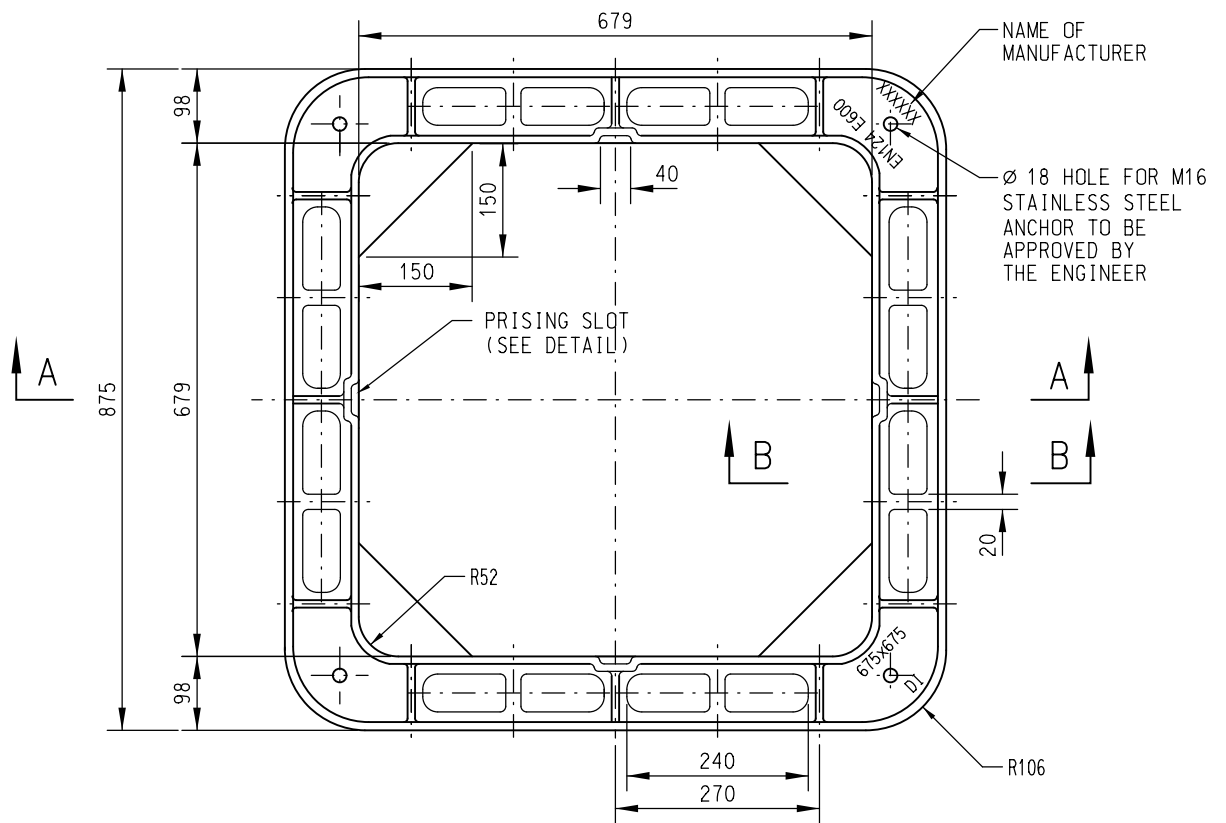
SCALE 1 : 5



SECTION B-B



SECTION A-A



PLAN OF FRAME

B	RESTRAINT MODIFIED	ORIGINAL SIGNED	30.11.2020
A	BOLT GRADE UPDATED	ORIGINAL SIGNED	10.5.2010
	NEW ISSUE	ORIGINAL SIGNED	15.8.2007
REV.	DESCRIPTION	SIGNATURE	DATE

STANDARD 675 SQUARE DOUBLE
TRIANGULAR DUCTILE IRON
MANHOLE COVER & FRAME, CLASS E600

DRAINAGE SERVICES DEPARTMENT

REFERENCE

DRAWING No.

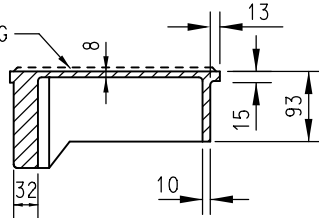
SCALE

1 : 10 OR AS SHOWN

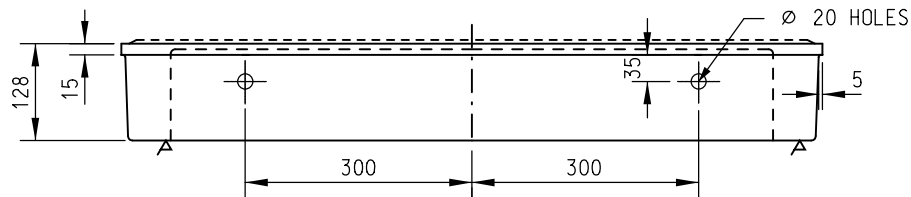
DS 1077B

(SHEET 1 OF 4)

5mm RAISED
CHEQUERS AND LETTERING

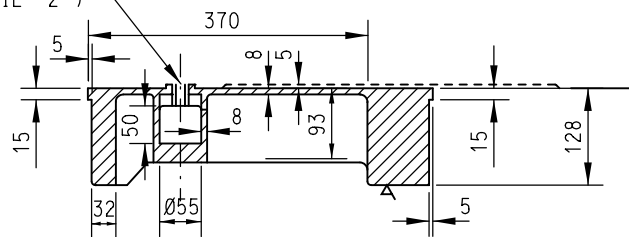


SECTION C - C
(SHOW RIGHT HALF ONLY)

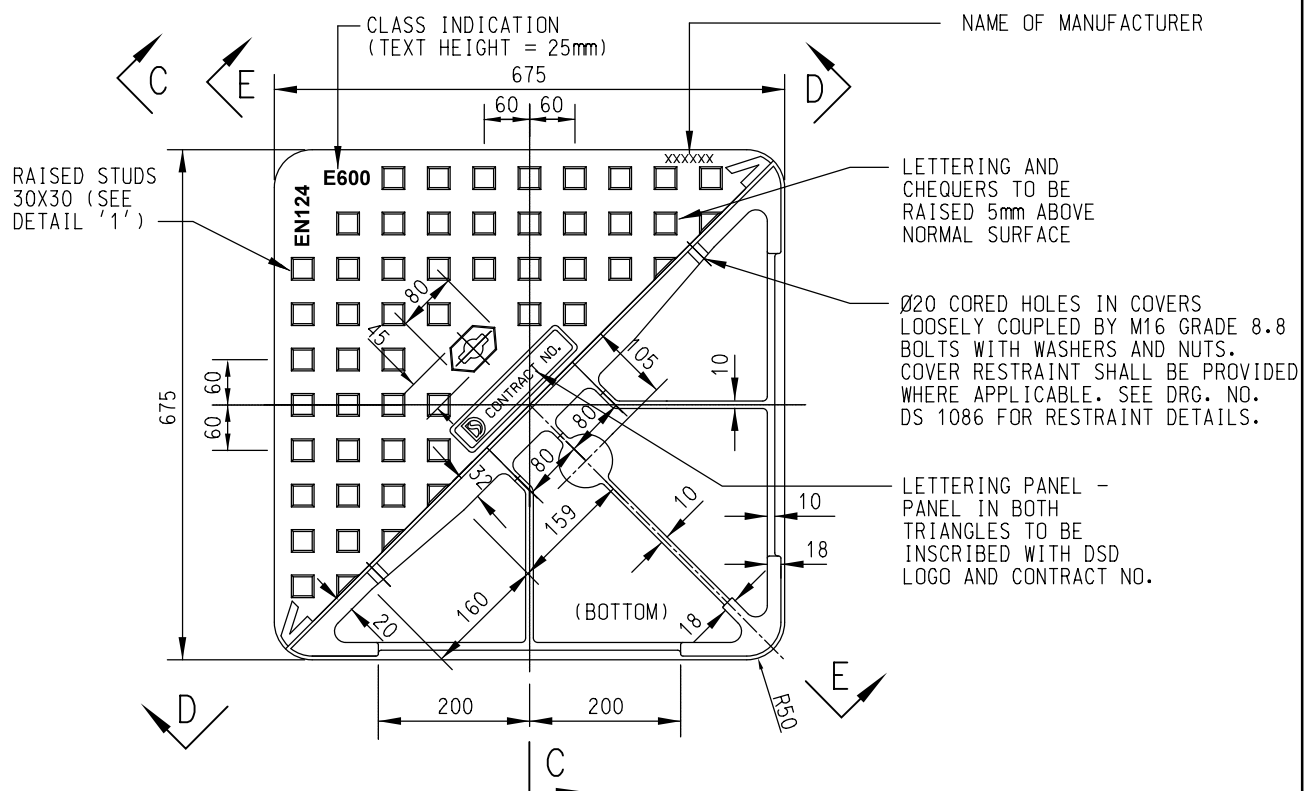


SECTION D - D

KEYHOLE (SEE DETAIL '2')



SECTION E - E
(SHOW RIGHT HALF ONLY)



PLAN OF SEWER MANHOLE COVER

B	RESTRAINT MODIFIED	ORIGINAL SIGNED	30.11.2020
A	BOLT GRADE UPDATED	ORIGINAL SIGNED	10.5.2010
	NEW ISSUE	ORIGINAL SIGNED	15.8.2007
REV.	DESCRIPTION	SIGNATURE	DATE

STANDARD 675 SQUARE DOUBLE
TRIANGULAR DUCTILE IRON
MANHOLE COVER & FRAME, CLASS E600

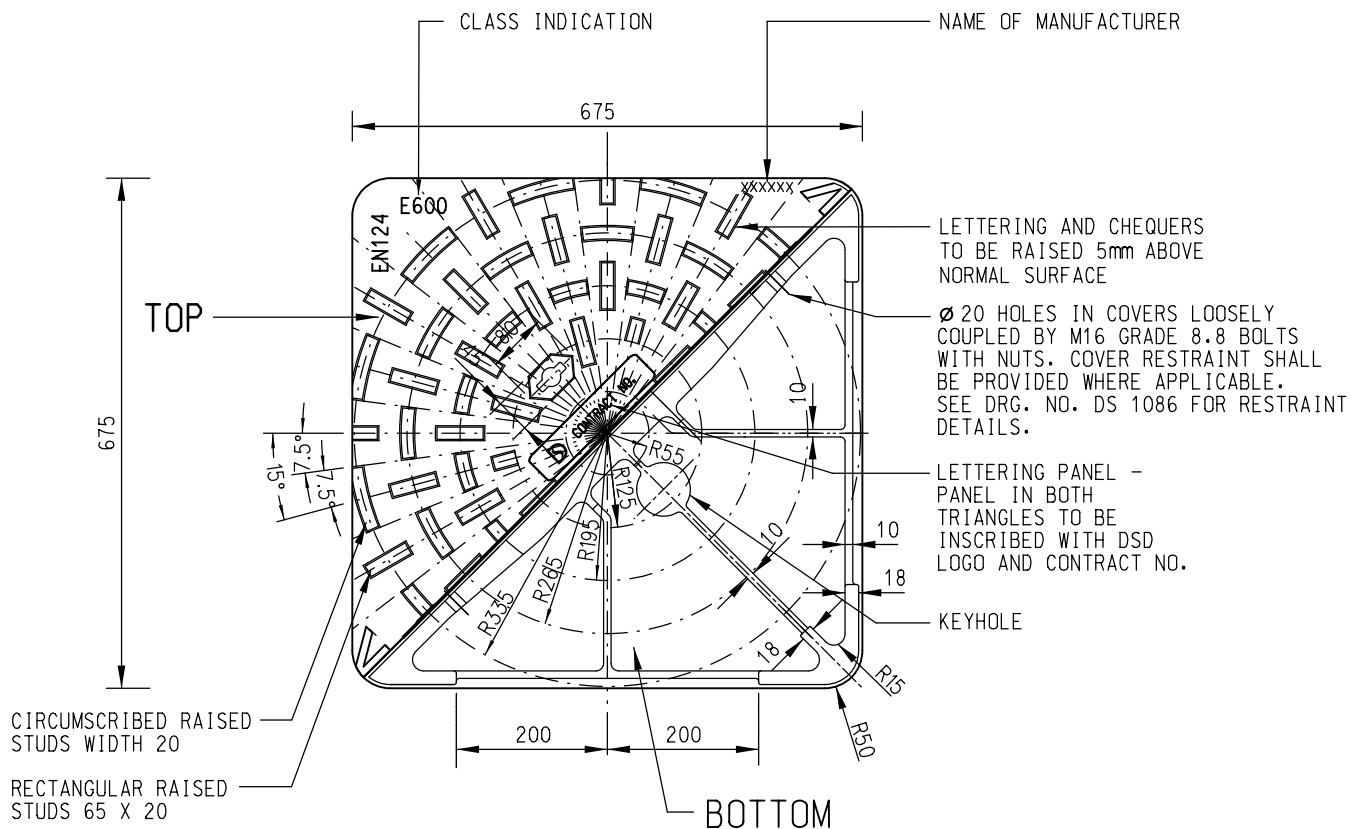
DRAINAGE SERVICES DEPARTMENT

REFERENCE

DRAWING No.

SCALE
1 : 10 OR AS SHOWN

DS 1077B
(SHEET 2 OF 4)



PLAN OF STORM WATER MANHOLE COVER

NOTES :

DIMENSIONS FOR THE BOTTOM SIDE OF DOUBLE TRIANGULAR MANHOLE COVER IS NOT SHOWN FOR CLARITY WHICH HAS SHOWN ON SHEET 2

B	RESTRAINT MODIFIED	ORIGINAL SIGNED	30.11.2020
A	BOLT GRADE UPDATED	ORIGINAL SIGNED	10.5.2010
	NEW ISSUE	ORIGINAL SIGNED	15.8.2007
REV.	DESCRIPTION	SIGNATURE	DATE

STANDARD 675 SQUARE DOUBLE
TRIANGULAR DUCTILE IRON
MANHOLE COVER & FRAME, CLASS E600

DRAINAGE SERVICES DEPARTMENT

REFERENCE

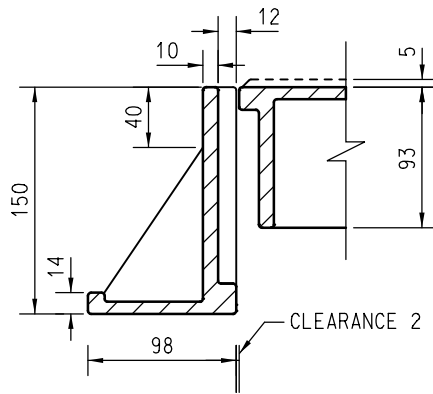
DRAWING No.

SCALE

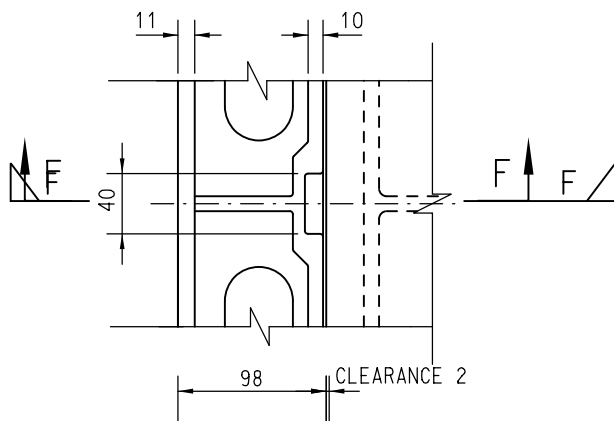
1 : 10 OR AS SHOWN

DS 1077B

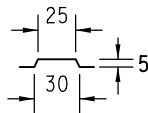
(SHEET 3 OF 4)



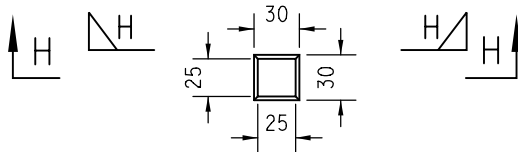
SECTION F - F



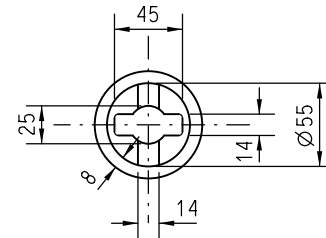
PRISING SLOT DETAIL



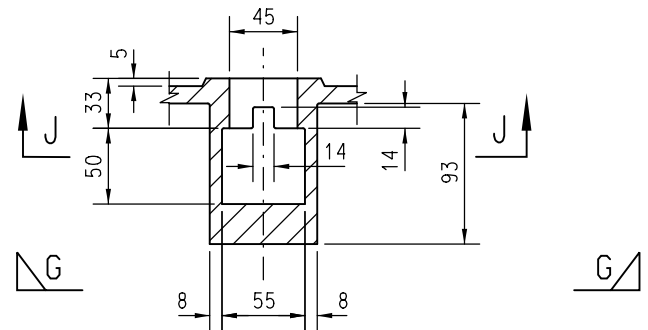
SECTION H - H



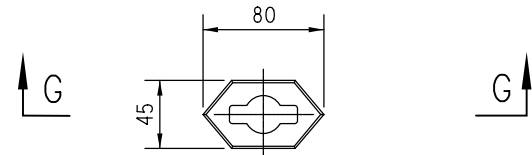
DETAIL '1'



DETAIL J - J



SECTION G - G



DETAIL '2'

NOTES :

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REMOVE SHARP EDGES, MACHINED SURFACE ARE MARKED WITH " ∇ " .
3. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH DS 1076.

B	RESTRAINT MODIFIED	ORIGINAL SIGNED	30.11.2020
A	BOLT GRADE UPDATED	ORIGINAL SIGNED	10.5.2010
	NEW ISSUE	ORIGINAL SIGNED	15.8.2007
REV.	DESCRIPTION	SIGNATURE	DATE

STANDARD 675 SQUARE DOUBLE
TRIANGULAR DUCTILE IRON
MANHOLE COVER & FRAME, CLASS E600

DRAINAGE SERVICES DEPARTMENT

REFERENCE

DRAWING No.

SCALE

1 : 5 OR AS SHOWN

DS 1077B

(SHEET 4 OF 4)

規 劃 署

屯門及元朗西規劃處
香港新界沙田上禾輦路1號
沙田政府合署14樓



By Fax (2323 3662) and Post

Planning Department

Tuen Mun and Yuen Long West
District Planning Office
14/F, Sha Tin Government Offices,
1 Sheung Wo Che Road, Sha Tin,
N.T. Hong Kong

24 June 2022

來函檔號 Your Reference
本署檔號 Our Reference () in TPB/A/YL-LFS/407
電話號碼 Tel. No.: 2158 6290
傳真機號碼 Fax No.: 2489 9711

R-riches Property Consultants Limited
Block D, The Richfield
236 Kat Hing Wai
Kam Tin
Yuen Long, New Territories
(Attn: Mr. Orpheus LEE)

Dear Sir/Madam,

Compliance with Approval Condition (g)
Planning Application No. A/YL-LFS/407

I refer to your submission dated 23.5.2022 regarding the submission of a fire service installations proposal for compliance with the subject approval condition. Your submission is considered:

- ☒ Acceptable. The captioned condition has been complied with. Please find the departmental comments at **Appendix I**.
- ☐ Partially acceptable. Since the captioned condition requires both the submission and implementation of the proposal, it has not been fully complied with.
- ☐ Not acceptable. The captioned condition has not been complied with.

Should you have any queries on the departmental comments, please contact Mr. WONG Ho-yin (Tel: 2733 7737) or Mr. LI Leong-kiu (Tel: 2733 7781) of the Fire Services Department direct.

Yours faithfully,

(Keith WONG)

for District Planning Officer/
Tuen Mun and Yuen Long West
Planning Department

DEVELOPMENT PARAMETERS OF THE APPLICATION SITE

APPLICATION SITE AREA	: 656m ² (ABOUT)
COVERED AREA	: 222m ² (ABOUT)
UNCOVERED AREA	: 434m ² (ABOUT)
PLOT RATIO	: 0.6(AABOUT)
SITE COVERAGE	: 34% (ABOUT)
NO. OF STRUCTURE	: 4
DOMESTIC GFA	: NOT APPLICABLE
NON-DOMESTIC GFA	: 420m ² (ABOUT)
BUILDING HEIGHT	: 3m - 7.5m (ABOUT)
NO. OF STOREY	: 1 - 2

PARKING AND LOADING/UNLOADING PROVISIONS

NO. OF PRIVATE CAR PARKING SPACE	: 4
DIMENSION OF PARKING SPACE	: 2.5m (W) X 5m (L)
NO. OF L/U/L SPACE FOR LIGHT GOODS VEHICLE	: 1
DIMENSION OF L/U/L SPACE	: 3.5m (W) X 7m (L)

FIRE SERVICE INSTALLATIONS

-  8 x EXIT SIGN AND EMERGENCY LIGHT
-  7 x 4.5 KG GAS-TYPE FIRE EXTINGUISHER

FS NOTES:

- SUFFICIENT EMERGENCY LIGHTING SHALL BE PROVIDED THROUGHOUT THE ENTIRE BUILDING IN ACCORDANCE WITH BS5266: PART1 AND BS EN1838
- SUFFICIENT DIRECTIONAL AND EXIT SIGN SHALL BE PROVIDED IN ACCORDANCE WITH BS5266: PART 1 AND FSD CIRCULAR LETTER 5/2008.
- PORTABLE HAND-OPERATED APPROVED APPLIANCE SHALL BE PROVIDED AS REQUIRED BY OCCUPANCY.
- ACCESS IS PROVIDED FOR EMERGENCY VEHICLE TO REACH 30m OF ALL PART OF STRUCTURES.

STRUCTURE

- B1
- B2
- B3
- B4

USE

- Eating Place
- Eating Place
- Storage of Goods
- Meier Room

SQ.M

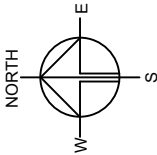
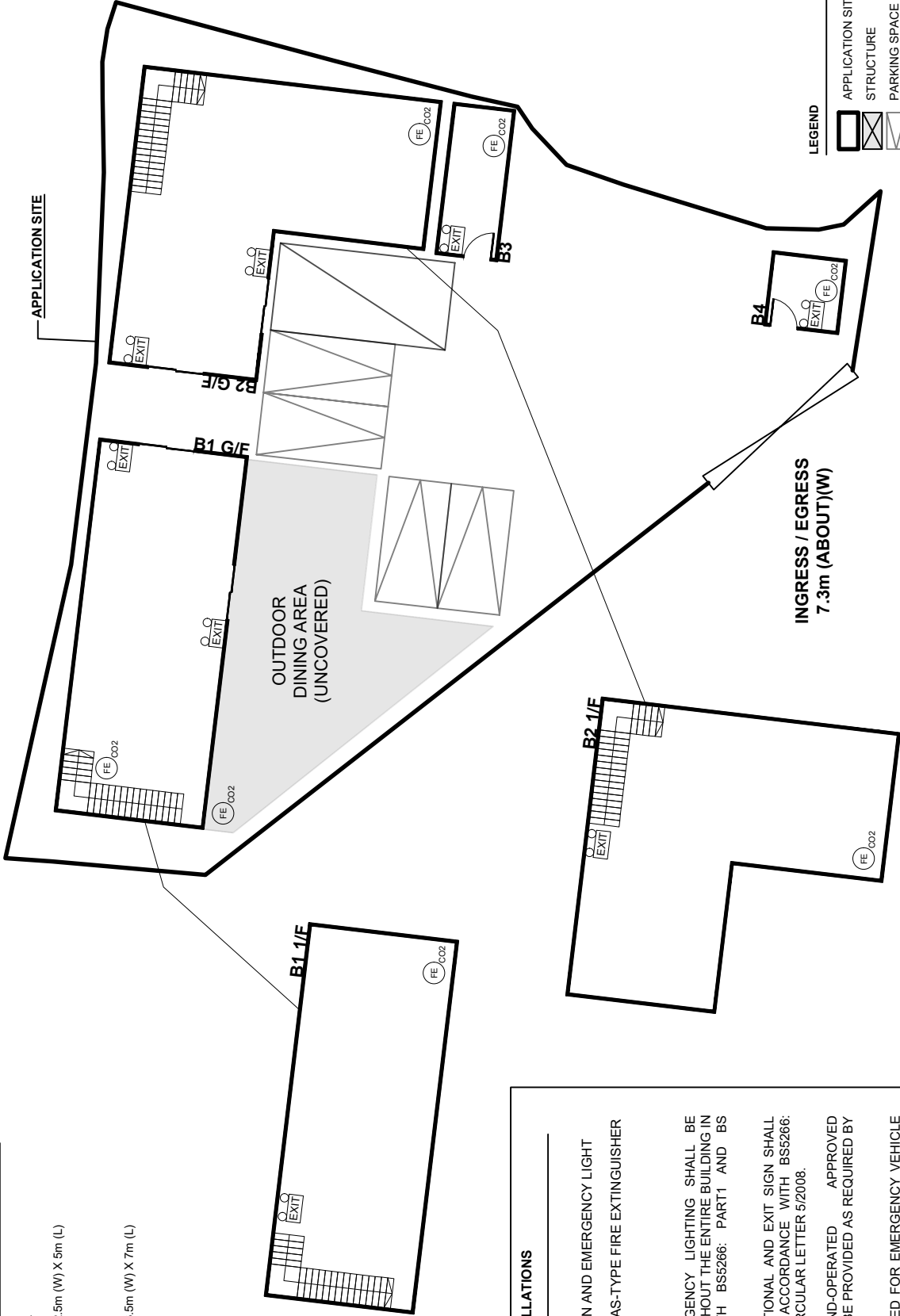
- 90 (about)
- 108 (about)
- 15 (about)
- 9 (about)

HEIGHT

- 7.5 (about)(2-storey)
- 7.5 (about)(2-storey)
- 3 (about)(1-storey)
- 3 (about)(1-storey)

CU.M

- G/F = 337.5(about), 1/F = 337.5(about)
- G/F = 405(about), 1/F = 405(about)
- 45(about)
- 27(about)



Drawing No. **APPENDIX I**

Ver. 01

Project

PROPOSED TEMPORARY EATING PLACE FOR A PERIOD OF 3 YEARS

LOT 2159 S.A RP IN D.D. 129, LAU FAU SHAN, YUEN LONG, NEW TERRITORIES

Drawing Title

FSIs PROPOSAL

Scale of A4

1 : 250

Drawn

OL

Date

11.04.2022

Revised

OL

Date

23.05.2022

Our Ref. : DD129 Lot 2159 S.A RP
Your Ref. : TPB/A/YL-LFS/476

The Secretary
Town Planning Board
15/F, North Point Government office
333 Java Road
North Point, Hong Kong

By Email

26 June 2023

Dear Sir,

1st Further Information

**Proposed Temporary Eating Place with Ancillary Facilities for a Period of 3 Years in
“Residential (Group E)” Zone, Lot 2159 S.A RP in D.D. 129, Lau Fau Shan, New Territories**

(S.16 Planning Application No. A/YL-LFS/476)

We are writing to submit further information to provide clarification for the subject application, details are as follows:

- (i) The estimated maximum number of visitors per day is 40. The area of the outside seating accommodation (OSA) is 83m² (about) with 5 tables and 10 seats serving 10 visitors while the indoor eating place has 15 tables and 30 seats serving 30 visitors (**Plan 1**).
- (ii) The proposed eating place is proposed to serve nearby villagers, workers and visitors in Lau Fau Shan area. Advanced booking is required for visitors to access the application site (the Site) and the use of parking spaces, this could help regulate the use of parking spaces and prevent excessive number of vehicles and visitors to the Site and affect the public. In addition, private fee-paying vehicle parks are provided in the vicinity of the Site to accommodate parking demand (**Appendix I**). The Site is also well-served by public transportation. Majority of the staff and visitors can make good use of public transport services at Lau Fau Shan Road then walk to the Site (**Appendix II**).
- (iii) During the operation of the proposed development, the major source of wastewater will be sewage generated by visitors and staff. Septic tank (L2m x W1.5m x D1.5m) will be provided for sewage treatment (**Plan 1**). The applicant will submit and implement relevant proposals to the satisfaction of the Director of Environmental Protection after planning permission has been obtained from the Board. Licensed collectors will be employed by the applicant to collect and dispose of sewage regularly.



Should you require more information regarding the application, please contact our Mr. Orpheus LEE at [REDACTED] / [REDACTED] or the undersigned at your convenience. Thank you for your kind attention.

Yours faithfully,

For and on behalf of
R-riches Property Consultants Limited



Louis TSE
Town Planner

cc DPO/TMYLW, PlanD

(Attn.: Mr. Keith WONG

email: [REDACTED])



香港新界錦田吉慶圍 236 號盈匯坊 D 座

Block D, The Richfield, 236 Kat Hing Wai, Kam Tin, NT, HK



DEVELOPMENT PARAMETERS OF THE APPLICATION SITE

APPLICATION SITE AREA	: 656m ²	(ABOUT)
COVERED AREA	: 222m ²	(ABOUT)
UNCOVERED AREA	: 434m ²	(ABOUT)
PLOT RATIO	: 0.6	(ABOUT)
SITE COVERAGE	: 34%	(ABOUT)
NO. OF STRUCTURE	: 4	
DOMESTIC GFA	: NOT APPLICABLE	
NON-DOMESTIC GFA	: 420m ²	(ABOUT)
TOTAL GFA	: 420m ²	(ABOUT)
BUILDING HEIGHT	: 3m - 7.5m	(ABOUT)
NO. OF STOREY	: 1 - 2	

STRUCTURE

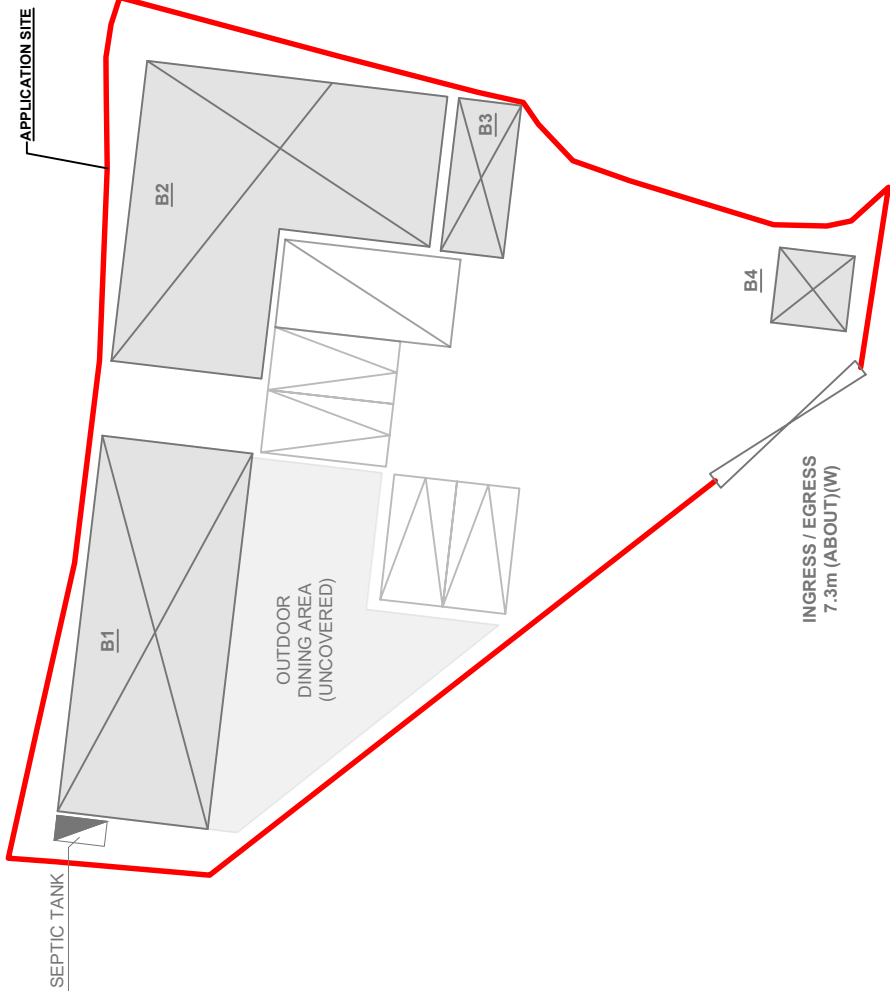
USE

COVERED AREA

GFA

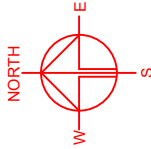
BUILDING HEIGHT

B1	EATING PLACE, KITCHEN, WASHROOM	90m ² (ABOUT)	180m ² (ABOUT)	7.5m (ABOUT)(2-STOREY)
B2	EATING PLACE, STORAGE OF FOOD	108m ² (ABOUT)	216m ² (ABOUT)	7.5m (ABOUT)(2-STOREY)
B3	FS WATER TANK & CONTROL PANEL	15m ² (ABOUT)	15m ² (ABOUT)	3m (ABOUT)(1-STOREY)
B4	METER ROOM	9m ² (ABOUT)	9m ² (ABOUT)	3m (ABOUT)(1-STOREY)
TOTAL		222m ² (ABOUT)	420m ² (ABOUT)	



PARKING AND LOADING/UNLOADING PROVISIONS

NO. OF PRIVATE CAR PARKING SPACE	: 4
DIMENSION OF PARKING SPACE	: 2.5m (W) X 5m (L)
NO. OF LUL SPACE FOR LIGHT GOODS VEHICLE	: 1
DIMENSION OF LUL SPACE	: 3.5m (W) X 7m (L)

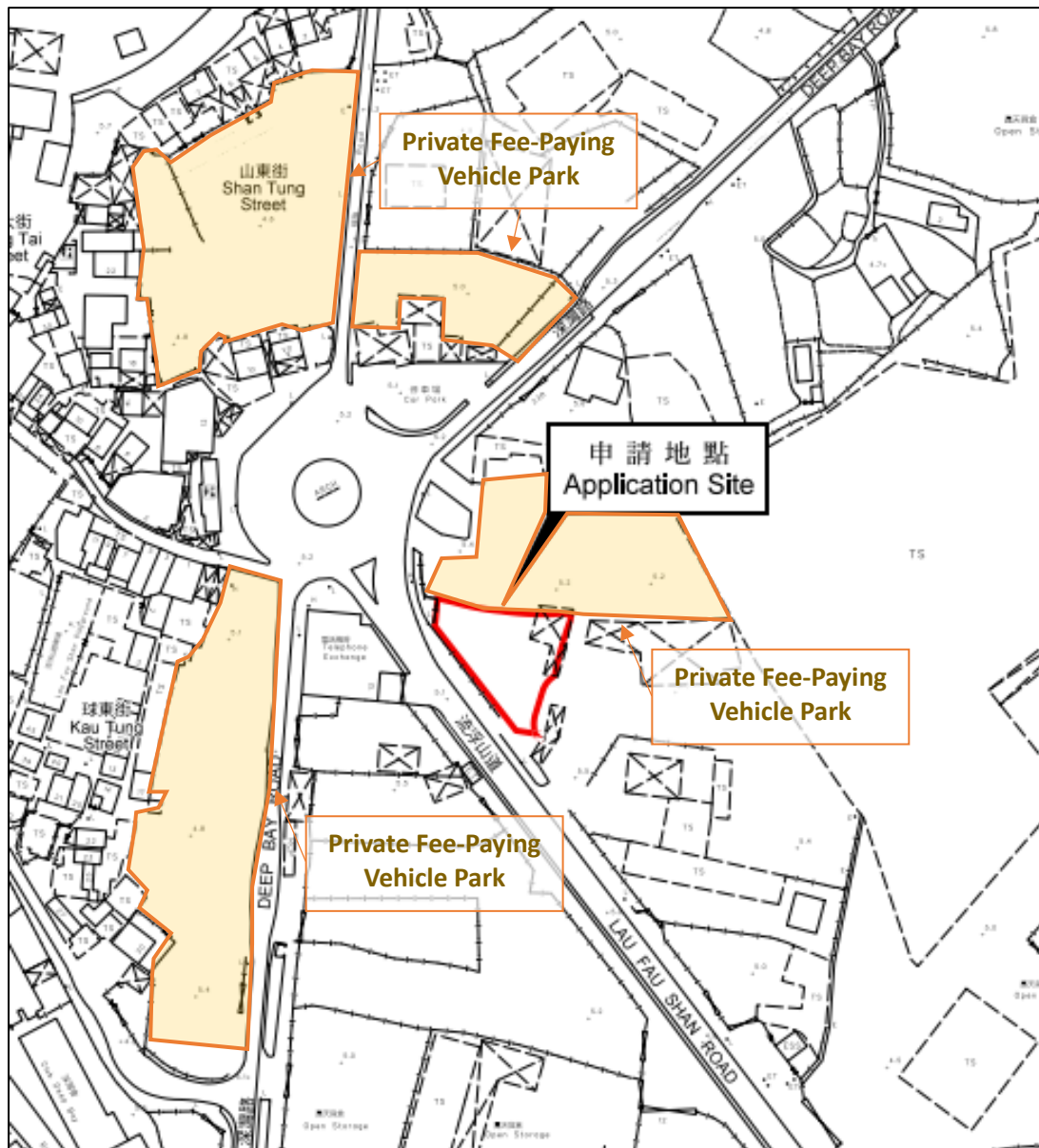


Nearby Private Fee-Paying Vehicle Park

**Proposed Temporary Eating Place with Ancillary Facilities for a Period of 3 Years in
“Residential (Group E)” Zone, Lot 2159 S.A RP in D.D. 129, Lau Fau Shan, New Territories**

(Application No. A/YL-LFS/476)

- (i) Private fee-paying vehicle parks are provided in the vicinity of the application site (the Site) to meet the parking need in case visitors commute to the Site by vehicle, details are as follows:



Public Transport Services

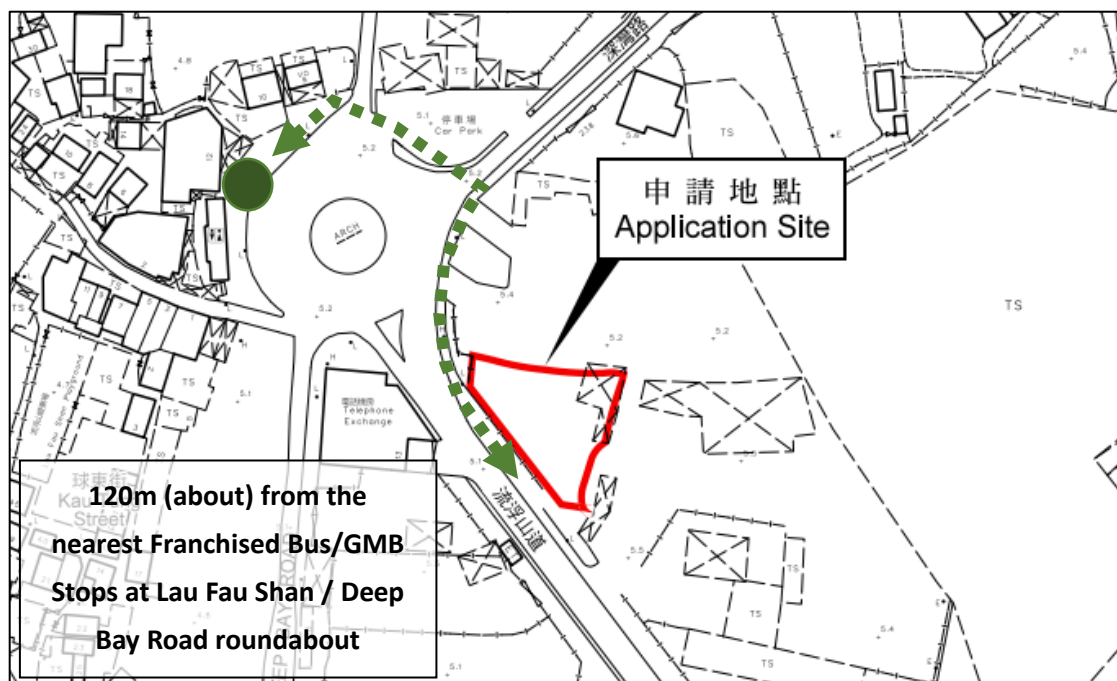
**Proposed Temporary Eating Place with Ancillary Facilities for a Period of 3 Years in
“Residential (Group E)” Zone, Lot 2159 S.A RP in D.D. 129, Lau Fau Shan, New Territories**

(Application No. A/YL-LFS/476)

- (i) Majority of staff and visitor are required to commute to the Site by taking public transport to Lau Fau Shan Road/Deep Bay Road roundabout then walk to the Site, details of public transport services are as follows:

Route No.	Termination Points	
Franchised Bus		
K65	Yuen Long MTR Station	Lau Fau Shan
Green Minibus		
33	Yuen Long (Tai Fung Street)	Ha Pak Nai
34	Yuen Long (Tai Fung Street)	Lau Fau Shan
34A	Ha Tsuen	Lau Fau Shan
35	Yuen Long (Tai Fung Street)	Sha Kiu (Tsim Bei Tsui)

- (ii) The nearest franchised bus and green minibus (GMB) stops are located approximately 120m northwest of the Site, locations of stops are as follows:



Our Ref. : DD129 Lot 2159 S.A RP
Your Ref. : TPB/A/YL-LFS/476

The Secretary
Town Planning Board
15/F, North Point Government office
333 Java Road
North Point, Hong Kong

By Email

27 June 2023

Dear Sir,

2nd Further Information

**Proposed Temporary Eating Place with Ancillary Facilities for a Period of 3 Years in
“Residential (Group E)” Zone, Lot 2159 S.A RP in D.D. 129, Lau Fau Shan, New Territories**

(S.16 Planning Application No. A/YL-LFS/476)

We are writing to submit further information to provide clarification for the subject application, details are as follows:

- (i) A replacement page of supplementary statement is provided (**Appendix I**).

Should you require more information regarding the application, please contact our Mr. Orpheus LEE at [REDACTED] / [REDACTED] or the undersigned at your convenience. Thank you for your kind attention.

Yours faithfully,

For and on behalf of
R-riches Property Consultants Limited



Louis TSE
Town Planner

cc DPO/TMYLW, PlanD

(Attn.: Mr. Keith WONG

email: [REDACTED])



- Domestic GFA	Not applicable
- Non-Domestic GFA	420 m ² (about)
Building Height	3m - 7.5 m (about)
No. of Storey	1 - 2

- 3.2 The Site is accessible from Lau Fau Shan Road (**Plan 1**). A total of 4 parking and 1 loading/unloading (L/UL) spaces are provided at the Site, details are shown at **Table 3** below:

Table 3 – Parking and L/UL Provisions

Type of Space	No. of Space
Private Car Parking Space for Staff - 2.5 m (W) x 5 m (L)	1
Private Car Parking Space for Visitor - 2.5 m (W) x 5 m (L)	3
L/UL Space for Light Goods Vehicle - 3.5 m (W) x 7 m (L)	1

- 3.3 No medium or heavy vehicles including container vehicles, as defined in the Road Traffic Ordinance, are allowed to be parked/stored on or enter/exit the Site at any time during the planning approval. Sufficient space is provided for vehicles to smoothly manoeuvre to/from and within the Site to ensure no queuing, turning back outside the Site during the planning approval period (**Plan 5**). As trip generation and attraction of the proposed development is minimal (as shown at **Table 4** below), adverse traffic impact to the surrounding road network should not be anticipated.

Table 4 – Estimated Trip Generation and Attraction

Time Period	PC		LGV		2-Way Total
	In	Out	In	Out	
Trips at <u>AM peak</u> per hour (10:00 – 11:00)	3	0	1	0	4
Trips at <u>PM peak</u> per hour (18:00 – 19:00)	3	1	0	1	5
Traffic trip per hour (average)	2	2	0	0	4

- 3.4 The applicant will follow ‘Control of Oil Fume and Cooking Odour from Restaurants and Food Business’ issued by EPD to control oily fume and cooking odour emissions generated from the

Previous s.16 Application covering the Application Site

Approved Application

	<u>Application No.</u>	<u>Proposed Use(s)/ Development(s)</u>	<u>Zoning(s)</u>	<u>Date of Consideration (RNTPC)</u>
1	A/YL-LFS/407	Proposed Temporary Eating Place for a Period of 3 Years	R(E)	24.9.2021 (Revoked on 23.6.2023)

**Similar s.16 Applications within the same “Residential (Group E)” Zone
on the Lau Fau Shan and Tsim Bei Tsui Outline Zoning Plan**

Approved Applications

	<u>Application No.</u>	<u>Proposed Use(s)/ Development(s)</u>	<u>Zoning(s)</u>	<u>Date of Consideration (RNTPC/ D of Plan)</u>
1	A/YL-LFS/66	Proposed Restaurant	R(E)	18.5.2001
2	A/YL-LFS/105	Minor Amendments to Approved Development Scheme of Application No. A/YL-LFS/66 for Proposed Restaurant and Minor Relaxation of Plot Ratio Restriction from 0.4 to 0.41	R(E)	22.4.2003
3	A/YL-LFS/150	Proposed Eating Place (Restaurant) and Minor Relaxation of Plot Ratio Restriction from 0.4 to 0.41	R(E)	15.12.2006

Rejected Application

	<u>Application No.</u>	<u>Proposed Use</u>	<u>Zoning</u>	<u>Date of Consideration (RNTPC)</u>	<u>Rejection Reasons</u>
1	A/YL-LFS/64	Proposed Restaurant with Minor Relaxation of Plot Ratio Restriction from 0.4 to 0.577	R(E)	12.1.2001	(1)

Rejection Reason

1. The relaxation of the plot ratio was not considered minor.

Government Departments' General Comments

1. Land Administration

Comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD):

He has no adverse comment on the application.

2. Environment

Comments of the Director of Environmental Protection (DEP):

(a) He has no adverse comment on the application.

(b) There is no substantiated environmental complaint pertaining to the Site in the past 3 years.

3. Drainage

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD):

(a) According to the applicant, the drainage proposal which was accepted under application No. A/YL-LFS/407 will be implemented for the subject development. He has no objection in principle to the application from drainage point of view.

(b) Should the Board consider that the application is acceptable from planning point of view, a condition should be stipulated requiring the applicant to implement and maintain the proposed drainage facilities according to the accepted drainage proposal of application No. A/YL-LFS/407.

4. Fire Safety

Comments of the Director of Fire Services (D of FS):

He has no objection in principle to the proposal subject to fire service installations being provided to his satisfaction.

5. Building Matters

Comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD):

(a) As there is no record of approval granted by the Building Authority for the existing structures at the Site, he is not in a position to offer comments on their suitability for the use proposed in the application.

(b) The applicant should be reminded of the advisory comments at **Appendix IV**.

6. District Officer's Comments

Comments of the District Officer/Yuen Long, Home Affairs Department (DO/YL, HAD):

His office has not received any feedback from locals.

7. Other Department's Comments

The following Government departments have no objection to/no comment on the application:

- (a) Chief Engineer/Construction, Water Supplies Department (CE/C, WSD);
- (b) Chief Engineer/Land Works, Civil Engineering and Development Department (CE/LW, CEDD);
- (c) Head of Geotechnical Engineering Office, CEDD (H(GEO), CEDD);
- (d) Project Manager (West), CEDD (PM(W), CEDD);
- (e) Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD);
- (f) Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD);
- (g) Commissioner for Transport (C for T);
- (h) Commissioner of Police (C of P);
- (i) Director of Agriculture, Fisheries and Conservation (DAFC); and
- (j) Director of Food and Environmental Hygiene (DFEH).

Recommended Advisory Clauses

- (a) the planning permission is given to the development/use under application. It does not condone any other development/use (i.e. storage use) which currently exists on the Site but not covered by the application. Immediate action should be taken to discontinue such development/use not covered by the permission;
- (b) to resolve any land issues relating to the development with the concerned owner(s) of the Site;
- (c) should the applicant fail to comply with any of the approval conditions again resulting in revocation of the planning permission, sympathetic consideration would unlikely be given to any further application;
- (d) to note the comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD) that:
 - (i) the application site (the Site) comprises an Old Schedule Agricultural Lot (OSAL) held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government;
 - (ii) the subject lot is covered by a Short Term Waiver (STW) No. 2325 for the purposes of “Vehicle Park and Storage excluding dangerous goods”; and
 - (iii) the STW holder will need to apply to his office for modification of the STW conditions where appropriate. Besides, given the proposed use is temporary in nature, only application for regularization or erection of temporary structure(s) will be considered. Application(s) for any of the above will be considered by LandsD acting in the capacity of the landlord or lessor at its sole discretion and there is no guarantee that such application(s) will be approved. If such application(s) is approved, it will be subject to such terms and conditions, including among others the payment of rent or fee, as may be imposed by LandsD;
- (e) to note the comments of the Commissioner for Transport (C for T) that sufficient manoeuvring space shall be provided within the Site;
- (f) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD) to ensure that a run-in/out is constructed in accordance with the latest version of HyD Standard Drawings No. H1113 and H1114, or H5133, H5134 and H5135, whichever set is appropriate to match with the existing adjacent pavement. Adequate drainage measures shall be provided to prevent surface water running from the Site to the nearby public roads and drains;
- (g) to note the comments of the Director of Environmental Protection (DEP) that the applicant is advised to follow the relevant mitigation measures and requirements in the revised “Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites” to minimise any potential environmental nuisance. The applicant is also advised to avoid the use of public announcement system or any form of audio amplification system at the Site to minimise noise nuisance. All wastewater collected from the restaurant kitchen should be discharged via a grease trap, and septic tank and soakaway system should be used for sewage collection and disposal in view of the unavailability of public sewer. Their design and construction shall follow the

requirements of Environmental Protection Department's (EPD) Practice Note for Professional Person (ProPECC) PN 5/93 "Drainage Plans subject to Comment by the Environmental Protection Department" including retention time for grease trap and minimum clearance distance, percolation test and certification by Authorized Person for septic tank and soakaway system. The applicant is advised to control the oily fume and cooking odour emissions from the restaurant, the applicant should follow "Control of Oily Fume and Cooking Odour from Restaurant and Food Business" (https://www.epd.gov.hk/epd/sites/default/files/epd/english/environmentinhk/air/guide_ref/files/pamphlet_oilfume_eng.pdf) issued by EPD. The applicant shall meet the statutory requirements under relevant pollution control ordinances.

- (h) to note the comments of the Director of Fire Services (D of FS) that in consideration of the design/nature of the proposal, fire service installations (FSIs) are anticipated to be required. The applicant shall submit relevant layout plans incorporated with the proposed FSIs to the Fire Services Department for approval. The layout plans should be drawn to scale and depicted with dimensions and nature of occupancy. The location of proposed FSIs to be installed should be clearly marked on the layout plans. Licensing requirements would be formulated upon receipt of formal application via the licensing authority. If the proposed structure(s) is required to comply with the Buildings Ordinance (BO) (Cap. 123), detailed fire service requirements will be formulated upon receipt of formal submission of general building plans
- (i) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:
 - (i) the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
 - (ii) the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at the building plan submission stage;
 - (i) if the existing structure (not being a New Territories Exempted House) are erected on leased land without the approval of the Building Authority (BA), they are unauthorized building works (UBW) under BO and should not be designated for any proposed use under the application;
 - (ii) for UBW erected on leased land, enforcement action may be taken by BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under BO;
 - (iii) before any new building works (including containers/open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent of BA should be obtained, otherwise they are UBW under the BO. An Authorized Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO;
 - (iv) if the proposed use under application is subject to issue of a license, any existing structures on the Site intended to be used for such purposes are required to comply with the building safety and other relevant requirements as may be imposed by the

licensing authority;

- (v) any temporary shelters or converted containers for office, storage, washroom or other uses that are considered as temporary buildings are subject to the control of Part VII of the B(P)R; and
- (vi) detailed checking under the BO will be carried out at building plan submission stage;
- (j) to note the comments of the Director of Food and Environmental Hygiene (DFEH) that:
 - (i) pursuant to the Food Business Regulation (Cap. 132X), relevant food business licence is required subject to the type of food business to be operated listed in the Regulation. The operation of any eating place should be under a food licence issued by the Food and Environmental Hygiene Department (FEHD). If the operator intends to operate a restaurant business in the territory, a restaurant licence should be obtained from FEHD in accordance with the Public Health and Municipal Services Ordinance (Cap. 132). For the operation of other types of food business, relevant food licences should also be obtained from FEHD in accordance with Cap. 132. Under the Food Business Regulation (Cap. 132X), a Food Factory Licence should be obtained from FEHD for food business which involves the preparation of food for sale for human consumption off the premises before commencement of such business. The application for food business licences under Cap.132, if acceptable by FEHD, will be referred to relevant government departments for comment. If there is no objection from the departments concerned, a letter of requirements will be issued to the applicant for compliance and the licence will be issued upon compliance of all the requirements;
 - (ii) whenever restaurant licensees wish to include an Outside Seating Accommodation (OSA) into their licensed premises, they are required to submit application to FEHD by filling in the application form together with 8 copies of proposed layout cum OSA plan and 5 copies of 1:1000 location map for approval. If the application of OSA is acceptable for further processing, FEHD will refer it to the relevant departments including such as Buildings Department, Transport Department, Fire Services Department, Planning Department, Home Affairs Department, Lands Department for clearance. A Letter of Requirements on the captioned would be issued if no objection was raised by the Departments concerned and the OSA licence will be issued upon full compliance of all the requirements;
 - (iii) from the restaurant licensing point of view, no shelters other than movable sunshades and the like should be allowed in the OSA. Prior approval and consent must be obtained from the Building Authority under the Buildings Ordinance (Cap. 123) for the construction of awnings or other supporting structures. The main licensing criteria for OSA in respect of Hygiene Requirements are as following:
 - (a) an OSA should normally be annexed to restaurant premises, i.e. food and beverages need not be conveyed through an intervening public thoroughfare;
 - (b) additional food preparation space and scullery area equivalent to 1/10 of the OSA area should be provided inside the roofed-over restaurant premises;

- (c) adequate sanitary and ablution facilities should be provided within the roofed-over area of the premises for use by the customers; and
 - (d) area in a backyard/open yard where there are no waste/soil pipes or manholes prejudicing the hygienic operation of the OSA will also be considered; and
- (iv) the operation of the eating place must not cause any environmental nuisance to the surrounding. The refuse generated by the proposed eating place are regarded as trade refuse. The management or owner of the site is responsible for its removal and disposal at their expenses. The operation of any business should not cause any obstruction or environmental nuisance in the vicinity.

☐ Urgent ☐ Return Receipt Requested ☐ Sign ☐ Encrypt ☐ Mark Subject Restricted ☐ Expand personal&publi



A/YL-LFS/476 DD 129 Lau Fau Shan
11/07/2023 01:49

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
File Ref:

Dear TPB Members,

Conditions for 407 never fulfilled. Have any lessons been learned from Covid?
Appears not when eating places are allowed multiple extensions of time regardless
of failure to fulfill essential safety and hygiene conditions.

Members have a duty to protect public health by withholding approval when
conditions are not fulfilled.

Mary Mulvihill

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
Date: Tuesday, 24 August 2021 3:14 AM CST
Subject: A/YL-LFS/407 DD 129 Lau Fau Shan

A/YL-LFS/407
Lot 2159 S.A RP in D.D.129, Lau Fau Shan
Site area : About 656sq.m
Zoning: "Res (Group E)"
Applied use: Eating Place / 1 Vehicle Parking

Dear TPB Members,

No indication as to nature of clientele.

Is the site served by public drainage system re now urgent need that food
premises be compelled to adapt much higher levels of hygiene than previously
tolerated.

Mary Mulvihill