

2023年 8月 2 3日

此文件在 收到。城市規劃委員會  
只會在收到所有必要的資料及文件後才正式承認收到  
申請的日期

Appendix I of RNTPC  
Paper No. A/YL-LFS/487

This document is received on 23 AUG 2023.  
The Town Planning Board will formally acknowledge  
the date of receipt of the application only upon receipt  
of all the required information and documents.

Form No. S16-I  
表格第 S16-I 號

**APPLICATION FOR PERMISSION  
UNDER SECTION 16 OF  
THE TOWN PLANNING ORDINANCE  
(CAP.131)**

根據《城市規劃條例》(第131章)  
第16條遞交的許可申請

**Applicable to proposals not involving or not only involving:**  
適用於建議不涉及或不祇涉及:

- (i) **Construction of “New Territories Exempted House(s)”;**  
興建「新界豁免管制屋宇」;
- (ii) **Temporary use/development of land and/or building not exceeding 3 years in rural areas; and**  
位於鄉郊地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展;及
- (iii) **Renewal of permission for temporary use or development in rural areas**  
位於鄉郊地區的臨時用途或發展的許可續期

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:  
[https://www.info.gov.hk/tpb/en/plan\\_application/apply.html](https://www.info.gov.hk/tpb/en/plan_application/apply.html)

申請人如欲在本地報章刊登申請通知,以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟,請瀏覽以下網址有關在指定的報章刊登通知:  
[https://www.info.gov.hk/tpb/tc/plan\\_application/apply.html](https://www.info.gov.hk/tpb/tc/plan_application/apply.html)

**General Note and Annotation for the Form**  
**填寫表格的一般指引及註解**

# “Current land owner” means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made  
「現行土地擁有人」指在提出申請前六星期,其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill “NA” for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足,請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2302282

18/8 by hand

Form No. S16-I 表格第 S16-I 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	AYL- UFS/487
	Date Received 收到日期	23 AUG 2023

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.info.gov.hk/tpb/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).  
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.info.gov.hk/tpb/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.  
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

### 1. Name of Applicant 申請人姓名/名稱

( ☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☒ Organisation 機構 )

The Boys' & Girls' Clubs Association of Hong Kong

### 2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

( ☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☐ Organisation 機構 )

### 3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Former Sha Kong Public Luen Yick School in Government Land D.D 129
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 ..... 1910 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 ..... 605 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	..... 1910 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約



(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Lau Fau Shan and Tsim Bei Tsui Outline Zoning Plan No. S/YL-LFS/11
(e) Land use zone(s) involved 涉及的土地用途地帶	Village Type Development
(f) Current use(s) 現時用途	Vacant  (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

#### 4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☐ is the sole "current land owner"<sup>#&</sup> (please proceed to Part 6 and attach documentary proof of ownership).  
是唯一的「現行土地擁有人」<sup>#&</sup> (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners"<sup>#&</sup> (please attach documentary proof of ownership).  
是其中一名「現行土地擁有人」<sup>#&</sup> (請夾附業權證明文件)。
- ☐ is not a "current land owner"<sup>#</sup>.  
並不是「現行土地擁有人」<sup>#</sup>。

- ☒ The application site is entirely on Government land (please proceed to Part 6).  
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

#### 5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at ..... (DD/MM/YYYY), this application involves a total of ..... "current land owner(s)"<sup>#</sup>.  
根據土地註冊處截至 ..... 年 ..... 月 ..... 日的記錄，這宗申請共牽涉 ..... 名「現行土地擁有人」<sup>#</sup>。

(b) The applicant 申請人 –

- ☐ has obtained consent(s) of ..... "current land owner(s)"<sup>#</sup>.  
已取得 ..... 名「現行土地擁有人」<sup>#</sup>的同意。

Details of consent of "current land owner(s)" <sup>#</sup> obtained 取得「現行土地擁有人」 <sup>#</sup> 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)
N/A	N/A	N/A

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified ..... "current land owner(s)"<sup>#</sup>  
已通知 ..... 名「現行土地擁有人」<sup>#</sup>。

Details of the "current land owner(s)" <sup>#</sup> notified 已獲通知「現行土地擁有人」 <sup>#</sup> 的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)
N/A	N/A	N/A

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):  
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on \_\_\_\_\_ (DD/MM/YYYY)<sup>#&</sup>  
於 \_\_\_\_\_ (日/月/年)向每一名「現行土地擁有人」<sup>#</sup>郵遞要求同意書<sup>&</sup>

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於 \_\_\_\_\_ (日/月/年)在指定報章就申請刊登一次通知<sup>&</sup>
- ☐ posted notice in a prominent position on or near application site/premises on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於 \_\_\_\_\_ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知<sup>&</sup>
- ☐ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於 \_\_\_\_\_ (日/月/年)把通知寄往相關的業主立案法團／業主委員會／互助委員會或管理處，或有關的鄉事委員會<sup>&</sup>

Others 其他

- ☐ others (please specify)  
其他（請指明）  
N/A

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料



<b>6. Type(s) of Application 申請類別</b>	
<input type="checkbox"/> Type (i) 第(i)類	Change of use within existing building or part thereof 更改現有建築物或其部分內的用途
<input type="checkbox"/> Type (ii) 第(ii)類	Diversion of stream / excavation of land / filling of land / filling of pond as required under Notes of Statutory Plan(s) 根據法定圖則《註釋》內所要求的河道改道／挖土／填土／填塘工程
<input type="checkbox"/> Type (iii) 第(iii)類	Public utility installation / Utility installation for private project 公用事業設施裝置/私人發展計劃的公用設施裝置
<input type="checkbox"/> Type (iv) 第(iv)類	Minor relaxation of stated development restriction(s) as provided under Notes of Statutory Plan(s) 略為放寬於法定圖則《註釋》內列明的發展限制
<input checked="" type="checkbox"/> Type (v) 第(v)類	Use / development other than (i) to (iii) above 上述的(i)至(iii)項以外的用途／發展
<p>Note 1: May insert more than one 「✓」.</p> <p>註 1：可在多於一個方格內加上「✓」號</p> <p>Note 2: For Development involving columbarium use, please complete the table in the Appendix.</p> <p>註 2：如發展涉及靈灰安置所用途，請填妥於附件的表格。</p>	

<b>(i) For Type (i) application 供第(i)類申請</b>			
(a) Total floor area involved 涉及的總樓面面積	sq.m 平方米		
(b) Proposed use(s)/development 擬議用途/發展	(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)		
(c) Number of storeys involved 涉及層數		Number of units involved 涉及單位數目	
(d) Proposed floor area 擬議樓面面積	Domestic part 住用部分 ..... sq.m 平方米 <input type="checkbox"/> About 約		
	Non-domestic part 非住用部分 ..... sq.m 平方米 <input type="checkbox"/> About 約		
	Total 總計 ..... sq.m 平方米 <input type="checkbox"/> About 約		
(e) Proposed uses of different floors (if applicable) 不同樓層的擬議用途(如適用) (Please use separate sheets if the space provided is insufficient) (如所提供的空間不足，請另頁說明)	Floor(s) 樓層	Current use(s) 現時用途	Proposed use(s) 擬議用途

**(ii) For Type (ii) application 供第(ii)類申請**

<p>(a) Operation involved 涉及工程</p>	<p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘  Area of filling 填塘面積 ..... sq.m 平方米 <input type="checkbox"/> About 約  Depth of filling 填塘深度 ..... m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土  Area of filling 填土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約  Depth of filling 填土厚度 ..... m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土  Area of excavation 挖土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約  Depth of excavation 挖土深度 ..... m 米 <input type="checkbox"/> About 約</p> <p>(Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land)  (請用圖則顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍)</p>
<p>(b) Intended use/development 有意進行的用途/發展</p>	

**(iii) For Type (iii) application 供第(iii)類申請**

<p>(a) Nature and scale 性質及規模</p>	<p><input type="checkbox"/> Public utility installation 公用事業設施裝置</p> <p><input type="checkbox"/> Utility installation for private project 私人發展計劃的公用設施裝置</p> <p>Please specify the type and number of utility to be provided as well as the dimensions of each building/structure, where appropriate  請註明有關裝置的性質及數量, 包括每座建築物/構築物(倘有)的長度、高度和闊度</p> <table border="1" data-bbox="502 1377 1460 1881"> <thead> <tr> <th>Name/type of installation 裝置名稱/種類</th> <th>Number of provision 數量</th> <th>Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> <p>(Please illustrate on plan the layout of the installation 請用圖則顯示裝置的布局)</p>	Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)									
Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)											

**(iv) For Type (iv) application 供第(iv)類申請**

- (a) Please specify the proposed minor relaxation of stated development restriction(s) and also fill in the proposed use/development and development particulars in part (v) below –  
請列明擬議略為放寬的發展限制並填妥於第(v)部分的擬議用途/發展及發展細節 –

- ☐ Plot ratio restriction From 由 ..... to 至 .....  
地積比率限制
- ☐ Gross floor area restriction From 由 .....sq. m 平方米 to 至 .....sq. m 平方米  
總樓面面積限制
- ☐ Site coverage restriction From 由 .....% to 至 .....%  
上蓋面積限制
- ☐ Building height restriction From 由 .....m 米 to 至 .....m 米  
建築物高度限制  
From 由 ..... mPD 米 (主水平基準上) to 至 .....mPD 米 (主水平基準上)  
From 由 ..... storeys 層 to 至 ..... storeys 層
- ☐ Non-building area restriction From 由 .....m to 至 .....m  
非建築用地限制
- ☐ Others (please specify) .....  
其他 (請註明) .....

**(v) For Type (v) application 供第(v)類申請**

(a) Proposed use(s)/development  
擬議用途/發展

Proposed Temporary Institutional Use (Children Life Learning Centre) Please refer to the Appendix 3 - Proposed Layout Plan (Pages 49 to 54)

(Please illustrate the details of the proposal on a layout plan 請用平面圖說明建議詳情)

**(b) Development Schedule 發展細節表**

Proposed gross floor area (GFA) 擬議總樓面面積

..... 668 ..... sq.m 平方米 ☐ About 約

Proposed plot ratio 擬議地積比率

..... 0.32 ..... ☐ About 約

Proposed site coverage 擬議上蓋面積

..... 32 ..... % ☐ About 約

Proposed no. of blocks 擬議座數

..... 1 .....

Proposed no. of storeys of each block 每座建築物的擬議層數

..... 1 ..... storeys 層

☐ include 包括 ..... storeys of basements 層地庫

☐ exclude 不包括 ..... storeys of basements 層地庫

Proposed building height of each block 每座建築物的擬議高度

..... mPD 米(主水平基準上) ☐ About 約

..... 4 ..... m 米 ☒ About 約



☐ Domestic part 住用部分

GFA 總樓面面積 ..... sq. m 平方米 ☐ About 約

number of Units 單位數目 .....

average unit size 單位平均面積 ..... sq. m 平方米 ☐ About 約

estimated number of residents 估計住客數目 .....

☒ Non-domestic part 非住用部分

## GFA 總樓面面積

☐ eating place 食肆 ..... sq. m 平方米 ☐ About 約

☐ hotel 酒店 ..... sq. m 平方米 ☐ About 約

(please specify the number of rooms  
請註明房間數目) .....

☐ office 辦公室 ..... sq. m 平方米 ☐ About 約

☐ shop and services 商店及服務行業 ..... sq. m 平方米 ☐ About 約

☒ Government, institution or community facilities  
政府、機構或社區設施

(please specify the use(s) and concerned land  
area(s)/GFA(s) 請註明用途及有關的地面面積／總  
樓面面積)

Proposed Temporary Institutional Use  
(Children Life Learning Centre) .....  
605 sq.m. ....

☐ other(s) 其他

(please specify the use(s) and concerned land  
area(s)/GFA(s) 請註明用途及有關的地面面積／總  
樓面面積)

☐ Open space 休憩用地

(please specify land area(s) 請註明地面面積)

☐ private open space 私人休憩用地 ..... sq. m 平方米 ☐ Not less than 不少於

☐ public open space 公眾休憩用地 ..... sq. m 平方米 ☐ Not less than 不少於

## (c) Use(s) of different floors (if applicable) 各樓層的用途 (如適用)

[Block number] [座數]	[Floor(s)] [層數]	[Proposed use(s)] [擬議用途]
.....	.....	Please refer to the Appendix 1 - Use(s) of Different Floors (Pages 21 to 22)
.....	.....	.....
.....	.....	.....
.....	.....	.....
.....	.....	.....

## (d) Proposed use(s) of uncovered area (if any) 露天地方 (倘有) 的擬議用途

The existing space of the ancillary playground will remained unchanged

**7. Anticipated Completion Time of the Development Proposal****擬議發展計劃的預計完成時間**

Anticipated completion time (in month and year) of the development proposal (by phase (if any)) (e.g. June 2023)

擬議發展計劃預期完成的年份及月份 (分期 (倘有)) (例: 2023 年 6 月)

(Separate anticipated completion times (in month and year) should be provided for the proposed public open space and Government, institution or community facilities (if any))

(申請人須就擬議的公眾休憩用地及政府、機構或社區設施 (倘有) 提供個別擬議完成的年份及月份)

February 2026

**8. Vehicular Access Arrangement of the Development Proposal****擬議發展計劃的行人通道安排**

Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？	Yes 是          No 否	<input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) <b>MAN TAK ROAD</b> <hr/> <input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度)  <input type="checkbox"/>
Any provision of parking space for the proposed use(s)? 是否有為擬議用途提供停車位？	Yes 是          No 否	<input checked="" type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示) Private Car Parking Spaces 私家車車位 <u>6</u> Motorcycle Parking Spaces 電單車車位 _____ Light Goods Vehicle Parking Spaces 輕型貨車泊車位 _____ Medium Goods Vehicle Parking Spaces 中型貨車泊車位 _____ Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 _____ Others (Please Specify) 其他 (請列明) _____ _____ _____
Any provision of loading/unloading space for the proposed use(s)? 是否有為擬議用途提供上落客貨車位？	Yes 是          No 否	<input type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示) Taxi Spaces 的士車位 _____ Coach Spaces 旅遊巴車位 _____ Light Goods Vehicle Spaces 輕型貨車車位 _____ Medium Goods Vehicle Spaces 中型貨車車位 _____ Heavy Goods Vehicle Spaces 重型貨車車位 _____ Others (Please Specify) 其他 (請列明) _____ _____ _____ <input checked="" type="checkbox"/>

**9. Impacts of Development Proposal 擬議發展計劃的影響**

If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures.

如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。

<p>Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?</p>	<p>Yes 是 <input checked="" type="checkbox"/>   No 否 <input type="checkbox"/></p>	<p><input checked="" type="checkbox"/> Please provide details 請提供詳情 Please refer to the Appendix 3 - Proposed Layout Plan (Pages 49 to 54) ..... ..... ..... .....</p>																													
<p>Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程? (Note: where Type (ii) application is the subject of application, please skip this section. 註：如申請涉及第(ii)類申請，請跳至下一條問題。)</p>	<p>Yes 是 <input type="checkbox"/>   No 否 <input checked="" type="checkbox"/></p>	<p><input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及/或範圍)</p> <p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 ..... m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 ..... m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 .....m 米 <input type="checkbox"/> About 約</p>																													
<p>Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?</p>	<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input checked="" type="checkbox"/></td> <td>No 不會 <input type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> </table> <p>..... .....</p> <p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>Number of affected tree: 1 no. ....</p> <p>Tree Species: Bauhinia spp (羊蹄甲屬).....</p> <p>Tree height: About 3m Crown Spread: About 5m .....</p> <p>Suggested Action: Tree Removal .....</p> <p>Please refer to the Appendix 2 - Tree Risk Assessment (Pages 23 to 48 ) .....</p>	On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input checked="" type="checkbox"/>	No 不會 <input type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													
On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													
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On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													
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Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													
Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													



## 10. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.  
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

Please refer to the Appendix 4 - Justifications (Pages 55 to 64)

**11. Declaration 聲明**

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.  
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion. 本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature  
簽署

☒ Applicant 申請人 / ☐ Authorised Agent 獲授權代理人

Lau Chung, Billie

Executive Director

Name in Block Letters  
姓名（請以正楷填寫）

Position (if applicable)  
職位（如適用）

Professional Qualification(s)  
專業資格

☐ Member 會員 / ☐ Fellow of 資深會員

☐ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他 .....

on behalf of  
代表

The Boys' & Girls' Clubs Association of Hong Kong



☐ Company 公司 / ☒ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

17 AUG 2023

..... (DD/MM/YYYY 日/月/年)

**Remark 備註**

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

**Warning 警告**

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

**Statement on Personal Data 個人資料的聲明**

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and  
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
- (b) facilitating communication between the applicant and the Secretary of the Board/Government departments.  
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

**For Developments involving Columbarium Use, please also complete the following:**  
**如發展涉及靈灰安置所用途，請另外填妥以下資料：**

Ash interment capacity 骨灰安放容量<sup>@</sup>

Maximum number of sets of ashes that may be interred in the niches

在龕位內最多可安放骨灰的數量

Maximum number of sets of ashes that may be interred other than in niches

在非龕位的範圍內最多可安放骨灰的數量

Total number of niches 龕位總數

Total number of single niches

單人龕位總數

Number of single niches (sold and occupied)

單人龕位數目 (已售並佔用)

Number of single niches (sold but unoccupied)

單人龕位數目 (已售但未佔用)

Number of single niches (residual for sale)

單人龕位數目 (待售)

Total number of double niches

雙人龕位總數

Number of double niches (sold and fully occupied)

雙人龕位數目 (已售並全部佔用)

Number of double niches (sold and partially occupied)

雙人龕位數目 (已售並部分佔用)

Number of double niches (sold but unoccupied)

雙人龕位數目 (已售但未佔用)

Number of double niches (residual for sale)

雙人龕位數目 (待售)

Total no. of niches other than single or double niches (please specify type)

除單人及雙人龕位外的其他龕位總數 (請列明類別)

Number of niches (sold and fully occupied)

龕位數目 (已售並全部佔用)

Number of niches (sold and partially occupied)

龕位數目 (已售並部分佔用)

Number of niches (sold but unoccupied)

龕位數目 (已售但未佔用)

Number of niches (residual for sale)

龕位數目 (待售)

Proposed operating hours 擬議營運時間

<sup>@</sup> Ash interment capacity in relation to a columbarium means –

就靈灰安置所而言，骨灰安放容量指：

- the maximum number of containers of ashes that may be interred in each niche in the columbarium;  
每個龕位內可安放的骨灰容器的最高數目；
- the maximum number of sets of ashes that may be interred other than in niches in any area in the columbarium; and  
在該靈灰安置所並非龕位的範圍內，總共最多可安放多少份骨灰；以及
- the total number of sets of ashes that may be interred in the columbarium.  
在該骨灰安置所內，總共最多可安放多少份骨灰。



## Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置/地址	Former Sha Kong Public Luen Yick School in Government Land D.D 129		
Site area 地盤面積	1910	sq. m 平方米	<input checked="" type="checkbox"/> About 約
	(includes Government land of 包括政府土地	1910	sq. m 平方米 <input checked="" type="checkbox"/> About 約)
Plan 圖則	Approved Lau Fau Shan and Tsim Bei Tsui Outline Zoning Plan No.S/YL-LFS/11		
Zoning 地帶	Village Type Development		
Applied use/ development 申請用途/發展	Proposed Temporary Institutional Use (Children Life Learning Centre) for a period of 5 years		
(i) Gross floor area and/or plot ratio 總樓面面積及/或 地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	605 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.32 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of block 幢數	Domestic 住用		
	Non-domestic 非住用	1 no.	
	Composite 綜合用途		

(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	m 米 <input type="checkbox"/> (Not more than 不多於)	
		mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)	
		Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (□ Include 包括 □ Exclude 不包括) <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)	
	Non-domestic 非住用	About 4 m 米 <input type="checkbox"/> (Not more than 不多於)	
		mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)	
		Storeys(s) 層 <input checked="" type="checkbox"/> (Not more than 不多於) (□ Include 包括 □ Exclude 不包括) <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)	
	Composite 綜合用途	m 米 <input type="checkbox"/> (Not more than 不多於)	
		mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)	
		Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (□ Include 包括 □ Exclude 不包括) <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)	
(iv) Site coverage 上蓋面積	32 % <input checked="" type="checkbox"/> About 約		
(v) No. of units 單位數目			
(vi) Open space 休憩用地	Private 私人	sq.m 平方米 <input type="checkbox"/> Not less than 不少於	
	Public 公眾	sq.m 平方米 <input type="checkbox"/> Not less than 不少於	

(vii) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數  Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) <hr/>	Total nos. 6  Private Car Parking Spaces: 6
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數  Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) <hr/>	

**Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件**

	<u>Chinese</u> 中文	<u>English</u> 英文
<b><u>Plans and Drawings 圖則及繪圖</u></b>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>
<hr/>		
<b><u>Reports 報告書</u></b>		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>

Note: May insert more than one '✓'. 註：可在多於一個方格內加上「✓」號



Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

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## **Appendix 1 - Use(s) of Different Floors**

Block number 【座數】	Floor(s) 【層數】	Proposed use(s) 【擬議用途】
Classroom A	G/F	Store Room A
Classroom B	G/F	Room A (Multi-Purpose Great Room)
Classroom C	G/F	Room B (Multi-Purpose Great Room)
Classroom D	G/F	Room C (Multi-Purpose Great Room)
M/F Lavatories	G/F	M/F Lavatories
Special Room	G/F	Class Room
General Office	G/F	Store Room B
Snack Bar	G/F	Tuck Shop, Pantry, Sick Room and Office

## **Appendix 2 - Tree Risk Assessment**

# **Tree Risk Assessment for Former Sha Kong Public Luen Yick School at D.D. 129 Sha Kong Wai, Yuen Long**

## **Tree Risk Assessment Report From Certified Arborist**

Prepared by:  
**Charles Hui**

**Project Certified Arborist**  
ISA Certified Arborist



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Issue 1  
Date: 19<sup>th</sup> July 2022



## **Content**

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<b>Appendix 2.2</b>	<b>Tree Assessment Schedule</b>
<b>Appendix 2.3</b>	<b>Photographic Record</b>
<b>Appendix 2.4</b>	<b>Tree Work Schedule</b>
<b>Appendix 2.5</b>	<b>Tree Work Photo</b>

## 1. Introduction

This tree risk assessment (in the form of Form 1) was conducted by Green Tree Ring Arboricultural Consultancy Limited who has been appointed by Architectural Technology (A & D) Ltd.. The assessment was conducted on 22<sup>nd</sup> June 2022 within the lot boundary of D.D. 129 Sha Kong Wai, Yuen Long. Please find the location plan as below for the survey boundary and tree locations.



### Location Plan

The objectives of this tree risk assessment are to record the updated conditions of trees within the lot boundary that with a trunk girth of at least 300 mm or greater measured at 1.3 m above ground level (In accordance to the Government's technical circulars, related publications and professional practices. Please refer to **Section 4** for details), so as to provide the information for the preservation and proper management of these trees. The assessment form (Form 1), photographic record, tree location plan and proposal of arboricultural works are also included in the **Appendix 2.1 to 2.5**.

## 2. Survey finding

A total of **6 trees** were surveyed during this tree risk assessment. Tree assessment schedule was prepared to present the detail finding of each surveyed trees. The tree data was presented in Form 1.

Trees in the site mixed with the planted trees for greening and ornamental purpose and the self-seeded trees. Most of the surveyed trees were located at playground area without horticultural maintenance. The health and form of them are generally fair (details please refer to **Appendix 2.1 –Tree Group Inspection Form** and **Appendix 2.2 –Tree Assessment Schedule**).

A total of 3 nos. of tree species were recorded during the survey. No tree was found to be the registered Old and Valuable Trees, nor is potentially registrable as Old and Valuable Trees. No rare or protected species was recorded during the assessment.

A total of 3 trees were identified with health or structural problem and require arboricultural treatment. Except for T5 which proposed to be removed, minor pruning (less than 20% of crown) and other minor tree works were recommended. The arboricultural works recommended are summarized in **Section 3** (Please refer to **Appendix 2.4** and **2.5** for the detail works proposal).

## 3. Recommendation

A total of **3 trees** were identified with health or structural problem in Form 1. The proposed mitigation measures are summarized as below:

Mitigation measure proposed	Number of Trees	Tree No.
Crown cleaning:	2	<b>T2, T3</b>
Removal of collapsed tree:	1	<b>T5</b>

Please refer to **Appendix 2.4** and **2.5** for the details.

## 4. Reference

### Ordinances and Circulars

The Law of Hong Kong Chapter 96

The Law of Hong Kong Chapter 586

DEVB TC(W) No. 5/2020

AFCD, Nature Conservation Practice Note No. 02 (Rev. Jun 2006)

Lands Department Practice Note No.2/2020

GLTMS, DevB (April 2021)

DEVB TC(W) No. 4/2020

*Forest and Countryside Ordinance*

*Protection of Endangered Species of Animals and Plants Ordinance*

*Registration and Preservation of Old and Valuable Trees*

*Measurement of Diameter at Breast Height (DBH)*

*Tree Preservation and Tree Removal Application for Building Development in Private Projects*

*Guidelines for Tree Risk Assessment and Management Arrangement (9<sup>th</sup> edition(Rev.2A))*

*Tree Preservation*

### Publications

AFCD (2012)

HU, Q. et al (2003)

Jim, C.Y. (1994).

Webb, R. (1991).

*Check List of Hong Kong Plants 2012*. AFCD, Hong Kong

*Rare and Precious Plants of Hong Kong*. AFCD, Hong Kong

*Champion Trees in Urban Hong Kong*. Urban Council, Hong Kong

*Tree Planting and Maintenance in Hong Kong*. Standing Interdepartmental Landscape Technical Group, Hong Kong SAR Government, Hong Kong

## **Appendix 2.1**

### **Tree Group Inspection Forms (Form 1)**

# Tree Risk Assessment Form 1 : Tree Group Inspection 樹木風險評估表格1：樹群檢查表

## General Information 基本資料

Form 1 Ref. No.:	2021
表格1編號:	

Dept. / Agency 部門 / 機構:	PriO	Inspection Officer 巡查人員:	Hui Chi Shun	Post 職位:	Arborist (HK-0652AMT)
Project / Contract No. 工程 / 合約編號:	Q1417			File Ref. 檔案編號:	Q1417-10062022
Date of Inspection 巡查日期:	22/06/2022 (dd/mm/yyyy)	Last Inspection Date: 上次巡查日期:	(dd/mm/yyyy)	Inspection Frequency: 巡查週期:	12 months 個月

## Location Information 位置資料

Masterzone Ref. 主區編號:	FSKPLYS	Subzone Ref. 副區編號:	FSKPLYS		
Location (English) : 地點 (英文):	Former Sha Kong Public Luen Yick School	Location (Chinese) : 地點 (中文):	沙江公立聯益學校 (前稱)	District: 地區:	Yuen Long 元朗區
Tree Risk Management Zone 樹木風險管理地區類別:		Category I 第一類			
Location Types 地點類別: (multiple selections allowed 可選多於一項)	<input type="checkbox"/> Roadside landscaped area 路旁綠化地區 <input type="checkbox"/> Public park/recreation venue 公園/康樂場地 <input type="checkbox"/> Planter box 花盆 <input type="checkbox"/> Tree pit 樹穴 <input type="checkbox"/> Housing estate 屋邨 <input type="checkbox"/> Central divider 中央分隔帶 <input type="checkbox"/> Others (please specify) 其他 (請說明): <input type="text"/>				
Nearby Utility Post No. 就近公用設施編號:					

## Tree Information 樹木基本資料

The size of a tree group should be defined by location types, such as public parks, SIMAR slopes, tree pits, etc. with due consideration given to the limitations of visual tree assessment.  
在決定樹群的大小時，應參照地點類別，如公園、系統性鑑別維修責任的斜坡、樹穴等，並需考慮目測法的局限。

### (A) Triage Trees and Trees Require Remedial Actions or Form 2 Assessment

分流樹木及需要進行緩減措施 / 表格 2 評估的樹木

TMCP Tree ID 樹木編號	Dept. Tree ID 部門樹木編號	Tree Species 樹種	Estimated Tree Height (m) 大約樹高 (米)	Estimated Crown Spread (m) 大約樹冠闊度 (米)	Tree Status 樹木類別	Overall Tree Conditions 整體樹木狀況	Triage Colour 分流顏色	Remedial Action / Form 2 Assessment 緩減措施 / 表格2評估	Anticipated Completion Date 預計完成日期 (dd/mm/yyyy)	Reference Coordinates of Tree 樹木參考座標	
										X	Y
	T2	Eucalyptus camaldulensis 赤桉	10.00	6.00	Other Trees 其他樹木	Poor 差	No 無	Crown cleaning 清理樹冠	19/08/2022	817010.000	835946.000
	T3	Eucalyptus camaldulensis 赤桉	12.00	7.00	Other Trees 其他樹木	Fair 一般	No 無	Crown cleaning 清理樹冠	19/08/2022	817005.000	835946.000
	T5	Bauhinia spp. 羊蹄甲屬	3.00	5.00	Other Trees 其他樹木	Poor 差	No 無	Removal 移除	19/08/2022	816964.000	835932.000

Add Rows 增加列

Delete Rows 刪除列

### (B) Other Trees (Non-Triage Trees - trees do not need further actions)

其他樹木 (非分流樹木 - 無需進一步行動的樹木)

Tree Species 樹種	App. Quantity of Trees 大約樹木數	Range of Tree Height 樹高範圍		Overall Tree Conditions 整體樹木狀況
		From (m) 由 (米)	To (m) 至 (米)	
Eucalyptus camaldulensis 赤桉	1	16	16	Fair 一般
Bauhinia spp. 羊蹄甲屬	1	6	6	Fair 一般
Ficus microcarpa 榕樹 (細葉榕)	1	9	9	Fair 一般

Add Rows 增加列

Delete Rows 刪除列

### Overall Remarks 整體評語

A total of 6 trees were covered in the form and 3 trees were identified with health or structural problem and require arboricultural treatment. Please refer to appendix 2.2 and 2.4.

Sub-total No. of Trees in Table (A): (A) 表樹木數量小結:	3	Sub-total No. of Trees in Table (B): (B) 表樹木數量小結:	3	Total No. of Trees (A + B): 樹木總數 (A + B):	6
---	---	---	---	---	---

### Summary of TRIAGE Trees 分流樹木總結

Black 黑	0	Red 紅	0	Yellow 黃	0	No Triage colour 無	3
---------	---	-------	---	----------	---	--------------------	---

## Attached Information 附夾資料

Attachment Type	Attachment Name	Description
Add Rows 增加列	Delete Rows 刪除列	



## Declaration 聲明

I, the Inspection Officer for the above TRA Form 1, confirm that I have inspected the tree group(s) at the specified date with due diligence, and the information given in the Form(s) is truly reflecting what I observed on site.

本人作為以上樹群檢查表格1的巡查人員，確認本人已在本表格所列日期，謹慎小心完成有關樹群的檢查，而本表格上填入的資料均真確無訛地反映本人在現場觀察所得。

My academic, professional, training records and work experience met the requirements of Inspection Officer specified in the TRAM Guidelines.

本人的學術、專業、培訓紀錄及相關工作經驗均符合「樹木風險評估及管理安排」指引中對巡查人員的要求。

Name of Inspection Officer:

Hui Chi Shun

巡查人員姓名

(請以英文正楷書寫)

# (If more than one Inspection Officer involved in the same Tree Group Inspection, each Inspection Officer should submit individual Form 1 containing the trees inspected by him/her. 如多於一位巡查人員負責同一樹群檢查，個別巡查人員應將其檢查的樹木以另一表格1填報。)

Date of Form Completion:

19/07/2022

完成表格日期

(dd/mm/yyyy)

(If Form 1 is submitted in paper form 若以文本形式遞交表格1)

Signature of Inspection Officer:

巡查人員簽署：





## **Appendix 2.2**

### **Tree Assessment Schedule**

**Appendix 2.2 - Tree Assessment Schedule**

Tree No.	Species		Measurements			Amenity value	Form	Health condition	Structural condition	Conservation status	Recommendation (Retain/Transplant/ Fell/Remove)	Department to provide expert advice to <b>LandsD</b>	Proposed Arboricultural Works	Further Assessment by Form 2 (Yes/ No)	Additional Remarks
	Scientific name	Chinese name	Height(m)	DBH(mm) )	Crown spread (m)		(Good/ Fair/ Poor)								
T1	<i>Eucalyptus camaldulensis</i>	赤桉	16	680	9	Fair	Fair	Fair	Fair	-	Retain	-	-	No	Minor dead twigs, minor hanger, dead branch, multiple branching, restricted root
T2	<i>Eucalyptus camaldulensis</i>	赤桉	10	550	6	Poor	Poor	Poor	Poor	-	Retain	-	Pruning	No	Severe dieback, dead branch, epicormics at lower trunk, ficus seedling on trunk, restricted root
T3	<i>Eucalyptus camaldulensis</i>	赤桉	12	700	7	Poor	Poor	Fair	Fair	-	Retain	-	Pruning	No	Dieback, dead branch, multiple branching, restricted root
T4	<i>Bauhinia</i> spp.	羊蹄甲屬	6	160, 140, 90, 90	5	Poor	Poor	Fair	Fair	-	Retain	-	-	No	Multiple trunks, dead branch, crossing trunks
T5	<i>Bauhinia</i> spp.	羊蹄甲屬	3	180	5	Poor	Poor	Fair	Poor	-	Remove	-	Tree removal	No	Severe leaning, unbalanced, uprooted
T6	<i>Ficus microcarpa</i>	榕樹	9	250, 220, 200	10	Poor	Poor	Fair	Fair	-	Retain	-	-	No	Developed on boundary wall and existing building, demolition works will adversely affect the tree structural
End of schedule															

## **Appendix 2.3**

### **Photographic Record**

Tree Risk Assessment for Former Sha Kong Public Luen Yick School  
at D.D. 129 Sha Kong Wai, Yuen Long  
Appendix 2.3 - Photographic Record



Site overview (1)



Site overview (2)



Site overview (3)



Site overview (4)



Tree Risk Assessment for Former Sha Kong Public Luen Yick School  
at D.D. 129 Sha Kong Wai, Yuen Long  
Appendix 2.3 - Photographic Record



T1\_01\_Whole view



T1\_02\_Crown



T1\_03\_Trunk



T1\_04\_Root



Tree Risk Assessment for Former Sha Kong Public Luen Yick School  
at D.D. 129 Sha Kong Wai, Yuen Long  
Appendix 2.3 - Photographic Record



T2\_01\_Whole view



T2\_02\_Crown



T2\_03\_Trunk



T2\_04\_Root



Tree Risk Assessment for Former Sha Kong Public Luen Yick School  
at D.D. 129 Sha Kong Wai, Yuen Long  
Appendix 2.3 - Photographic Record



T3\_01\_Whole view



T3\_02\_Crown



T3\_03\_Trunk



T3\_04\_Root



Tree Risk Assessment for Former Sha Kong Public Luen Yick School  
at D.D. 129 Sha Kong Wai, Yuen Long  
Appendix 2.3 - Photographic Record



T4\_01\_Whole view



T4\_02\_Crown



T4\_03\_Trunk



T4\_04\_Root



Tree Risk Assessment for Former Sha Kong Public Luen Yick School  
at D.D. 129 Sha Kong Wai, Yuen Long  
Appendix 2.3 - Photographic Record



T5\_01\_Whole view



T5\_02\_Crown



T5\_03\_Trunk



T5\_04\_Root



Tree Risk Assessment for Former Sha Kong Public Luen Yick School  
at D.D. 129 Sha Kong Wai, Yuen Long  
Appendix 2.3 - Photographic Record



T6\_01\_Whole view



T6\_02\_Crown



T6\_03\_Trunk



T6\_04\_Root

Tree Risk Assessment for Former Sha Kong Public Luen Yick School  
at D.D. 129 Sha Kong Wai, Yuen Long  
Appendix 2.3 - Photographic Record



T6\_05\_Scaffold and aerial root sitting on existing  
building

## **Appendix 2.4**

### **Tree Work Schedule**



Appendix 2.4 - Tree Work Schedule

Tree No.	Species		Measurements			Recommendation	Proposed Arboricultural Works	Details of Works	Further Assessment by Form 2 (Yes/ No)	Proposed Works Completion Date
	Scientific name	Chinese name	Height(m)	DBH(mm)	Crown spread (m)	(Retain/ Transplant/ Fell /Remove)				
T2	<i>Eucalyptus camaldulensis</i>	赤桉	10	550	6	Retain	Pruning	Crown cleaning for the dead branch and ficus on trunk	No	Within 1 month
T3	<i>Eucalyptus camaldulensis</i>	赤桉	12	700	7	Retain	Pruning	Crown cleaning for the dead branch	No	Within 1 month
T5	<i>Bauhinia</i> spp.	羊蹄甲屬	3	180	5	Remove	Tree removal	Removal of uprooted tree	No	Within 1 month

## **Appendix 2.5**

### **Tree Work Photo**

Tree Risk Assessment for Former Sha Kong Public Luen Yick School  
at D.D. 129 Sha Kong Wai, Yuen Long  
Appendix 2.5 - Tree Work Photo



T2\_Proposed crown cleaning for dead branches



T2\_Proposed crown cleaning for Ficus



T3\_Proposed crown cleaning



T5\_Proposed removal of uprooted tree (1)

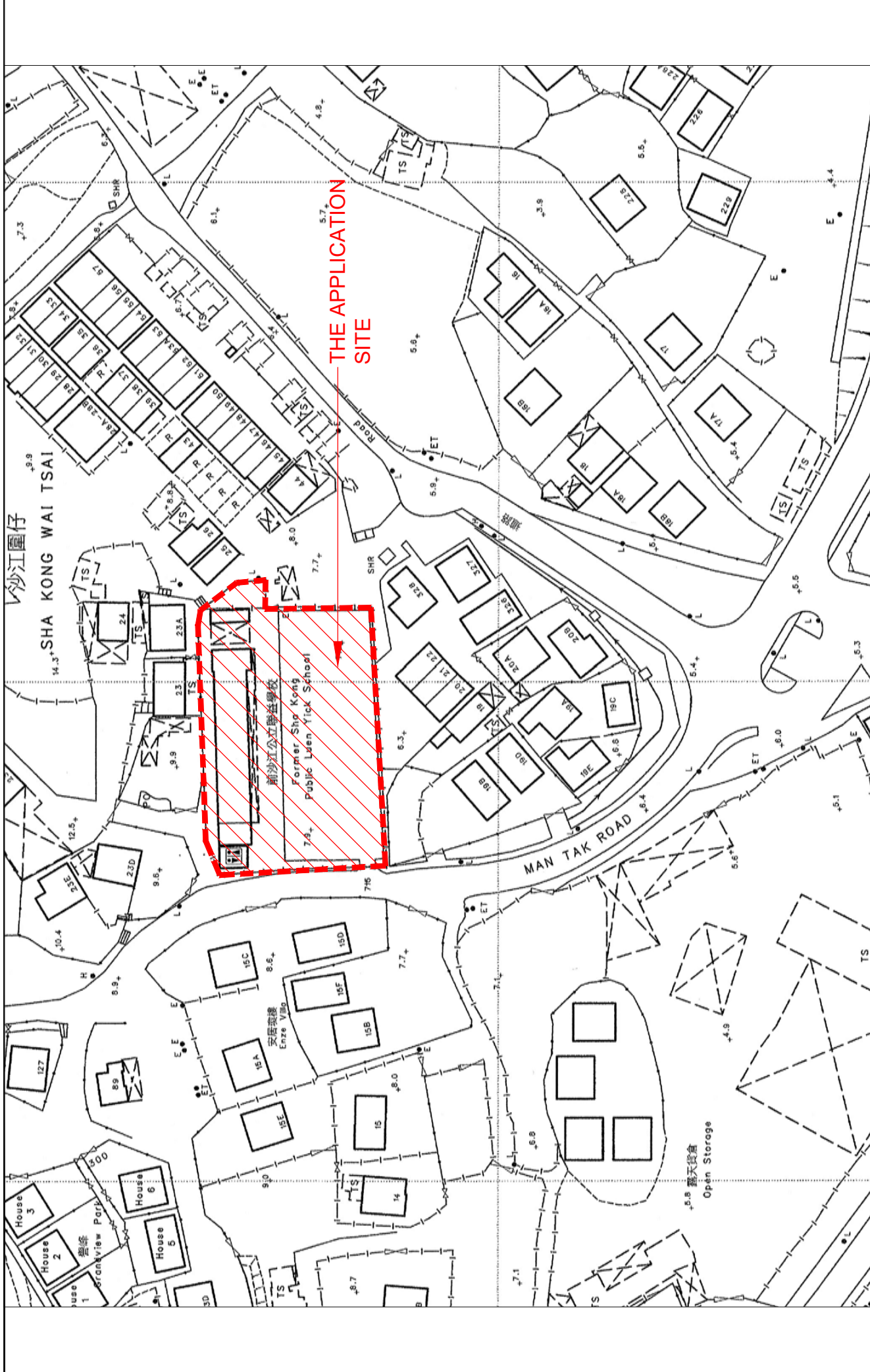



Tree Risk Assessment for Former Sha Kong Public Luen Yick School  
at D.D. 129 Sha Kong Wai, Yuen Long  
Appendix 2.5 - Tree Work Photo



T5\_Propsoed removal of uprooted tree (2)

## **Appendix 3 - Proposed Layout Plan**

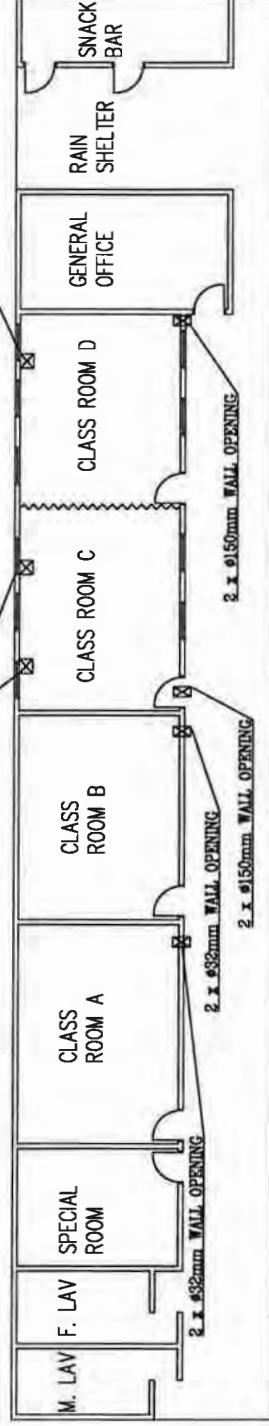


	RAYMOND CHAN SURVEYORS LIMITED	NOTES: 1. ALL MEASUREMENT MUST BE CHECKED ON SITE. 2. DO NOT SCALE DRAWING. 3. DRAWING CHAN SURVEYORS LTD. AND SHALL BE RETURNED AT COMPLETION OF WORK. 4. DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS EXPRESSEDLY CERTIFIED.	HAD REF.: BD REF.: FSD REF.:	PROJECT: Planning Application for Proposed Temporary Social Welfare Facility (Children Life Learning Centre) Use for a Period of 5 Years at Former Sha Kong Public Luen Yick School Sha Kong Wai, New Territories (Government Land in D.D.129)	DRAWING TITLE: LOCATION PLAN	SIGNATURE:	DATE: SEP 2019
							DRAWING NO.: PLAN 1
REFERENCE:							REVISION: 1
SCALE: 1: 1000							DRAWN: A.H.
TEL.: 2722-7270							FAX: 2311-3436

57800

SUPPORTING FRAME W/ 710x840x430(h)mm FOR A/C UNIT W/ S.S. DRIP TRAP 210x580x25mm, 2mm THICK

SUPPORTING FRAME W/ 710x720x430(h)mm FOR A/C UNIT W/ S.S. DRIP TRAP 210x580x25mm, 2mm THICK



MAIN  
ENTRANCE

PLAYGROUND

SIDE  
ENTRANCE  
FLAG

60000

SITE AREA: APPROX. 1910 m2  
BUILDING: APPROX. 605 m2  
PLAYGROUND: APPROX. 1305 m2  
M. LAV: 14.47 m2  
F. LAV: 15.93 m2  
SPECIAL ROOM: 30.99 m2  
CLASS ROOM A: 57.75 m2  
CLASS ROOM B: 53.84 m2  
CLASS ROOM C: 53.83 m2  
CLASS ROOM D: 50.9 m2  
GENERAL OFFICE: 39.18 m2  
SNACK BAR: 22.58 m2  
ROOF: 508.83 m2

ALL DIMENSION AND AREA ARE FOR REFERENCE ONLY **EXISTING LAYOUT PLAN**

THE BOYS' AND GIRLS'  
CLUBS ASSOCIATION  
OF HONG KONG

PROJECT : FORMER SHA KONG PUBLIC LUEN YICK SCHOOL  
DRAWING TITLE : EXISTING LAYOUT PLAN

DRAWING NO. : TKT/AF/2F/CO1  
SCALE : 1 : 200 (A3)  
DRAWN BY : CARLOS CHAN  
DATE : 26 FEBRUARY 2018

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MD-P05-22





## NOTES

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## STATUS:

[illegible]

ADDRESS:  
Unit 404, 4/F, Goldin Financial Global Centre,  
17 Kai Cheung Road, Kowloon Bay, Kowloon, Hong  
Kong.

Tel: 852-2114 2238  
Email: [info@a-d88.com](mailto:info@a-d88.com)

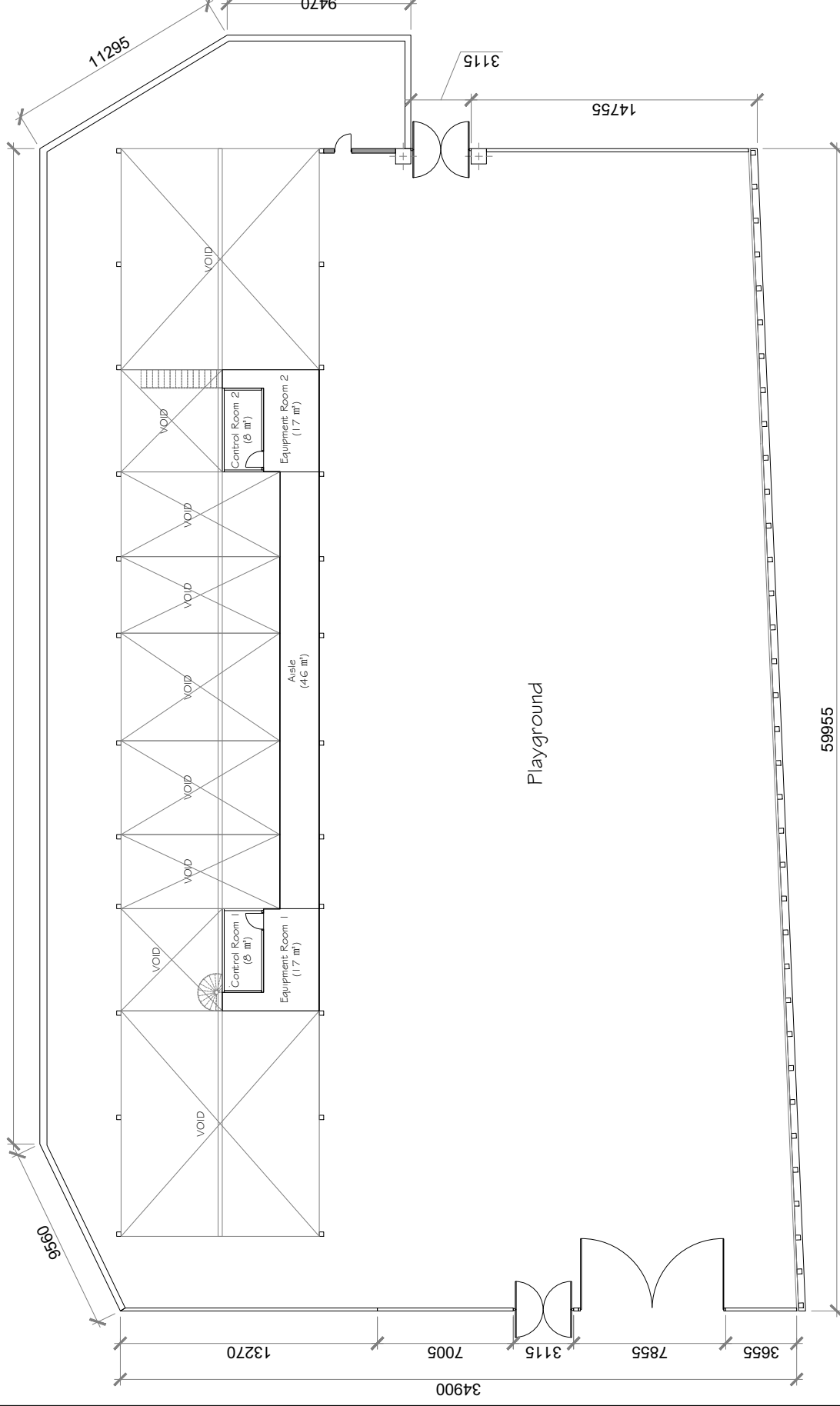
CLIENT:  
The Boys' & Girls' Clubs Association of Hong Kong

**SITE:**  
Former Sha Kong Public Luen Yick School

DESIGNED BY:  
Allen

SHEET TITLE:

SCALE:	DATE:	DRAWN: Allen	CHECKED:
PROJECT NO: MD-P05-22	DRAWING NO:		REVISION:



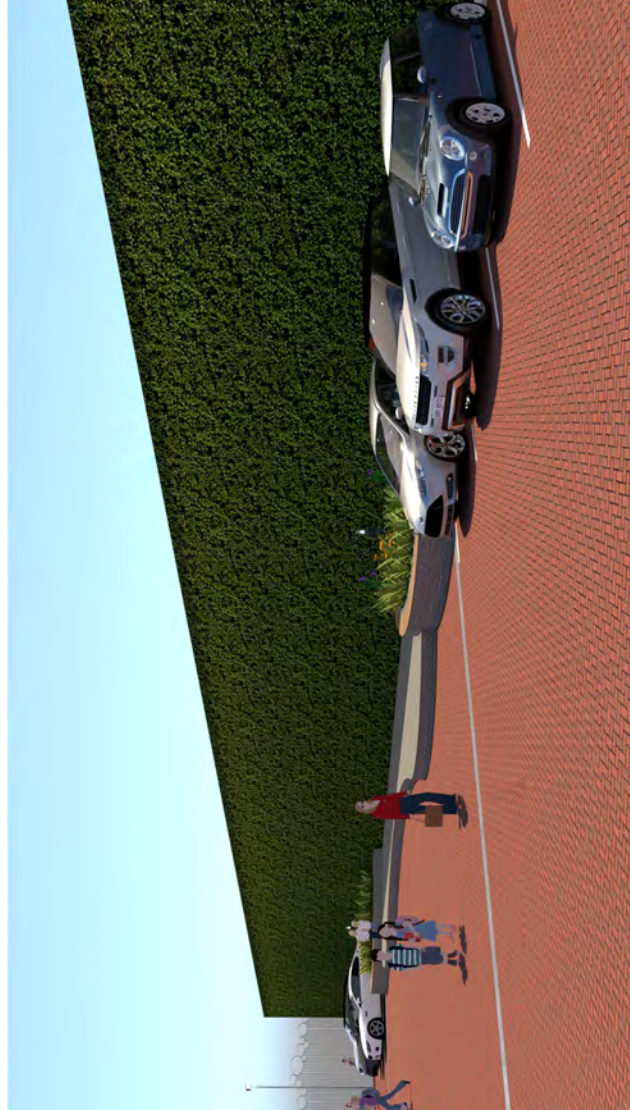
# PROPOSED MEZZANINE LEVEL PLAN

$$\frac{OI}{LPOI}$$

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1:300

# PROPOSED 3D CONCEPT DESIGN



## Appendix 4 - Justifications

## Appendix 4 - Justifications

1. We have appointed Architectural Technology (A&D) Ltd. on 24 May 2022 and as pre-AP consultant for the application of funding scheme to support the use of vacant government sites to Development Bureau ("DEVB"). As the main entrance of the premises has been blocked by the protest banners and all site works has been suspended since 2 August 2022. **(Please refer to Appendix 4.1)**
2. With assistance by Home Affairs Department, we have initiated the liaison works with the new terms of village representative in January 2023. **(Please refer to Appendix 4.2)**
3. The new phrase of engagement works have been phasing in after the election of Rural Committee 2023 in early March 2023. In the meantime, we have instructed our pre-AP consultant Architectural Technology (A&D) Ltd. to convert their design to a simple leaflet for our further consultation with the village representatives and villagers . **(Please refer to Appendix 4.3)**
4. Among others, in the past couple of months, the villager representatives consented us to deliver plan to conduct the pest control measures and tree risk assessment / survey on site. While we are working out the plan for the former with the villager representatives, the tree risk assessment / survey was commenced in August 2023 and the related works is anticipated to be completed in August 2023. A program proposal has been passed to the villager representative for his initial perusal and a joint meeting shall be set up accordingly in the following months. We have been overcoming the obstacles from the villagers and gradually building up a trustful relationship to resolve the misunderstanding among the villagers towards the development of the project.
5. The proposed Children Life Learning Centre is responsive to public and local needs, and is contributive to children health and and well-being, as well as family and social cohesion. **(Please refer to Appendix 4.4)**
  - The learning centre shall employ the “Create Inclusive Environments” to be the development principles, in which it welcomes to both general public and nearby residents, is responsive to people’s needs, as well as be intuitive, flexible and convenience to use.
  - The ancillary open playground shall be kept. No additional building block will be erected to maintain the flexible use of the local open space for the public and local uses. Pop-up approach shall be employed in delivering open spaces programmes in the learning centre.

## Appendix 4 - Justifications

- The multipurpose room, with its size able and flexible spaces, provides spaces for indoor group activities of the learning centre, and maintains the flexibility in responding to the local needs in arranging activities in the school
- The proposed centre is easily accessible for public (10 minutes' walk from the nearest LTR station). It is well situated in the tranquil place which is well connected to its neighborhood villages and town areas. It can be the bucolic and neighborhood learning space for children and parents in promoting life learning of well-being and healthy life.
- The centre shall deliver specific programs to promote the mutual support amongst village residents, as well as facilitate collaboration with the existing government and non-government institutions in the town areas in the advancement of children health and well-being.

6. A permission of the Temporary Institutional Use (Children Life Learning Centre) was approved on 1 Nov 2019 under the submission number A/YL-LFS/347 for the period 15/11/2019-02/11/2024. As a result, our original work plans were delayed by unexpected events (eg. villagers' objections lead to more time for us to complete the work). We thus need to apply for 5 years temporary uses.



## Appendix 4.1

Protest banners are hung in the main gate and the main entrance (02/08/2022)



## Appendix 4.2 - Email Conversation with HAD on 07 February 2023

### Chan Kwok Bong

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寄件者: Chan Kwok Bong  
寄件日期: Tuesday, February 7, 2023 12:10 PM  
收件者: [REDACTED]@had.gov.hk  
副本: Chan Kwok Bong; Lau Chung, Billie; Ngo Ka Chun, Timothy  
主旨: Engagement of Village Representatives and Villagers - Sha Kong Public Luen Yick School (former site)

Dear Po,

We spoke recently. Thank so much for your updates about the community dynamics upon the the recent Rural Representative Elections of Sha Kong Wai in Jan 2023. As shared, the BGCA is ready to meet the new Representatives, and to conduct public engagement with the villagers.

In our recent dialogue, we understand that there would be Rural Committee (RC) Election in early March 2023, and the said engagement work would better be scheduled after the RC election.

With the understand that the community dynamics is varying in this occasion, we concur that the engagement work could be held up at this juncture.

Grateful to your continued support to us and look forward to further exchanges with your team in this matter once the RC election is completed.

Best regards,  
Chan Kwok Bong

---

Chan Kwok Bong (陳國邦)  
Supervisor (Tuen Mun & Corporate Development)  
The Boys' and Girls' Clubs Association of Hong Kong  
香港小童群益會服務總監(屯門及機構發展)

Office: [REDACTED]  
Fax: [REDACTED]  
Email: [REDACTED]

## Appendix 4.3 - Email Conversation with HAD on 05 December 2022

### Chan Kwok Bong

---

寄件者: Chan Kwok Bong  
寄件日期: Monday, December 5, 2022 6:23 PM  
收件者: [REDACTED]@had.gov.hk  
副本: Chan Kwok Bong  
主旨: Engagement of Village Representatives and Villagers - Sha Kong Public Luen Yick School (former site)

Dear Po,

Thank so much for your updates regarding the liaison with the Village Representatives and Villagers, we have been considering finetuning the engagement activities.

With our subsequent dialogues in the past couple of weeks, we understand that the Rural Representative Election 2023 is approaching and the current term of Village Representatives and Villagers at large are deeply engaging in the election and campaigning activities. There would be no room for us to conduct the public engagement in Sha Kong Wai in this juncture to achieve a conducive outcome.

In this connection, we concurred that the engagement work with the current term of Village Representatives could be held up, and a new phase of engagement work shall be phasing in upon the new term of Village Representatives are elected early next year.

We understand that the community dynamics is varying in this occasion. Grateful to your continued support to us and look forward to further exchanges with your team in this matter once the new term of village representatives are confirmed.

Best regards,  
Chan Kwok Bong

---

Chan Kwok Bong (陳國邦)  
Supervisor (Tuen Mun & Corporate Development)  
The Boys' and Girls' Clubs Association of Hong Kong  
香港小童群益會服務總監(屯門及機構發展)

Office: [REDACTED]  
Fax: [REDACTED]  
Email: [REDACTED]





### 本會簡介

香港小童群益會自 1936 年成立至今有 82 年的歷史，一直以服務兒童為服務使命，發展至今成為具規模的多元代專業服務機構。現時本會共七十多所服務單位於全港各區提供服務。

### 四大服務宗旨

- 關注兒童及青少年身心均衡發展
- 培育兒童及青少年成為對社會有貢獻的公民
- 加強家庭的功能
- 促進家長和社會人士對兒童及青少年的關注，特別是處於不利環境的組群；與服務對象及社會人士攜手為他們爭取應有的權利和福利



### 願景

- 培養兒童未來能受用一輩的能力
- 以體驗學習模式培養兒童全方位能力
- 培育身心健康具備良好品格的兒童

### 目標

- 提供優質的兒童多元成長活動
- 培育兒童全方位能力建設包括思考創造、運動解難及情緒社交
- 提升兒童身心健康的均衡發展
- 加強沙江圍村、鄰近鄉村及天水圍居民的社區支援、互助及社區網絡

### 對象

- 兒童 (3 – 12 歲) 及其家庭
- 沙江圍村、鄰近鄉村及天水圍居民



### 3 個主題學習館

#### 兒童創意學習實驗室



- 透過故事、遊戲、手作及STEM，提升兒童的組織及表達能力、創意思維能力、團隊協作能力及邏輯分析能力，為兒童面向廿一世紀生活建立所需的生活技能。
- 兒童創意學習實驗室著重兒童從做中學習（Learn by Doing），透過各式工作坊、專題研習方案、作品展示及交流、創意市集等不同活動，建基於各式科學技術的應用及動手造精神的啟發，發展兒童的創意。通過設計（DESIGN）、創造（MAKE）、分享（SHARE），令兒童體驗創作和創造樂趣的製作過程。

#### 全方位親子共學體驗課程



- 為了促進親子間的溝通、相互理解及親密關係，課程將透過感官遊戲、玩具圖書館、圖書館繪本及親子靜觀室，加強安全的親子關係。
- 並增設戶外遊樂區，以兒童為本角度建構，就兒童5個發展方向：溝通、大肌肉、小肌肉、個人與社會及認知，設計遊樂大型玩具，例如：沙丘軟墊、爬行架、玩水區、大鞦韆等，並藉此加強兒童及家長的互動，強化家庭溝通及於培養兒童全方位能力的角色。

#### 兒童情緒社交管理



- 從繪本故事到情緒教育，讓兒童及其家長透過故事人物的經歷學習管理社交情緒，同時亦學習克服成長路上遇到的焦慮不安，作好管理訓練
- 透過正念親子互動活動(Mindfulness Parenting)教導兒童及其家長認識健康生活方法、生活態度、認識情緒、保持健康情緒方法，讓兒童探索自我，及早培養兒童有良好的身心健康方法及態度，減低日後可能出現的身體心理健康問題。

### 加強社區支援、互助及社區網絡

#### 加強社區支援、互助及社區網絡



- 復修校園外觀，重現校園與村民歷史
- 為沙江圍村、鄰近鄉村及天水圍居民設計相應的服務計劃，善用校園場地，加強社區支援及互助網絡
- 善用校園場地及設計相應計劃，結連政府及非政府服務，以利沙江圍及鄰近鄉村的發展滿足居民需要

## 活動內容及運作

- 生活學習館提供單元性興趣及技能培訓活動，如：親子遊樂體驗活動、創意學習工作坊、DIY 工作坊等
- 每單元約為 2-4 小時，參加者可自由報名參與各項活動
- 生活學習館不會提供營舍服務、託兒服務及煮食服務
- 生活學習館不會提供單純的教育課程

## 營運模式

### 1. 兒童生活學習館內設有 3 個主題學習館

- 以「兒童創意學習實驗室」、「全方位親子共學體驗課程」及「兒童社交情緒管理」三個範疇設計生活學習體驗活動
- 由社工及專業導師帶領，讓兒童在遊戲中學習、情境中體驗，在潛移默化中蛻變，以培養夠受用一輩子的能力

### 2. 生活學習體驗活動分為團體體驗及親子體驗

- 團體體驗的目標對象群為全港約 1,300 間小學及幼稚園，另外，各社區、慈善及非牟利團體亦是團體體驗的目標對象
- 親子體驗開放予公眾人士，家長陪同小朋友一起參與

	團體體驗	親子體驗
目標對象群	<ul style="list-style-type: none"><li>- 約 1,300 間小學 / 幼稚園</li><li>- 社區、慈善及非牟利團體</li></ul>	<ul style="list-style-type: none"><li>- 公眾人士</li></ul>
服務內容	<ul style="list-style-type: none"><li>- 3 個主題可選擇</li><li>- 3 小時體驗活動 或 6 小時專題活動</li></ul>	<ul style="list-style-type: none"><li>- 3 個主題可選擇</li><li>- 2 小時體驗活動</li></ul>

fSupplementary Information for Application No. A/YL-LFS/487

Drainage and Fire Services: Reason for non-compliance

1. Protest Banners and concrete block barriers have blocked the main entrance of the site since 2 August 2022 and all site works have been suspended since then.
2. We have been working closely with the Home Affairs Department (HAD) to formulate and deliver the engagement works with the village representatives and concerned village residents. In view of the subsequent village representative elections in Jan and Mar 2023, we were advised by the HAD to postpone the engagement work after 8 Mar 2023.
3. Despite our active steps in conducting our engagement works, with all the external aspects beyond our control, we could not enter the site since 2 August 2022.
4. The drainage proposal we submitted to Planning Department on 5 November 2021 were accepted by Drainage Services Department and planning condition(d) was complied with 6 December 2021 (Enclosed as App 1)
5. For fire service installations proposal, Fire Service Department accepted our proposal and planning condition (g) was complied with on 8 October 2020 (Enclosed as App 2)

Site Area and Layout Plans : Enclosed as App 3

Proposed Access Routes and Estimated Nos. of Users

1. Proposed Access Route
  - 12-15 minute walk from Chung Fu LRT station, 4-5 minute walk from nearby bus stops
  - Public Transports: Bus Route #K65 or Minibus Route #35. Stop at Sha Kong Wai
  - Group Visitors can arrange by themselves a Public Coach to the School.
  - Suggested Route from Tin Wah Road and the Pick-up and Drop-off Point are shown in the attached map (Enclosed as App 4)
2. Estimated Nos. of users and Transportation used
  - Staff: 3-5 via Public Transports (Monday to Sunday)
  - Visitors: around 80 (Weekday)
  - Visitors: around 120 (Saturday, Sunday, and Public Holiday)
  - Max nos of visitor per session : 60
  - Expected nos of Public Coaches arranged by Group Visitors: 2 (1 in the morning and 1 in the afternoon)

## Operation Details

兒童生活學習館運作	
開放時間	星期一至日 9:00am-6:00pm
對象	<ul style="list-style-type: none"><li>● 兒童 (3 – 12 歲)及其家庭</li><li>● 沙江圍及附近一帶居民</li></ul>
職員人數	3-5 人
到訪安排	團體到訪：須預約 親子到訪：須預約，接受即日預約 村民：預約及/或公開使用
預期每日到訪人數	平日：80 人 週末及假日：120 人 分上午及下午兩時段運作。每時段平日約為 40 人，週末及假日約為 60 人
場地使用 – 室內部份	體驗學習活動及村民聚會
場地使用 – 戶外部份	<ul style="list-style-type: none"><li>● 訪客：休閒、交誼及舒展運動</li><li>● 村民：休閒、交誼、舒展運動及村民聚會</li><li>● 村民無須預約，每節使用人數不會多於上述預期每日到訪人數</li></ul>
管理及運作安排	<ul style="list-style-type: none"><li>● 場內不會使用揚聲廣播設備</li><li>● 場內不容許留宿</li></ul>
兒童生活學習館服務目標及內容	
<b>體驗及學習活動主題</b>  對象：兒童(3-12 歲)及其家庭	兒童成長、社交發展及親子學習 <ul style="list-style-type: none"><li>● 所提供活動不會涉及教育、幼稚園、中小學課程</li></ul>
<b>加強社區支援，互助及社區網絡</b>  對象：沙江圍村民、家庭及其子女	<ul style="list-style-type: none"><li>● 讓校園成為村民聚會點，並方便村民優先使用校舍籌辦喜慶、太平清醮等盛事</li><li>● 善用校園，與村民協作推廣文化傳承活動，如：舞麒麟、製作茶果、莫家拳等等</li><li>● 善用校舍，供村民借用作會議、舉辦村民興趣小組。如有需要，安排相應的儲物空間</li><li>● 招募村民兼任導師、導賞員等</li></ul>

## 規 劃 署

屯門及元朗西規劃處  
香港新界沙田上禾輦路 1 號  
沙田政府合署 14 樓



**By Fax (2311 3436) and Post**

## Planning Department

Tuen Mun and Yuen Long West  
District Planning Office  
14/F, Sha Tin Government Offices,  
1 Sheung Wo Che Road, Sha Tin,  
N.T. Hong Kong

6 December 2021

來函檔號	Your Reference
本署檔號	Our Reference ( ) in TPB/A/YL-LFS/347
電話號碼	Tel. No. : 2158 6290
傳真機號碼	Fax No. : 2489 9711

Raymond Chan Surveyors Ltd.  
Room 308, 3/F, Empire Centre  
68 Mody Road  
Tsim Sha Tsui East, Kowloon  
(Attn: Ms. YIP Siu Kwan, Sandra)

Dear Sir/Madam,

### **Compliance with Approval Condition (d)** **Planning Application No. A/YL-LFS/347**

I refer to your submission dated 5.11.2021 regarding the submission of a drainage proposal for compliance with the subject approval condition. Your submission is considered:

- ☒ Acceptable. The captioned condition has been complied with. Please find the departmental comments at **Appendix I**.
- ☐ Partially acceptable. Since the captioned condition requires both the submission and implementation of the proposal, it has not been fully complied with.
- ☐ Not acceptable. The captioned condition has not been complied with.

Should you have any queries on the departmental comments, please contact Ms. Vicky SY (Tel: 2300 1347) of the Drainage Services Department direct.

Yours faithfully,

(Keith WONG)  
for District Planning Officer/  
Tuen Mun and Yuen Long West  
Planning Department

C.C.  
CE/MN of DSD (Attn.: Ms. Vicky SY)

Internal  
CTP/TPB



## **Appendix I**

A/YL-LFS/347 – Compliance with approval condition (d)

Comments from the Chief Engineer/Mainland North of Drainage Services  
Department (CE/MN, DSD):

1. The applicant is requested to implement and maintain the proposed drainage facilities to the satisfaction of this Division.
2. The applicant is reminded that the development should neither obstruct overland flow nor adversely affect existing stream course, natural streams, village drains, ditches and the adjacent areas.

# RAYMOND CHAN SURVEYORS LIMITED 陳旭明測計師行有限公司



ROOM 308, 3/F, EMPIRE CENTRE, 68 MODY ROAD, TSIMSHATSUI EAST, KOWLOON, HONG KONG.  
香港九龍尖沙咀麼地道68號帝國中心3樓308室

TEL : 2722 7270  
FAX: 2311 3436

Your Ref. : TPB/A/YL-LFS/347

Our Ref. : PR180910/10

Date : 5 November 2021

**Tuen Mun and Yuen Long West District Planning Office**  
**14/F, Sha Tin Government Offices,**  
**1 Sheung Wo Che Road,**  
**Sha Tin, N.T., Hong Kong**

**By Hand**

**Attn.: Mr. Keith Wong**

Dear Sirs,

**Re: Proposed Temporary Institutional Use (Children Life Learning Centre)**  
**for a Period of 5 Years in "Village Type Development" Zone,**  
**Government Land in D.D. 129 Sha Kong Wai, Yuen Long**

**(Compliance with Condition (d) of Application No. A/YL-LFS/347)**

We refer to the approval condition (d) of the captioned planning permission granted by the Town Planning Board (TPB) on 1 November 2019 and letter dated 25 October 2021 from your office:-

*"The submission of a drainage proposal to the satisfaction of the Director of Drainage Services or of the TPB by 1.2.2022."*

We also refer to your letter dated 30 September 2021 forwarding comments from Drainage Services Department (DSD) on our drainage proposal submitted on 18 June 2021. In response to DSD's comments, we hereby submit 3 sets of revised drainage proposal in an attempt to comply with condition (d) of the subject planning permission.

Thank you for your kind attention. Should you have any queries, please feel free to contact the undersigned at [REDACTED] or [REDACTED].

Yours faithfully,

**RAYMOND CHAN SURVEYORS LIMITED**

**Sandra Yip**

Encl.

c.c. Client

Town Planning Board (w/o) - By Fax: 2877 0245  
CE/MN, DSD (w/o) (Attn.: Ms. Vicky SY) - By Fax: 2770 4761

**DIRECTORS:**  
CHAN Yuk-ming, Raymond

AP(HK), FRICS, FHKIS, MCI Arb, MCIOB, C. Build E FCABE,  
RPS(BS, PFM, P&D)  
Chartered Building Surveyor, Authorized Person  
Chartered Project Management Surveyor  
Registered Professional Surveyor

TSE Chi-kin, Kenny

BSc, FRICS, FHKIS, RPS(BS, PFM, P&D), MHKIVM, MHKICM  
Chartered Building Surveyor, Authorized Person  
Chartered Project Management Surveyor  
Registered Professional Surveyor

**TOWN PLANNER:**  
YIP Siu-kwan, Sandra

BSc, MSc (Urban Planning), MRTP I, RPP  
Chartered Town Planner

**QUANTITY SURVEYOR:**  
CHAN Siu-hong, Honby

FRICS, FHKIS, FInstCES, MHKICM, RPS(QS)  
Chartered Quantity Surveyor  
Chartered Project Management Surveyor  
Registered Professional Surveyor

# **Raymond Chan Surveyors Ltd.**

## **Proposed Temporary Institutional Use (Children Life Learning Centre) for a Period of 5 Years in “Village Type Development” Zone, Government Land in D.D. 129, Sha Kong Wai Yuen Long**

### **Drainage Proposal**



**Document No. R1030/02  
Issue 3**

**October 2021**

R1030/02  
Issue 3  
October 2021

**Proposed Temporary Institutional Use (Children Life Learning Centre)  
for a Period of 5 Years in “Village Type Development” Zone,  
Government Land in D.D. 129, Sha Kong Wai Yuen Long**

**Drainage Proposal**

Approved for Issue by:

-----  
Simon CHAN

Position: Project Manager  
-----

Date: 21<sup>st</sup> October 2021  
-----

**Raymond Chan Surveyors Ltd.**

Room 308, 3/F,  
Empire Centre,  
68 Mody Road,  
Tsim Sha Tsui,  
Kowloon, Hong Kong

**Mannings (Asia) Consultants**

**Limited**

5/F, Winning Commercial Building,  
46-48 Hillwood Road,  
Tsim Sha Tsui,  
Kowloon, Hong Kong



R1030/02  
Issue 2  
October 2021

**Proposed Temporary Institutional Use (Children Life Learning Centre)  
for a Period of 5 Years in “Village Type Development” Zone,  
Government Land in D.D. 129, Sha Kong Wai Yuen Long**

**Drainage Proposal**

<b>Issue</b>	<b>Prepared by</b>	<b>Reviewed by</b>	<b>Date</b>
1	TL	BLE	30 <sup>th</sup> June 2020
2	NHL	BLE	8 <sup>th</sup> June 2021
3	NHL	BLE	21 <sup>st</sup> October 2021

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<b>2.0</b>	<b>Design Considerations .....</b>	<b>2</b>
<b>3.0</b>	<b>Proposed Drainage Design .....</b>	<b>5</b>
<b>4.0</b>	<b>Conclusion .....</b>	<b>6</b>

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- Appendix A: Location Plan of Planning Application for Proposed Temporary Institutional Use (Children Life Learning Centre) for a Period of 5 Years in “Village Type Development” Zone, Government Land in D.D. 129, Sha Kong Wai Yuen Long
- Appendix B: Proposed Drainage Layout Plan
- Appendix C: Drainage Design Calculation
- Appendix D: Town Planning Board Approval Letter of the Application of Permission

## **List of Tables**

- Table 2.1: Runoff Coefficient
- Table 2.2: Minimum pipeline cover and manhole spacing requirements
- Table 2.3: Storm Constant for SDM
- Table 3.1: Summary of Catchment and Peak Flow
- Table 3.2: Summary of Proposed Pipes



## **1.0 Introduction**

- 1.1 The proposed site is located at government land in DD129, Sha Kong Wai. It is situated at the eastern side of the road path at Man Tak Road, Yuen Long (hereafter referred to as "the Site"). The site will be developed for Temporary Institutional Use for (Children Life Learning Centre). The location plan is shown on the drawing no. SKW-2 in **Appendix A**.
- 1.2 Currently, the site comprises The former Sha Kong Public Luen Yick School, the former school is an existing one-storey building of about 605m<sup>2</sup> total floor area with an ancillary playground of about 1,305m<sup>2</sup>, will be converted to a children life learning centre to offer learning programmes for children aged to 12 and their family members.
- 1.3 The site layout is shown on the drawing no. R1030/DL/001 in **Appendix B**.
- 1.4 Mannings (Asia) Consultants Limited (MACL) was commissioned by Raymond Chan Surveyors Ltd. to undertake the drainage proposal for the proposed temporary institutional use. In this connection, design proposal has been conducted in order to assess the adequacy of the proposed system.

## 2.0 Design Considerations

### 2.1 Design Code

Stormwater Drainage Manual (DSD), January 2018  
BS 5911 Code of practice for precast concrete pipe design  
DSD Standard Drawings

### 2.2 Design Parameters

#### a) Runoff Coefficient

Table 2.1 Runoff Coefficients

Surface Characteristic	Runoff Coefficient, C
Impermeable Area (developed or planned development area)	0.9
Permeable Area	0.3

Roughness Coefficient for pipe flow  $k_s = 3$

#### b) Minimum pipeline cover and manhole spacing requirements

Table 2.2 Minimum pipeline cover and manhole spacing requirements

Minimum pipeline cover	
In Roads	0.9 m
In footways and verges	0.45 m
Manhole spacing requirements	
$D < 675$ mm	80 m
$675 < D < 1050$	100 m
$D > 1050$	120 m

#### c) Bedding factors

Granular bedding	: 1.9
Plain concrete bedding	: 2.6
Reinforced concrete bedding with allowance for minimum steel area	: 3.4
Concrete Surround	: 4.5



d) Design Flow Vehicles

Minimum : 1 m/s  
Maximum : 3 m/s (desirable)  
              : 6 m/s (absolute)

## 2.3 Description of Analysis Method

Rational method is used for calculation of the peak runoff. The formula is extracted from Section 7.5.2 (a) of SDM which is to estimate the stormwater runoff as shown below:

$$Q_p = 0.278 CiA$$

Where  $Q_p$  = peak runoff in m<sup>3</sup>/s  
 $C$  = runoff coefficient (dimensionless)  
 $i$  = rainfall intensity in mm/hr  
 $A$  = catchment area in km<sup>2</sup>

The time of concentration used for determining the duration of the design storm is considered by the time of entry and the time of flow,

$$t_c = t_e + t_f \qquad t_f = L/V$$

where  $t_e$  = inlet time (time taken for flow from the remotest point to reach the most upstream point of the urban drainage system)

$t_f$  = flow time  
 $L$  = Length of drain  
 $V$  = flow velocity

The time of entry or time of flow in the hinterland is calculated using the Bransby William's Equation.

$$t_e = \frac{0.14465 L}{A^{0.1} H^{0.2}}$$

Where  $t_e$  - time of concentration (min)  
 $L$  - catchment length (m)  
 $A$  - catchment area (m<sup>2</sup>)  
 $H$  - average catchment slope (m/100m)

The rainfall intensity is extracted from the Section 4.3.2 of SDM which is to estimate the Intensity-Duration –Frequency (IDF) Relationship.

$$i = a / (t_d + b)^c$$

where  
 $i$  = extreme mean intensity in mm/hr  
 $t_d$  = duration in minutes ( $t_d < 240$ ), and  
 $a, b, c$  = storm constants given in table 3 of SDM as below

Table 2.3 Storm Constant of SDM where the site is located in the area of HKO Headquarters

Return Period T (years)	50
a	451.3
b	2.46
c	0.337

Colebrook-White Equation is used in hydraulic design for pipe flow.

$$V = -\sqrt{(32 g R s)} \log \left( \frac{k_s}{14.8 R} + \frac{1.255 v}{R \sqrt{(32 g R s)}} \right)$$

Where

$V$  = mean velocity (m/s)  
 $g$  = gravitational acceleration ( $m/s^2$ )  
 $R$  = hydraulic radius (m)  
 $D$  = pipe diameter (m)  
 $k_s$  = equivalent sand roughness (m)  
 $v$  = kinematic viscosity of fluid ( $m^2/s$ )  
 $s$  = frictional slope (energy gradient due to frictional loss)

### 3.0 Proposed Drainage System

- 3.1 The surface runoff in the site and the overland flow are collected by 2 nos. of proposed surface U-channels along the site boundary. Then, the runoff from surface channels is collected by terminal manhole TM1. The surface channels are connected to the proposed catchpits and connected to the proposed terminal manhole TM1 by 300mm drainage pipes. For proposed manhole nos. TM1, M1, M2 to Existing Inlet SIH1003360, the catchment flow is proposed to be catered by the existing 300mm drainage pipe to cover the Proposed Temporary Institutional Use (Children Life Learning Centre).
- 3.2 The stormwater collected at existing inlet no. SIH1003360 will then be discharged to the existing 900mm dia. cross road pipe at Man Tak Road. The catchment plan is shown on the **Drawing No. R1030/DL/002** in **Appendix B**. The catchment area and peak flow are shown below:

Table 3.1 Catchment Area and Peak Flow

Upstream Manhole/Catchpit	Downstream Manhole	Catchment Area (m <sup>2</sup> )	Peak Flow (m <sup>3</sup> /s)
-	CPA	1119	0.085
-	CPB	968	0.069
CPA	TM1	2087	0.155
CPB			
TM1	M1	2087	0.155
M1	M2	2087	0.155
M2	SIH1003360	2087	0.155

- 3.3 The capacity of the proposed pipes is designed to be larger than the design flow. The design of proposed drainage system is shown below:

Table 3.2 Summary of Proposed Pipes/Channels

Upstream Manhole/Catchpit	Downstream Manhole	Nominal Diameter (mm)	U.S. I.L. (mPD)	D.S. I.L. (mPD)	Capacity (m <sup>3</sup> /s)
-	CPA	250UC	7.98	6.72	0.0918
-	CPB	225UC	7.78	6.72	0.069
CPA	TM1	300	6.57	6.45	0.210
CPB		300	6.57	6.45	0.210
TM1	M1	300	6.30	6.00	0.197
M1	M2	300	5.99	4.28	0.197
M2	SIH1003360	300	4.27	3.11	0.198

- 3.4 The proposed drainage system should have sufficient capacity to cater for the flow for 1 in 50 years return period. Detailed calculation of pipe flow and pipe capacity are enclosed in **Appendix C**.



#### **4.0 Conclusion**

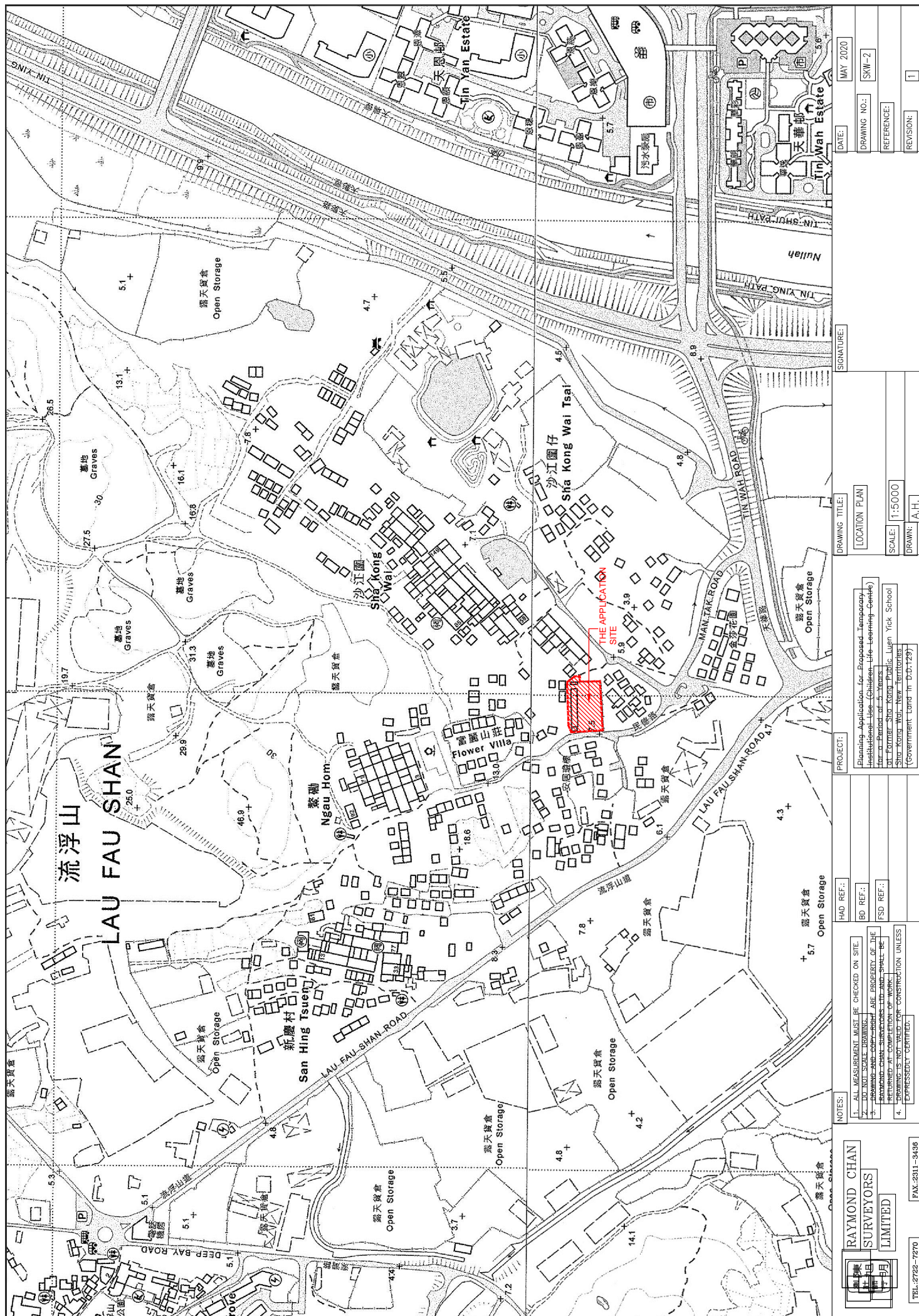
- 4.1 The drainage design of the proposed development has been conducted. Based on the calculation the proposed drainage design has enough adequacies to cater the surface water. Hence, no adverse drainage impact shall be aroused due to the development.





**Appendix A**

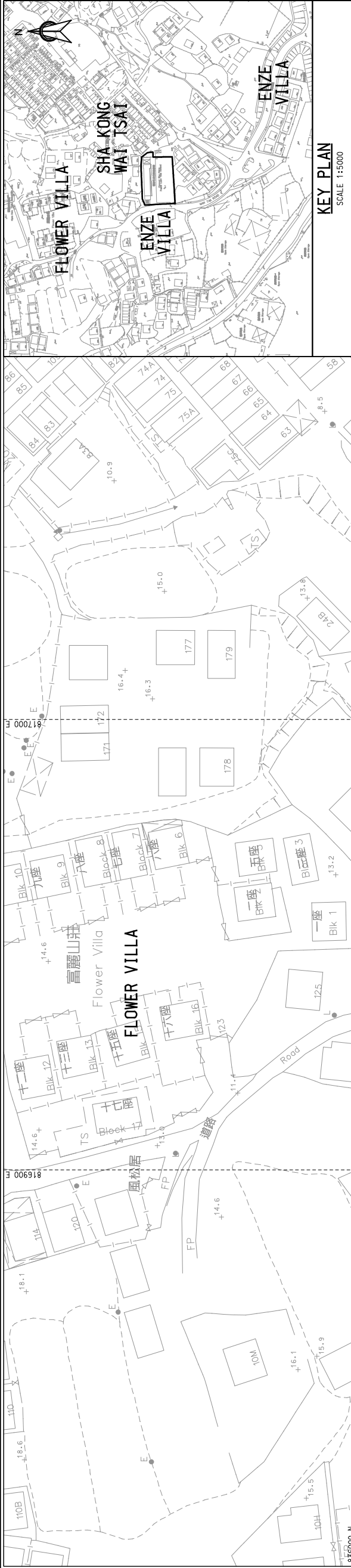
**Location Plan of Planning Application for Proposed Temporary Institutional Use  
(Children Life Learning Centre) for a Period of 5 Years in “Village Type Development”  
Zone, Government Land in D.D. 129, Sha Kong Wai Yuen Long**





## **Appendix B Drawings**





NOTES :

- 1. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE STATED.
- 2. ALL LEVEL ARE IN mPD METER ABOVE HONG KONG PRINCIPAL DATUM.

LEGEND :

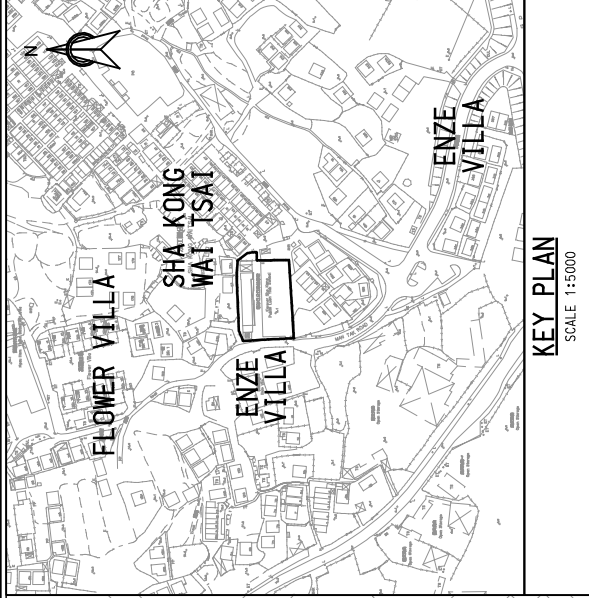
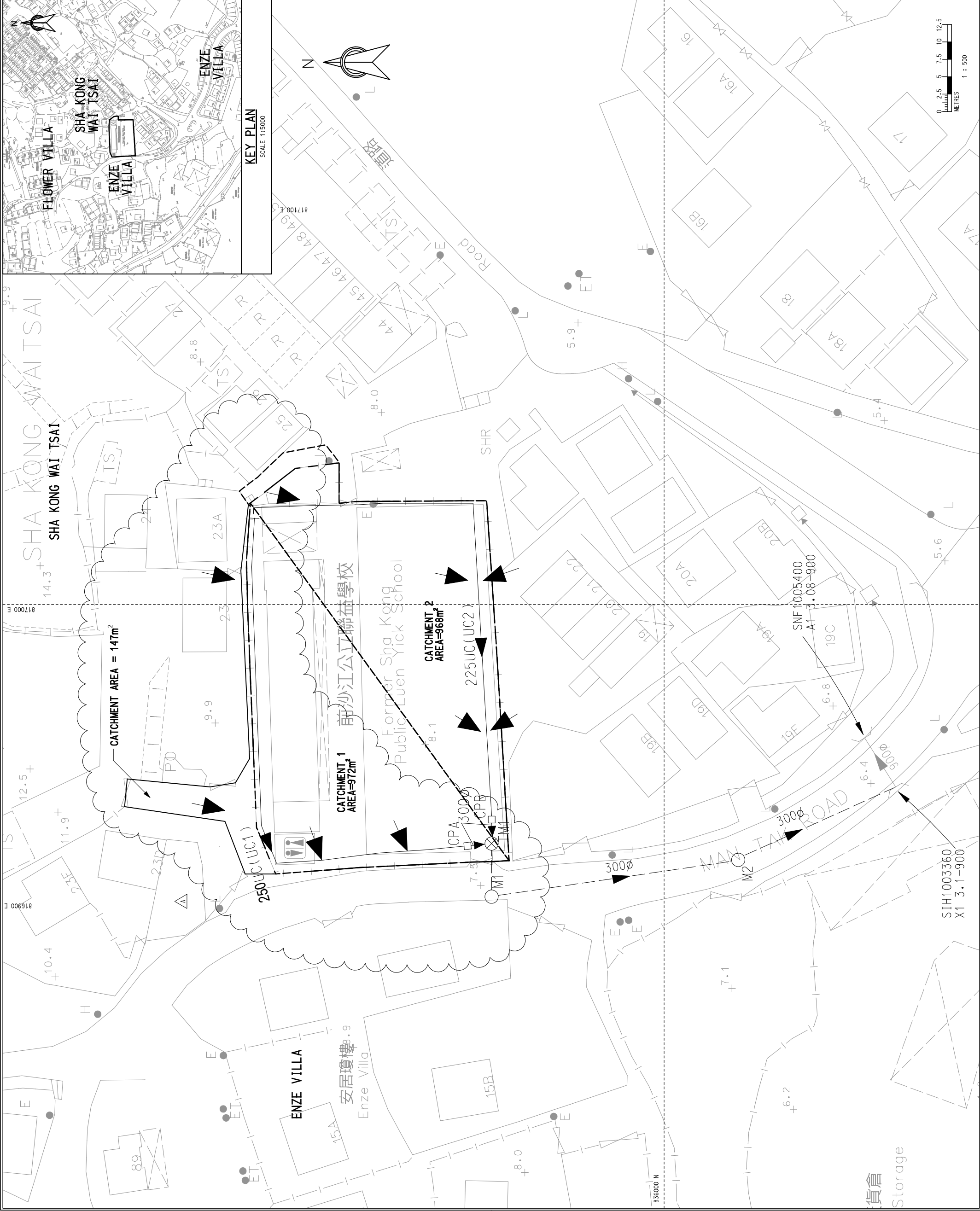
- APPLICATION BOUNDARY
- PROPOSED PIPE & MANHOLE
- PROPOSED TERMINAL MANHOLE
- EXISTING STORM WATER
- PROPOSED U-CHANNEL & CATCHPIT

GENERAL NOTES :

- 1. THE ALIGNMENTS AND LEVELS OF EXISTING DRAINS SHOWN ARE SUBJECT TO SITE VERIFICATION.
- 2. THE CONTRACTOR SHALL CARRY OUT CCTV INSPECTION TO INSPECT THE CONDITION OF EXISTING DRAINS, MANHOLES, AND FOUL SEWERS FOR CONFORMANCE TO THE RELEVANT GOVERNMENT DEPARTMENT AND CARRY OUT ANY REMEDIAL WORKS DEEMED NECESSARY BY THE RELEVANT GOVERNMENT DEPARTMENT AS IDENTIFIED IN THE CCTV INSPECTION.
- 3. ALL STORMWATER DRAINS SHALL BE CONCRETE PIPES EXCEPT 450mm DIAMETER DUCTILE IRON PIPES AND SHALL COMPLY WITH BS5911 : PART 100, UNLESS SPECIFIED OTHERWISE.
- 4. PIPE BEDDINGS SHALL BE CLASSIFIED AS FOLLOW:
  - CLASS B
  - GRANULAR BEDDING
  - CLASS C3
- 5. ALL MANHOLES SHALL BE DSD STANDARD MANHOLES.
- 6. ALL MANHOLE COVERS AND FRAMES SHALL COMPLY WITH DSD STANDARD DETAILS WITH HEAVY DUTY TYPE FOR CARRIAGEWAY AND MEDIUM DUTY TYPE FOR FOOTPATH OR OPEN SPACE.
- 7. SHORT AND ROCKER PIPES TO CATCHPITS AND MANHOLES TO BE IN ACCORDANCE WITH THE GENERAL SPECIFICATION FOR CIVIL ENGINEERING WORKS CLAUSE 5.70.
- 8. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING AND PROPOSED UTILITIES PRIOR TO CONSTRUCTION AND CARRY OUT ANY NECESSARY UTILITY DIVERSION WORKS SHOULD THERE BE ANY CONFLICT WITH THE WORKS.

MANHOLE SCHEDULE

Manhole/ Catchpit	G.L. (mPD)	Inlet Pipe Diameter mm	I.L. (mPD)	Outlet Pipe/Channel Diameter mm	I.L. (mPD)	Type of Manhole	Outlet Pipe Bedding Class
CPA	7.80	250UC	6.72	300	6.57	CATCHPIT	B
CPB	7.80	250UC	6.72	300	6.57	CATCHPIT	B
TM1	7.80	300	6.45	300	6.30	SPECIAL TERMINAL MANHOLE	B
M1	7.50	300	6.00	300	5.99	D1	B
M2	7.10	300	4.28	300	4.27	E1	B
SIH1003360	6.40	300	3.11	-	-	-	-



NOTES :

1. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE STATED.
2. ALL LEVEL ARE IN mPD METER ABOVE HONG KONG PRINCIPAL DATUM.

LEGEND :

- APPLICATION BOUNDARY
- PROPOSED PIPE & MANHOLE
- PROPOSED TERMINAL MANHOLE
- EXISTING STORM WATER
- CATCHMENT AREA
- PROPOSED U-CHANNEL & CATCHPIT
- FLOW PATH

Designer



Project  
PROPOSED TEMPORARY INSTITUTIONAL  
USE (CHILDREN LIFE LEARNING CENTRE)  
FOR A PERIOD OF 5 YEARS IN  
"VILLAGE TYPE DEVELOPMENT" ZONE,  
SHA KONG WAT YUEN LONG

Title

CATCHMENT PLAN

Scale 1:n A3 1 : 500

Drawing No.

R1030/DL/002

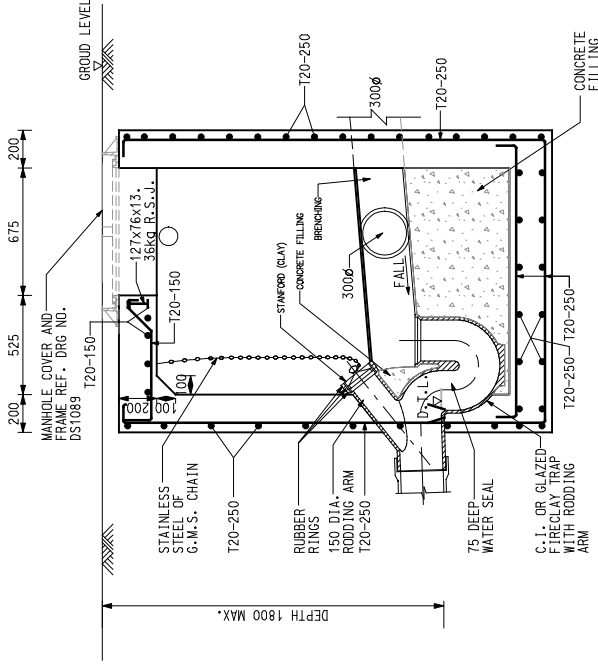
Rev.

A



NOTES :

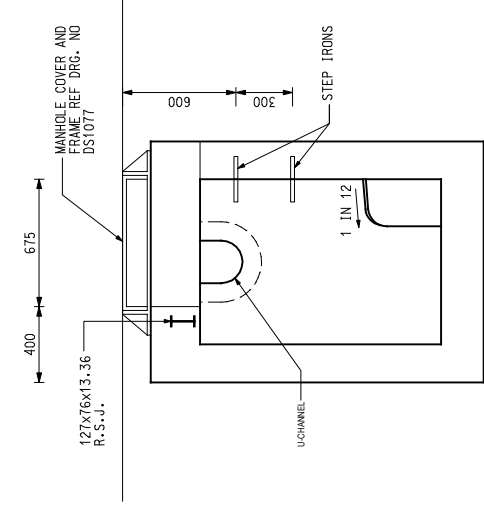
1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED.
2. ALL LEVELS ARE IN mPD METRE ABOVE HONG KONG PRINCIPAL DATUM.
3. DOWN PIPE WILL BE REQUIRED IF LEVEL OF INLET AND OUTLET PIPE EXCEEDS 600mm.
4. EXPANSION JOINTS SHALL BE PROVIDED AT FOR U-CHANNELS AT A MAXIMUM INTERVAL OF 10 METRES.



SECTION PLAN  
SCALE 1:40

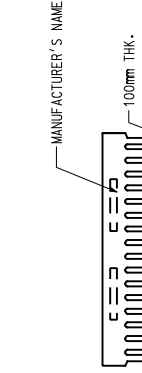
SECTION A-A  
SCALE 1:40

SPECIAL TERMINAL MANHOLE



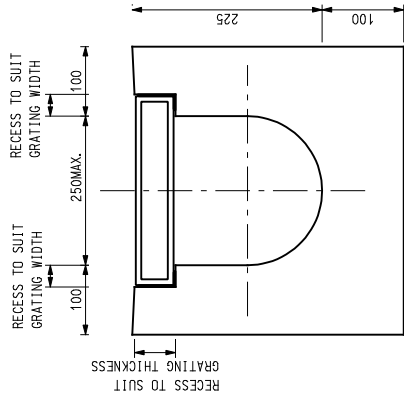
SECTION B-B  
SCALE 1:40

SECTION C-C  
SCALE 1:40

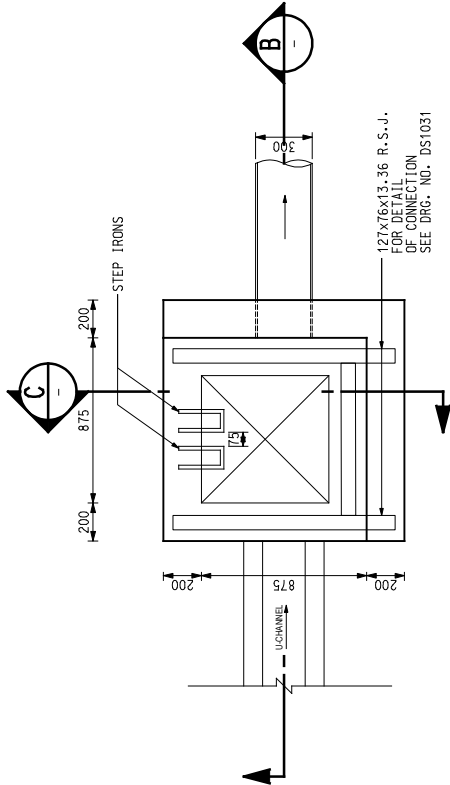


CAST IRON GRATING  
SCALE 1:20

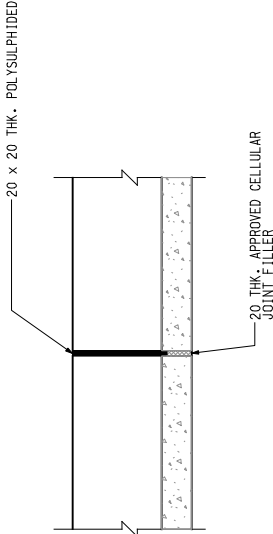
TYPICAL CROSS SECTION OF U-CHANNEL WITH COVER  
SCALE 1:10



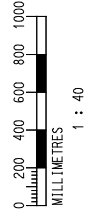
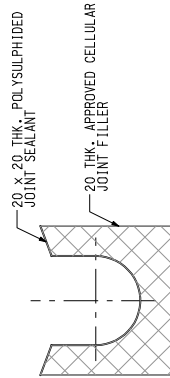
TYPICAL DETAILS OF CATCHPIT  
SCALE 1:40



DETAILS OF EXPANSION JOINT  
SCALE 1:20



SECTION OF EXPANSION JOINT  
SCALE 1:20



Scale In A3 1 : 40

Rev.

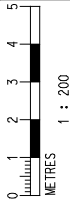
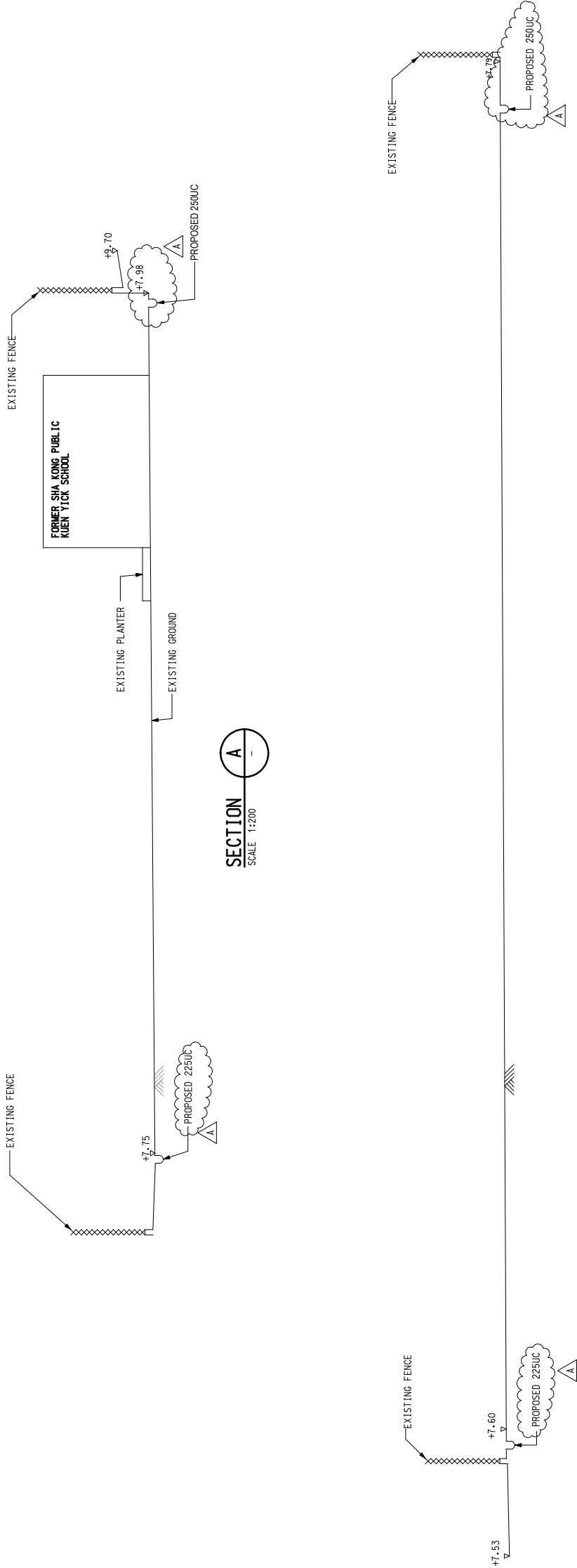
Drawing No.

R1030/DL/003

A

NOTES :

1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED.
2. ALL LEVELS ARE IN mPD METRE ABOVE HONG KONG PRINCIPAL DATUM.





## **Appendix C**

### **Drainage Design Calculation**

**Runoff Estimation for Surface Channel**

U-Channel	Catchment Area		Length (m)	Velocity (m/s)	Time of Flow (min)	Time of Conc. (min)	Rainfall Duration (min)	50 year Intensity <sup>4</sup> (mm/hr)	Runoff <sup>6</sup> Coeff.	50 year Runoff <sup>1</sup> (m <sup>3</sup> /s)	1.104x50 year Runoff <sup>1</sup> (m <sup>3</sup> /s)
	Increment (m <sup>2</sup> )	Accu. (m <sup>2</sup> )									
UC1	1119	1119	75	1.65	1.76	1.76	1.76	277.81	0.90	0.078	0.086
UC2	968	968	75	1.55	2.81	2.81	2.81	257.80	0.90	0.062	0.069

Notes:

Peak Runoff is estimated using rational method according to SDM.

Stormwater Drainage Design - Proposed Temporary Institutional Use (Children Life Learning Centre) for a Period of 5 Years in “Village Type Development” Zone, Government Lanc

Manhole		Inflow (m³/s)	Total Flow (m³/s)	Length (m)	Nominal Diameter (mm)	Gradient, S <sub>f</sub>		Velocity <sup>7</sup> (m/s)	Capacity (m³/s)	Adjusted Capacity > Runoff ?	Cover Level <sup>9</sup>		Invert Level <sup>9</sup>		soil cover		utilization
From	To					(%)	1 in				From (mPD)	To (mPD)	From (mPD)	To (mPD)	From (mPD)	To (mPD)	
CPA	TM1	0.086	0.086	2	300	5.7	17.5	2.976	0.210	Yes	7.80	7.70	6.57	6.45	0.90	0.92	0.41
CPB	TM1	0.069	0.069	2	300	5.7	17.5	2.976	0.210	Yes	7.80	7.70	6.57	6.45	0.90	0.92	0.33
TM1	M1	0.000	0.155	6	300	5.0	20.0	2.784	0.197	Yes	7.80	7.50	6.30	6.00	1.17	1.17	0.79
M1	M2	0.000	0.155	34	300	5.0	19.9	2.792	0.197	Yes	7.50	7.10	5.99	4.28	1.18	2.49	0.78
M2	SIH1003360	0.000	0.155	23	300	5.0	19.8	2.796	0.198	Yes	7.10	6.40	4.27	3.11	2.50	2.96	0.78

Mean Velocity is calculated by Colebrook- White equation

- Where:
- V =Mean Velocity (m/s)
  - R =Hydraulic Diameter (m)
  - Ks =Surface Roughness (m)
  - V =Kinematic viscosity (kg/ms)
  - S =Slope of Hydraulic Gradient
  - g =Gravity (m/s2)

$$\overline{V} = -\sqrt{32gRS_f} \log \left[ \frac{k_s}{14.8R} + \frac{1.25\nu}{R\sqrt{32gRS_f}} \right]$$

The Roughness Coefficient Ks is assumed to be 3.  
Peak Runoff is estimated using rational method according to SDM.

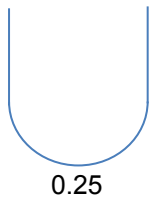


<b>Mannings (Asia) Consultants Ltd.</b>  Calculation Sheet Job Tilt:	Job No.	R1030	Sheet No	Rev.	
	Member / Location				
	Drg. Ref.				
		Made By	NHL	Date	Chd.

**Checking of Capacity (UC1)**

**Input Data**

Width of UC	=	0.25	m	0.125	
Height of UC	=	0.25	m		
Design flow	=	0.086	m <sup>3</sup> /s	0.125	

**Flow capacity, Q**

$$Q = \frac{A \times r^{2/3} \times s^{1/2}}{n}$$

where

A	=	cross sectional area of flow (m <sup>2</sup> )	=	0.0558 m <sup>2</sup>
r	=	hydraulic radius (m)		
s	=	slope of the water surface or the linear hydraulic head loss (m/m)		
n	=	Manning coefficient of roughness		

**Hydraulic radius**

r	=	$\frac{A}{P}$		
p	=	wetted perimeter (m)	=	0.64 m
r	=	0.09	m	

**Slope**

s	=	0.014 m/m
---	---	-----------

**Manning coefficient of roughness**

n	=	0.014
---	---	-------

**Therefore,**

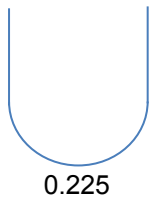
Q	=	0.0918 m <sup>3</sup> /s	>	Design flow, OK!
V	=	Q/A	=	1.65 m/s

<b>Mannings (Asia) Consultants Ltd.</b>  Calculation Sheet Job Tilt:	Job No.	R1030	Sheet No	Rev.	
	Member / Location				
	Drg. Ref.				
		Made By	NHL	Date	Chd.

**Checking of Capacity (UC2)**

**Input Data**

Width of UC	=	0.225 m		0.113	
Height of UC	=	0.225 m			
Design flow	=	0.069 m <sup>3</sup> /s		0.113	

**Flow capacity, Q**

$$Q = \frac{A \times r^{2/3} \times s^{1/2}}{n}$$

where

A	=	cross sectional area of flow (m <sup>2</sup> )	=	0.0452 m <sup>2</sup>
r	=	hydraulic radius (m)		
s	=	slope of the water surface or the linear hydraulic head loss (m/m)		
n	=	Manning coefficient of roughness		

**Hydraulic radius**

r	=	$\frac{A}{P}$		
p	=	wetted perimeter (m)	=	0.58 m
r	=	0.08 m		

**Slope**

s	=	0.014 m/m
---	---	-----------

**Manning coefficient of roughness**

n	=	0.014
---	---	-------

**Therefore,**

Q	=	0.07 m <sup>3</sup> /s		> Design flow, OK!
V	=	Q/A	=	1.55 m/s



**Appendix D**  
**Town Planning Board – Section 16A Approval Letter of the Application**  
**No. A/YL-LFS/347-6**

## 規 劃 署

屯門及元朗西規劃處  
香港新界沙田上禾輦路 1 號  
沙田政府合署 14 樓



By Fax (2865 4332) & Post

## Planning Department

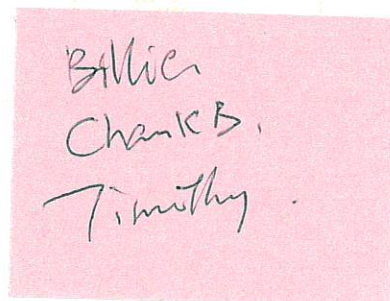
Tuen Mun and Yuen Long West  
District Planning Office  
14/F, Sha Tin Government Offices,  
1 Sheung Wo Che Road, Sha Tin,  
N.T. Hong Kong

來函檔號 Your Reference  
本署檔號 Our Reference ( ) in TPB/A/YL-LFS/347-6  
電話號碼 Tel. No. : 2158 6290  
傳真機號碼 Fax No. : 2489 9711

25 October 2021

The Boys' & Girls' Clubs Association of Hong Kong  
8/F, 3 Lockhart Road,  
Wan Chai, Hong Kong  
(Attn: Mr. CHAN Kin-hung, Charles)

Dear Mr. Chan,



**Proposed Temporary Institutional Use (Children Life Learning Centre)  
for a Period of 5 Years in "Village Type Development" Zone  
at Government Land in D.D. 129, Sha Kong Wai, Yuen Long**

**Section 16A Application No. A/YL-LFS/347-6**

I refer to your application dated 9.9.2021 which was received by the Town Planning Board (TPB) on 14.9.2021 seeking planning permission for Class B amendments to an approved development proposal for proposed temporary institutional use (children life learning centre) for a period of 5 years until 1.11.2024 under Application No. A/YL-LFS/347.

After giving consideration to your application, the Assistant Director of Planning/New Territories, under the delegated authority of the TPB, approved your application for amendments to permission under section 16A of the Town Planning Ordinance (the Ordinance) on the terms of the application as submitted to the TPB and subject to the following conditions (Please refer to the Secretary of the TPB's letter to you dated 15.11.2019 (copy attached) on the relevant approval condition(s)):

- no public announcement system, portable loudspeakers or any form of audio amplification system, as proposed by you, is allowed on the site during the planning approval period as required under approval condition (a);
- no vehicles are allowed to enter the site during the planning approval period as required under approval condition (b);
- the existing trees within the site shall be maintained in good condition at all times during the planning approval period as required under approval condition (c);

- the submission of a drainage proposal as required under approval condition (d) to the satisfaction of the Director of Drainage Services or of the TPB by 1.2.2022;
- the implementation of the drainage proposal as required under approval condition (e) to the satisfaction of the Director of Drainage Services or of the TPB by 1.2.2022;
- the implemented drainage facilities on the site shall be maintained at all times during the planning approval period as required under approval condition (f);
- the implementation of the fire service installations proposal as required under approval condition (h) to the satisfaction of the Director of Fire Services or of the TPB by 1.2.2022;
- if any of the above planning conditions (a), (b), (c) or (f) is not complied with during the planning approval period, the approval hereby given shall cease to have effect and shall be revoked immediately without further notice according to approval condition (i); and
- if any of the above planning conditions (d), (e) or (h) is not complied with by the above specified date, the approval hereby given shall cease to have effect and shall on the same date be revoked without further notice according to approval condition (j).

You are advised to expedite the action for compliance with the conditions and no further extension would be granted unless with strong reasons.

You are reminded to **strictly** adhere to the time limit for complying with the planning conditions with specified compliance periods. If you wish to apply for extension of time for compliance with such planning conditions, you should submit a section 16A application to the TPB no less than six weeks before the expiry of the specified time limit. This is to allow sufficient time for processing of the application in consultation with the concerned departments. The TPB will not consider any application for extension of time if the time limit specified in the permission has already expired at the time of consideration by the TPB. For details, including the total time period for compliance that might be granted, please refer to the TPB Guidelines No. 34D and 36B.

This temporary permission will lapse on 2.11.2024. You may submit an application to the TPB for renewal of the temporary permission no less than two months (normally not more than 4 months) before its expiry by completing an application form (Form No. S16-III). Application submitted more than four months before expiry of the temporary approval may only be considered based on the individual merits and exceptional circumstances of each case. This is to allow sufficient time for processing in accordance with the Ordinance and to ensure that the TPB, in considering the renewal application, can take into account the planning circumstances at the time



nearer to the expiry of the planning approval. For details, please refer to TPB Guidelines No. 34D. However, the TPB is under no obligation to renew the temporary permission.

Under section 17(1) of the Town Planning Ordinance, an applicant aggrieved by a decision of the TPB may apply to the TPB for a review of the decision. If you wish to seek a review, you should inform the Secretariat of the TPB (15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong – Tel. No. 2231 4810 or 2231 4835) within 21 days from the date of this letter (i.e. on or before 15.11.2021). The Secretariat of the TPB will then contact you to arrange a hearing before the TPB which you and/or your authorized representative will be invited to attend.

If you have any queries regarding this planning permission, please contact Mr. Keith WONG of this Office at 2158 6290.

Yours sincerely,



( Ms. Janet K. K. CHEUNG )

for and on behalf of  
Assistant Director of Planning/New Territories

**城市規劃委員會**

香港北角渣華道三百三十三號  
北角政府合署十五樓

**TOWN PLANNING BOARD**

15/F., North Point Government Offices  
333 Java Road, North Point,  
Hong Kong.

傳 真 Fax: 2877 0245 / 2522 8426

By Post & Fax (2311 3436)

電 話 Tel: 2231 4810

來函檔號 Your Reference:

覆函請註明本會檔號

In reply please quote this ref.: TPB/A/YL-LFS/347

15 November 2019

Raymond Chan Surveyors Ltd.  
Room 308, 3/F, Empire Centre  
68 Mody Road  
Tsim Sha Tsui, Kowloon  
(Attn.: Yip Siu Kwan, Sandra)

Dear Sir/Madam,

**Proposed Temporary Institutional Use (Children Life Learning Centre)  
for a Period of 5 Years in "Village Type Development" Zone,  
Government Land in D.D. 129, Sha Kong Wai, Yuen Long**

I refer to my letter to you dated 12.9.2019.

After giving consideration to the application, the Town Planning Board (TPB) approved the application for permission under section 16 of the Town Planning Ordinance on the terms of the application as submitted to the TPB. The permission shall be valid on a temporary basis for a period of 5 years until 1.11.2024 and is subject to the following conditions :

- (a) no public announcement system, portable loudspeakers or any form of audio amplification system, as proposed by you, is allowed on the site during the planning approval period;
- (b) no vehicles are allowed to enter the site during the planning approval period;
- (c) the existing trees within the site shall be maintained in good condition at all times during the planning approval period;
- (d) the submission of a drainage proposal within 6 months from the date of planning approval to the satisfaction of the Director of Drainage Services or of the TPB by 1.5.2020;
- (e) in relation to (d) above, the implementation of the drainage proposal within 9 months from the date of planning approval to the satisfaction of the Director of Drainage Services or of the TPB by 1.8.2020;
- (f) in relation to (e) above, the implemented drainage facilities on the site shall be maintained at all times during the planning approval period;

- (g) the submission of a fire service installations proposal within 6 months from the date of planning approval to the satisfaction of the Director of Fire Services or of the TPB by 1.5.2020;
- (h) in relation to (g) above, the implementation of the fire service installations proposal within 9 months from the date of planning approval to the satisfaction of the Director of Fire Services or of the TPB by 1.8.2020;
- (i) if any of the above planning conditions (a), (b), (c) or (f) is not complied with during the planning approval period, the approval hereby given shall cease to have effect and shall be revoked immediately without further notice; and
- (j) if any of the above planning conditions (d), (e), (g) or (h) is not complied with by the specified date, the approval hereby given shall cease to have effect and shall on the same date be revoked without further notice.

The TPB also agreed to advise you to note the advisory clauses as set out at Appendix V of the TPB Paper.

You are reminded to **strictly** adhere to the time limit for complying with the above planning conditions. If any of the above planning conditions are not complied with by the specified time limit, the permission given shall be revoked without further notice and the development will be subject to enforcement action. If you wish to apply for extension of time for compliance with planning conditions, you should submit a section 16A application to the TPB no less than six weeks before the expiry of the specified time limit. This is to allow sufficient time for processing of the application in consultation with the concerned departments. The TPB will not consider any application for extension of time if the time limit specified in the permission has already expired at the time of consideration by the TPB. For details, please refer to the TPB Guidelines No. 34C and 36B. The Guidelines, application form (Form No. S16A) and the Guidance Notes for applications are available at the TPB's website ([www.info.gov.hk/tpb/](http://www.info.gov.hk/tpb/)), the Planning Enquiry Counters of the Planning Department (Hotline : 2231 5000) at 17/F, North Point Government Offices, 333 Java Road, North Point; 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin; and the Secretariat of the TPB at 15/F, North Point Government Offices.

This temporary permission will lapse on 2.11.2024. You may submit an application to the TPB for renewal of the temporary permission no less than two months before its expiry by completing an application form (Form No. S16-III). For details, please refer to TPB Guidelines No. 34C. However, the TPB is under no obligation to renew the temporary permission.

For amendments to the approved scheme that may be permitted with or without application under section 16A, please refer to TPB Guidelines No. 36B for details.

A copy of the TPB Paper in respect of the application (except the supplementary planning statement/technical report(s), if any) and the relevant extract of minutes of the TPB meeting held on 1.11.2019 are enclosed herewith for your reference.

Under section 17(1) of the Town Planning Ordinance, an applicant aggrieved by a decision of the TPB may apply to the TPB for a review of the decision. If you wish to seek a review, you should inform me within 21 days from the date of this letter (on or before

6.12.2019). I will then contact you to arrange a hearing before the TPB which you and/or your authorized representative will be invited to attend. The TPB is required to consider a review application within three months of receipt of the application for review. Please note that any review application will be published for three weeks for public comments.

This permission by the TPB under section 16 of the Town Planning Ordinance should not be taken to indicate that any other government approval which may be needed in connection with the development, will be given. You should approach the appropriate government departments on any such matter.

If you have any queries regarding this planning permission, please contact Ms. Bonnie Lee of Tuen Mun & Yuen Long West District Planning Office at 2158 6288. In case you wish to consult the relevant Government departments on matters relating to the above approval conditions, a list of the concerned Government officers is attached herewith for your reference.

Yours faithfully,



( Raymond KAN )  
for Secretary, Town Planning Board



## **Appendix E**

### **Responses-to-Comments**



**Proposed Temporary Institutional Use (Children Life Learning Centre)  
for a Period of 5 Years in “Village Type Development” Zone,  
Government Land in D.D. 129, Sha Kong Wai Yuen Long  
Drainage Proposal**

**Drainage Service Department ’s Comments on Drainage Proposal (Issue 2)**

<b><u>Comments from Drainage Service Department (Mainland North)</u></b>	<b><u>Response</u></b>
<p>1) Peripheral surface channels shall be provided along the site boundary to collect the surface runoff accrued on the application site and to intercept the overland flow from the adjacent lands.</p>	<p>The surface channel is provided in the revised design to collect the surface runoff accrued on the application site and to intercept the overland flow from the adjacent lands. Please see drawing no. R1030/DL/002 Rev. A for the revised drainage alignment.</p>
<p>2) The ground to the north of the application site is generally/significantly higher. Since the overland flow from the adjacent lands shall be probably intercepted, external catchment shall be considered in the calculation. The catchment area of 1940m<sup>2</sup> is only considered the flow generated from the application site.</p>	<p>For our point of view, the overland flow from the adjacent lands at the north of the site shall be blocked by the boundary wall which is also shown in the section, please see drawing no. R1030/DL/004 for section. For conservative design, the overland flow from the footpath at the north of the site is considered in the revised design. Please see drawing no. R1030/DL/002 Rev. A for the revised catchment plan.</p>
<p>3) It is noted that a 300mm diameter drainage pipe is proposed to run along Man Tak Road and connected to SIH1003360. Since the proposed drainage pipe system only serving the application site, the development is required to maintain and operate of the system once implemented.</p>	<p>Noted. The proposed pipe system as captioned shall be maintained and operated by the development during the planning approval period.</p>

## 規 劃 署

屯門及元朗西規劃處  
香港新界沙田上禾輦路1號  
沙田政府合署14樓



**By Fax (2311 3436) and Post**

## Planning Department

Tuen Mun and Yuen Long West  
District Planning Office  
14/F, Sha Tin Government Offices,  
1 Sheung Wo Che Road, Sha Tin,  
N.T. Hong Kong

30 September 2021

來函檔號 Your Reference  
本署檔號 Our Reference ( ) in TPB/A/YL-LFS/347  
電話號碼 Tel. No. : 2158 6290  
傳真機號碼 Fax No. : 2489 9711

Raymond Chan Surveyors Ltd.  
Room 308, 3/F, Empire Centre  
68 Mody Road  
Tsim Sha Tsui East, Kowloon  
(Attn: Ms. YIP Siu Kwan, Sandra)

Dear Ms. Yip,

### **Compliance with Approval Condition (d)** **Planning Application No. A/YL-LFS/347**

I refer to your submission dated 18.6.2021 regarding the submission of a drainage proposal for compliance with the captioned approval condition. The relevant department has been consulted on your submission. Your submission is considered:

- ☐ Acceptable. The captioned condition has been complied with.
- ☐ Acceptable. Since the captioned condition requires both the submission and implementation of the proposal, it has not been fully complied with.
- ☒ Not acceptable. The captioned condition has not been complied with. Please find the departmental comments at **Appendix I**.

Should you have any queries on the departmental comments, please contact Ms. Vicky SY of the Drainage Services Department at 2300 1347 direct.

Yours faithfully,

(Keith WONG)  
for District Planning Officer/  
Tuen Mun and Yuen Long West  
Planning Department

c.c.  
CE/MN,DSD (Attn: Ms. Vicky SY)  
ES/W1, DLO/YL, LandsD (Attn: Mr. Vincent WONG)

Internal  
CTP/TPB

**Appendix I**

A/YL-LFS/347 – Compliance with approval condition (d)

Comments from the Chief Engineer/Mainland North of Drainage Services  
Department (CE/MN, DSD):

- i. Peripheral surface channels shall be provided along the site boundary to collect the surface runoff accrued on the application site and to intercept the overland flow from the adjacent lands.
- ii. The ground to the north of the application site is generally/significantly higher. Since the overland flow from the adjacent lands shall be probably intercepted, external catchment shall be considered in the calculation. The catchment area of 1940 m<sup>2</sup> is only considered the flow generated from the application site.
- iii. It is noted that a 300mm diameter drainage pipe is proposed to run along Man Tak Road and connected to SIH1003360. Since the proposed drainage pipe system only serving the application site, the development is required to maintain and operate of the system once implemented.

**規 劃 署**

屯門及元朗西規劃處  
香港新界沙田上禾輦路1號  
沙田政府合署14樓



**Planning Department**

Tuen Mun and Yuen Long West  
District Planning Office  
14/F, Sha Tin Government Offices,  
1 Sheung Wo Che Road, Sha Tin,  
N.T. Hong Kong

8 October 2020

來函檔號 Your Reference  
本署檔號 Our Reference ( ) in TPB/A/YL-LFS/347  
電話號碼 Tel. No. : 2158 6290  
傳真機號碼 Fax No. : 2489 9711

Raymond Chan Surveyors Ltd.  
Room 308, 3/F, Empire Centre  
68 Mody Road  
Tsim Sha Tsui, Kowloon  
(Attn: Ms. YIP Siu Kwan, Sandra)

Dear Ms. Yip,

**Compliance with Approval Condition (g)**  
**Planning Application No. A/YL-LFS/347**

I refer to your submission dated 15.9.2020 regarding the submission of a fire service installations proposal for compliance with the captioned approval condition. The relevant department has been consulted on your submission. Your submission is considered:

- ☒ Acceptable. The captioned condition has been complied with. Please find the departmental comments at **Appendix I**.
- ☐ Acceptable. Since the captioned condition requires both the submission and implementation of the proposal, it has not been fully complied with.
- ☐ Not acceptable. The captioned condition has not been complied with.

Should you have any queries on the departmental comments, please contact Mr. HUNG Tsz-kwan, Wayne of the Fire Services Department at 2733 7758 direct.

Yours faithfully,

(Phyllis LAU)

for District Planning Officer/  
Tuen Mun and Yuen Long West  
Planning Department

c.c.

D of FS (Attn: Mr. YEN Chung-ming)

Internal

CTP/TPB

## **Appendix I**

A/YL-LFS/347 – Compliance with approval condition (g)

### Comments from the Director of Fire Services (D of FS):











The installation /maintenance/ modification/ repair work of fire service installation (FSI) shall be undertaken by a Registered Fire Service Installation Contractor (RFSIC). The RFSIC shall after completion of the installation/maintenance/ modification/ repair work issue to the person on whose instruction the work was undertaken a certificate (FS 251) and forward a copy of the certificate to the Director of Fire Services.



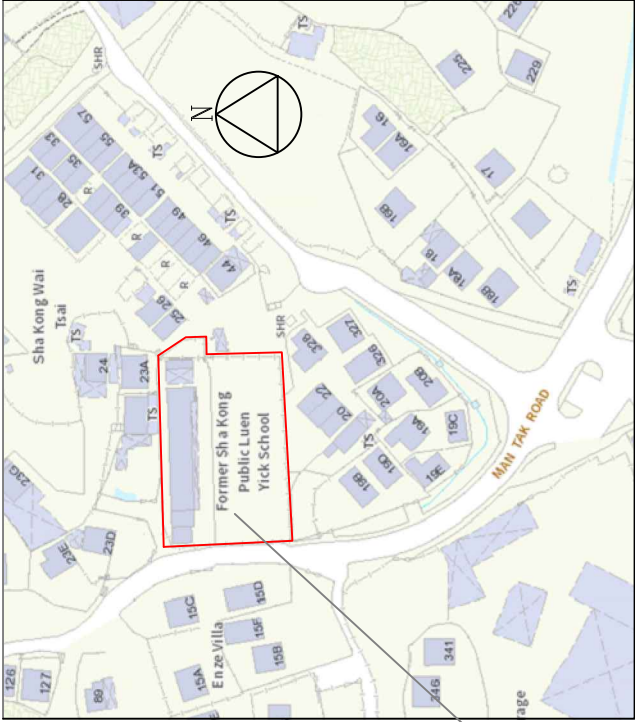
FIRE SERVICES NOTES

- PROPOSED FIRE SERVICES INSTALLATIONS
1. A 2,000L EFFECTIVE CAPACITY GRP F.S. WATER TANK WILL BE PROVIDED FOR THE HOSE REEL SYSTEM. THE HOSE REEL SYSTEM WILL BE INSTALLED IN ACCORDANCE WITH THE CODE OF PRACTICE FOR MINIMUM FIRE SERVICE INSTALLATIONS AND EQUIPMENT 2012 VERSION. WATER SUPPLY TO THE HOSE REEL TANK IS BY DIRECT TOWN MAIN.
  2. SUFFICIENT HOSE REEL SHALL BE PROVIDED TO ENSURE THAT EVERY PART OF THE BUILDING CAN BE REACHED BY A LENGTH OF NOT MORE THAN 30m OF HOSE REEL TUBING.
  3. AN AUTOMATIC SPRINKLER INSTALLATION SHALL BE INSTALLED IN ACCORDANCE WITH THE LPC RULES FOR AUTOMATIC SPRINKLER INSTALLATIONS INCORPORATING BS EN 12846. THE INSTALLATION SHALL PROVIDE DIRECT CONNECTION TO SERVICE PROVIDER'S COMPUTERIZED FIRE ALARM TRANSMISSION SYSTEM. THE HAZARD GROUP SHALL BE ORDINARY HAZARD GROUP 1.
  4. A SPRINKLER TANK WITH EFFECTIVE CAPACITY NOT LESS THAN 37,000L SHALL BE PROVIDED FOR THE AUTOMATIC SPRINKLER INSTALLATION.
  5. MANUAL FIRE ALARM SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE CODE OF PRACTICE FOR MINIMUM FIRE SERVICE INSTALLATIONS AND EQUIPMENT 2012 VERSION.
  6. VISUAL FIRE ALARM SYSTEM TO BE INSTALLED AND PROVIDED IN ACCORDANCE WITH DESIGN MANUAL BARRIER FREE ACCESS 2008 TO COVER THE ENTIRE BUILDING IN ACCORDANCE WITH B.S. 5639: PART 1:2002, A2/2008 AND FSD CIRCULAR LETTER 1/09.
  7. EMERGENCY LIGHTING SYSTEM IN ACCORDANCE WITH FSD CIRCULAR LETTER 1/2006 SHALL BE PROVIDED THROUGHOUT THE BUILDING AND EXIT ROUTE LEADING TO OPEN SPACE.
  8. SUFFICIENT DIRECTIONAL AND EXIT SIGNS IN ACCORDANCE WITH FSD CIRCULAR LETTER 5/08 SHALL BE PROVIDED TO ENSURE THAT EXIT ROUTES IN THE BUILDING ARE CLEARLY INDICATED.
  9. VENTILATION/AIR CONDITIONING CONTROL SYSTEM IS NOT REQUIRED DUE TO THE CENTRE WILL ONLY INSTALL WITH THE SPLIT TYPE VENTILATION SYSTEMS NOT CONNECTED TO DUCTWORK SYSTEMS.

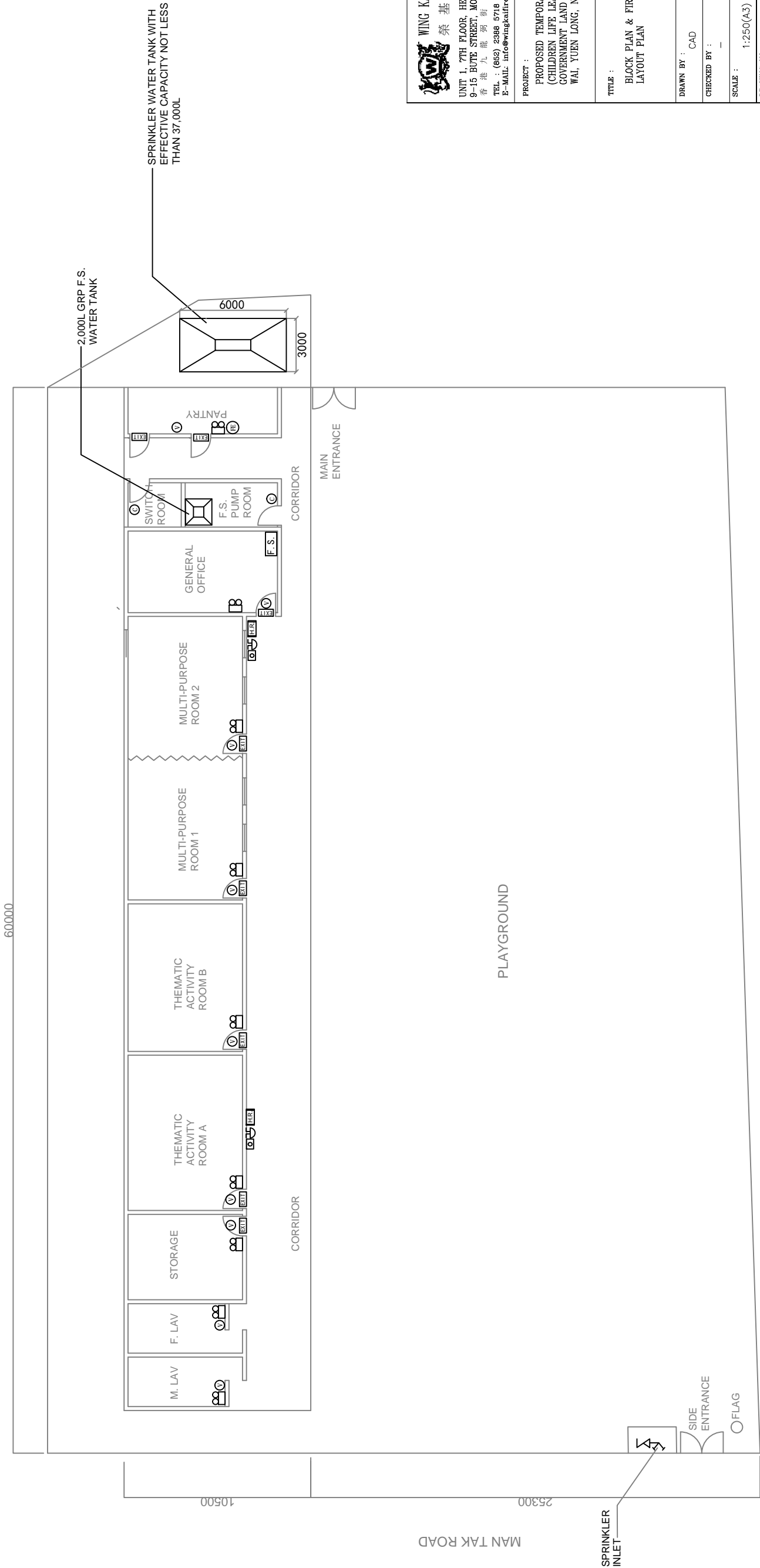
LEGEND :

-  FIRE ALARM BELL
-  MANUAL FIRE ALARM CALL POINT
-  EMERGENCY LIGHT
-  EXIT SIGN
-  VISUAL FIRE ALARM
-  HOSE REEL
-  5kg CO2 GAS EXTINGUISHER
-  9L WATER/CO2 FIRE EXTINGUISHER
-  SPRINKLER INLET
-  F.S. CONTROL PANEL

PROPOSED TEMPORARY INSTITUTIONAL  
USE (CHILDREN LIFE LEARNING CENTRE)  
AT GOVERNMENT LAND IN D.D. 129,  
SHA KONG WAI, YUEN LONG, NEW TERRITORIES




BLOCK PLAN (NOT TO SCALE)



MAN TAK ROAD

SPINKLER  
INLET

OFLAG



WING KAI FIRE ENGINEERING CO.  
榮基消防工程公司

UNIT 1, 7TH FLOOR, HENLEY INDUSTRIAL CENTRE, NO.  
9-15 BUTTE STREET, MONGKOK, KOWLOON, HONG KONG.  
香港九龍彌敦道9-15號恒利中心7樓1室

TEL : (852) 2388 5718 FAX : (852) 2384 4606  
E-MAIL: info@wingkai-fire.com.hk

PROJECT :	PROPOSED TEMPORARY INSTITUTIONAL USE (CHILDREN LIFE LEARNING CENTRE) AT GOVERNMENT LAND IN D.D. 129, SHA KONG WAI, YUEN LONG, NEW TERRITORIES		
TITLE :	BLOCK PLAN & FIRE SERVICE INSTALLATIONS LAYOUT PLAN		
DRAWN BY :	CAD	DATE :	26-08-2020
CHECKED BY :	-	DATE :	26-08-2020
SCALE :	1:250(A3)	REV.	1
DRAWING NO. :	FS-01	JOB NO.	WK/AC/28/20

# Former Sha Kong Public Luen Yick School in Government Land D.D 129

## Existing Layout Plan Gross Floor Area (GFA)

Site Area : Approx. 1910 m <sup>2</sup>	Building : Approx. 605 m <sup>2</sup>	Playground : Approx. 1305 m <sup>2</sup>
Special Room : 30.99 m <sup>2</sup>	Class Room A : 57.75 m <sup>2</sup>	Class Room B : 53.84 m <sup>2</sup>
Class Room C : 53.83 m <sup>2</sup>	Class Room D : 50.9 m <sup>2</sup>	General Office : 39.18 m <sup>2</sup>
Snack Bar : 22.58 m <sup>2</sup>	M. LAV : 14.47 m <sup>2</sup>	F. LAV : 15.93 m <sup>2</sup>
Roof : Approx. 508.83 m <sup>2</sup>		
<b>Existing Gross Floor Area (GFA) :</b>	<b>605 m<sup>2</sup></b>	
<b>Existing Plot Ratio :</b>	<b>0.32</b>	<b>Existing Building Height : About 4 m</b>

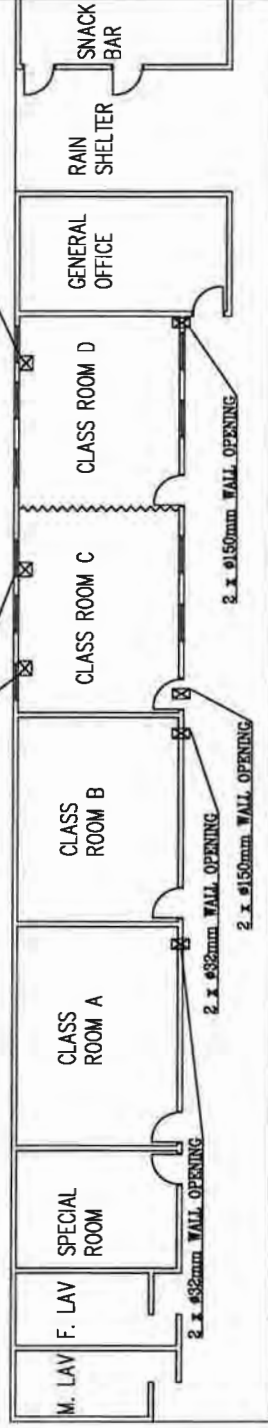
## Proposed Layout Plan Gross Floor Area (GFA)

Site Area : Approx. 1910 m <sup>2</sup>	Building : Approx. 651 m <sup>2</sup>	Roof : Approx. 555 m <sup>2</sup>
Class Room : 42 m <sup>2</sup>	Store Room A : 43 m <sup>2</sup>	Store Room B : 43 m <sup>2</sup>
Room A : 67 m <sup>2</sup>	Room B : 43 m <sup>2</sup>	Room C : 67 m <sup>2</sup>
Tuck Shop : 18 m <sup>2</sup>	Pantry : 12 m <sup>2</sup>	Sick Room : 4 m <sup>2</sup>
Staff Office : 30 m <sup>2</sup>	M. LAV : 28 m <sup>2</sup>	F. LAV : 28 m <sup>2</sup>
Covered Corridor : 130 m <sup>2</sup>	Control Room 1 (M/F) : 8 m <sup>2</sup>	Control Room 2 (M/F) : 8 m <sup>2</sup>
Equipment Room 1 (M/F) : 17 m <sup>2</sup>	Equipment Room 2 (M/F) : 17 m <sup>2</sup>	Aisle (M/F) : 46 m <sup>2</sup>
Back Yard Area (Open) : Approx. 274 m <sup>2</sup>	Open Corridor (Open) : Approx. 202m <sup>2</sup>	Playground (Open) : Approx. 879m <sup>2</sup>
<b>Proposed Gross Floor Area (GFA) :</b>	<b>651 m<sup>2</sup></b>	<b>Proposed Site Coverage : 29%</b> <b>Open Area : 1355 m<sup>2</sup></b> <b>Open Area Including: Back Yard Area, Open Corridor, Playground.</b>
<b>Proposed Plot Ratio :</b>	<b>0.34</b>	<b>Proposed Building Height : About 4 m</b> <b>(the existing building height is to be kept)</b>

57800

SUPPORTING FRAME W/ 710x840x430(h)mm FOR A/C UNIT W/ S.S. DRIP TRAP 210x580x25mm, 2mm THICK

SUPPORTING FRAME W/ 710x720x430(h)mm FOR A/C UNIT W/ S.S. DRIP TRAP 210x580x25mm, 2mm THICK



MAIN  
ENTRANCE

PLAYGROUND

SIDE  
ENTRANCE  
FLAG

60000

SITE AREA: APPROX. 1910 m<sup>2</sup>  
BUILDING: APPROX. 605 m<sup>2</sup>  
PLAYGROUND: APPROX. 1305 m<sup>2</sup>  
M. LAV: 14.47 m<sup>2</sup>  
F. LAV: 15.93 m<sup>2</sup>  
SPECIAL ROOM: 30.99 m<sup>2</sup>  
CLASS ROOM A: 57.75 m<sup>2</sup>  
CLASS ROOM B: 53.84 m<sup>2</sup>  
CLASS ROOM C: 53.83 m<sup>2</sup>  
CLASS ROOM D: 50.9 m<sup>2</sup>  
GENERAL OFFICE: 39.18 m<sup>2</sup>  
SNACK BAR: 22.58 m<sup>2</sup>  
ROOF: 508.83 m<sup>2</sup>

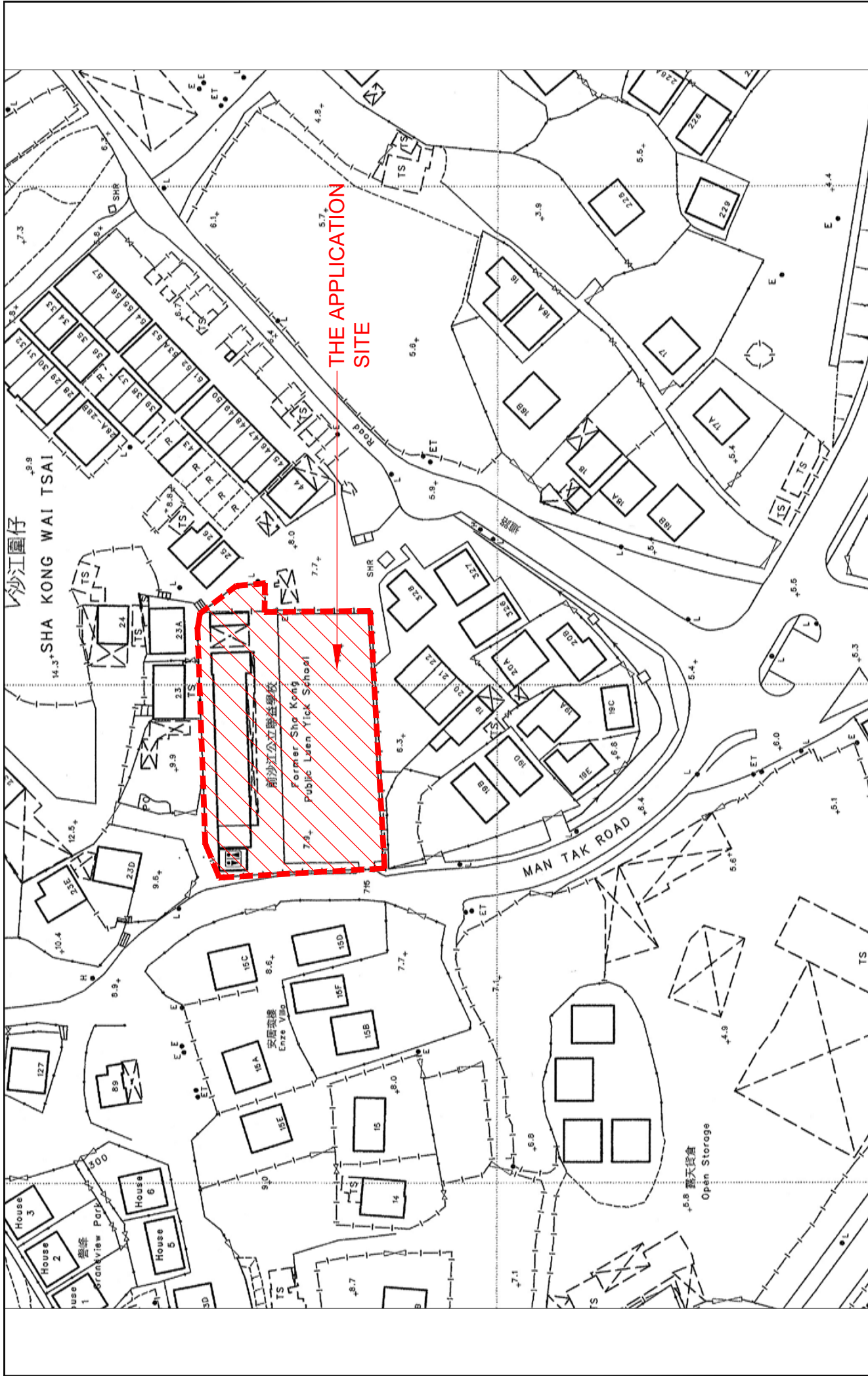
ALL DIMENSION AND AREA ARE FOR REFERENCE ONLY **EXISTING LAYOUT PLAN**


THE BOYS' AND GIRLS'  
CLUBS ASSOCIATION  
OF HONG KONG

PROJECT : FORMER SHA KONG PUBLIC LUEN YICK SCHOOL

DRAWING TITLE : EXISTING LAYOUT PLAN

DRAWING NO. : TKT/AF/2F/CO1  
SCALE : 1 : 200 (A3)  
DRAWN BY : CARLOS CHAN  
DATE : 26 FEBRUARY 2018



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							DRAWING NO.: PLAN 1
REFERENCE:							REVISION: 1
DRAWN: A.H.							
SCALE: 1: 1000							
TEL.: 2722-7270 FAX.: 2311-3436							



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17 Kai Cheung Road, Kowloon Bay, Kowloon, Hong  
Kong.  
Tel: 852-2114 2238  
Email: info@a-d88.com

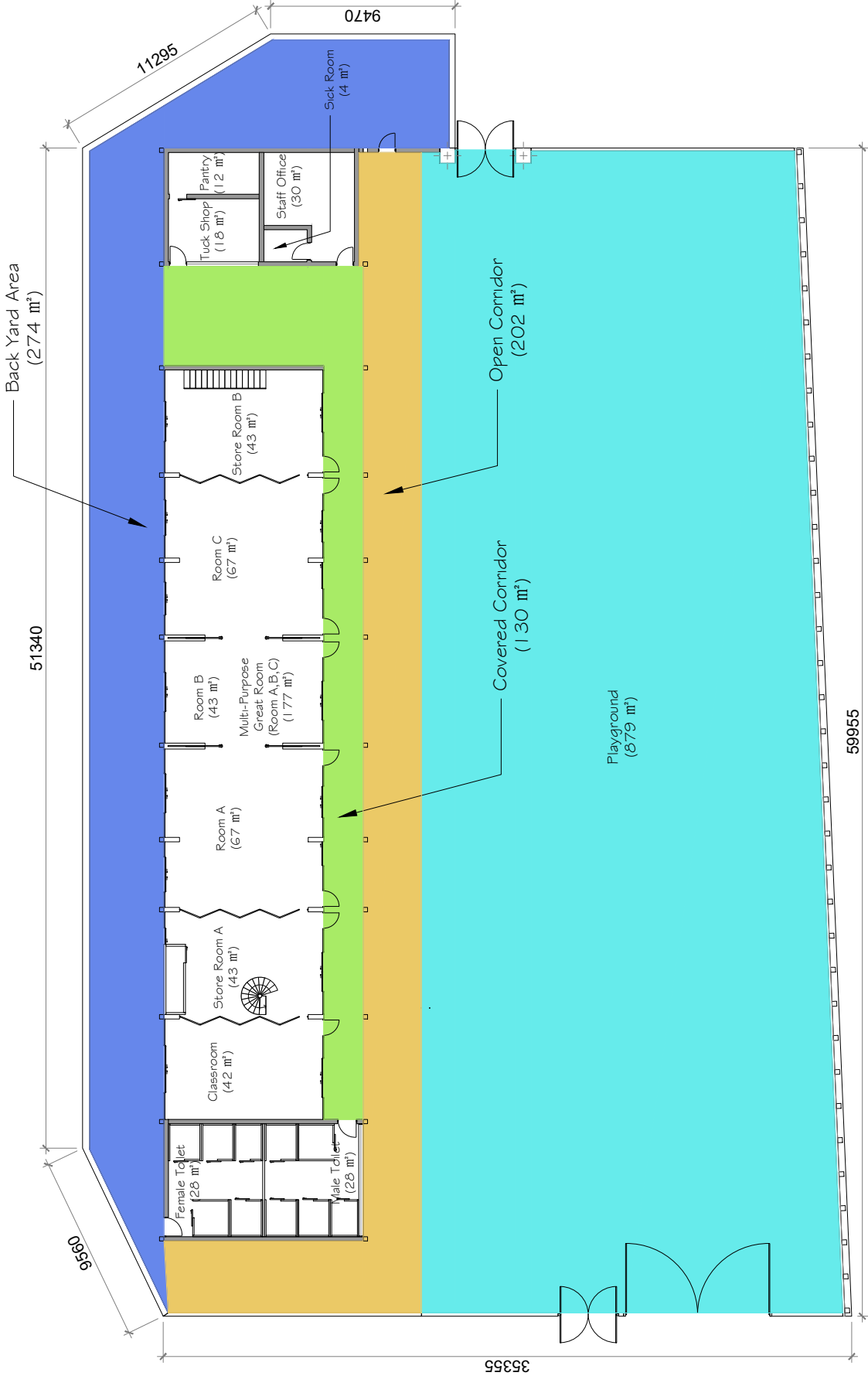
CLIENT:  
The Boys' & Girls' Clubs Association of Hong Kong

SITE:  
Former Sha Kong Public Luen Yick School

DESIGNED BY:  
Allen

SHEET TITLE: LAYOUT PLAN

DATE:	SCALE:	DRAWN:	CHECKED:
04/09/2023	1:300	Allen	
PROJECT NO:	DRAWING NO:	REVISION:	
MD-P05-22	P03-A		



PROPOSED LAYOUT PLAN

1:300

P03  
A

Note:

Building: G/F + M/F + Covered Corridor = 651m²

Open Area: 202m² + 274m² + 879m² = 1355m²

Site Area: 1355m² + 555m² (Roof Area) = 1910m²



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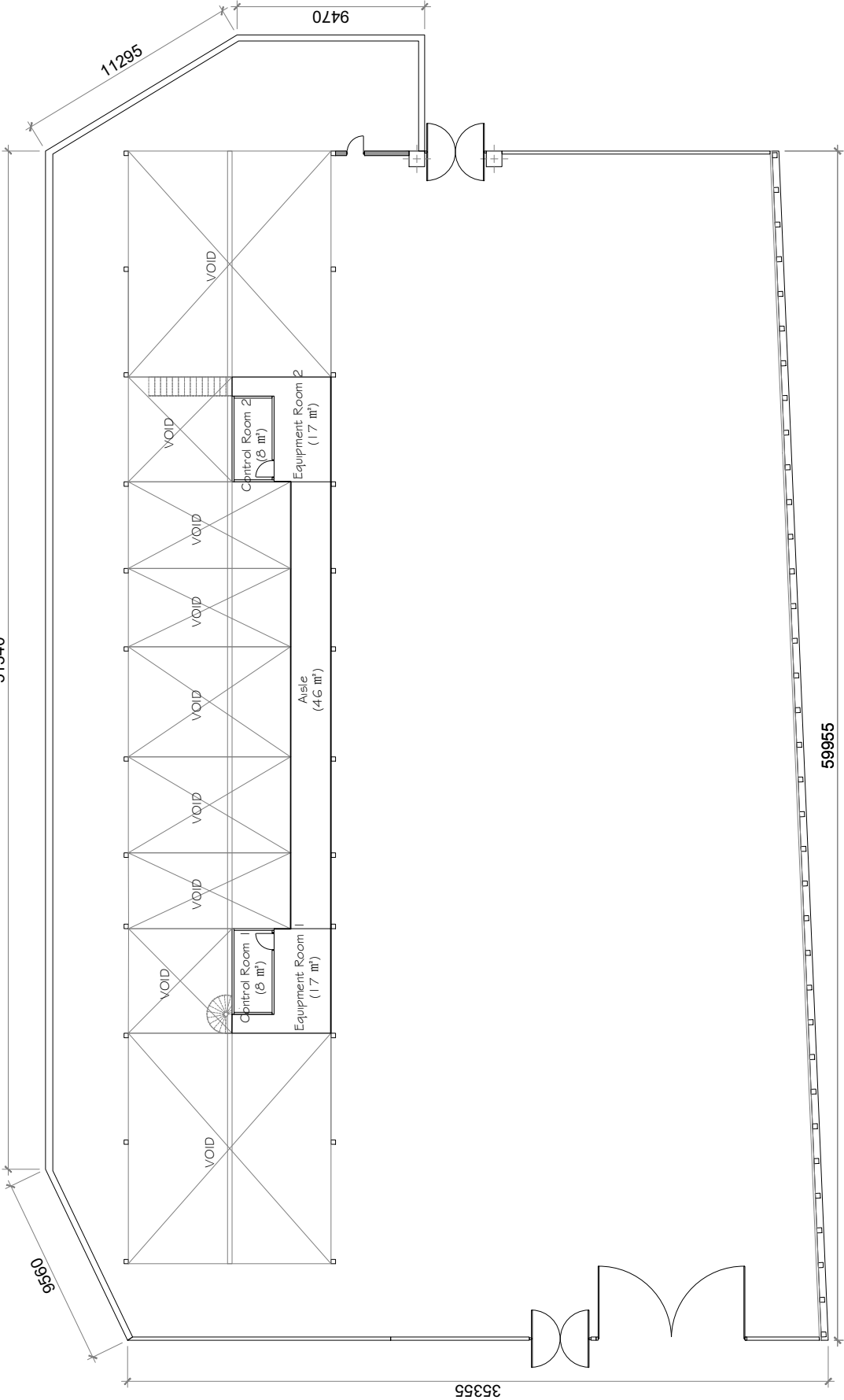
ADDRESS:  
Unit 404, 4/F, Goldin Financial Global Centre,  
17 Kai Cheung Road, Kowloon Bay, Kowloon, Hong Kong.  
Tel: 852-2114 2238  
Email: info@a-d88.com

CLIENT:  
The Boys' & Girls' Clubs Association of Hong Kong  
SITE:  
Former Sha Kong Public Luen Yick School

DESIGNED BY:  
Allen

SHEET TITLE: MEZZANINE LEVEL PLAN

DATE: 04/09/2023	SCALE: 1:300	DRAWN: Allen	CHECKED:
PROJECT NO: MD-P05-22	DRAWING NO: P03-B	REVISION:	



MEZZANINE LEVEL PLAN

1:300

P03

B

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STATUS:

CONSTRUCTION ISSUE

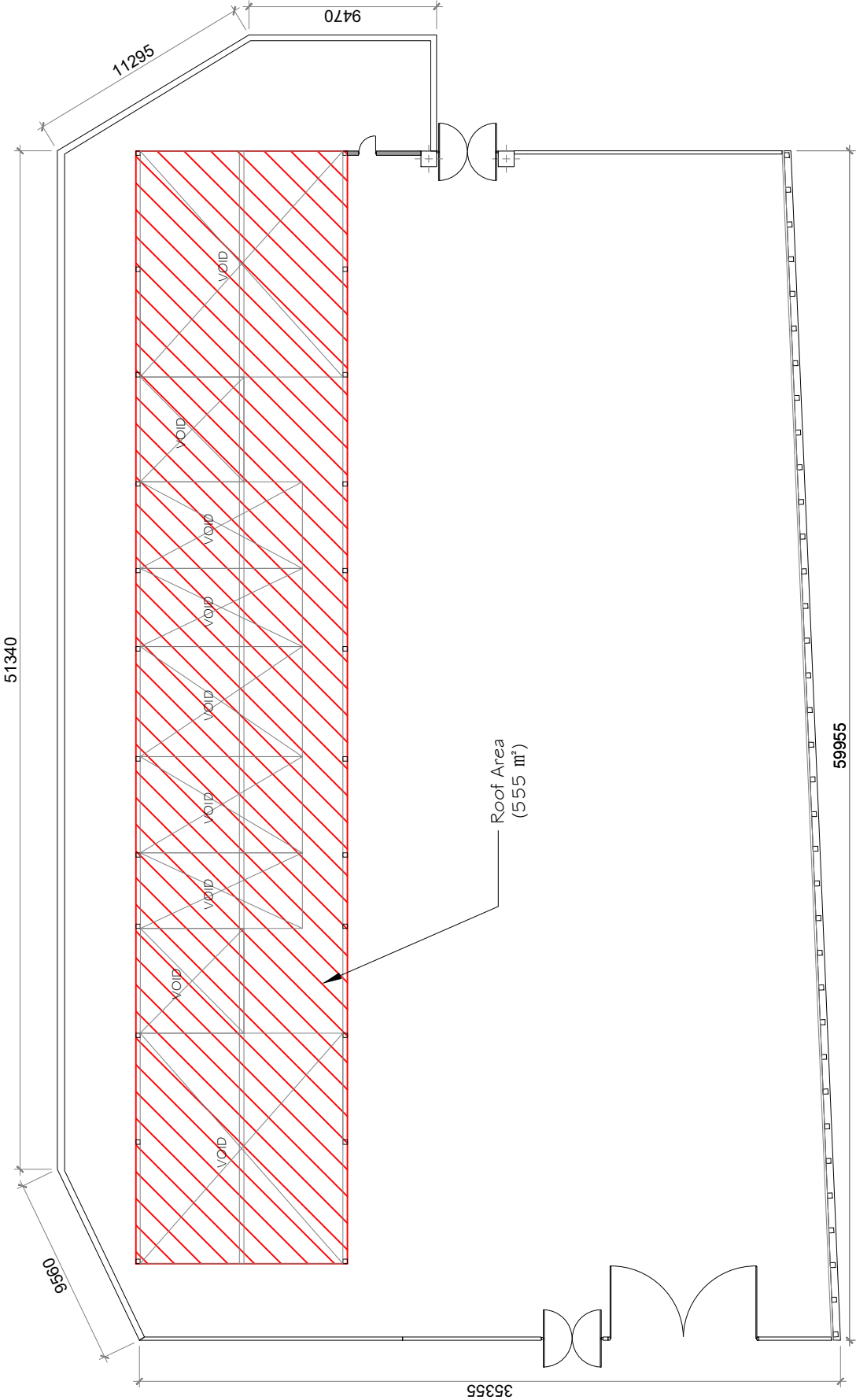
REV:	DESCRIPTION:	BY:	DATE:

ADDRESS:  
Unit 404, 4/F, Goldin Financial Global Centre,  
17 Kai Cheung Road, Kowloon Bay, Kowloon, Hong Kong.  
  
Tel: 852-2114 2238  
Email: info@a-d88.com

CLIENT:  
The Boys' & Girls' Clubs Association of Hong Kong  
  
SITE:  
Former Sha Kong Public Luen Yick School

DESIGNED BY:  
Allen

SHEET TITLE: LAYOUT PLAN			
DATE: 04/09/2023	SCALE: 1:300	DRAWN: Allen	CHECKED:
PROJECT NO: MD-P05-22	DRAWING NO: P03-A	REVISION:	



P03  
A

PROPOSED LAYOUT PLAN

1:300

Appendix 3: Access Route Map





Previous s.16 Applications covering the Application Site

Approved Applications

	<u>Application No.</u>	<u>Applied Use(s)/Development(s)</u>	<u>Zoning(s)</u>	<u>Date of Consideration (RNTPC)</u>
1	A/YL-LFS/76	Proposed extension of Sha Kong Public Luen Yick School	V	21.12.2001
2	A/YL-LFS/347	Proposed Temporary Institutional Use (Children Life Learning Centre) for a Period of 5 Years	V	1.11.2019 (Revoked on 1.10.2023)



**Government Bureau/Departments' General Comments**

**1. Land Administration**

Comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD):

- (a) He has no adverse comment on the application.
- (b) The application Site (the Site) is a vacant school premises, which is currently held under Short Term Tenancy (STT) No. STTYL0026 for the purpose of temporary institutional use (Children Life Learning Centre) for a term of commencing from 28.4.2022 and 1.11.2024 and thereafter quarterly.

**2. Social Welfare**

Comments of the Secretary for Labour and Welfare (SLW):

- (a) As far as he understands from the Social Welfare Department (SWD), the applicant is a registered charitable institution exempted from tax under section 88 of the Inland Revenue Ordinance. According to the applicant's proposal, it is noticed that the applicant will provide (i) programmes for the development of children and promotion of parent-child relationship as well as (ii) other initiatives for strengthening community support, mutual help and social networking, such as organising festive events and cultural activities. SWD has no adverse comment on the application in respect of (i) the programmes for the development of children and promotion of parent-child relationship from the welfare point of view, on the assumption that there will be no financial implications, both capital and recurrent, incurred to SWD and the related construction and building works should comply with all statutory requirements. The Labour and Welfare Bureau (LWB) does not have other views on top of SWD's assessment.
- (b) In addition, SWD understands the villagers strongly oppose to the application despite the applicant making much effort to build a constructive working relationship with the villagers in the past few years. The applicant is aware that the villagers' resistance is so strong that they might be unable to enter the premises to do the necessary renovation work. Therefore, the applicant has to prepare that there would still be a long way for them to work out a feasible compromise with the villagers should they wish to pursue the application.
- (c) As to the other initiatives under (ii), LWB/SWD are not in a position to comment.

**3. Environment**

Comments of the Director of Environmental Protection (DEP):

- (a) He has no objection to the application from the environmental planning perspective since the proposed use and facilities will mainly be housed within the existing building structure of the former Sha Kong Public Luen Yick School.
- (b) There is no substantiated environmental complaint pertaining to the Site in the past 3 years.

#### **4. Drainage**

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD):

- (a) He has no objection in principle to the application from drainage point of view.
- (a) According to the applicant's submission, drainage proposal accepted under the previous application No. A/YL-LFS/347 will be implemented for the proposed use. Should the Town Planning Board consider that the application is acceptable from planning point of view, a condition should be stipulated requiring the applicant to implement and maintain the proposed drainage facilities as indicated on the accepted drainage plan under the previous application No. A/YL-LFS/347 to the satisfaction of his department.

#### **5. Fire Safety**

Comments of the Director of Fire Services (D of FS):

- (a) He has no objection in principle to the proposal subject to fire service installations (FSIs) being provided to his satisfaction.
- (b) The proposed layout is different from that of the previous application, and a mezzanine floor was added as well. As such, submission of an updated FSIs proposal is considered necessary.

#### **6. Others**

Comments of the Executive Secretary (Antiquities & Monuments), Antiquities and Monuments Office, Development Bureau (ES(A&M), AMO, DEVB):

- (a) The former Sha Kong Public Luen Yick School (the School) was built between 1957 and 1958 by the joint efforts of villagers in order to cater for the educational need of the children in the area. While AMO has no objection to put it into good use, the applicant is advised to make a full record of the School building, both the interiors and exteriors, through photographic and video recording before and after any works to be carried out. A copy of such records should be provided to AMO for record purpose and future use such as research, exhibition and educational programmes.
- (b) Besides, the applicant is also advised that no damages should be made to the historic fabrics and features of the School including the commemorative plaque and ceramic photos within the School building, and entrance gate bearing the name of the School, which could serve as a means of interpretation to tell the history of the School.
- (c) Also, as a precautionary measure, the applicant is required to inform AMO immediately when any antiquities or supposed antiquities under the Antiquities and Monuments Ordinance (Cap. 53) are discovered in the course of works.

#### **7. Other Departments' Comments**

The following Government departments have no comment on the application:

- (a) Chief Building Surveyor/New Territories West, Buildings Department;

- (b) Chief Engineer/Construction, Water Supplies Department (CE/C, WSD);
- (c) Chief Engineer/Land Works, Civil Engineering and Development Department (CE/LW, CEDD);
- (d) Head of Geotechnical Engineering Office, CEDD (H(GEO), CEDD);
- (e) Project Manager (West), CEDD (PM(W), CEDD);
- (f) Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD);
- (g) Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD);
- (h) Commissioner for Transport (C for T);
- (i) Commissioner of Police (C of P); and
- (j) Director of Agriculture, Fisheries and Conservation (DAFC).

**Recommended Advisory Clauses**

- (a) to note the comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD) that:-
  - (i) the application site (the Site) is a vacant school premises, which is currently held under Short Term Tenancy (STT) No. STTYL0026 for the purpose of temporary institutional use (Children Life Learning Centre) for a term commencing from 28.4.2022 to 1.11.2024 and thereafter quarterly; and
  - (ii) the current proposal exceeds the permissible built over area and is not permissible under STT with proposed car parking spaces. The applicant has to apply to LandsD for necessary approval or amendment to STT to implement the proposal. However, there is no guarantee that the application must be approved and the details of the proposal to be covered in the application will be further examined and verified. Such application, if received by LandsD, will be considered by LandsD acting in the capacity as the Landlord at its sole discretion and any approval would be subject to such terms and conditions including, among others, payment of rent or administrative fee as may be imposed by LandsD;
- (b) to note the comments of the Secretary for Labour and Welfare (SLW) that villagers strongly oppose to the application despite the applicant making much effort to build a constructive working relationship with the villagers in the past few years. The applicant has to prepare that there would still be a long way for them to work out a feasible compromise with the villagers should they wish to pursue the application;
- (c) to note the comments of the Commissioner for Transport (C for T) that sufficient manoeuvring space shall be provided within the Site. No vehicles are allowed to queue back to public roads and reverse onto/from public roads. The local track leading to the Site is not under Transport Department's purview. The applicant shall obtain consent of the owners/managing departments of the local track for using it as the vehicular access to the Site;
- (d) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD) that adequate drainage measures shall be provided to prevent surface water running from the Site to the nearby public roads and drains. The access road connecting the Site with Man Tak Road is not and will not be maintained by HyD. HyD should not be responsible for maintaining any access connecting the Site with Man Tak Road;
- (e) to note the comments of the Director of Fire Services (D of FS) on the submitted fire service installations proposals:
  - (i) in consideration of the design/nature of the proposal, fire service installations (FSIs) are anticipated to be required. The applicant shall submit relevant layout plans incorporated with the proposed FSIs to the Fire Services Department for approval. The layout plans should be drawn to scale and depicted with dimensions and nature of occupancy. The location of proposed FSIs to be installed should be clearly marked on the layout plans. If the proposed structure(s) is required to comply with the Buildings Ordinance (BO) (Cap. 123), detailed fire service requirements will be formulated upon receipt of formal submission of general building plans; and

- (ii) the proposed layout is different from that of the previous application, and a mezzanine floor was added as well. As such, submission of an updated FSIs proposal is considered necessary; and
- (f) to note the comments of the the Executive Secretary (Antiquities & Monuments), Antiquities and Monuments Office, Development Bureau (ES(A&M), AMO, DEVB) to make a full record of the school building, both the interiors and exteriors, through photographic and video recording before and after any works to be carried out. A copy of such records should be provided to AMO for record purpose and future use such as research, exhibition and educational programmes. Besides, no damages should be made to the historic fabrics and features of the school including the commemorative plaque and ceramic photos within the school building, and entrance gate bearing the name of the school, which could serve as a means of interpretation to tell the history of the school. Also, the applicant is required to inform AMO immediately when any antiquities or supposed antiquities under the Antiquities and Monuments Ordinance (Cap. 53) are discovered in the course of works.





屯門及元朗西規劃處  
城市規劃師  
黃博栓先生

新界元朗沙江圍前沙江公立聯益學校  
擬議臨時機構用途(兒童生活學習館)(為期五年)  
(申請編號：A/YL-LFS/487)

黃博栓先生：

五年前沙江圍三位村代表出席北角總部審批會時曾極力反對將聯益學校批予小童群益會五年作(兒童生活學習館)用途，與此同時，沙江圍、牛礮村、新慶村(簡稱三村)共二百幾村民亦簽名去函反對，結果反對無效，五年前貴署莫視三村村民的強烈反對，批予小童群益會。本應小童群益會在三村範圍內建設(兒童生活學習館)，村民應該非常樂意及開心地接受，為何三村村民都極力反對呢？原因是村內沒有(兒童生活學習館)需要，村民只需要有自己村內的休閒設施，老人家、青少年及小朋友都可以一齊享用的(其他村都有這些設施，唯我們三村沒有)。當年興建聯益學校的土地及費用全是三村村民捐出及籌集的，惟交予政府是因為學校需要由教育局統一管理學校行政，既然現在該校已經停辦，政府是有需要將聯益學校的使用權交回三村，讓村民自己處理或因應村民意願而行，不竟是村民自己使用，但奇怪地住在三村的村民不需要村範圍內建設(兒童生活學習館)，反而城規會高官不在這三村居住卻認為需要？過了五年貴署仍然莫視三村村民民意，計劃繼續批予小童群益會五年作(兒童生活學習館)用途，若政府一意孤行批准小童群益會的規劃許可，霸王硬上弓，教沙江圍村民情何以堪！若現劃許可，定必影響村民的鄉村生活環境，外來團體進出本村一定導致違例泊車，交通擠塞。此外，增加外來人士到本村，治安一定受到影響，現時沙江圍村民已受爆竊之苦，政府又為何增添村民對治安的煩惱。稍後，天華路公營亦會有其他社福機構提供服務，何必讓小童群益會進駐沙江圍呢？現要求政府不批准規劃許可，還沙江圍村民的安寧生活。

城規會是香港重要一個部門，主要是檢視規劃每個區所缺乏需要的設施，幫助居民生活設備完善，安居樂業。如果貴署一意孤行再繼續批予小童群益會五年作(兒童生活學習館)用途，我們三村村民會堅持極力反對到底，不排除去函各政府部門、申訴專員、特首、媒體……等申訴，將事情擴大，還我們公道！

如有需要，請聯絡陶森球，電話：[REDACTED]  
地址：[REDACTED]

陶森球

莫志坤

沙江圍村代表

莫堯炳

日期：1-10-2023

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附件：反對城規會將沙江公立聯益學校批予「兒童生活學習館」

村民姓名	簽署	村民姓名	簽署	村民姓名	簽署
莫吉坤		莫石鴻		莫得榮	冰
莫哲恒		趙轉		陳加星	nick
胡月嬌		莫贊	贊	莫得紅	hl
黃克超		莫氣連		莫得紅	m
莫景強		黃荷妹		黃得臣	hl
黃成泰				陳得臣	nick
莫樹容				莫永發	HL
莫心味		文美容		莫得榮	
莫照平				莫得榮	
莫細懷				陳紙蘭	
莫得榮		莫得榮			
莫得榮		莫得榮			
陳玉生		莫得榮			
莫得仁		莫得榮			
莫得榮		莫得榮			
莫得榮		莫得榮			
莫得榮		莫得榮			
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莫得榮		莫得榮			



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附件：反對城規會將沙江公立聯益學校批予「兒童生活學習館」

村民姓名	簽署	村民姓名	簽署	村民姓名	簽署
陶永財	陶永財	陶芷澄	陶芷澄	黃煥斌	Wong
鄧祐妹	鄧祐妹	陶添惠	陶添惠	黃沐能	黃沐能
陶肇峰	陶肇峰	蘇育平	蘇育平	黃煜良	黃煜良
陶雅媛	陶雅媛	陶宇軒	陶宇軒		
陶汶鈞	陶汶鈞	陶澤明	陶澤明		
陶榮富	陶榮富	吳組彥	吳組彥		
陶靜雯	陶靜雯	陶卓權	陶卓權		
陳彩霞	陳彩霞	陶卓林	陶卓林		
陶卓培	陶卓培	陶婉嫻	陶婉嫻		
陶永強	陶永強	周江琴	周江琴		
陶曉晴	W.C.	陶添強	陶添強		
		陶浚謙	陶浚謙		
		陶添弟	陶添弟		
		陶芷軒	陶芷軒		
		伍子照	伍子照		
		陶婉桂	陶婉桂		
		陶潔蘭	陶潔蘭		
		吳旭貴	吳旭貴		
		陶潔蓮	陶潔蓮		
楊鳳儀	楊鳳儀	黃子佳	黃子佳		

④

附件：反對城規會將沙江公立聯益學校批予「兒童生活學習館」

村民姓名	簽署	村民姓名	簽署	村民姓名	簽署
李衛芳	芳	阮枝祥	阮枝祥		
陶潤南	南	黎蘭	蘭		
陶滿堂	陶滿堂	阮淑儀	阮淑儀		
阮麗君	君	阮立中	Tulup		
阮興堂	阮興堂	阮敏儀	阮敏儀		
阮梅孝	阮	阮偉儀	阮偉儀		
阮健朗	朗	阮志祥	阮志祥		
陳金蓮	蓮	阮業昌	阮業昌		
黃玉珍	yy				
阮崎璊	fou				
周志豪	Ch				
阮國輝	完輝				
阮滿堂	堂				
阮家欣	欣				
阮服平	阮服平				
吳曉華	吳				
阮智龍	阮				
阮美亞	阮				
阮潤暢	阮				
陳寶蓮	Ch				



⑤

新界元朗青山公路(元朗段)269 號  
元朗民政事務處大廈  
元朗民政事務處

元朗民政事務專員先生:

**強烈反對下列申請**

新界元朗沙江圍前沙江公立聯益學校  
擬議臨時機構用途(兒童生活學習館)(為期 5 年)  
(申請編號:A/YL-LFS/487)

多年來，我們持續要求政府，批准村民使用這個空間用作(一)長者散步和休憩之用;(二)村公所供村長/村民處理村務;(三)喜慶日子籌辦活動等等...。然而，政府不單止沒有積極回應村民的素求，更在這學校內豎立告示板警告村民不得擅進官地。為此我們感到忿怒與失望，身為原居卻不能享用本村範圍內的公共資源。

現在政府卻接受機構申請，我們感到原居民利益受到嚴重損害。故此，我們強烈反對這項申請! 並要求政府容許村民使用這個空間!

沙江圍村代表：莫志坤、陶森球、莫堯炳  
謹上

2023 年 9 月 28 日

沙江圍村民簽名反對上述申請(申請編號:A/YL-LFS/487):

> 莫志坤	> 莫堯炳
> 胡鳳嬌	> 莫堯炳



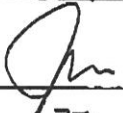
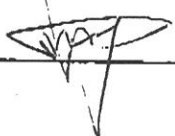
⑥

沙江圍村民簽名反對上述申請(申請編號:A/YL-LFS/487):

> 莫漢棋	> 莫石鴻
> 陳王道	> 趙轉
> 鄭成泰	> 莫浩賢
> 莫景強	> 莫新福
> 莫樹容	> 黃荷妹
> 莫心咪	> 文美峇
> 莫照平	> 大
> 莫細懷	> 仙
> 梁志平	> 范秋霞
> 莫有毛	> 莫玉新
> 鍾初耀	> 莫靜
> 陳正光	> 鄭森福
> 莫守仁	> 莫英全
> 莫壽樂	> 莫澤康
> 莫文興	> 十一黃乙農
> 鄭雲龍	> 莫天華
> 莫維志	> 莫詠紅
> 莫維琪	> 莫芷媚
> 莫金毅	> 楊輝臣

⑦

沙江圍村民簽名反對上述申請(申請編號:A/YL-LFS/487):

> MING	>
> 莫勤 因	>
> 	>
> 梁瑞瑄	>
> 莫永泉	>
> 莫永泉	>
> 莫壽全	>
> 陳鈺蘭	>
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8

附件：反對城規會將沙江公立聯益學校批予「兒童生活學習館」

村民姓名	簽署	村民姓名	簽署	村民姓名	簽署
陶其鴻	h	鄭真諾	鄭真諾		
陶展浩	<del>K</del>	鄭應貴	G.K. Ong		
陶松靖	CT				
陶其祥	hm				
鄧日鳳	20				
陳國標	Q				
陶振屏	hy				
陶北祥	陶北祥				
陶國光	陶				
陶少芳	陶少芳				
陶少娟	陶少娟				
陶日王	陶日王				
單荷鳳	單				
陶合影	Tyler Yung				
陶年東	陶年東				
陶嘉誠	Taken Shing				
陶恩豪	To Sui Ka				
陶恩詠	To Sui Wai				
鄭永發	鄭永發				
鄭永榮	Aao				



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附件：反對城規會將沙江公立聯益學校批予「兒童生活學習館」

村民姓名	簽署	村民姓名	簽署	村民姓名	簽署
陶永有	[Signature]	陶舒婷	Lin	陶子傑	[Signature]
鄧麗芳	[Signature]	盧貼漢	Jacky	陶立康	[Signature]
王月嬌	[Signature]	陶煒豪	Ray 12	陶錫基	[Signature]
陶瑞芳	Shum To	陶玉熙	Hin		
陶永有	[Signature]	陶永章	[Signature]		
陶瑞芳	[Signature]	陶芷東	陶芷東		
陶奕霖	[Signature]	陶院授	陶院授		
陶錦英	[Signature]	莊國順	莊國順		
陶長琮	[Signature]	陶建業	陶建業		
梁大和	[Signature]	劉艳馨	劉艳馨		
歐陽皓瑩	[Signature]	陶建成	陶建成		
陶柏深	[Signature]	鄧依萍	鄧依萍		
陶維有	[Signature]	陶建邦	陶建邦		
梁銀麗	[Signature]	瑪利諾	瑪利諾		
陶詠琪	[Signature]	陶建強	陶建強		
陶廣昌	[Signature]	郭藝	郭藝		
陶潤暢	[Signature]	梁玉高	[Signature]		
陶建昌	[Signature]	李瑞敏	[Signature]		
陶陳瑞	[Signature]	陳雲蓮	[Signature]		
鄧麗芳	[Signature]				

(10)

附件：反對城規會將沙江公立聯益學校批予「兒童生活學習館」

村民姓名	簽署	村民姓名	簽署	村民姓名	簽署
陶志強		陶初祥			
陶祖而		鄧英群	鄧英群		
陶祖而		陶彩娥	陶彩娥		
林宜樂		文燦梅	Ylan		
陶志而		陶森培			
陶雅儀		林梅香	Lam		
陶詠童		陶芷薇	To Choban		
陶苑晴		陶芷菁	Tohi lei		
陶廣衡		陶芷菁	Tochi lei		
鍾玉卿		陶仲發	To Chey		
陶志堅	To	陶仲豪	To Han		
陶麗芳	陶麗芳	陶照恩	To Chellie		
陶麗芳	陶麗芳	陶仲康	To Boyer		
		陶群有			
		馮國源	Fongky		
		陶群春			
		何澤信	何澤信		
		陶群英	Wan		
		陶美娟	Tomei		
		黃子佳	Wong		



Appendix V-2 of RNTPC  
Paper No. A/YL-LFS/487

(11)

屯門及元朗西規劃處  
城市規劃師  
黃博栓先生

新界元朗沙江圍前沙江公立聯益學校  
擬議臨時機構用途(兒童生活學習館)(為期五年)  
(申請編號：A/YL-LFS/487)

黃博栓先生：

五年前沙江圍三位村代表出席北角總部審批會時曾極力反對將聯益學校批予小童群益會五年作(兒童生活學習館)用途，與此同時，沙江圍、牛磡村、新慶村(簡稱三村)共二百幾村民亦簽名去函反對，結果反對無效，五年前貴署莫視三村村民的強烈反對，批予小童群益會。本應小童群益會在三村範圍內建設(兒童生活學習館)，村民應該非常樂意及開心地接受，為何三村村民都極力反對呢？原因是村內沒有(兒童生活學習館)需要，村民只需要有自己村內的休閒設施，老人家、青少年及小朋友都可以一齊享用的(其他村都有這些設施，唯我們三村沒有)。當年興建聯益學校的土地及費用全是三村村民揭出及籌集的，惟交予政府是因為學校需要由教育局統一管理學校行政，既然現在該校已經停辦，政府是有需要將聯益學校的使用權交回三村，讓村民自己處理或因應村民意願而行，不竟是村民自己使用，但奇怪地住在三村的村民不需要村範圍內建設(兒童生活學習館)，反而城規會高官不在這三村居住卻認為需要？過了五年貴署仍然莫視三村村民意，計劃繼續批予小童群益會五年作(兒童生活學習館)用途，若政府一意孤行批准小童群益會的規劃許可，霸王硬上弓，教沙江圍村民情何以堪！若現劃許可，定必影響村民的鄉村生活環境，外來團體進出本村一定導致違例泊車，交通擠塞。此外，增加外來人士到本村，治安一定受到影響，現時沙江圍村民已受爆竊之苦，政府又為何增添村民對治安的煩惱。稍後，天華路公營亦會有其他社福機構提供服務，何必讓小童群益會進駐沙江圍呢？現要求政府不批准規劃許可，還沙江圍村民的安寧生活。

城規會是香港重要一個部門，主要是檢視規劃每個區所缺乏需要的設施，幫助居民生活設備完善，安居樂業。如果貴署一意孤行再繼續批予小童群益會五年作(兒童生活學習館)用途，我們三村村民會堅持極力反對到底，不排除去函各政府部門、申訴專員、特首、媒體……等申訴，將事情擴大，還我們公道！

如有需要，請聯絡陶森球，電話：

地址：

新慶村村代表  
黃國榮 黃慶有

黃國榮 黃慶有

日期：1-10-2023





(13)

屯門及元朗西規劃處  
城市規劃師  
黃博栓先生

新界元朗沙江圍前沙江公立聯益學校  
擬議臨時機構用途(兒童生活學習館)(為期五年)  
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地址：

牛勘村村代表  
黃子聰 黃偉南

黃子聰

黃偉南

日期：1-10-2023

14

附件：反對城規會將沙江公立聯益學校批予「兒童生活學習館」

村民姓名	簽署	村民姓名	簽署	村民姓名	簽署
黃秀梅	黃秀梅	李素雲	Wm		
黃寶輝	黃寶輝	莊展豪	Wm		
黃玉娟	黃玉娟	黃信奇	南		
黃凱欣	黃凱欣	黃春妹	妹		
黃火龍	黃火龍	黃火龍	龍		
黃子超	黃子超	張國強	強		
彭少芳	彭少芳	李綺文	文		
黃耿輝	輝	黃國良	良		
黃卓峰	峰	黃昌偉	偉		
胡梅	胡梅	黃火權	權		
黃家明	明	陳惠梅	梅		
王希琴	希	陳美儀	儀		
黃合勝	黃	鄧曉明	明		
陳淑儀	淑	陳美珍	珍		
鄧育光	光	鄧錫昌	昌		
陸若霖	霖	黃宏力	力		
黃致希	希				
黃歡喜	喜				
鄧慧珊	鄧慧珊				



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**A/YL-LFS/487 Former Sha Kong Public Luen Yick School The Boys' & Girls' Clubs Association of Hong Kong**

06/10/2023 02:38

From: [REDACTED]  
To: tpbpd <tpbpd@pland.gov.hk>  
Cc: enquiry <enquiry@aud.gov.hk>

Dear TPB Members,

347 approved in Nov 2019. BUT TO DATE - FOUR YEARS LATER - CONDITIONS NOT FULFILLED.

How can this be tolerated when the facility is a gathering place for young children?

So what conditions are not being fulfilled? Members have a duty to prioritize the safety of our children so questions must be asked.

Mary Mulvihill

**From:** [REDACTED]  
**To:** tpbpd <tpbpd@pland.gov.hk>  
**Cc:** enquiry <enquiry@aud.gov.hk>  
**Date:** Thursday, 3 October 2019 3:05 AM CST  
**Subject:** Re: A/YL-LFS/347 Former Sha Kong Public Luen Yick School

Dear TPB Members,

The applicant submitted further information providing site boundary amendment, clarification on the learning programme details and **responses to public comments**.

But this information has not been provided to the public. **AND PLEASE DO NOT ADVISE ME THAT I CAN TREK ALL THE WAY TO QUARRY BAY TO YOUR OFFICES.**

It is unacceptable that the board is imposing additional restrictions in order to dissuade the public from taking part in the process, despite that the right to such participation is laid out in the ordinance while at the same time depriving said public of data that is relevant to its clear understanding of the issues.

Previous objections upheld.

Mary Mulvihill



**From:** [REDACTED]

**To:** "tpbpd" <tpbpd@pland.gov.hk>

**Cc:** "enquiry" <enquiry@aud.gov.hk>

**Sent:** Tuesday, August 27, 2019 1:46:53 AM

**Subject:** A/YL-LFS/347 Former Sha Kong Public Luen Yick School

A/YL-LFS/347

Former Sha Kong Public Luen Yick School

Government Land in D.D. 129, Sha Kong Wai, Yuen Long

Site area : About 1,910m<sup>2</sup>

Zoning "VTD"

Applied Use : Children Life Learning Centre / 5 Years

Dear TPB Members,

Another application for use of a public asset that provides no details on the status of the applicant and his/her expertise with regard to provision of educational services for children.

Will the facility receive government subvention, be fee paying, open to ethnic minorities, have a religious agenda?

Applications for use of government property should be transparent and provide sufficient information for members of the public to make judgment as to the merits of the plan.

Mary Mulvihill