

This document is received on 2024-10-17.  
The Town Planning Board will formally acknowledge  
the date of receipt of the application only upon receipt  
of all the required information and documents.

Form No. S16-I  
表格第 S16-I 號

**APPLICATION FOR PERMISSION  
UNDER SECTION 16 OF  
THE TOWN PLANNING ORDINANCE  
(CAP. 131)**

根據《城市規劃條例》(第131章)  
第16條遞交的許可申請

**Applicable to proposals not involving or not only involving:**  
適用於建議不涉及或不祇涉及:

- (i) **Construction of "New Territories Exempted House(s)";**  
興建「新界豁免管制屋宇」;
- (ii) **Temporary use/development of land and/or building not exceeding 3 years in rural areas or Regulated Areas; and**  
位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展;及
- (iii) **Renewal of permission for temporary use or development in rural areas or Regulated Areas**  
位於鄉郊地區或受規管地區的臨時用途或發展的許可續期

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:  
[https://www.tpb.gov.hk/en/plan\\_application/apply.html](https://www.tpb.gov.hk/en/plan_application/apply.html)

申請人如欲在本地報章刊登申請通知,以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟,請瀏覽以下網址有關在指定的報章刊登通知:  
[https://www.tpb.gov.hk/tc/plan\\_application/apply.html](https://www.tpb.gov.hk/tc/plan_application/apply.html)

**General Note and Annotation for the Form**  
**填寫表格的一般指引及註解**

# "Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made  
「現行土地擁有人」指在提出申請前六星期,其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足,請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	AYL-LFS 1537
	Date Received 收到日期	2024-10-17

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).  
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.  
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

## 1. Name of Applicant 申請人姓名/名稱

( ☒ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☐ Organisation 機構 )

張錦超 (註: 新界元朗屏山鄉輞井村村代表)

## 2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

( ☒ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☐ Organisation 機構 )

黃榮健

## 3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	<div style="text-align: right;">(Part) (Part)</div> Lot Nos. 10/214 1036 R.P. in D.D. 129 新界元朗屏山鄉輞井村
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 206.4 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Gross floor area 總樓面面積 ..... sq.m 平方米 <input type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	N/A ..... sq.m 平方米 <input type="checkbox"/> About 約



(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	流浮山及尖鼻咀分區計劃大綱核准圖編號 S/YL-LFS/11
(e) Land use zone(s) involved 涉及的土地用途地帶	綠化地帶
(f) Current use(s) 現時用途	荒廢郊野  (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

#### 4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 -

- ☐ is the sole "current land owner"<sup>##</sup> (please proceed to Part 6 and attach documentary proof of ownership).  
是唯一的「現行土地擁有人」<sup>##</sup> (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners"<sup>##</sup> (please attach documentary proof of ownership).  
是其中一名「現行土地擁有人」<sup>##</sup> (請夾附業權證明文件)。
- ☒ is not a "current land owner"<sup>##</sup>.  
並不是「現行土地擁有人」<sup>##</sup>。

- ☐ The application site is entirely on Government land (please proceed to Part 6).  
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

N/A

#### 5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at ..... (DD/MM/YYYY), this application involves a total of ..... "current land owner(s)"<sup>##</sup>.  
根據土地註冊處截至 ..... 2024 年 ..... 9 月 ..... 23 日的記錄，這宗申請共牽涉 ..... 三 名「現行土地擁有人」<sup>##</sup>。

(b) The applicant 申請人 -

- ☒ has obtained consent(s) of ..... "current land owner(s)"<sup>##</sup>.  
已取得 ..... 三 名「現行土地擁有人」<sup>##</sup>的同意。

Details of consent of "current land owner(s)"<sup>##</sup> obtained 取得「現行土地擁有人」<sup>##</sup>同意的詳情

No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)
兩名	Lot NO. 1012 in D.D. 129	31/7/2024
一名	Lot NO. 1036 R.P. in D.D. 129	31/7/2024

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified ..... "current land owner(s)"<sup>#</sup>  
已通知 ..... 名「現行土地擁有人」<sup>#</sup>。 N/A

Details of the "current land owner(s)" <sup>#</sup> notified 已獲通知「現行土地擁有人」 <sup>#</sup> 的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):  
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下： N/A

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on \_\_\_\_\_ (DD/MM/YYYY)<sup>#&</sup>  
於 \_\_\_\_\_ (日/月/年)向每一名「現行土地擁有人」<sup>#</sup>郵遞要求同意書<sup>&</sup>

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於 \_\_\_\_\_ (日/月/年)在指定報章就申請刊登一次通知<sup>&</sup>
- ☐ posted notice in a prominent position on or near application site/premises on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於 \_\_\_\_\_ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知<sup>&</sup>
- ☐ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於 \_\_\_\_\_ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會<sup>&</sup>

Others 其他

- ☐ others (please specify)  
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

**6. Type(s) of Application 申請類別**

- ☐ Type (i) Change of use within existing building or part thereof  
第(i)類 更改現有建築物或其部分內的用途
- ☒ Type (ii) ~~Diversion of stream~~ / excavation of land / filling of land / ~~filling of pond~~ as required under Notes of Statutory Plan(s)  
第(ii)類 根據法定圖則《註釋》內所要求的河道改道／挖土／填土／填塘工程
- ☒ Type (iii) Public utility installation / ~~Utility installation for private project~~  
第(iii)類 公用事業設施裝置／私人發展計劃的公用設施裝置
- ☐ Type (iv) Minor relaxation of stated development restriction(s) as provided under Notes of Statutory Plan(s)  
第(iv)類 略為放寬於法定圖則《註釋》內列明的發展限制
- ☐ Type (v) Use / development other than (i) to (iii) above  
第(v)類 上述的(i)至(iii)項以外的用途／發展

Note 1: May insert more than one 「✓」.

註 1：可在多於一個方格內加上「✓」號

Note 2: For Development involving columbarium use, please complete the table in the Appendix.

註 2：如發展涉及靈灰安置用途，請填妥於附件的表格。

**(i) For Type (i) application 供第(i)類申請**

N/A

(a) Total floor area involved 涉及的總樓面面積	sq.m 平方米		
(b) Proposed use(s)/development 擬議用途/發展	(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)		
(c) Number of storeys involved 涉及層數		Number of units involved 涉及單位數目	
(d) Proposed floor area 擬議樓面面積	Domestic part 住用部分 .....		sq.m 平方米 <input type="checkbox"/> About 約
	Non-domestic part 非住用部分 .....		sq.m 平方米 <input type="checkbox"/> About 約
	Total 總計 .....		sq.m 平方米 <input type="checkbox"/> About 約
(e) Proposed uses of different floors (if applicable) 不同樓層的擬議用途(如適用) (Please use separate sheets if the space provided is insufficient) (如所提供的空間不足，請另頁說明)	Floor(s) 樓層	Current use(s) 現時用途	Proposed use(s) 擬議用途

**(ii) For Type (ii) application 供第(ii)類申請**

(a) Operation involved 涉及工程	<input type="checkbox"/> Diversion of stream 河道改道		
	<input type="checkbox"/> Filling of pond 填塘		
	Area of filling 填塘面積	..... sq.m 平方米	<input type="checkbox"/> About 約
	Depth of filling 填塘深度	..... m 米	<input type="checkbox"/> About 約
	<input checked="" type="checkbox"/> Filling of land 填土		
	Area of filling 填土面積	206.4 ..... sq.m 平方米	<input checked="" type="checkbox"/> About 約
	Depth of filling 填土厚度	0.85 ..... m 米	<input checked="" type="checkbox"/> About 約
	<input checked="" type="checkbox"/> Excavation of land 挖土		
	Area of excavation 挖土面積	206.4 ..... sq.m 平方米	<input checked="" type="checkbox"/> About 約
	Depth of excavation 挖土深度	0.85 ..... m 米	<input checked="" type="checkbox"/> About 約

(Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land)  
(請用圖則顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍)

(b) Intended use/development  
有意進行的用途/發展

擬議公用事業設施裝置(地下電纜鋪設)與  
及相關挖土及填土工程

**(iii) For Type (iii) application 供第(iii)類申請**

(a) Nature and scale 性質及規模	<input checked="" type="checkbox"/> Public utility installation 公用事業設施裝置												
	<input type="checkbox"/> Utility installation for private project 私人發展計劃的公用設施裝置												
	Please specify the type and number of utility to be provided as well as the dimensions of each building/structure, where appropriate 請註明有關裝置的性質及數量, 包括每座建築物/構築物(倘有)的長度、高度和闊度												
	<table border="1"> <thead> <tr> <th>Name/type of installation 裝置名稱/種類</th> <th>Number of provision 數量</th> <th>Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米)(長x闊x高)</th> </tr> </thead> <tbody> <tr> <td>地下電纜</td> <td>1</td> <td>172m(長)×1.2(闊)×0.85(高/深)</td> </tr> <tr> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米)(長x闊x高)	地下電纜	1	172m(長)×1.2(闊)×0.85(高/深)						
	Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米)(長x闊x高)										
地下電纜	1	172m(長)×1.2(闊)×0.85(高/深)											
(Please illustrate on plan the layout of the installation 請用圖則顯示裝置的布局)													



**(iv) For Type (iv) application 供第(iv)類申請**

N/A

- (a) Please specify the proposed minor relaxation of stated development restriction(s) and **also fill in the proposed use/development and development particulars in part (v) below** –  
請列明擬議略為放寬的發展限制並填妥於第(v)部分的擬議用途/發展及發展細節 –

- ☐ Plot ratio restriction 地積比率限制 From 由 ..... to 至 .....
- ☐ Gross floor area restriction 總樓面面積限制 From 由 .....sq. m 平方米 to 至 .....sq. m 平方米
- ☐ Site coverage restriction 上蓋面積限制 From 由 .....% to 至 ..... %
- ☐ Building height restriction 建築物高度限制  
From 由 .....m 米 to 至 ..... m 米  
From 由 ..... mPD 米 (主水平基準上) to 至 .....mPD 米 (主水平基準上)  
From 由 ..... storeys 層 to 至 ..... storeys 層
- ☐ Non-building area restriction 非建築用地限制 From 由 .....m to 至 ..... m
- ☐ Others (please specify) 其他 (請註明) .....

**(v) For Type (v) application 供第(v)類申請**

N/A

(a) Proposed use(s)/development  
擬議用途/發展

(Please illustrate the details of the proposal on a layout plan 請用平面圖說明建議詳情)

**(b) Development Schedule 發展細節表**

- Proposed gross floor area (GFA) 擬議總樓面面積 ..... sq.m 平方米 ☐ About 約
- Proposed plot ratio 擬議地積比率 ..... ☐ About 約
- Proposed site coverage 擬議上蓋面積 ..... % ☐ About 約
- Proposed no. of blocks 擬議座數 .....
- Proposed no. of storeys of each block 每座建築物的擬議層數 ..... storeys 層  
☐ include 包括 .....storeys of basements 層地庫  
☐ exclude 不包括 .....storeys of basements 層地庫
- Proposed building height of each block 每座建築物的擬議高度 ..... mPD 米(主水平基準上) ☐ About 約  
..... m 米 ☐ About 約

☐ Domestic part 住用部分

GFA 總樓面面積 ..... sq. m 平方米 ☐ About 約

number of Units 單位數目 .....

average unit size 單位平均面積 .....sq. m 平方米 ☐ About 約

estimated number of residents 估計住客數目 .....

☐ Non-domestic part 非住用部分

## GFA 總樓面面積

☐ eating place 食肆 ..... sq. m 平方米 ☐ About 約

☐ hotel 酒店 ..... sq. m 平方米 ☐ About 約

(please specify the number of rooms

請註明房間數目) .....

☐ office 辦公室 ..... sq. m 平方米 ☐ About 約

☐ shop and services 商店及服務行業 ..... sq. m 平方米 ☐ About 約

☐ Government, institution or community facilities

政府、機構或社區設施

(please specify the use(s) and concerned land area(s)/GFA(s) 請註明用途及有關的地面面積／總樓面面積)

.....

.....

.....

☐ other(s) 其他

(please specify the use(s) and concerned land area(s)/GFA(s) 請註明用途及有關的地面面積／總樓面面積)

.....

.....

.....

☐ Open space 休憩用地

(please specify land area(s) 請註明地面面積)

☐ private open space 私人休憩用地 ..... sq. m 平方米 ☐ Not less than 不少於

☐ public open space 公眾休憩用地 ..... sq. m 平方米 ☐ Not less than 不少於

## (c) Use(s) of different floors (if applicable) 各樓層的用途 (如適用)

[Block number] [座數]	[Floor(s)] [層數]	[Proposed use(s)] [擬議用途]
.....	.....	.....
.....	.....	.....
.....	.....	.....
.....	.....	.....
.....	.....	.....

## (d) Proposed use(s) of uncovered area (if any) 露天地方 (倘有) 的擬議用途

.....

.....

.....

.....

.....

**7. Anticipated Completion Time of the Development Proposal****擬議發展計劃的預計完成時間**

Anticipated completion time (in month and year) of the development proposal (by phase (if any)) (e.g. June 2023)

擬議發展計劃預期完成的年份及月份 (分期 (倘有)) (例: 2023 年 6 月)

(Separate anticipated completion times (in month and year) should be provided for the proposed public open space and Government, institution or community facilities (if any))

(申請人須就擬議的公眾休憩用地及政府、機構或社區設施 (倘有) 提供個別擬議完成的年份及月份)

2025年12月

**8. Vehicular Access Arrangement of the Development Proposal****擬議發展計劃的行車通道安排**

N/A

Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？	Yes 是          No 否	<input type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用))  <input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度) <input checked="" type="checkbox"/>
Any provision of parking space for the proposed use(s)? 是否有為擬議用途提供停車位？	Yes 是          No 否	<input type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示) Private Car Parking Spaces 私家車車位 _____ Motorcycle Parking Spaces 電單車車位 _____ Light Goods Vehicle Parking Spaces 輕型貨車泊車位 _____ Medium Goods Vehicle Parking Spaces 中型貨車泊車位 _____ Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 _____ Others (Please Specify) 其他 (請列明) _____ _____ _____ <input checked="" type="checkbox"/>
Any provision of loading/unloading space for the proposed use(s)? 是否有為擬議用途提供上落客貨車位？	Yes 是          No 否	<input type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示) Taxi Spaces 的士車位 _____ Coach Spaces 旅遊巴車位 _____ Light Goods Vehicle Spaces 輕型貨車車位 _____ Medium Goods Vehicle Spaces 中型貨車車位 _____ Heavy Goods Vehicle Spaces 重型貨車車位 _____ Others (Please Specify) 其他 (請列明) _____ _____ _____ <input checked="" type="checkbox"/>

**9. Impacts of Development Proposal 擬議發展計劃的影響**

If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures.

如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。

<p>Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?</p>	<p>Yes 是          No 否</p>	<p><input type="checkbox"/> Please provide details 請提供詳情</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>																													
<p>Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程? (Note: where Type (ii) application is the subject of application, please skip this section. 註：如申請涉及第(ii)類申請，請跳至下一條問題。)</p>	<p>Yes 是          No 否</p>	<p><input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地/池塘界線，以及河道改道、填塘、填土及/或挖土的細節及/或範圍)</p> <p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 ..... m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 ..... m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 ..... m 米 <input type="checkbox"/> About 約</p>																													
<p>Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?</p>	<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> </table> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>	On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
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Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													



## 10. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.  
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

- 新界屏山鄉輞井村鄉村式發展(V')用地西面邊陲私人農地，近年來先後經元朗地政處的批准，讓村民建造新界小型屋宇。多幢建屋工程，大抵於半年時間左右，便可完工入住。但這裏多村民，面對同一難題，便是電力的供應。經與中華電力有限公司(“中電”)研究，最佳辦法，便是由中電設計及鋪設地底電纜，從Lot No. 1555 R.P. in D.D. 129南面以外旁的中電供電起點，挖掘土地鋪設電纜至村內Lot No. 666 R.P. in D.D. 129，並在此建造一所電力變壓站。整條電纜中間部份將通過Lot Nos. 1012 & 1036 R.P. in D.D. 124的私人農地，中電要求村民自行解決，取得有關業主同意。餘下部份的電纜，位於政府土地，便由中電負責向政府申請及處理一切問題。
- 2、村民乃求助於村代表張錦超，他責無旁貸，為了整條村未來福祉，努力斡旋，終取得這兩個地段的業主口頭承諾，不反對地底電纜的鋪設。
- 3、大約兩個多月前，正當挖掘電纜坑道工程在Lot No. 1012 in D.D. 129動工，卻遭規劃署書面警告(Ref.: ) in CEP/G/YL/LFS/C/L/029)，有關挖土工程的公用事業設施裝置，必須事前取得城規會批准，方可進行。故此，為了依從法律，避免觸犯城市規劃條例，村代表張錦超便負起向城規會提交申請的責任，他亦已取得兩個地段業主的書面同意書。
- 5、有關這兩個地段現今地貌，乃是一片荒廢郊野空置土地，雜草叢生，並且被規劃為「綠化地帶」，其規劃意向是利用天然的地理環境，作為市區與近郊發展區的界限。就此，地底電纜鋪設工程完成之後，將覆蓋泥土，還原地面原貌，並種植一些細小的草本植物，完全不會違反上述規劃意向，因為地底的電纜，絕對不會影響地面的景觀。
- 6、中電負起對全香港市民享有穩定及安全的電力供應，而電力無疑是現代社會非常重要的基礎設施，對輞井村眾多村民的居住及日常生活來說，是不能或缺的民生必需！所以，上述申請鋪設地底電纜的理據，非常合理充份，謹希望城規會能夠批准此項公用事業設施裝置申請。

**11. Declaration 聲明**

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.  
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion. 本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature  
簽署



☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Name in Block Letters  
姓名（請以正楷填寫）

Position (if applicable)  
職位（如適用）

Professional Qualification(s)  
專業資格

- ☐ Member 會員 / ☐ Fellow of 資深會員
- ☐ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /
- ☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /
- ☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會
- ☐ RPP 註冊專業規劃師
- ☐ Others 其他 .....

on behalf of  
代表

張錦超 (註:新界元朗屏山鄉車田井村村代表)

☐ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

19-8-2024

(DD/MM/YYYY 日/月/年)

**Remark 備註**

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

**Warning 警告**

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

**Statement on Personal Data 個人資料的聲明**

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and  
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
- (b) facilitating communication between the applicant and the Secretary of the Board/Government departments.  
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

**For Developments involving Columbarium Use, please also complete the following:**  
 如發展涉及靈灰安置所用途，請另外填妥以下資料：

N/A

Ash interment capacity 骨灰安放容量<sup>@</sup>

Maximum number of sets of ashes that may be interred in the niches

在龕位內最多可安放骨灰的數量

Maximum number of sets of ashes that may be interred other than in niches

在非龕位的範圍內最多可安放骨灰的數量

Total number of niches 龕位總數

Total number of single niches

單人龕位總數

Number of single niches (sold and occupied)

單人龕位數目 (已售並佔用)

Number of single niches (sold but unoccupied)

單人龕位數目 (已售但未佔用)

Number of single niches (residual for sale)

單人龕位數目 (待售)

Total number of double niches

雙人龕位總數

Number of double niches (sold and fully occupied)

雙人龕位數目 (已售並全部佔用)

Number of double niches (sold and partially occupied)

雙人龕位數目 (已售並部分佔用)

Number of double niches (sold but unoccupied)

雙人龕位數目 (已售但未佔用)

Number of double niches (residual for sale)

雙人龕位數目 (待售)

Total no. of niches other than single or double niches (please specify type)

除單人及雙人龕位外的其他龕位總數 (請列明類別)

Number of niches (sold and fully occupied)

龕位數目 (已售並全部佔用)

Number of niches (sold and partially occupied)

龕位數目 (已售並部分佔用)

Number of niches (sold but unoccupied)

龕位數目 (已售但未佔用)

Number of niches (residual for sale)

龕位數目 (待售)

Proposed operating hours 擬議營運時間

<sup>@</sup> Ash interment capacity in relation to a columbarium means –

就靈灰安置所而言，骨灰安放容量指：

- the maximum number of containers of ashes that may be interred in each niche in the columbarium;  
每個龕位內可安放的骨灰容器的最高數目；
- the maximum number of sets of ashes that may be interred other than in niches in any area in the columbarium; and  
在該靈灰安置所並非龕位的範圍內，總共最多可安放多少份骨灰；以及
- the total number of sets of ashes that may be interred in the columbarium.  
在該骨灰安置所內，總共最多可安放多少份骨灰。

## Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置/地址	<p>(Part) (Part)</p> <p>Lot Nos. 1012 &amp; 1036 R.P. in D.D. 128</p> <p>新界元朗屏山鄉輞井村</p>		
Site area 地盤面積	<p>206.4 sq. m 平方米 <input checked="" type="checkbox"/> About 約</p> <p>(includes Government land of 包括政府土地 N/A sq. m 平方米 <input type="checkbox"/> About 約)</p>		
Plan 圖則	S/YL-LFS/11		
Zoning 地帶	綠化地帶		
Applied use/ development 申請用途/發展	擬議公用設施裝置(地下電纜鋪設)與及相關挖土及填土工程		
(i) Gross floor area and/or plot ratio 總樓面面積及/或地積比率  N/A		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數  N/A	Domestic 住用		
	Non-domestic 非住用		
	Composite 綜合用途		



(iii) Building height/No. of storeys 建築物高度／層數  N/A	Domestic 住用	m 米 <input type="checkbox"/> (Not more than 不多於)
		mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)  ( <input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Non-domestic 非住用	m 米 <input type="checkbox"/> (Not more than 不多於)
		mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)  ( <input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Composite 綜合用途	m 米 <input type="checkbox"/> (Not more than 不多於)
		mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)  ( <input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
(iv) Site coverage 上蓋面積	% <input type="checkbox"/> About 約	
(v) No. of units 單位數目		
(vi) Open space 休憩用地	Private 私人	sq.m 平方米 <input type="checkbox"/> Not less than 不少於
	Public 公眾	sq.m 平方米 <input type="checkbox"/> Not less than 不少於

(vii) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數  Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____	
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數  Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____ _____	

### Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件

	Chinese 中文	English 英文
<b>Plans and Drawings 圖則及繪圖</b>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<u>「公用事業設施裝置」規劃申請——鋪設地下電纜於「綠化地帶」(包括挖土及填土工程)</u> <u>Lot Nos. 1012 及 1036 R.P. in D.D. 129</u>		
<b>Reports 報告書</b>		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>
_____ _____		

Note: May insert more than one '✓'. 註：可在多於一個方格內加上「✓」號

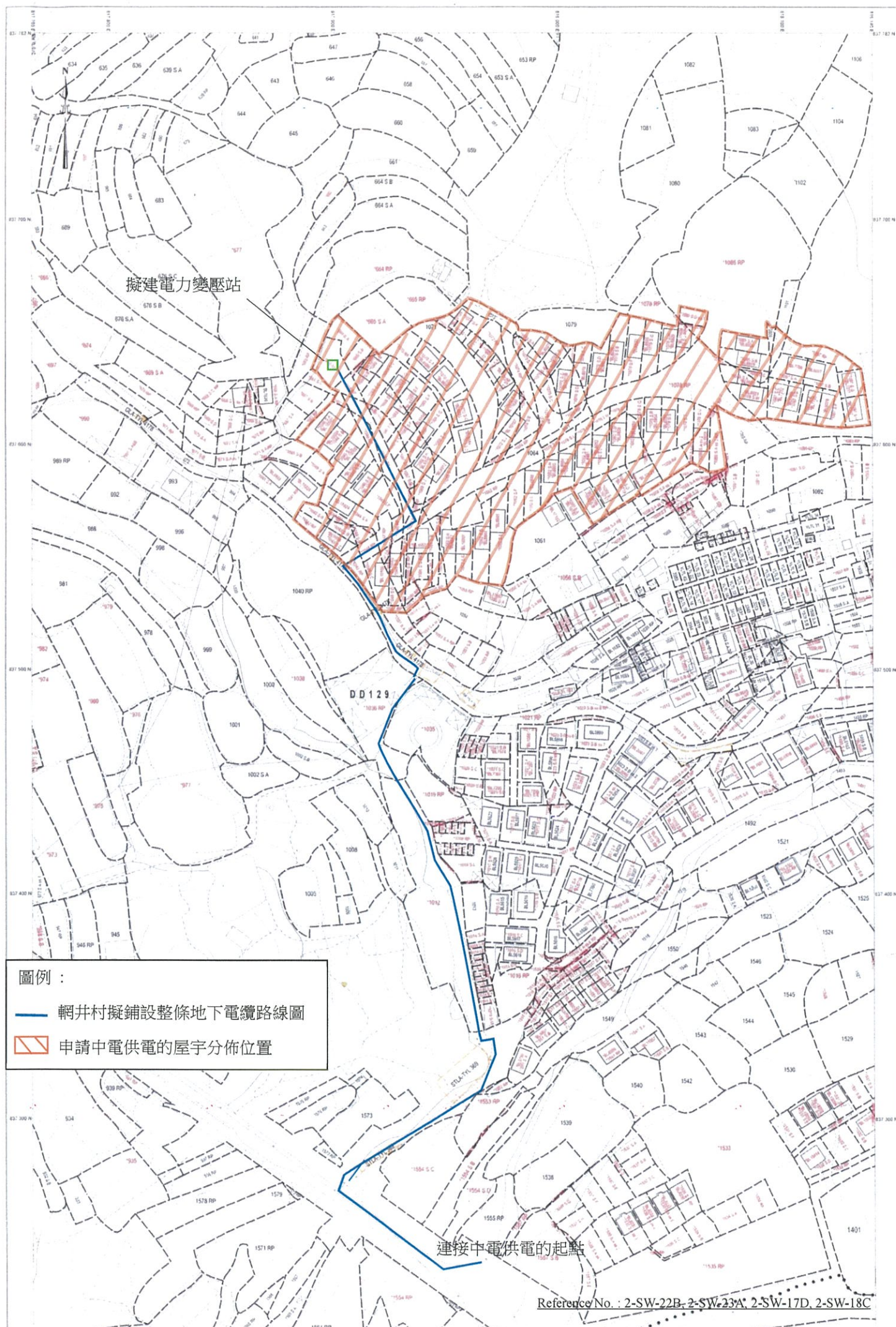
Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

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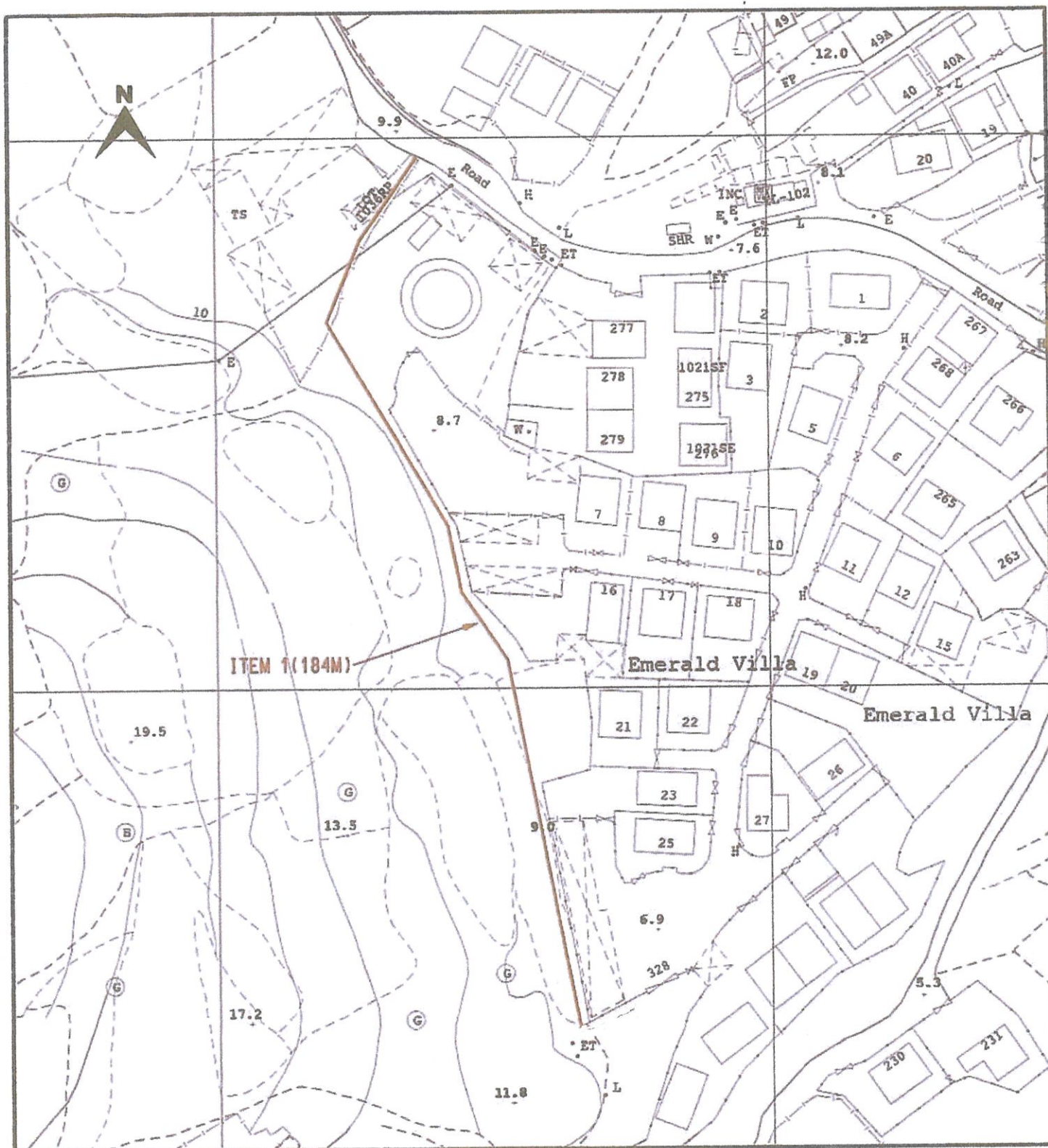












**CLP 中電**

**LEGEND**

- PROPOSED TRENCH FOR LAYING / RECOVERING CABLE
- PROPOSED TRENCH FOR LAYING DUCTS
- PROPOSED CABLE THROUGH EXISTING DUCTS
- EXISTING PILLAR
- PROPOSED PILLAR 1.6M x 0.6M x 0.75M / CUTOUT BOX
- EXCAVATION FOR JOINTING / REPAIRING / INSPECTION CABLE
- EXISTING OVERHEAD LINE & POLE
- PROPOSED 11kV, LV, OHL, OF STEEL / WOODEN POLE
- OVERHEAD LINE & POLE TO BE REMOVED
- PROPOSED TREE TRIMMING / CUTTING
- EXISTING POLE MOUNTED TRANSFORMER
- PROPOSED POLE MOUNTED TRANSFORMER
- PROPOSED STAY / STAY POLE
- PROPOSED 3.6M(L) x 3.32M(W) x 2.7M(H) HV PILLAR

**TITLE :** 11kV Cable Laying at Lot nos. 1012 & 1036 R.P. in D.D. 129  
Near Mong Tseng Tsuen

**MAP NO :** 02SW17D, 02SW18C

**DRAWN :** BENSON

**E/O NO :**

**CHECKED :** Alex Ko

**REGION :** NR

**O.C. :** YL

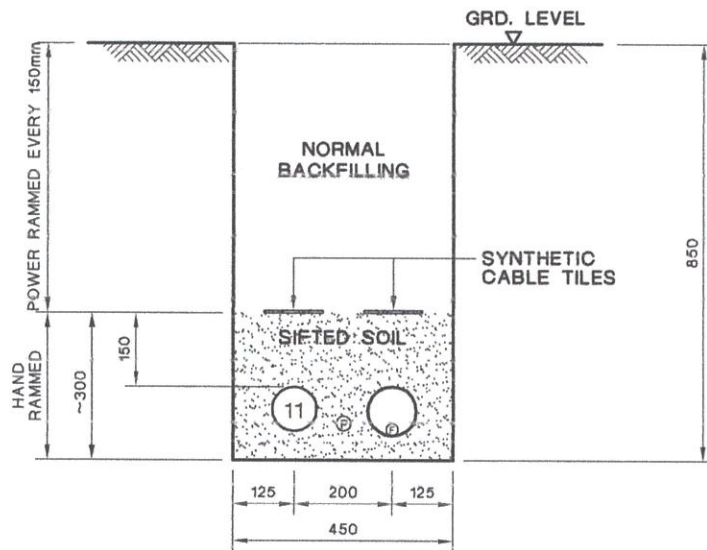
**DATE :** 29-07-2024

**PROJECT REF. :** TM2018-0322

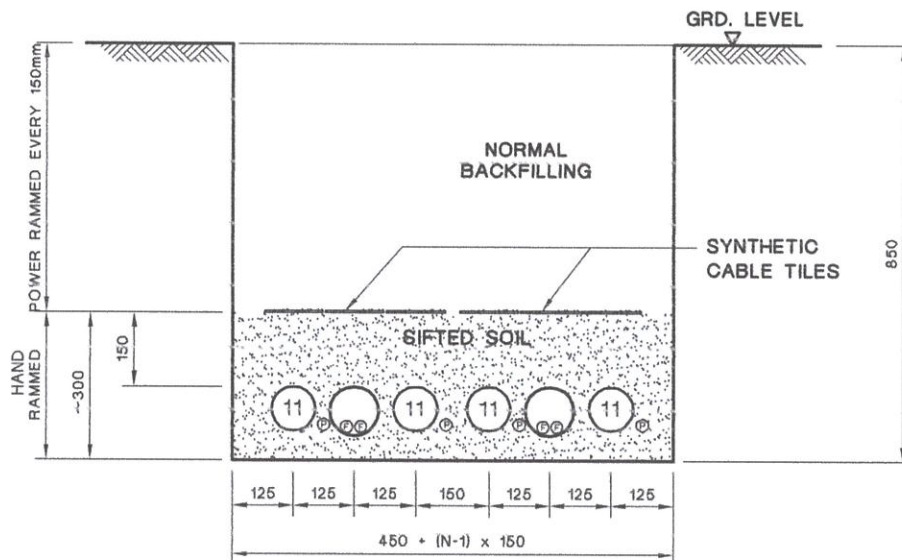
**SCALE :** 1:1000

**PLAN REF. :** NRTM2018-0322-07

Map data reproduced with permission of the Director of Lands. (C) Hong Kong Information Classification: PROPRIETARY



**TYPICAL CABLE TRENCH FOR SINGLE 11kV CABLE**



**TYPICAL CABLE TRENCH FOR 4x11kV CABLES**

**LEGEND :**

- ⑪ 11kV CABLE
- Ⓟ PILOT CABLE
- Ⓡ FIBRE OPTIC CABLE IN 100mm DIAMETER CABLE DUCT
- N NUMBER OF CABLE CIRCUITS

**NOTES:**

1. ALL SOIL BACKFILLING BENEATH CABLE TILES TO BE SIFTED THROUGH 12mm WIRE MESH.
2. ALL DIMENSIONS ARE IN mm.

<b>C</b> GENERAL REVISION	<b>B</b> GENERAL REVISION	<b>A</b> SYNTHETIC CABLE TILE SPECIFIED AND FIBRE OPTIC CABLE USED
---------------------------	---------------------------	--

REVS.	13.2.04	18.6.07	27.6.11								
INITIAL	A	B	C	D	E	F	G	H	J	K	L
	C.Y.IP	W.B.LEE	Y.K.MAN								

**TITLE :**

TYPICAL 11kV CABLE TRENCH WITH PILOT AND FIBRE OPTIC CABLES - TYPE I

DRAWN: KKHO	DATE: 15 Aug., 2003	PROJECT NO.	CONTRACT NO.
CHECKED: K. K. LEUNG	APPROVED: W. B. LEE		
SCALE: 1 : 15	SHEET(S) IN SET: 1		

ASSET MANAGEMENT

DRG. NO. T GEN 10520 DE 33 000201 CA



☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy ☐Paper No. A/YL-LFS/537

**Wilfred Ka Hing CHU/PLAND**

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寄件者: tmylwdpo\_pd/PLAND  
寄件日期: 2024年11月21日星期四 11:17  
收件者: Wilfred Ka Hing CHU/PLAND  
副本: Eric Chi Yeung CHIU/PLAND  
主旨: 轉寄: Further Information for Application No. A/YL-LFS/537 - 提供進一步的資料  
附件: PHOTO-2024-11-20-19-20-17 (1).jpg; PHOTO-2024-11-20-19-20-17 (2).jpg; 附件.PNG

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**From:** tpbpd/PLAND <tpbpd@pland.gov.hk>  
**Sent:** Thursday, November 21, 2024 11:16 AM  
**To:** tmylwdpo\_pd/PLAND <tmylwdpo@pland.gov.hk>  
**Cc:** Kiff Kit Fu YIU/PLAND <kkfyiu@pland.gov.hk>  
**Subject:** Fw: Further Information for Application No. A/YL-LFS/537 - 提供進一步的資料

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**From:** Wilfred Ka Hing CHU/PLAND <[wxhchu@pland.gov.hk](mailto:wxhchu@pland.gov.hk)>  
**Sent:** Thursday, November 21, 2024 11:13 AM  
**To:** tpbpd/PLAND <[tpbpd@pland.gov.hk](mailto:tpbpd@pland.gov.hk)>  
**Subject:** Fw: Further Information for Application No. A/YL-LFS/537 - 提供進一步的資料

FI for A/YL-LFS/537

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**From:** Wing-kin Wong  
**Sent:** Wednesday, November 20, 2024 7:27 PM  
**To:** Wilfred Ka Hing CHU/PLAND <[wxhchu@pland.gov.hk](mailto:wxhchu@pland.gov.hk)>  
**Cc:** Wilson Chun Yin TSE/PLAND <[wcytse@pland.gov.hk](mailto:wcytse@pland.gov.hk)>; Ada Siu Man CHAN/PLAND <[asmchan@pland.gov.hk](mailto:asmchan@pland.gov.hk)>  
**Subject:** 回覆: [Request for Clarification from PlanD] Application No. A/YL-LFS/537 - 提供進一步的資料

朱先生:

繼我們今早的電話交談，現謹告知你，申請人他日鋪設電纜工程完工及泥土覆蓋電纜線路之後，將會在 Lot Nos. 1012 (P) & 1036 R.P. (P) in D.D. 129，線路泥土之上，分別種植大約400株花葉沿階草及400株麥冬之類的草本植物（見附件）。

(黃榮健)

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寄件者: Wong Wing-kin  
寄件日期: 2024年11月19日 21:56  
收件者: Wilfred Ka Hing CHU/PLAND <[wxhchu@pland.gov.hk](mailto:wxhchu@pland.gov.hk)>

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副本: Wilson Chun Yin TSE/PLAND <[wcytse@pland.gov.hk](mailto:wcytse@pland.gov.hk)>; Ada Siu Man CHAN/PLAND <[asmchan@pland.gov.hk](mailto:asmchan@pland.gov.hk)>

主旨: 回覆: [Request for Clarification from PlanD] Application No. A/YL-LFS/537 - 提供進一步的資料

朱先生:

就你28/10/2024電郵提出的問題，現作以下回覆：

1. (a) 於Lot Nos 1012(P) & 1036 R.P. (P) in D.D. 129施工鋪設電纜，只涉及一部3.3噸重的重型貨車，負責運載工具物料，經泵沙路至毗連Lot Nos 1554 S.C & 1573 in D.D. 129此兩個地段之間的泥路旁，然後有工人卸下工具物料，再將工具物料以人手搬至Lot Nos 1012(P) & 1036 R.P. (P) in D.D. 129施工。
- (b) 行車路線附於App I所示。該工程貨車每天出入為一架次，預計需大約一個月時間完成工程。
2. 相關文件附於App II。Wealthy Villas (Group) Company Limited是負責於輞井村建造新界小型屋宇的承建商，也負責與中電溝通，於Lot No 666 R.P. In D.D. 129建造電力變壓站。
3. 有關的構築物是一個簡陋的棚架，用來保護放署其下的盆栽花卉。
4. 電纜經Lot Nos 1012(P) & 1036 R.P. (P) in D.D. 129，而避開經過輞井村，是為了避開經過村內的眾多私人土地，以免向有關業主索取業權同意所帶來的困擾麻煩，況且這是最短的途徑。
5. 電纜路線之上，將覆蓋泥土，並在泥土之上栽植花葉園沿階草及麥冬之類的草本植物。

(黃榮健)

---

寄件者: Wilfred Ka Hing CHU/PLAND <[wkychu@pland.gov.hk](mailto:wkychu@pland.gov.hk)>

寄件日期: 2024年10月28日 14:21

收件者:

副本: Wilson Chun Yin TSE/PLAND <[wcytse@pland.gov.hk](mailto:wcytse@pland.gov.hk)>; Ada Siu Man CHAN/PLAND <[asmchan@pland.gov.hk](mailto:asmchan@pland.gov.hk)>

主旨: [Request for Clarification from PlanD] Application No. A/YL-LFS/537 - 提供進一步的資料

Dear Mr. Wong,

Regarding your submission of planning application no. A/YL-LFS/537, please find below our comments for your further clarification please.

1. Please provide the detail of construction arrangement請提供有關施工安排的資料
  - (a) what type and how many of construction vehicles are involved有關工程會涉及什麼類型以及多少部工程車輛?
  - (b) vehicular access plan, trip generation and attraction during the construction period工程車輛的行車路線圖、預計工程車輛每日的出入架次
2. Please provide relevant documents from CLP regarding the agreement to design and build the entire underground cable from Lot 1555 RP in D.D. 129 to Lot 666 RP in D.D. 129 請提供中電的相關書信文件以證實中電會負責設計及鋪設整條地底電纜（由Lot 1555 RP in D.D. 129 至 Lot 666 RP in D.D. 129）



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3. Please clarify on the alignment of the cable. According to satellite photo, the cable would pass through a structure at the southeast of Lot 1036 RP, please confirm if the alignment is correct. 根據衛星圖，有關地底電纜會穿過地段1036號餘段的構築物，請確認有關電纜的走線是否準確。



4. Please provide justifications on why the proposed cable need to pass through “Green Belt” zone and demonstrate there is no suitable alternative site within the adjacent “Village Type Development” zone. 請說明有關電纜需要行經「綠化地帶」的理由和證明鄰近「鄉村式發展」地帶沒有合適的替代地點
5. According to your application form, the works area will be reinstated (backfilled with soil and small plants) after construction phase. Please provide a detailed landscape proposal (i.e. number, species and location of trees/plants) to demonstrate that the proposed uses would not have adverse landscape impact on the subject site and surrounding areas. 根據申請人提交的申請表格，有關地點會在工程完成後覆蓋泥土還原地面原貌，並種植細小的植物。請提供相關的園境設計圖（包括植物的數量、物種以及位置）以證明擬議裝置及相關工程不會對周邊地區的景觀造成不良影響。

Should you wish to submit further information in response to the above, please do so by **1.11.2024** and submit in writing to Secretary of the Town Planning Board (email: [tpbpd@pland.gov.hk](mailto:tpbpd@pland.gov.hk); Address: 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong; Fax: 2877 0245) with copy to us. In submitting the further information, reference should be made to the TPB Guidelines No. 32B on the Submission of Further Information in Relation to Applications for Amendment of Plan, Planning Permission and Review.

Thanks and Regards,  
Wilfred CHU

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TP/YLW4, TMYLW DPO,

Planning Department

Tel: 2158 6290

















SMO-P03 20240809112326 10 在此兩地段之間卸下施工的工具物料



5 June 2024

Wealthy Villas (Group) Company Limited

Attention: Mr. Tang Wing Yip

Our ref.: TM2023029102  
(Scheme No.: TM-230291)  
Please quote our scheme number in response to this letter

Dear Mr. Tang,

**Electricity Supply Condition Letter**  
**Proposed Village House Development at**  
**DD 129 Lot 666 SA & RP, Mong Tseng, Yuen Long, NT**

We refer to your application for power supply to the Development and are pleased to inform you that we will carry out all necessary works to afford a 380/220 volts three-phase four-wire 50-hertz supply to the Development subject to and in accordance with our Supply Rules, as amended, revised or re-issued from time to time (**CLP Supply Rules**) which can be obtained from the CLP website ([www.clp.com.hk](http://www.clp.com.hk)) and the following terms and conditions: -

- 1 You are required to pay us a service charge (the Connection Charge) of HK\$ [REDACTED] (Hong Kong Dollars [REDACTED] Only) for the arrangement and provision of power supply (base load) applied for the Development. The Connection Charge must be paid before we commence any energization works for connection of power supply (base load) to the Development.
- 2 You, being the registered owner of the Development, shall provide CLP Power Hong Kong Limited (CLP) with two nos. of transformer rooms and all associated facilities, at no cost to CLP, in the location(s) as shown in our Drawing Nos. TM/TR/2023-071 and TM/TR/2024-033; and in accordance with our detailed drawings enclosed in our previous letter dated 13 May 2024 (Ref. No. TM2023029101) as may be amended, revised or replaced by CLP from time to time, as appropriate, for the installation of transformer(s) and all ancillary equipment by CLP therein. You must ensure that the design and construction of the transformer room(s) to be provided to CLP must comply in ALL respects with the Code of Practice 101 (**COP 101**) and the aforesaid drawings and any subsequent amendment(s) thereto as duly approved by CLP. The updated drawings in the COP 101 can also be obtained from the CLP website ([www.clp.com.hk](http://www.clp.com.hk)). No modification will be accepted without our prior written agreement.

To be continued/...P.2



While CLP, its employees, agents and contractors shall have the right of access into and to operate the facilities installed inside the transformer room(s), the registered owner(s)/building manager (if any) of the Development shall be responsible at its/their own costs and expenses for any repair, maintenance and reinstatement work to the transformer room(s), cable accommodations and associated facilities (**Transformer Room Facilities**) whether rendered necessary by the installation, repair or replacement of any CLP's equipment or otherwise.

- 3 CLP may refuse to or disconnect the supply to the Development if CLP is required at any time after the commissioning of power supply to the Development to vacate and surrender the Transformer Room Facilities to the registered owner(s) or the building manager (if any) of the Development or its/their respective successors and assigns or any person lawfully claiming through, under or on trust for any of them unless alternative transformer room facilities in a state and condition satisfactory to CLP are provided.
- 4 You are required to provide a certificate from the stainless steel manufacturer (for all external steel work including steel doors, door frames and ventilation louvers, etc.) certifying that the materials used meet the requirements of CLP (i.e. low carbon type AISI 316L).
- 5 No external decorative louvers should be installed, affixed or attached outside the transformer room(s) without the prior written approval of CLP for safety reasons. All coatings for the proposed decorative louvre shall be fire retardant and with fire resistant non-toxic paint. The weight and the installation or fixing method of such decorative louvers must be certified by your Authorized Person that such decorative louvers will not impose hazards to our operation staff and the general public. You are required to provide fitting provisions for the installation of the substation nameplate, danger warning notice, etc. in a conspicuous location of the decorative louvers and also to make sure that their display shall not be covered or obstructed at all times. For further details of the requirements of the fitting provisions, please refer to COP 101. The Authorized Person shall also submit the design of such decorative louvers to the Buildings Department for approval.

You are required to provide the final transformer room drawings including any external decorative louvres approved by Buildings Department for our checking and record when the transformer room(s) is/are handed over to CLP. If and after decorative louver(s) are installed, affixed or attached outside the transformer room(s), the registered owner(s)/building manager (if any) of the Development shall be responsible for their repair and maintenance. Annual inspection of the decorative louver(s) shall be carried out by an independent and competent person to confirm its/their safety to our operation staff and the general public. Any decorative louver installed at any time without the prior agreement of CLP and/or not in compliance with CLP's requirements must be removed immediately if CLP so requires.

To be continued/...P.3



- 6 The transformer room(s) must fully comply with the requirements of the Hong Kong Fire Services Department. As the transformer room(s) is/are designed to house CLP's electrical equipment above 1 kilovolt, you are required to provide, maintain and/or replace an Automatic Fire Alarm (AFA) installation, or other fire alarm system as endorsed by the Hong Kong Fire Services Department, at no cost to CLP. The AFA installation or any other fire alarm system to be provided shall comply with the '*Fire Services Design*' as stipulated in COP 101. The registered owner(s)/building manager (if any) of the Development shall also be responsible for the maintenance and/or replacement of the fire detectors and/or fire fighting equipment, if any, in the switch room and the transformer room(s) except any portable fire extinguishers which are provided by CLP.
- 7 No water pipe, drainage pipe or owner's installation or manhole cover shall be located inside the transformer room(s) or located in, installed along or passing through any part of and inside the ceiling slab of the transformer room(s) (Please refer to COP 101 for details).
- 8 Without any prior written agreement from CLP, no building or structure or support or foundation of any nature shall take place near or above the cable route(s) (**Designated Route**). Tree(s) or shrub(s) shall not be planted in those portions of the Development which are within a distance of 1.5m measured throughout from and along the entire Designated Route.
- 9 CLP shall have free and uninterrupted personnel and vehicular access to and from the Transformer Room Facilities at all times.
- 10 You are required to provide, at no cost to CLP, (a) cable accommodations for CLP lead-in cables which shall be in accordance with our latest revision of Drawing Nos. TM/TR/2023-071 and TM/TR/2024-033 as may be amended, revised or replaced subject to CLP's agreement from time to time, as appropriate, and (b) as-built drawings during handover of the site to us.
- 11 All relevant permission(s) and approval(s) from the Government and/or relevant owners of any neighbouring private property(ies) concerned is/are obtained for CLP to lay the underground cables along the designated route. You may be required to assist in obtaining such permission(s) and approval(s).
- 12 As the transformer room located in the Development may be affected by floods, landslides etc. arising from extreme weather conditions, you are required to take precautionary measures to safeguard against damages that may be done to the transformer room.
- 13 All materials and equipment provided by CLP will at all times remain the ownership and property of CLP and will be so maintained by CLP.
- 14 You shall, at no cost to CLP, carry out any reinstatement works necessary within the site boundaries of the Development in connection with the provision of power supply to the Development.

To be continued/...P.4



- 15 You are required to provide and install, at no cost to this Company, meter box, dual locks, cable ducts and draw-pits inside the Development as shown on the enclosed drawing nos. TM20230291, T/GEN/25500/D/E33/3080/01/-/A, T/GEN/25500/D/E33/0238/01/B/A and T/GEN/25500/D/E33/3035 /01/-/A. You shall maintain the same in good order and repair at no cost to CLP. The cable duct(s) is/are required to be sealed up and the draw-pit(s) is/are required to be fully filled up with sand/sifted soil or sand bags after supply cable installed at all times.
- 16 To enable site construction works to be carried out safely and effectively in order that power supply could be provided by the target date, you are required to provide the following: -
- A 30-Ampere temporary electricity supply to the transformer room with proper mechanical protection on the electrical cables for the plant testing
  - A hard shelter or cover on top of the transformer room door to protect site personnel from falling objects
  - A free and uninterrupted personnel and vehicular and personnel access to and from the transformer room for loading and unloading of apparatus and testing equipment
  - Holes along the walkway to the transformer room must be backfilled or properly fenced off
  - A proper and robust access where there is a major level difference between the transformer room entrance and the outside area
- 17 A duly completed 'Application-for-Electricity-Supply Form' for the owner's installation must be submitted to CLP **at least three months before the target date**. As we require such notification to ensure that relevant plant materials are available and that the project relating to the Development is included in our forward work programming system, failure to comply with this particular condition may result in delay in power supply to the Development and CLP shall not be responsible for such delay whatsoever.

For your information, we need in general a minimum of 6 weeks to complete the cabling and plant erection works after the relevant transformer room(s) is/are properly handed over to us together with the ancillary installations including ducts and cable accommodations that are necessary for the provision of power supply.

- 18 The electrical installations installed or to be installed in the Development must comply with the following conditions and requirements: -
- The provision of power supply for our meter communication equipment shall be in accordance with our latest revision of the 'Guide to Supply and Metering Arrangement on Customer's Internal Distribution' and the 'Requirements of Power Supply Facilities for Smart Meter Communication Equipment in Buildings' which are both available at the CLP website. ([www.clp.com.hk](http://www.clp.com.hk)).

To be continued/...P.5



- You are required to submit to us for agreement a schematic wiring diagram (3 copies) of your finalised internal distribution system, showing in particular, details of the main incoming circuit breaker and rising mains. The schematic wiring diagram already submitted or to be submitted shall be designed and signed by a registered electrical worker of the appropriate grade. The electrical installations for the Development shall be in accordance with your final version of the schematic wiring diagram duly accepted by us and the requirements set out in the 'Guide to Supply and Metering Arrangement on Customer's Internal Distribution System' which is available at CLP website ([www.clp.com.hk](http://www.clp.com.hk)).
  - You are highly recommended to install an over-current relay with flexible operating characteristics (extremely inverse or standard inverse) which complies with the International Electrotechnical Commission ("IEC") standards to protect your incoming circuit breaker.
  - The overall power factor of each electrical installation must not be less than 0.85 lagging at all times. The requirements of harmonic current distortion must be complied with in accordance with CLP Supply Rules.
  - No private renewable energy power system is allowed to be connected to grid without the prior written agreement of CLP. Applications for grid connection of such system shall be submitted to CLP's Network Planning Branch of Asset Management Department for our agreement at the design stage.
- 19 To afford timely provision of power supply connection/disconnection to the Development, you may be requested to modify and/or remove, at no cost to CLP, your hoarding structure and/or any obstructions such as debris, materials stacking, scaffolding, site facilities, etc. under your custody to make way for our trench excavation works, cable installation works and the delivery or removal of plant and equipment from the transformer room within the Development and/or your hoarding areas along your site boundary, if deemed necessary.
- 20 Notwithstanding any other provisions of this letter, a person who is not a party to this letter shall not have any right under the Contracts (Right of Third Parties) Ordinance (Cap.623) to enforce any provisions of this letter and this letter may be varied from time to time or rescinded or cancelled without the consent of any third party who is not a party to this letter. This provision does not affect any right or remedy of such third party which exists or is available apart from that Ordinance.
- 21 The terms and conditions contained in this letter, once accepted, shall bind the owner(s) for the time being of the Development and its/their respective successors and assigns and any person deriving title under or through it/them.

To be continued/...P.6





Cont'd Page 6 of 6

Our Ref.: TM2023029102

- 22 The terms and conditions contained in this letter are open for your acceptance in writing within three (3) months from the date of this letter. If we do not receive your acceptance by the expiry of the stipulated time period, your application will be deemed to have been cancelled.

If the terms and conditions contained in this letter are acceptable to you, please sign and return this letter to us within the time period stipulated above.

If you require any clarification on the above terms and conditions, please contact our Mr. Y.M. Tseung on telephone number 2678 1759 or e-mail him at ymtseung@clp.com.hk.

If you have any queries regarding the progress of our construction works or want to make an appointment for us to inspect the builder's works to be provided to us, please contact our Mr. Lawrence Law on telephone number 2678 3415 or e-mail him at lawrence.law@clp.com.hk.

If you are interested in or have any questions regarding the meter installation of EV charging facilities in the Development, please contact our Mr. C.S. Cheung of our Customer Supplies and Services Branch on telephone number 2678 3471.

We look forward to receiving your favourable reply and to serving you and the Development.

Yours sincerely

For and on behalf of

CLP Power Hong Kong Limited

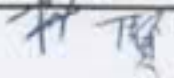


K.L. Yau

Principal Manager - Planning & Design (North Region)

Encl. as stated

kly/ymt/ec



Reply Slip

We/I hereby accept the terms and conditions contained in the letter issued by CLP Power Hong Kong Limited dated 5 June 2024. (Ref. TM2023029102)

Signature and Company Chop: .....

鄧永業



Name in Block Letters : .....

TANG WING YIP

Date : .....

11.6.2024



b.c.c. YM Tseung/Evan Chow – P&D (NR – Tuen Mun zone)  
Lawrence Law – CB (NR)  
CS Cheung – CSSB (NR)  
Henry Chan/Nick Chan - TSD  
Scheme File [TM-230291]

WEALTHY VILLAS (GROUP) COMPANY LIMITED

註冊客戶及供電地址  
Registered Customer & Supply Address

WEALTHY VILLAS (GROUP) COMPANY LIMITED

編報號碼 Account Number

## MAINS CHARGES

Bill issued on: 04-06-24  
Document Reference No.: 500083727  
Project Scheme No.: TM-230291  
Work Order No.: 4204929  
Supply Address/Project Title: Payment of Connection Charge 100%  
Proposed Village House Development  
DD 129 Lot 666 SA & RP, Mong Tseng, Yuen Long

Bill Type:  
04

Due Date

**Please Pay  
Now**

Total Amount Due

\$

Total Charges:

\$

## Important Messages

Please settle before 02-09-24 to enable the commencement of work.

You can pay your bill by cheque, payable to 'CLP Power Hong Kong Limited', at any cheque deposit machine of HSBC or BOCHK. Please enter your 'Electricity Account No.', 'Cheque Amount' and then insert your cheque to the machine. A customer advice is available and can be printed at the machine.

Alternatively, you can pay your bill in cash or by cheque at any Hong Kong Post Office. Payment will **NOT** be accepted at the CLP Customer Service Centres.

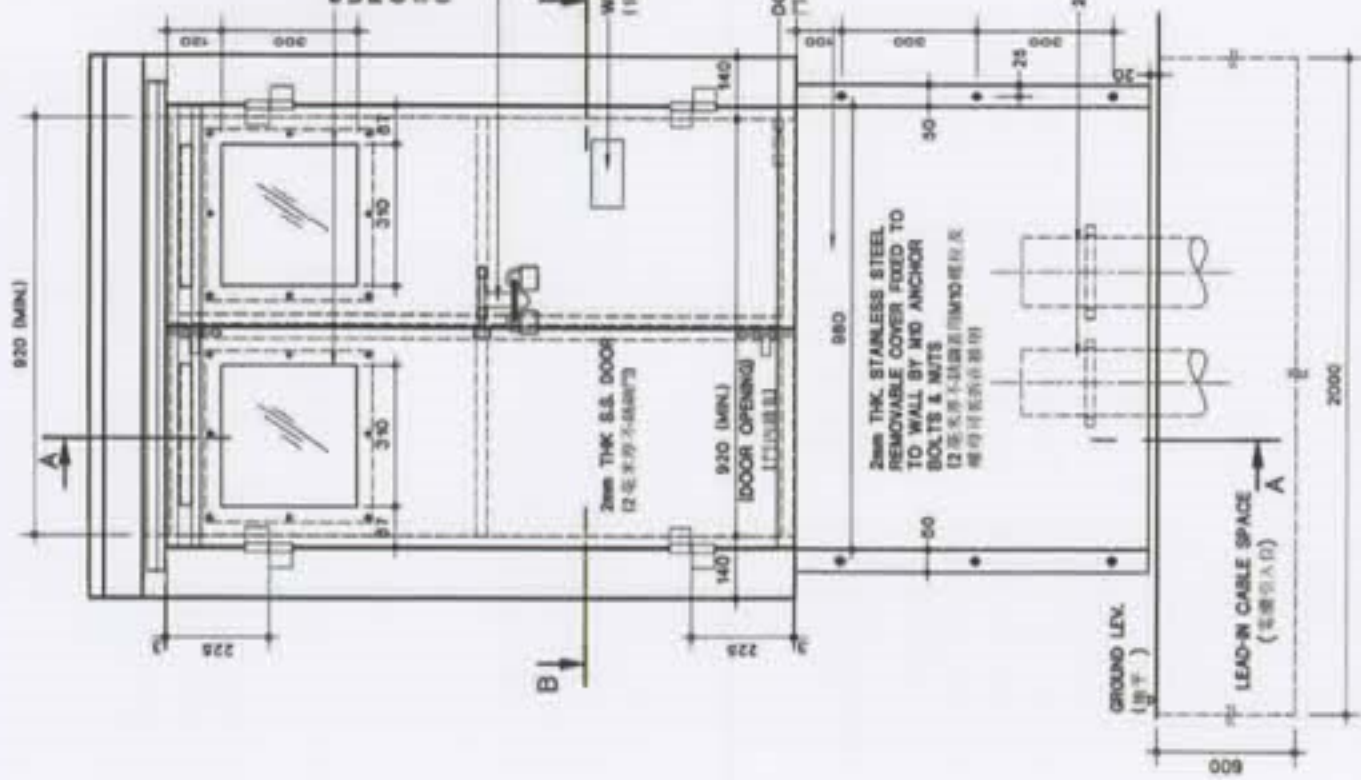
Bill issued on:  
04-06-24

Account Number:

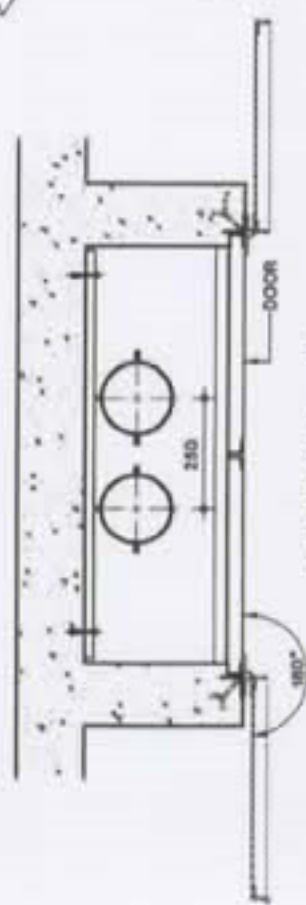
Total Amount Due:

\$

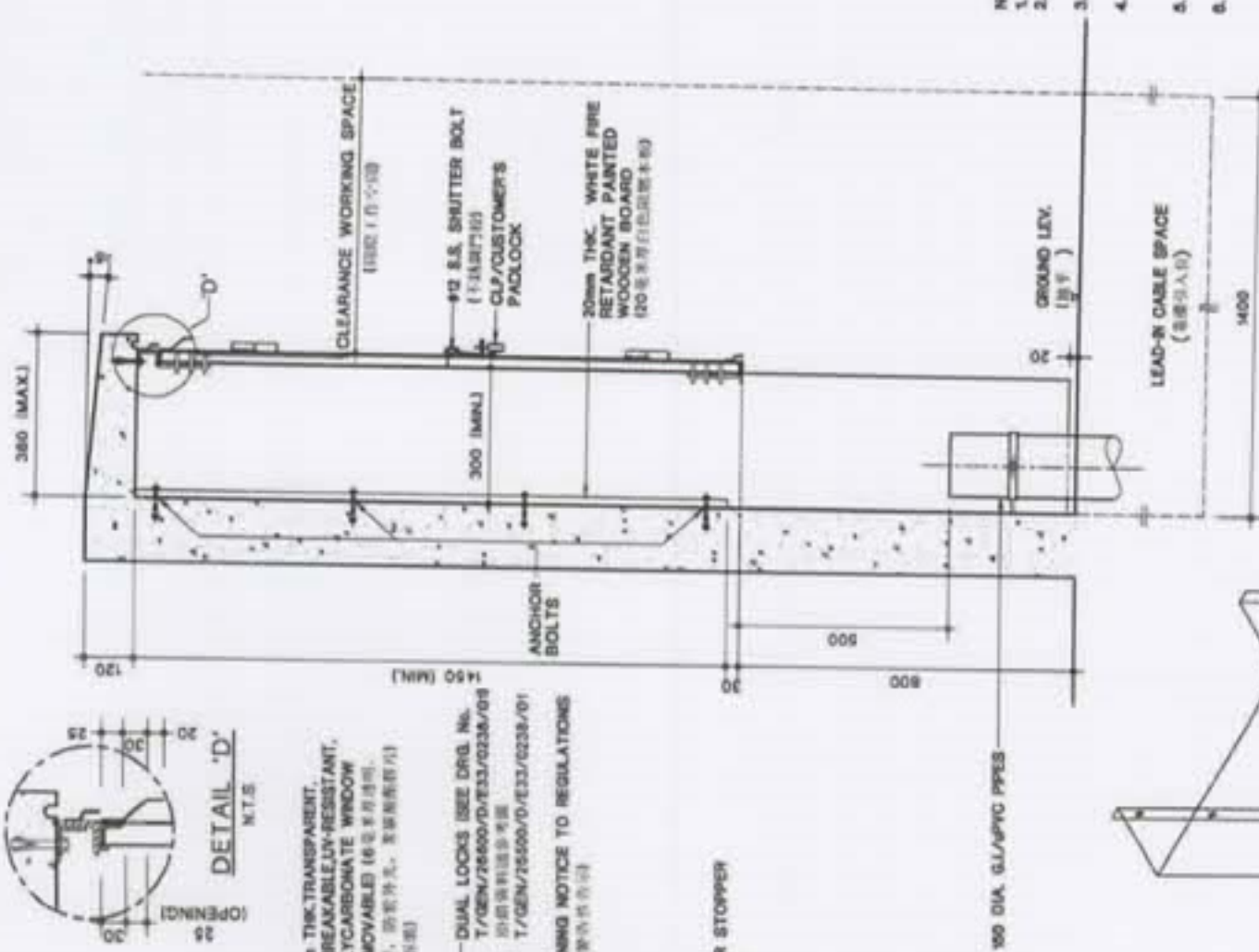
Stub



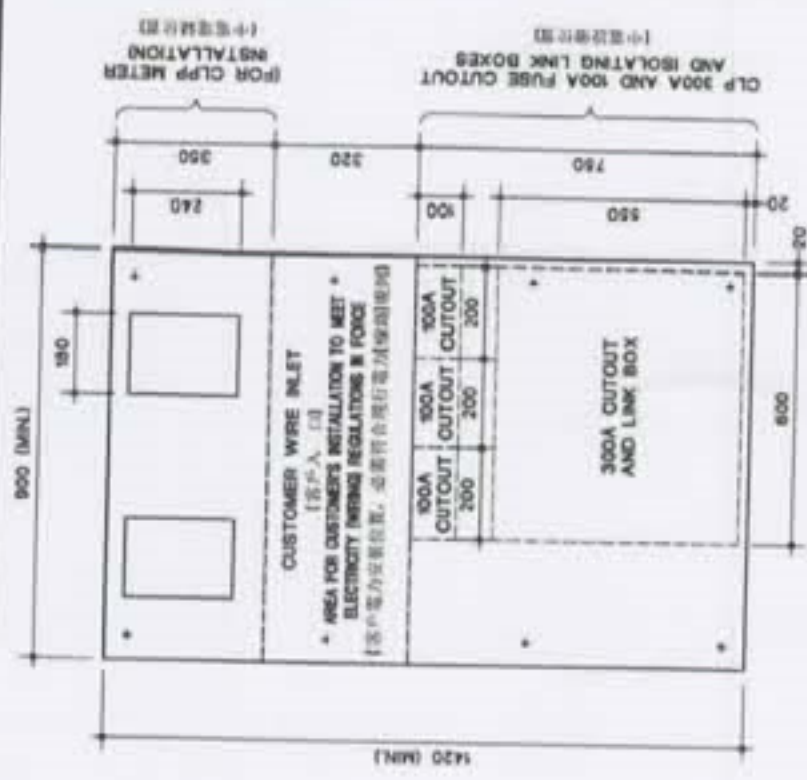
FRONT VIEW



SECTION B - B



SECTION A - A



DETAIL 'D'

DETAIL OF INTERNAL LAYOUT



DETAIL 'A'

- NOTES: (備註)
1. STAINLESS STEEL MATERIAL 316L (316L 不銹鋼)
  2. ALL METAL WORKS ARE TO BE PROPERLY EARTHED. (所有金屬部分均須妥善接地)
  3. ALL DIMENSIONS ARE IN mm UNLESS OTHERWISE STATED. (所有尺寸均以毫米為單位，除非另有說明)
  4. CLEARANCE WORKING SPACE SHALL BE PROVIDED ABOVE LEAD-IN CABLE SPACE. (鉛線入口上方須提供工作空間)
  5. ALL SHARP EDGES MUST BE CURLED AND CHAMFERED, REFER DETAIL 'A'. (所有鋒利邊緣必須卷曲及打圓倒角，參詳圖A)
  6. ALL METERING INFORMATION IS AVAILABLE ON "GUIDE TO SUPPLY & METERING ARRANGEMENT ON CUSTOMER'S INTERNAL DISTRIBUTION SYSTEM". (所有計量資訊可在「客戶內部配電系統之計量及配電指南」內查詢)
  7. WHITE FIRE RETARDANT COATING SHALL COMPLY WITH BS 476 - PART 7 CLASS 1 FOR EQUIVALENT, ACCORDING TO LIST OF FIRE RETARDANT SOLUTION ACCEPTED IN FIRE SERVICE DEPARTMENT WEBSITE. (白色耐火塗層須符合英國標準 BS 476 - 第 7 部分 1 級耐火塗層，查詢請向消防處網頁)
  8. PRIOR APPROVAL/AGREEMENT SHOULD BE OBTAINED FROM THE CONCERNED AUTHORITY, MAX. OVERALL DIMENSION OF METERING BOX: 1000mm(W) x 1000mm(D) x 380mm(H). (須先取得有關當局之批准，計量箱最大尺寸為：1000毫米寬 x 1000毫米深 x 380毫米高)



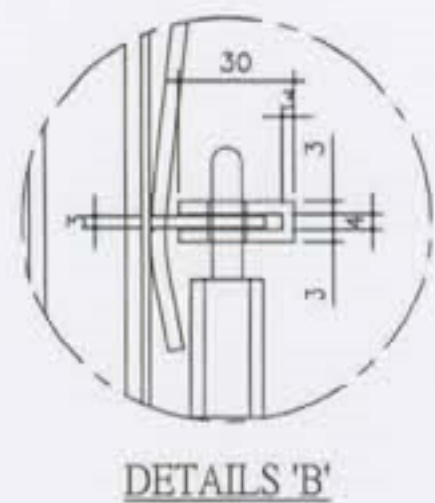
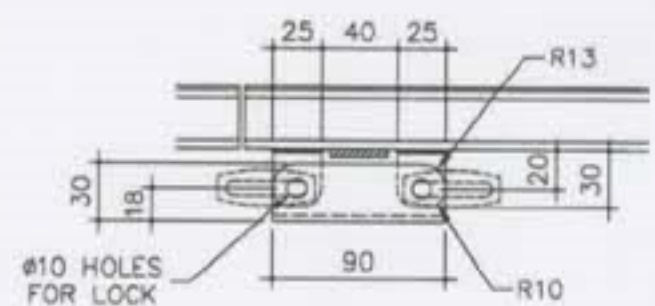
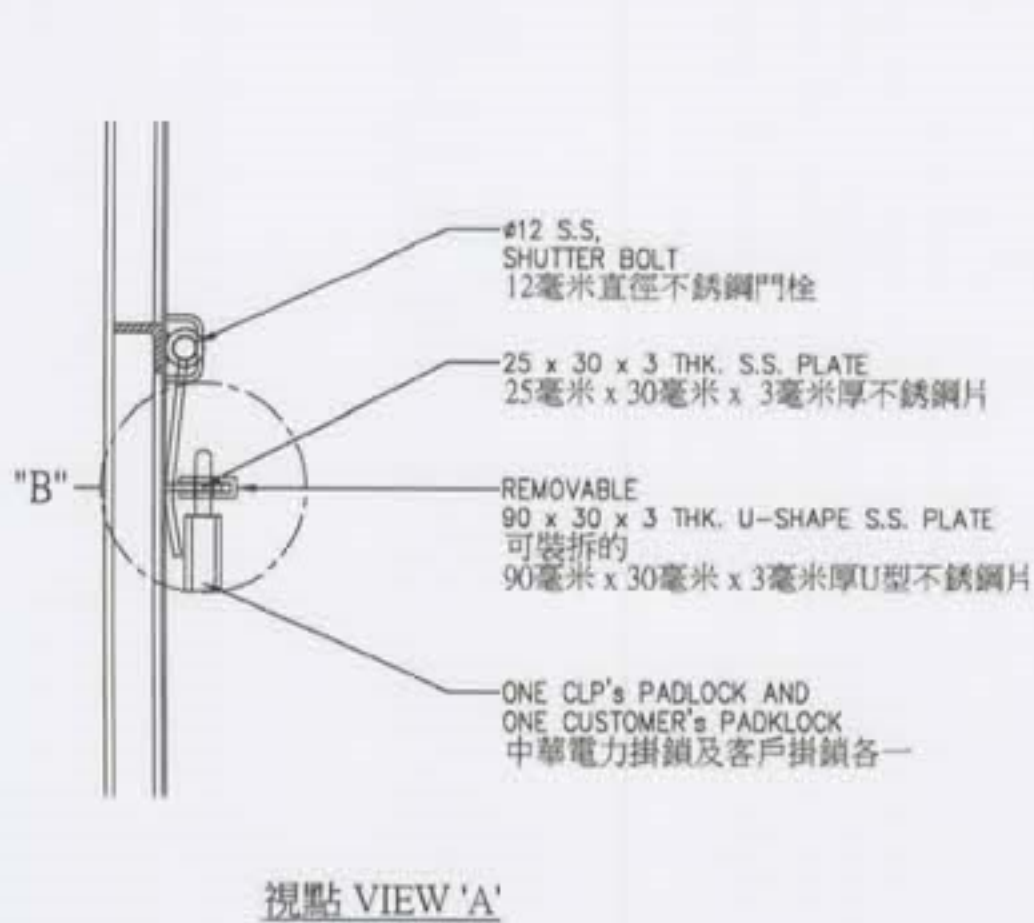
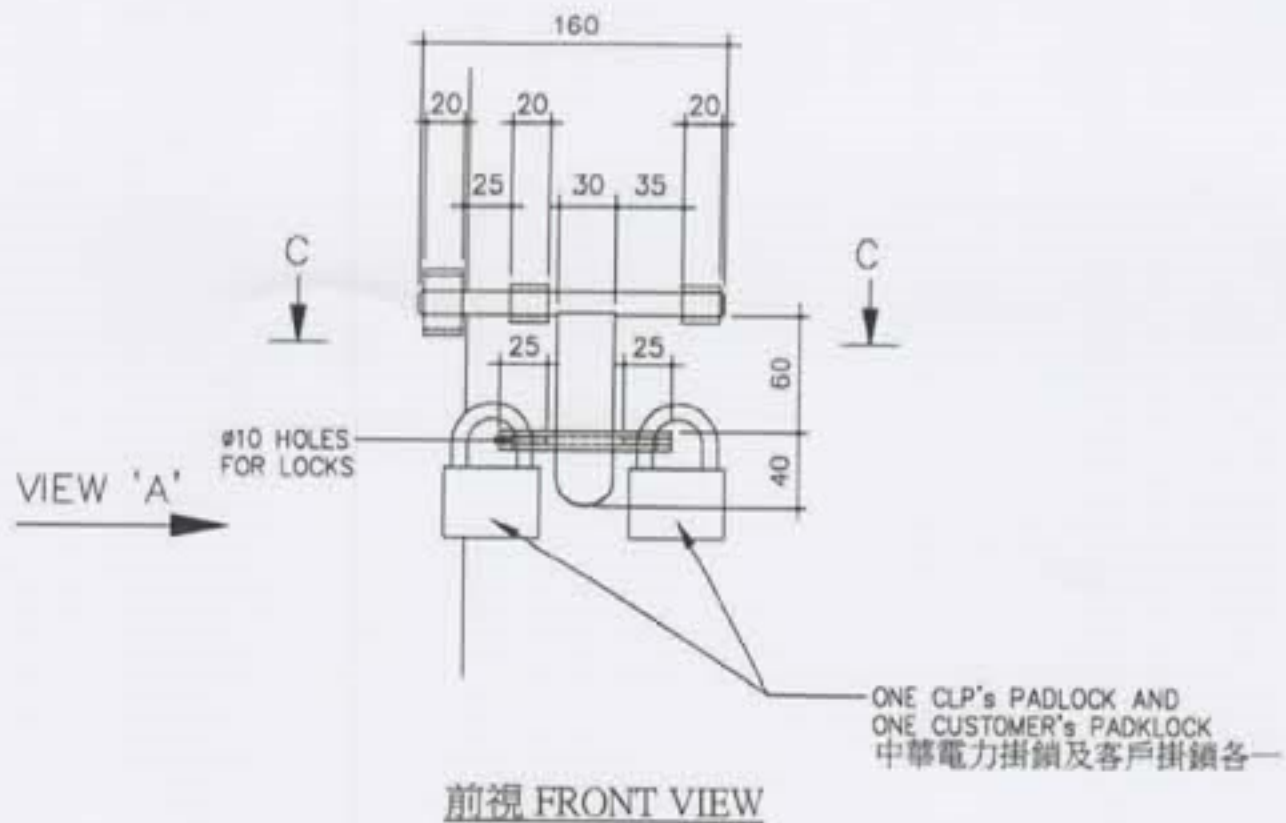
KEYS	A	B	C	D	E	F	G	H	J	K	L
INITIAL											
TITLE	LV SUPPLY CONCRETE METER BOX FOR VILLAGE HOUSES (TYPE 2)										
PROJECT NO.	E333308001										
CONTRACT NO.											

DRAWN	C. W. WONG	DATE	8 DEC. 2011
CHECKED	AT MUK/ENGINE	APPROVED	CHIS CHEUNG
SCALE	1:1	SHEET	1
ASSET MANAGEMENT			

INFORMATION CLASS: PROPRIETARY

ALL RIGHTS RESERVED AND REPRODUCTION IN ANY FORM MUST BE APPROVED BY CLP POWER



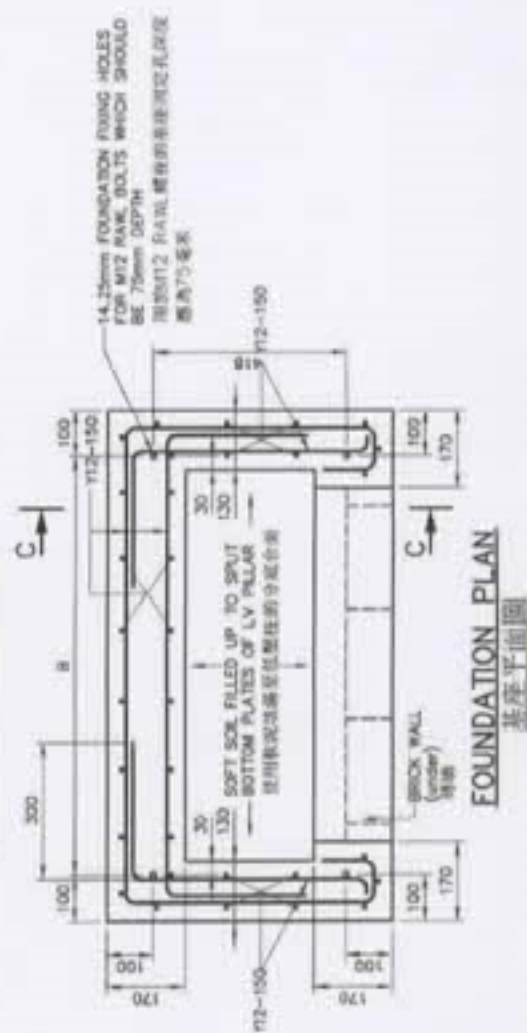


NOTE: ALL DIMENSIONS ARE IN mm.  
(備註) 所有尺寸均為毫米


B DESIGN CHANGED		A GENERAL REVISED	
REVS.		30.09.14 07.11.19	
INITIAL		RAY. K XYLE NG	
TITLE :		DUAL LOCKS FOR METALLIC DOOR	
DRAWN: C W WONG		DATE: 30 APR., 2008	
CHECKED: TOMMY HOI		APPROVED: W B LEE	
SCALE: N. T. S.		SHEET(S) IN SET:	
PROJECT NO.		CONTRACT NO.	
DRG. NO. T GEN 25500 D E 33 0238 01 B A		ASSET MANAGEMENT	

INFORMATION CLASS: PROPRIETARY

ALL RIGHTS RESERVED AND REPRODUCTION IN ANY FORM MUST BE APPROVED BY CLP POWER



(例如, 150r20-150表示15號、高壓型鋸齒, 20毫米, 於150毫米中心。)

 <b>中電</b>										REVS. INITIAL A B C D E F G H I J K L									
DRAWN: C W WONG CHECKED: RICKY LEE SCALE: 1:15										DATE: 7 Dec., 2008 APPROVED: W C HO SHEET(S) IN SET: 1									
ASSET MANAGEMENT										PROJECT NO. _____ CONTRACT NO. _____									
FOUNDATION MOUNTING DETAIL FOR ALL OUTDOOR LV PILLARS 建議用於所有戶外低壓柱的基礎安裝詳圖										DRG. NO. T C E N 2 5 0 0 0 E 3 3 3 0 3 5 0 1 - A									

PROPRIETARY] ALL RIGHTS RESERVED AND REPRODUCTION IN ANY FORM MUST BE APPROVED BY CLP POWER



## 如何繳費？ How to Pay?

更多繳費選擇  
More Payment Options



[e.cip.com.hk/payment](http://e.cip.com.hk/payment)

自動轉賬  
AutoPay

「轉數快」  
Faster Payment System (FPS)

AlipayHK

WeChat Pay HK

繳費碼  
PPS

轉寄支票  
Cheque by Mail

請登入中電網站 [e.cip.com.hk/autopay](http://e.cip.com.hk/autopay)。  
Please visit CLP website [e.cip.com.hk/autopay](http://e.cip.com.hk/autopay).

請使用銀行流動應用程式掃描電費單上的「轉數快」繳費二維碼，透過「轉數快」繳付賬單。  
Please scan the FPS QR code on CLP bill with Mobile Banking App to proceed with bill payment via FPS.

安裝並登入「AlipayHK」應用程式，選擇「繳費服務」連結編碼號碼，即可進行繳費或設定自動付款。  
Please install and login to "AlipayHK" App, select "Bill Payment" to link up account number and pay manually or via auto debit service.

安裝並登入「WeChat」應用程式後，點擊「我」>「WeChat Pay」>「生活繳費」，添加編碼號碼後即可查詢賬單並繳費。  
Please install and login to "WeChat" App, select "Me" > "WeChat Pay" > "Utilities" > register your account number and proceed with bill payment.

請致電18013 登記及致電18033 繳交電費。商戶編號02。網上服務 ([www.ppshk.com](http://www.ppshk.com))，或應用程式「PPS on Mobile」。  
For registration, please call 18011. For payment, please call 18031. CLP Merchant Code is 02. Internet ([www.ppshk.com](http://www.ppshk.com)) or App "PPS on Mobile".

請以劃線支票抬頭寫上「中華電力有限公司」，並將支票連同電費單存根寄往香港郵政總局第11188號信箱。  
Make your crossed cheque payable to "CLP Power Hong Kong Limited" and send it together with the payment stub (the bottom part of your paper bill) to PO Box No. 11188, General Post Office, Hong Kong.

支援不同電子繳費方式，讓你隨時隨地繳交電費。  
Supported by different electronic payment platforms.  
Pay anytime, anywhere.



AlipayHK

WeChat Pay®



了解更多  
Learn more



## 定期更新你的個人資料

準確無誤最重要 Keep Your Personal Information Accurate and Up to Date



發生突發電力事故時  
可即時與你聯絡  
Alert you to special  
electricity circumstances



確保最新客戶資訊  
能傳送到你手上  
Send you the latest  
customer information



當賬單無法送達  
專人可與你聯絡  
Contact you if your bills  
are undeliverable



避免你的客戶資訊因傳送至  
過時的聯絡方式而被他人讀取  
Protect your personal information  
from being accessed by third parties  
through outdated contact details



登入網上賬戶 更新個人資料  
Log in to your Online Account and  
Update your Personal Information

[e.cip.com.hk/updatepersonalinfo](http://e.cip.com.hk/updatepersonalinfo)

## 聯絡/了解更多 Contact Us/More Information

\* 如有任何查詢或閣下不希望將個人資料用於直接促銷，請透過網上表格告知我們。  
If you have any enquiries or if you do not wish to have your personal data used for direct marketing purposes, please contact us using this eForm.

網上表格\*  
eForm

[e.cip.com.hk/eformc](http://e.cip.com.hk/eformc)



供電相關服務  
Electricity Supply  
Related Services

[e.cip.com.hk/esrs](http://e.cip.com.hk/esrs)

客戶服務中心及  
商業客戶中心  
Customer Service Centres  
& Business Centres

[e.cip.com.hk/csc](http://e.cip.com.hk/csc)

### 供電則例

作為本公司的註冊客戶，閣下已同意遵守不時作出修訂的供電則例，並受其約束。供電則例亦同時適用於實際用電的任何人士。閣下可從中電網站下載或致電客戶服務熱線索取供電則例。

[e.cip.com.hk/supplyrules](http://e.cip.com.hk/supplyrules)



用電價目及最低收費  
Tariff & Minimum Charge

[e.cip.com.hk/tariff](http://e.cip.com.hk/tariff)

### Supply Rules

As our Company's Registered Customer, you have agreed to be bound by and shall comply with the Supply Rules as revised from time to time. The Supply Rules shall also be applicable to any person actually obtaining or using electricity from the Company account. The Supply Rules are available from CLP website or please call our Customer Service Hotline to obtain a copy.

[e.cip.com.hk/supplyrules-en](http://e.cip.com.hk/supplyrules-en)



客戶服務熱線  
Customer Service Hotline

2678 2678

緊急服務熱線  
Emergency Hotline

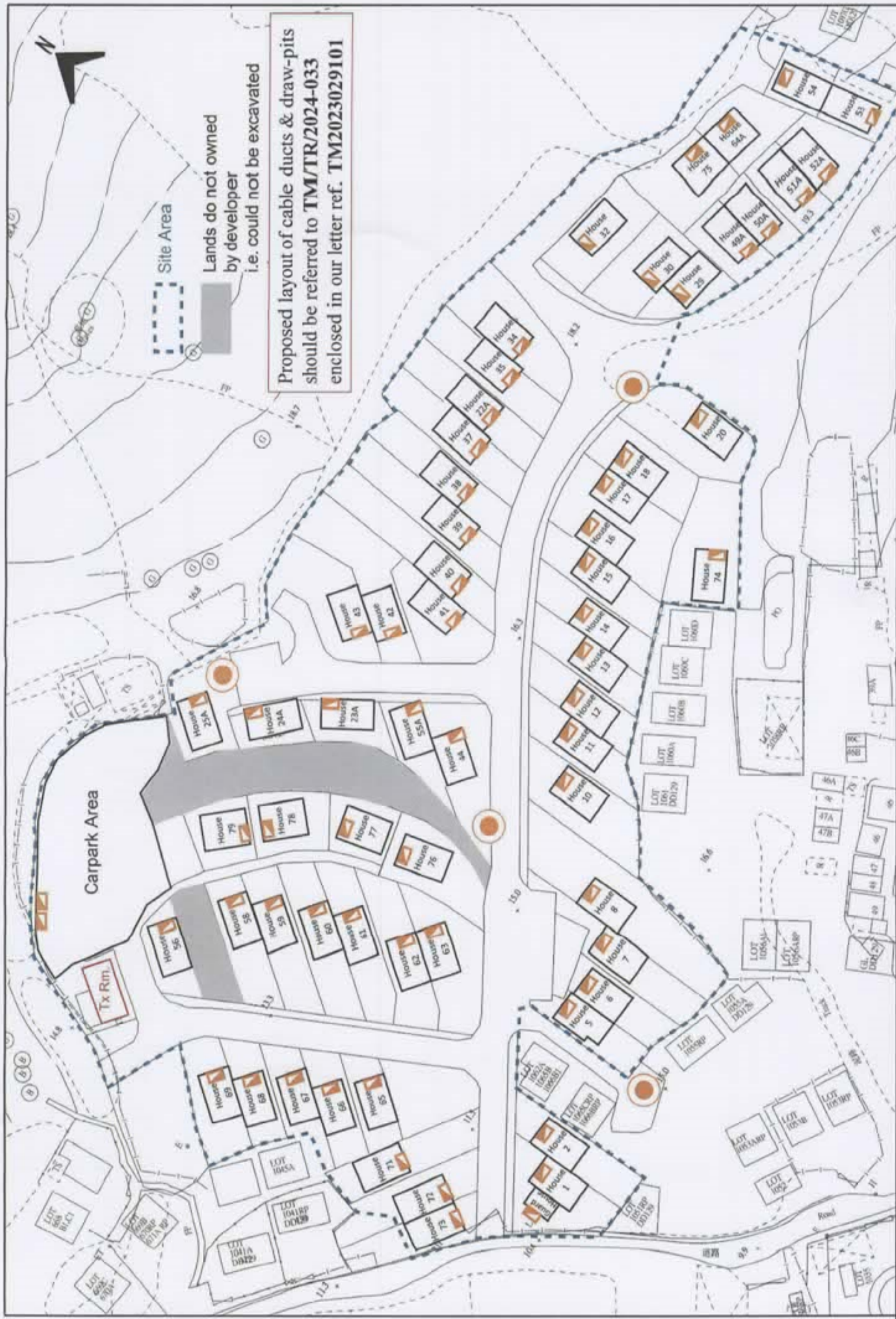
2728 8333

中電網站  
CLP Website

[www.cip.com.hk](http://www.cip.com.hk)







Proposed layout of cable ducts & draw-pits should be referred to **TM/TR/2024-033** enclosed in our letter ref. **TM2023029101**

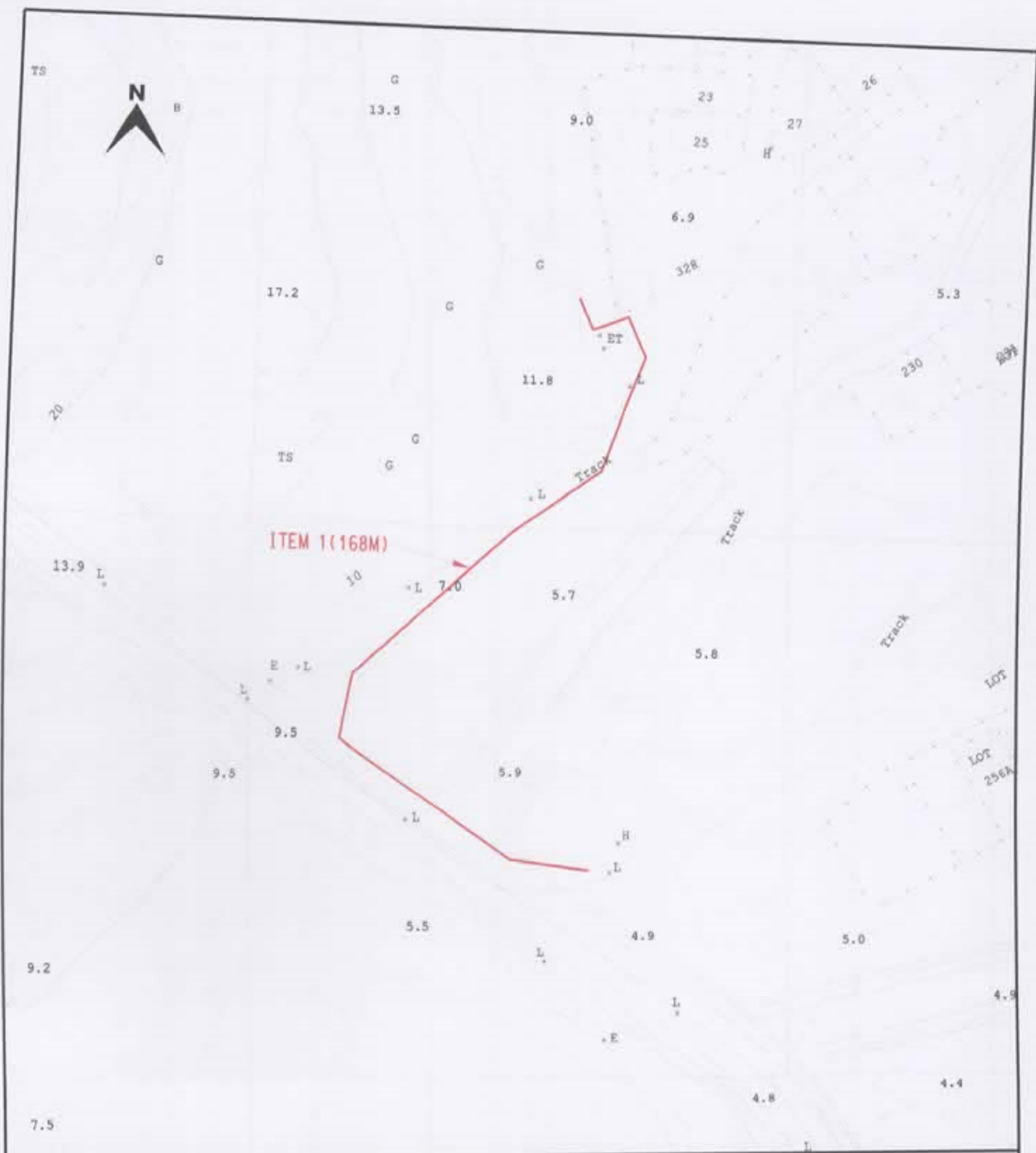
Site Area

Lands do not owned by developer i.e. could not be excavated

Carpark Area

Tx Rm





CLP 中電

TITLE : 11kV Cable Laying  
Near Mong Tseng Tsuen

LEGEND

- PROPOSED TRENCH FOR LAYING / RECOVERING CABLE
- PROPOSED TRENCH FOR LAYING DUCTS
- PROPOSED CABLE THROUGH EXISTING DUCTS
- EXISTING PILLAR
- PROPOSED PILLAR 1.6M x 0.6M x 0.75M / CUTOUT BOX
- EXCAVATION FOR JOINTING / REPAIRING / INSPECTION CABLE
- EXISTING OVERHEAD LINE & POLE
- PROPOSED 11kV, LV, OHL, OF STEEL / WOODEN POLE
- OVERHEAD LINE & POLE TO BE REMOVED
- PROPOSED TREE TRIMMING / CUTTING
- EXISTING POLE MOUNTED TRANSFORMER
- PROPOSED POLE MOUNTED TRANSFORMER
- PROPOSED STAY / STAY POLE
- PROPOSED 3.6M(L) x 3.32M(W) x 2.7M(H) HV PILLAR

MAP NO : 02SW22B, 02SW23A, 02SW18C, 02SW17D

DRAWN : BENSON

E/O NO :

CHECKED : Alex Ko

REGION : NR

O.C. : YL

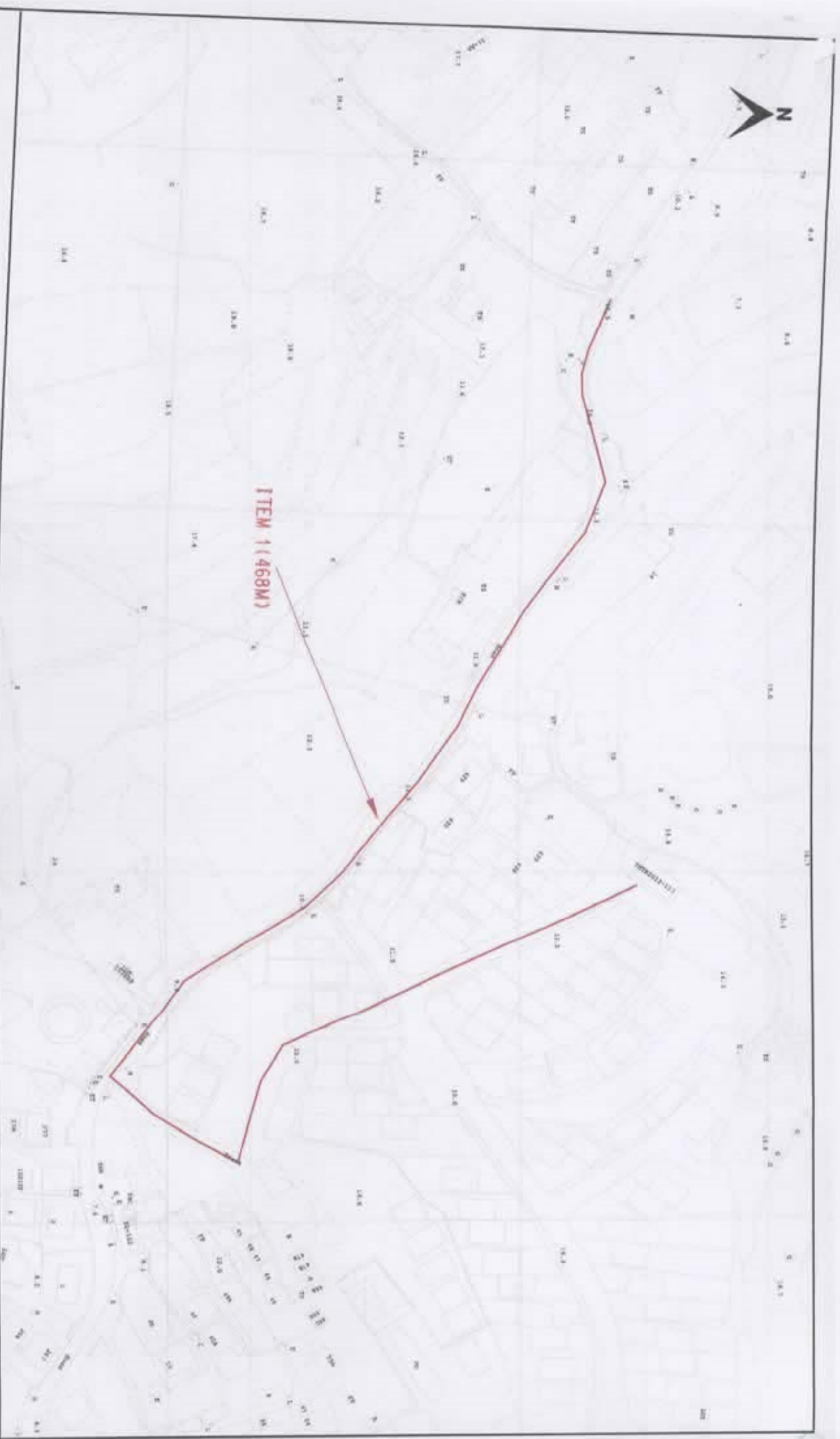
DATE : 19-04-2024

PROJECT REF. : TM2018-0322

SCALE : 1:1000

PLAN REF. : NRTM2018-0322-06





- LEGEND :
- PROPOSED TRENCH FOR LAYING / RECOVERING CABLE
  - PROPOSED TRENCH FOR LAYING DUCTS
  - PROPOSED CABLE THROUGH EXISTING DUCTS
  - EXISTING PILLAR
  - PROPOSED PILLAR 10M x 0.6M x 0.75M / CUTOFF BOX
  - EXCAVATION FOR JOINTING / REPAIRING / RESPECTIVE CABLE
  - PROPOSED 3.6M x 3.22M x 2.7M x 1M PILLAR

- EXISTING OVERHEAD LINE & POLE
- PROPOSED 3W, L.V., OH, OF STEEL / WOODEN POLE
- EXISTING OVERHEAD LINE & POLE TO BE REMOVED
- PROPOSED TIEE TRIMMING / CUTTING
- EXISTING POLE MOUNTED TRANSFORMER
- PROPOSED POLE MOUNTED TRANSFORMER
- PROPOSED STAY / STAY POLE



SCALE 1:1000	DRAWN: BENSON
DATE: 30-05-2023	CHECKED: Alex Ko
REGION: NR	O.C.: YL
	E/O NO:

TITLE: 11KV Cable Laying  
At Mong Tseng Tsuen

MAP NO : 02SW17D, 02SW18C	
PROJECT REF. : TM2018-0322	PLAN REF. :ARTM2018-0322-01





**Extract of Town Planning Board Guidelines for  
Application for Development within Green Belt Zone  
under Section 16 of the Town Planning Ordinance  
(TPB PG-No. 10)**

The relevant assessment criteria are as follows:

- (a) There is a general presumption against development (other than redevelopment) in a “Green Belt” (“GB”) zone. In general the Board will only be prepared to approve applications for development in the context of requests to rezone to an appropriate use.
- (b) An application for new development in a “GB” zone will only be considered in exceptional circumstances and must be justified with very strong planning grounds. The scale and intensity of the proposed development including the plot ratio, site coverage and building height should be compatible with the character of surrounding areas. With the exception of New Territories Exempted Houses, a plot ratio up to 0.4 for residential development may be permitted.
- (c) Applications for New Territories Exempted Houses with satisfactory sewage disposal facilities and access arrangements may be approved if the application sites are in close proximity to existing villages and in keeping with the surrounding uses, and where the development is to meet the demand from indigenous villagers.
- (d) Redevelopment of existing residential development will generally be permitted up to the intensity of the existing development.
- (e) Applications for government/institution/community (G/IC) uses and public utility installations must demonstrate that the proposed development is essential and that no alternative sites are available. The plot ratio of the development site may exceed 0.4 so as to minimize the land to be allocated for G/IC uses.
- (f) Passive recreational uses which are compatible with the character of surrounding areas may be given sympathetic consideration.
- (g) The design and layout of any proposed development should be compatible with the surrounding area. The development should not involve extensive clearance

of existing natural vegetation, affect the existing natural landscape, or cause any adverse visual impact on the surrounding environment.

- (h) The vehicular access road and parking provision proposed should be appropriate to the scale of the development and comply with relevant standards. Access and parking should not adversely affect existing trees or other natural landscape features. Tree preservation and landscaping proposals should be provided.
- (i) The proposed development should not overstrain the capacity of existing and planned infrastructure such as sewerage, roads and water supply. It should not adversely affect drainage or aggravate flooding in the area.
- (j) The proposed development must comply with the development controls and restrictions of areas designated as water gathering grounds.
- (k) The proposed development should not overstrain the overall provision of G/IC facilities in the general area.
- (l) The proposed development should not be susceptible to adverse environmental effects from pollution sources nearby such as traffic noise, unless adequate mitigating measures are provided, and it should not itself be the source of pollution.
- (m) Any proposed development on a slope or hillside should not adversely affect slope stability.



**Relevant extract of the Town Planning Board Guidelines for  
Application for Developments within Deep Bay Area  
(TPB PG-No. 12C)**

On 16.5.2014, the Town Planning Board Guidelines for Application for Developments within Deep Bay Area under Section 16 of the Town Planning Ordinance (TPB PG-No. 12C) were promulgated by the Town Planning Board, which set out the following criteria for the Wetland Buffer Area (WBA):

- (a) The intention of the WBA is to protect the ecological integrity of the fish ponds and wetland within the WCA and prevent development that would have a negative off-site disturbance impact on the ecological value of fish ponds. A buffer area of about 500m along the landward boundary of the WCA is thus designated as a WBA. As a substantial amount of the fish ponds within the WBA have already been lost over time through filling and certain areas have been degraded by the presence of open storage use, these degraded areas may be considered as target areas to allow an appropriate level of residential/recreational development so as to provide an incentive to remove the open storage use and/or to restore some of the fish ponds lost.
- (b) Within the WBA, for development or redevelopment which requires planning permission from the Board, an ecological impact assessment would also need to be submitted. Development/redevelopment which may have negative impacts on the ecological value of the WCA would not be supported by the Board, unless the ecological impact assessment can demonstrate that the negative impacts could be mitigated through positive measures. The assessment study should also demonstrate that the development will not cause net increase in pollution load to Deep Bay. Some local and minor uses are however exempted from the requirement of ecological impact assessment. They are listed in Appendix A and include temporary uses.

## **Appendix A**

### **List of Uses Exempted from Ecological Impact Assessment Within the Wetland Buffer Area**

For planning applications involving uses/development within the Wetland Buffer Area, the following uses/development are exempted from the requirement of ecological impact assessment as part of the submission to the Board :

- Temporary Uses
- Agricultural Use (except in SSSI Zone)
- Ancestral Hall
- Bank#
- Barbecue Spot
- Barber Shop#
- Beauty Parlour#
- Burial Ground
- Clinic/Polyclinic\*
- Electricity Substation of single storey
- Government Refuse Collection Point^
- House (Alteration, modification and/or redevelopment to the existing building bulk only)
- New Territories Exempted Houses
- Off-Course Betting centre#
- On-farm Domestic Structure
- Photographic Studio#
- Playground/Playing Field in “V” and “R(D)” zones
- Police Post/Police Reporting Centre
- Post Office\*
- Private Club#
- Public Convenience
- Public Library\*
- Public Utility Installation (electricity mast, lamp pole, pipeline and telephone booth only)^
- Pumping Station of single storey
- Refreshment Kiosk
- Retail Shop#
- School\*

- Showroom excluding Motor-vehicle Showroom#
- Shrine
- Social Welfare Facility\*
- Tent Camping Site

Note:

# other than free-standing building

\* other than free-standing building exceeding 3 storeys

^ not applicable to the “Other Specified Uses” annotated “Eco-lodge” zone on the Ma Tso Lung and Hoo Hok Wai Outline Zoning Plan



**Recommended Advisory Clauses**

- (a) to resolve any land issues relating to the development with the concerned owner(s) of the Site;
- (b) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD) that the subject location is not currently maintained by HyD. The applicant is reminded to apply excavation permit from the relevant land authority for their installation works;
- (c) to note the comments of the Director of Environmental Protection (DEP) to strictly comply with relevant pollution control ordinances, including Waste Disposal Ordinance and Water Pollution Control Ordinance, and to implement appropriate pollution control measures to minimise any potential environmental impacts during the construction of the project. Reference could be made to relevant publications/guidelines including Recommended Pollution Control Clauses for Construction Contracts (available at: [http://www.epd.gov.hk/epd/english/environmentinhk/eia\\_planning/guide\\_ref/rpc.html](http://www.epd.gov.hk/epd/english/environmentinhk/eia_planning/guide_ref/rpc.html)); and Professional Persons Environmental Consultative Committee (ProPECC) Practice Notes 2/23, 'Construction Site Drainage';
- (d) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department that the applicant should ensure the proposed works including land filling work will not obstruct the overland flow nor cause any adverse drainage impact to the adjacent areas during the installation works. The applicant shall be liable for any adverse drainage impact due to the proposed utility installation;
- (e) to note the comments of the Director of Fire Services (D of FS) that any excavation/construction works shall under no circumstances cause obstruction to nearby fire hydrants and their control valves in-situ. Should any relocation/blanking-off of fire hydrants be necessary, prior consent from this Department has to be sought; and
- (f) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:
  - (i) the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
  - (ii) the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at the building plan submission stage;
  - (iii) if the existing structure is erected on leased land without the approval of the Building Authority (BA), they are unauthorized building works (UBW) under BO and should not be designated for any proposed use under the captioned application;
  - (iv) for UBW erected on leased land, enforcement action may be taken by BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;



- (v) any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings and are subject to the control of Part VII of the B(P)R; and
- (vi) detailed checking under the BO will be carried out at building plan submission stage.



☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy

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**From:**  
**Sent:** 2024-11-12 星期二 10:26:19  
**To:** tpbpd/PLAND <tpbpd@pland.gov.hk>  
**Cc:**  
**Subject:** 有關元朗浮流山丈量第 129 約地段第 1012 號 擬議公用事業設施和相關挖土及填土工程(申請：A/YL-LFS/537)意見  
**Attachment:** EV 規劃署公用事業設施意見.pdf

致 城市規劃委員會秘書

本公司代表碧翠華庭業主委員會 (地址： ) 就業戶提出意見。  
貴署檔案：TPB/A/YL-LFS/537

--  
羅先生  
栢聯物業管理有限公司





栢聯物業管理有限公司  
Pan Win Property Management Ltd.

致：規劃署 台鑒：-

貴署檔號：TPB/A/YL-LFS/537

寄：屯門及元朗西規劃處 新界沙田上禾輦路 1 號

沙田政府合署 14 樓

**有關-流浮山丈量第 129 約地段第 1012 號(部份)及第 1036 號餘段(部份)  
擬議公用事業設施裝置(地底電纜)和相關挖土及填土工程  
(申請編號：A/YL-LFS/537)**

敬啟者：-

本公司 "栢聯物業管理有限公司" 為 "碧翠華庭" 管理公司，本公司就城規會發出的法定通知，就檔號：TPB/A/YL-LFS/537，接獲屋苑業主委員會及住戶之意見，現報告 貴署知悉。

**意見包括：**

- 1) 工地就在碧翠華庭圍牆旁邊，工人出入及運送所需嘅工具和物料必須要經過碧翠華庭大閘前嘅一段小路，大型運輸車，及停泊外來私家車，有機會會造成該段小路嘅擠塞同破壞，影響屋苑居民出入及生活。
- 2) 屋苑旁的一段，貼近屋苑的擋土牆，當機器挖掘地坑時，會觸碰和損毀到擋土牆，很大機會，會影響擋土牆的結構和地質的穩定性，危害到屋苑的安全。
- 3) 如何確保在不會影響現有環境及提供足夠保護措施，包括：保障碧翠華庭的圍牆，大型運輸車破壞出入道路及工程後清理工作安排。
- 4) 工程期間造成如何減低挖掘機器帶來的噪音問題。

祈請『規劃署』及『城規會』能再次考慮有關選址是否合適。

如有查詢請與栢聯物業管理有限公司物業經理

聯絡：電話

祈請回覆。



碧翠華庭業主委員會  
栢聯物業管理有限公司 代行  
2024 年 11 月 11 日

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**From:**  
**Sent:** 2024-11-19 星期二 08:00:00  
**To:** tpbpd/PLAND <tpbpd@pland.gov.hk>  
**Subject:** Comments on the Section 16 Application No. A/YL-LFS/537  
**Attachment:** TPB20241119(LFS537).pdf

Dear Sir/Madam,

Please refer to the attachment for the captioned.

Yours faithfully,  
Ng Hei Man (Mr.)

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19<sup>th</sup> November 2024

Town Planning Board  
15/F North Point Government Offices  
333 Java Road  
North Point  
Hong Kong

By e-mail: [tpbpd@pland.gov.hk](mailto:tpbpd@pland.gov.hk)

Dear Sir/Madam,

Comments on the Section 16 Application No. A/YL-LFS/537

The Conservancy Association (CA) would like to express concerns on the captioned application.

**1. Compliance with TPB Guidelines**

The application site is located within Green Belt zone and Wetland Buffer Area. Under such circumstances, further information is necessary to elaborate if correspondent TPB guidelines have been adhered:

**i. TPB PG-No. 10**

We opine that the following items should be further justified with facts, studies or assessment:

- *Applications for G/IC uses and public utility installations must demonstrate that the proposed development is essential and that no alternative sites are available...*
- *The proposed development should not overstrain the capacity of existing and planned infrastructure such as sewerage, roads and water supply. It should not adversely affect drainage or aggravate flooding in the area.*
- *The design and layout of any proposed development should be compatible with the surrounding area. The development should not involve extensive clearance of existing natural vegetation, affect the existing natural landscape, or cause*

any adverse visual impact on the surrounding environment.

- The proposed development should not be susceptible to adverse environmental effects from pollution sources nearby such as traffic noise, unless adequate mitigating measures are provided, and it should not itself be the source of pollution.
- Any proposed development on a slope or hillside should not adversely affect slope stability.

## ii. TPB PG-No. 12C

From the “List of Uses Exempted from Ecological Impact Assessment Within the Wetland Buffer Area”, there is a clear definition on “Public Utility Installation”. Exemption from ecological impact assessment would only applied to electricity mast, lamp pole, pipeline and telephone booth. Whether such exemption applies to this planning application which involves laying of underground cable needs to be further clarified.

## 2. Impact on trees/woodland

The application site, at first, was largely vegetated. Therefore, we would like to clarify if any trees (particularly mature trees) and species of conservation importance would be felled and cleared. If yes, any measures would be proposed to mitigate potential direct loss of trees and landscape impacts. Meanwhile, for trees close to the alignment of underground cable, it is unclear if any tree protection zones or some other measures would be provided to separate the work site and those trees.

## 3. Impact brought by excavation work

Details on excavation work are missing. We are particularly concerned if heavy machinery can be avoided in the site and how the excavated materials would be transported away from the site probably. We have to highlight that in the past few years, unauthorized development associated with land/pond filling, dumping of construction and demolition waste in agricultural land and fish pond in adjacent rural areas are frequent. Stringent control and monitoring measures on the construction vehicles/dump trucks is necessary.

## 4. Noise nuisance

The application site is close existing village settlement (highly likely within 100m from



the nearest village house). It seems that, however, no information is provided to evaluate whether potential noise nuisance would be generated. Measures, such as restriction on working days or hours, should be considered to minimize such nuisance.

#### 5. Undesirable precedent of “destroy first, build later”

The application site has been subject to land formation and vegetation clearance since May 2024 (Figure 1-2). It is suspected that this is a case of “destroy first, build later”.

Planning Department and members of Town Planning Board (TPB) should alert that TPB has announced approaches to deter “destroy first, build later” activities in 2011. It stated that *“the Board is determined to conserve the rural and natural environment and will not tolerate any deliberate action to destroy the rural and natural environment in the hope that the Board would give sympathetic consideration to subsequent development on the site concerned”*<sup>1</sup>. Therefore, this application should not be given any sympathetic consideration, or it will set an undesirable precedent for similar cases in future.

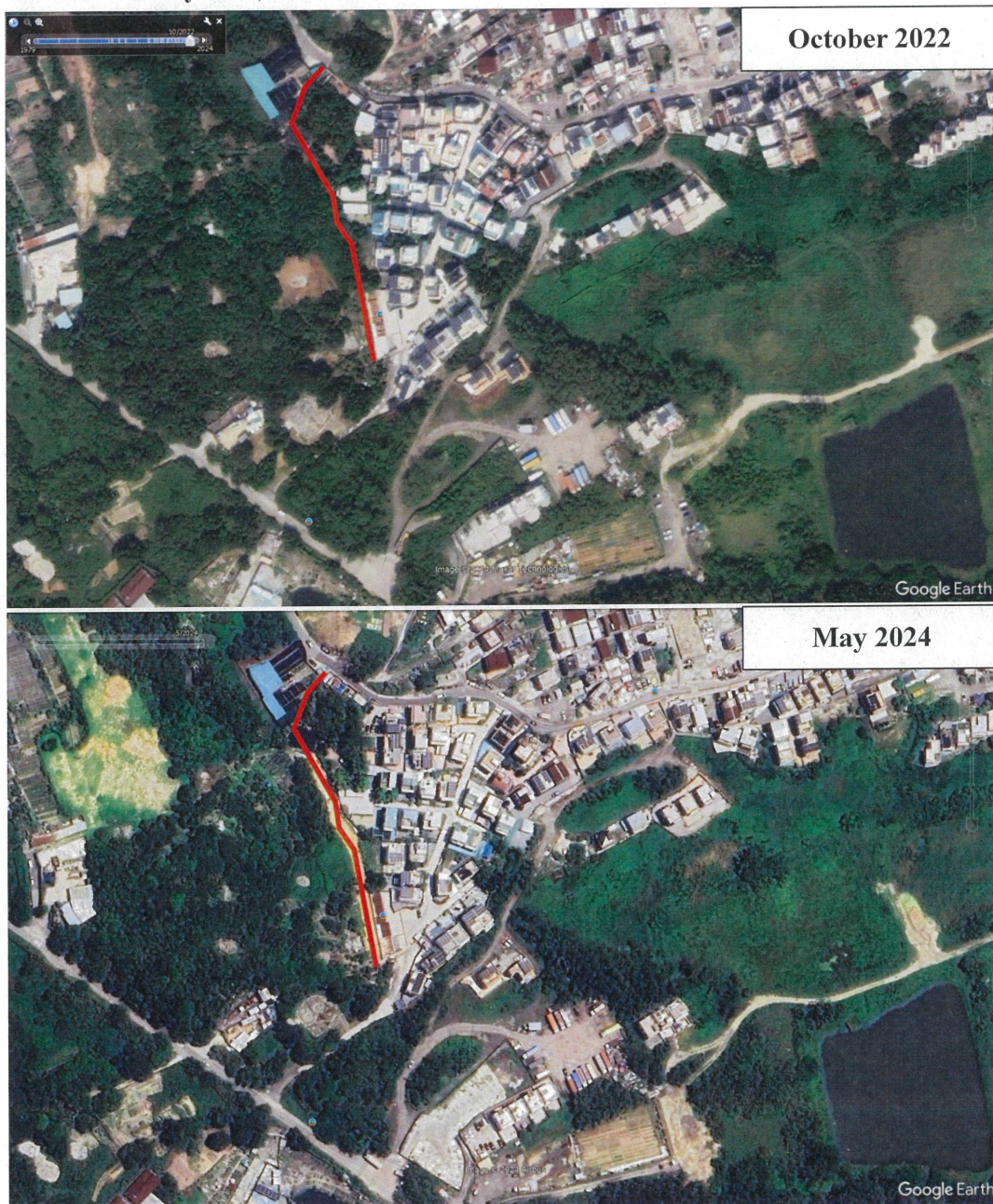
Yours faithfully,

The Conservancy Association

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<sup>1</sup> TPB Press Release. Available at: <http://www.info.gov.hk/gia/general/201107/04/P201107040255.htm>

Figure 1-2 The application site (marked in red) has been subject to land formation and vegetation clearance since May 2024. It is suspected that this is a case of “destroy first, build later”





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**From:**  
**Sent:** 2024-11-19 星期二 02:57:53  
**To:** tpbpd/PLAND <tpbpd@pland.gov.hk>  
**Subject:** A/YL-LFS/537 DD 129 Mong Tsaeng Tsuen, Lau Fau Shan GB CLP

A/YL-LFS/537 CLP

Lots 1012 (Part) and 1036 RP (Part) in D.D. 129, Mong Tseng Tsuen, Lau Fau Shan

Site area: About 206.4sq.m

Zoning: "Green Belt"

Applied use: Underground Cable / **Excavation and Filling of Land**

Dear TPB Members,

Strong Objections. The objective appears to be to supply electricity to a village house as there is no application for other uses in either the GB or V zones.

The Emerald Villa development on the 'V' zone must have electricity, so there is certainly already a supply line much closer to the 'development'.

Members should question why CLP is choosing such a destructive route through GB when all that is required is an extension to existing provisions.

Mary Mulvihill