

This document is received on 15 MAY 2023  
The Town Planning Board will formally acknowledge  
the date of receipt of the application only upon receipt  
of all the required information and documents.

Form No. S16-III  
表格第 S16-III 號

APPLICATION FOR PERMISSION  
UNDER SECTION 16 OF  
THE TOWN PLANNING ORDINANCE  
(CAP.131)

根據《城市規劃條例》(第131章)  
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Renewal of Permission for such Temporary Use or Development\***

**適用於祇涉及位於鄉郊地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議\***

\*Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.

\*其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展)及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:  
[https://www.info.gov.hk/tpb/en/plan\\_application/apply.html](https://www.info.gov.hk/tpb/en/plan_application/apply.html)

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：  
[https://www.info.gov.hk/tpb/tc/plan\\_application/apply.html](https://www.info.gov.hk/tpb/tc/plan_application/apply.html)

**General Note and Annotation for the Form**

**填寫表格的一般指引及註解**

# "Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made

「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a "✓" at the appropriate box 請在適當的方格內上加上「✓」號

2301152 28/4 by hand

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A17C-MP/342
	Date Received 收到日期	15 MAR 2013

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會 (下稱「委員會」) 秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.info.gov.hk/tpb/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).  
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.info.gov.hk/tpb/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.  
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

### 1. Name of Applicant 申請人姓名/名稱

(☒ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☐ Organisation 機構)

TAM Chan Fai

### 2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

R-riches Property Consultants Limited 盈卓物業顧問有限公司

### 3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lot 3250 S.B ss. 24 S.A RP and 3250 S.B ss.34 RP in D.D. 104 and Adjoining Government Land, Mai Po, Yuen Long, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 1,187 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 1,610 sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	217 sq.m 平方米 <input checked="" type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Mai Po and Fairview Park Outline Zoning Plan No.: S/YL-MP/6
(e) Land use zone(s) involved 涉及的土地用途地帶	"Commercial/Residential" and "Residential (Group D)" Zones
(f) Current use(s) 現時用途	Eating Place  (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

#### 4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 -

- ☐ is the sole "current land owner"<sup>1</sup> (please proceed to Part 6 and attach documentary proof of ownership).  
是唯一的「現行土地擁有人」<sup>1</sup> (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners"<sup>1</sup> (please attach documentary proof of ownership).  
是其中一名「現行土地擁有人」<sup>1</sup> (請夾附業權證明文件)。
- ☒ is not a "current land owner"<sup>1</sup>.  
並不是「現行土地擁有人」<sup>1</sup>。

- ☐ The application site is entirely on Government land (please proceed to Part 6).  
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

#### 5. Statement on Owner's Consent/Notification

##### 就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at ..... (DD/MM/YYYY), this application involves a total of ..... "current land owner(s)"<sup>1</sup>.  
根據土地註冊處截至 ..... 年 ..... 月 ..... 日的記錄，這宗申請共牽涉 ..... 名「現行土地擁有人」<sup>1</sup>。

(b) The applicant 申請人 -

- ☐ has obtained consent(s) of ..... "current land owner(s)"<sup>1</sup>.  
已取得 ..... 名「現行土地擁有人」<sup>1</sup>的同意。

Details of consent of "current land owner(s)" <sup>1</sup> obtained 取得「現行土地擁有人」 <sup>1</sup> 同意的詳情		
No. of "Current Land Owner(s)" 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified ..... "current land owner(s)"  
已通知 ..... 名「現行土地擁有人」<sup>#</sup>。

Details of the "current land owner(s)" <sup>#</sup> notified 已獲通知「現行土地擁有人」 <sup>#</sup> 的詳細資料		
No. of "Current Land Owner(s)" 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上述任何方格的空間不足，請另頁說明)

- ☒ has taken reasonable steps to obtain consent of or give notification to owner(s):  
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on ..... (DD/MM/YYYY)<sup>#&</sup>  
於 ..... (日/月/年)向每一名「現行土地擁有人」<sup>#</sup>郵遞要求同意書<sup>&</sup>

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on ..... (DD/MM/YYYY)<sup>&</sup>  
於 ..... (日/月/年)在指定報章就申請刊登一次通知<sup>&</sup>
- ☒ posted notice in a prominent position on or near application site/premises on  
12/4/2023 (DD/MM/YYYY)<sup>&</sup>  
於 ..... (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知<sup>&</sup>
- ☒ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on 14/4/2023 (DD/MM/YYYY)<sup>&</sup>  
於 ..... (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會<sup>&</sup>

Others 其他

- ☐ others (please specify)  
其他（請指明）

Note: May insert more than one 「✓」.  
Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號  
申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

## 6. Type(s) of Application 申請類別

(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas  
 位於鄉郊地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展  
 (For Renewal of Permission for Temporary Use or Development in Rural Areas, please proceed to Part (B))  
 (如屬位於鄉郊地區臨時用途/發展的規劃許可續期，請填寫(B)部分)

(a) Proposed use(s)/development 擬議用途/發展	Temporary Eating Place for a Period of 3 Years  (Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)
(b) Effective period of permission applied for 申請的許可有效期	<input checked="" type="checkbox"/> year(s) 年 ..... 3 ..... <input type="checkbox"/> month(s) 個月 .....

## (c) Development Schedule 發展細節表

Proposed uncovered land area 擬議露天土地面積	207	sq.m	<input checked="" type="checkbox"/> About 約
Proposed covered land area 擬議有上蓋土地面積	980	sq.m	<input checked="" type="checkbox"/> About 約
Proposed number of buildings/structures 擬議建築物/構築物數目	2		
Proposed domestic floor area 擬議住用樓面面積	N/A	sq.m	<input type="checkbox"/> About 約
Proposed non-domestic floor area 擬議非住用樓面面積	1,610	sq.m	<input checked="" type="checkbox"/> About 約
Proposed gross floor area 擬議總樓面面積	1,610	sq.m	<input checked="" type="checkbox"/> About 約

Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)

STRUCTURE	USE	COVERED AREA	GFA	BUILDING HEIGHT
B1	EATING PLACE (G/F)	750m <sup>2</sup> (ABOUT)	750m <sup>2</sup> (ABOUT)	7m (ABOUT)(2-STOREY)
B2	EATING PLACE (1/F) RAIN SHELTER (CANOPY)	230m <sup>2</sup> (ABOUT)	630m <sup>2</sup> (ABOUT) 230m <sup>2</sup> (ABOUT)	4m (ABOUT)(1-STOREY)
TOTAL		980m <sup>2</sup> (ABOUT)	1,610m <sup>2</sup> (ABOUT)	

Proposed number of car parking spaces by types 不同種類停車位的擬議數目

Private Car Parking Spaces 私家車車位	
Motorcycle Parking Spaces 電單車車位	
Light Goods Vehicle Parking Spaces 輕型貨車泊車位	
Medium Goods Vehicle Parking Spaces 中型貨車泊車位	
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	
Others (Please Specify) 其他 (請列明)	

Proposed number of loading/unloading spaces 上落客貨車位的擬議數目

Taxi Spaces 的士車位	
Coach Spaces 旅遊巴車位	
Light Goods Vehicle Spaces 輕型貨車車位	
Medium Goods Vehicle Spaces 中型貨車車位	
Heavy Goods Vehicle Spaces 重型貨車車位	
Others (Please Specify) 其他 (請列明)	

Proposed operating hours 擬議營運時間

Monday to Sunday 08:00 - 23:00 including public holiday

<p>(d) Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用))</p> <p>Accessible from Fairview Park Boulevard</p> <p><input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度)</p> <p><input type="checkbox"/></p>																														
<p>(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。)</p>																																
<p>(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> Please provide details 請提供詳情</p> <p>.....</p> <p>.....</p> <p>.....</p> <p><input checked="" type="checkbox"/></p>																														
<p>(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍)</p> <p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 ..... m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約 Depth of filling 填土厚度 ..... m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 ..... m 米 <input type="checkbox"/> About 約</p> <p><input checked="" type="checkbox"/></p>																														
<p>(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響？</p>	<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> </table> <p>.....</p> <p>.....</p>		On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																														
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Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																														

	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>
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**(B) Renewal of Permission for Temporary Use or Development in Rural Areas**  
 位於鄉郊地區臨時用途/發展的許可續期

(a) Application number to which the permission relates 與許可有關的申請編號	A/ _____ / _____
(b) Date of approval 獲批給許可的日期	..... (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期	..... (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	
(e) Approval conditions 附帶條件	<p><input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件</p> <p><input type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件</p> <p><input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件：</p> <p>.....</p> <p>.....</p> <p>Reason(s) for non-compliance: 仍未履行的原因：</p> <p>.....</p> <p>.....</p> <p>(Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)</p>
(f) Renewal period sought 要求的續期期間	<p><input type="checkbox"/> year(s) 年 .....</p> <p><input type="checkbox"/> month(s) 個月 .....</p>

**7. Justifications 理由**

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.  
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

**Background**

The applicant seeks to use *Lot 3250 S.B ss. 24 S.A RP and 3250 S.B ss.34 RP in D.D. 104 and Adjoining Government Land, Mai Po, Yuen Long, New Territories* (proposed development) (**Plan P01**). The applicant would like to continue to operate the eating place at the Site to serve the nearby locals and workers.

**Planning Context**

The Site falls within an area zoned as "Commercial/Residential" ("C/R") and "Residential (Group D)" ("R(D)") on the Approved Mai Po and Fairview Park Outline Zoning Plan No.: S/YL-MP/6 (**Plan P02**). According to the Notes of the OZP, 'eating place' is a column 1 use within the "C/R" zone but a column 2 use within the "R(D)" zone, which requires permission from the Board. Since the application is only on a temporary basis, it will not jeopardize the long term planning intention of the "R(D)" zone.

**Development Proposal**

The Site occupied an area of 1,187sq.m (about), including 970sq.m of private land and 217sq.m of Government land (**Plan P03**). Two structures at the Site for eating place and rain shelter with total GFA of 1,610sq.m (about) (**Plan P04**). The remaining uncovered area are circulation space and landscaping area.

The operation hours of the development are Monday to Sunday 08:00 - 23:00 (including public holiday). The proposed development will not operate outside operation hours. The estimated maximum number of visitor per day are 40 (about). The estimated number of staff working at the Site is 10.

The Site is accessible from Fairview Park Boulevard (**Plan P01**). No private car parking and fixed loading/unloading space is provided at the Site. Staff and visitors are required to access the Site by walking. Goods to support the operation of the Site are transported to the Site by light goods vehicle (LGV) once a day, hence, adverse traffic impact should not be anticipated. The operation mode is the same as the previous approved application No. A/YL-MP/314.

The applicant will strictly follow the "Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites" issued by EPD during the operation of the proposed development. The applicant will also follow 'Control of Oil Fume and Cooking Odour from Restaurant and Food Business' issued by EPD to control oily fume and cooking odour emissions generated from the eating place for the Site operation. Adequate air pollution control equipment is provided at the kitchen ventilation system for treating cooking fume emissions before being discharged to the outdoor environment, in order to fulfil the requirements of the Air Pollution Control Ordinance.

**Conclusion**

The proposed development will not create significant adverse traffic, environmental, landscape and drainage impacts to the surrounding areas. Adequate mitigation measures, i.e. submission of drainage, landscape and FSI proposals are provided to minimize nuisance to the existing environment after planning approval has been granted by the Board (**Appendices I and II**).

In view of the above, the Board is hereby respectfully recommended to approve the subject application for 'Temporary Eating Place for a Period of 3 Years'.

**8. Declaration 聲明**

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.  
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.

本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature  
簽署



☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Michael WONG

Name in Block Letters  
姓名（請以正楷填寫）

Position (if applicable)  
職位（如適用）

Professional Qualification(s) ☐ Member 會員 / ☐ Fellow of 資深會員

專業資格

- ☐ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /  
☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /  
☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會  
☐ RPP 註冊專業規劃師

Others 其他

on behalf of  
代表

R-Riches Property Consultants Limited



☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

26/4/2023

(DD/MM/YYYY 日/月/年)

**Remark 備註**

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

**Warning 警告**

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

**Statement on Personal Data 個人資料的聲明**

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and  
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及  
 (b) facilitating communication between the applicant and the Secretary of the Board/Government departments.  
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第1段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第486章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道333號北角政府合署15樓。

## Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

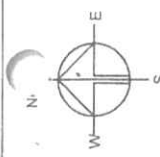
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置/地址	Lot 3250 S.B ss. 24 S.A RP and 3250 S.B ss.34 RP in D.D. 104 and Adjoining Government Land, Mai Po, Yuen Long, New Territories
Site area 地盤面積	1,187 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 217 sq. m 平方米 <input checked="" type="checkbox"/> About 約)
Plan 圖則	Approved Mai Po and Fairview Park Outline Zoning Plan No.: S/YL-MP/6
Zoning 地帶	"Commercial/Residential" and "Residential (Group D)" Zones
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas for a Period of 位於鄉郊地區的臨時用途/發展為期 <input checked="" type="checkbox"/> Year(s) 年 <u>3</u> <input type="checkbox"/> Month(s) 月 _____ <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas for a Period of 位於鄉郊地區臨時用途/發展的規劃許可續期為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____
Applied use/ development 申請用途/發展	Temporary Eating Place for a Period of 3 Years

(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	/ <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	/ <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	1,610 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	1.36 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of block 幢數	Domestic 住用	/	
	Non-domestic 非住用	2	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	/ m 米 <input type="checkbox"/> (Not more than 不多於)	
		/ Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)	
	Non-domestic 非住用	4 - 7 (about) m 米 <input type="checkbox"/> (Not more than 不多於)	
		1 - 2 Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)	
(iv) Site coverage 上蓋面積	83 % <input checked="" type="checkbox"/> About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數  Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____		N/A
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數  Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) Container Vehicle _____ _____		N/A

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	Chinese 中文	English 英文
<b>Plans and Drawings 圖則及繪圖</b>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Plan showing the zoning of the Site, Plan showing the land status of the Site		
Location Plan		
<b>Reports 報告書</b>		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Fire service installations proposal, Drainage proposal		
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。



LOCATION OF THE APPLICATION SITE

APPLICATION SITE AREA 1.187m<sup>2</sup> (ABOUT)  
ACCESSIBLE FROM FAIRVIEW PARK BOULEVARD

APPLICATION SITE

Open Storage

HA SAN WAI ROAD

ACCESSIBLE FROM FAIRVIEW PARK BOULEVARD

KAM POK ROAD

Villa Camellia

FAIRVIEW PARK BOULEVARD

Royal Camellia

YAU POK ROAD

BAUHINIA ROAD EAST

ION C. 9TH STREET

W F 1ST STREET

PK ROAD SOUTH

REET

Drawing No.  
PO1

Ver.  
01

Project

PROPOSED TEMPORARY  
EATING PLACE FOR A  
PERIOD OF 3 YEARS

LOTS 3250 S.B. 55.24 S.A. RP  
AND 3250 S.B. 53.34 RP IN  
D.D. 104, AND ADJOINING GL  
MAI PO, YUEN LONG, NEW  
TERRITORIES

Drawing Title  
LOCATION PLAN

Scale of A4  
1 : 2000

Date  
16.6.2021

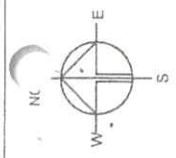
Drawn

Reviewed

Application Site

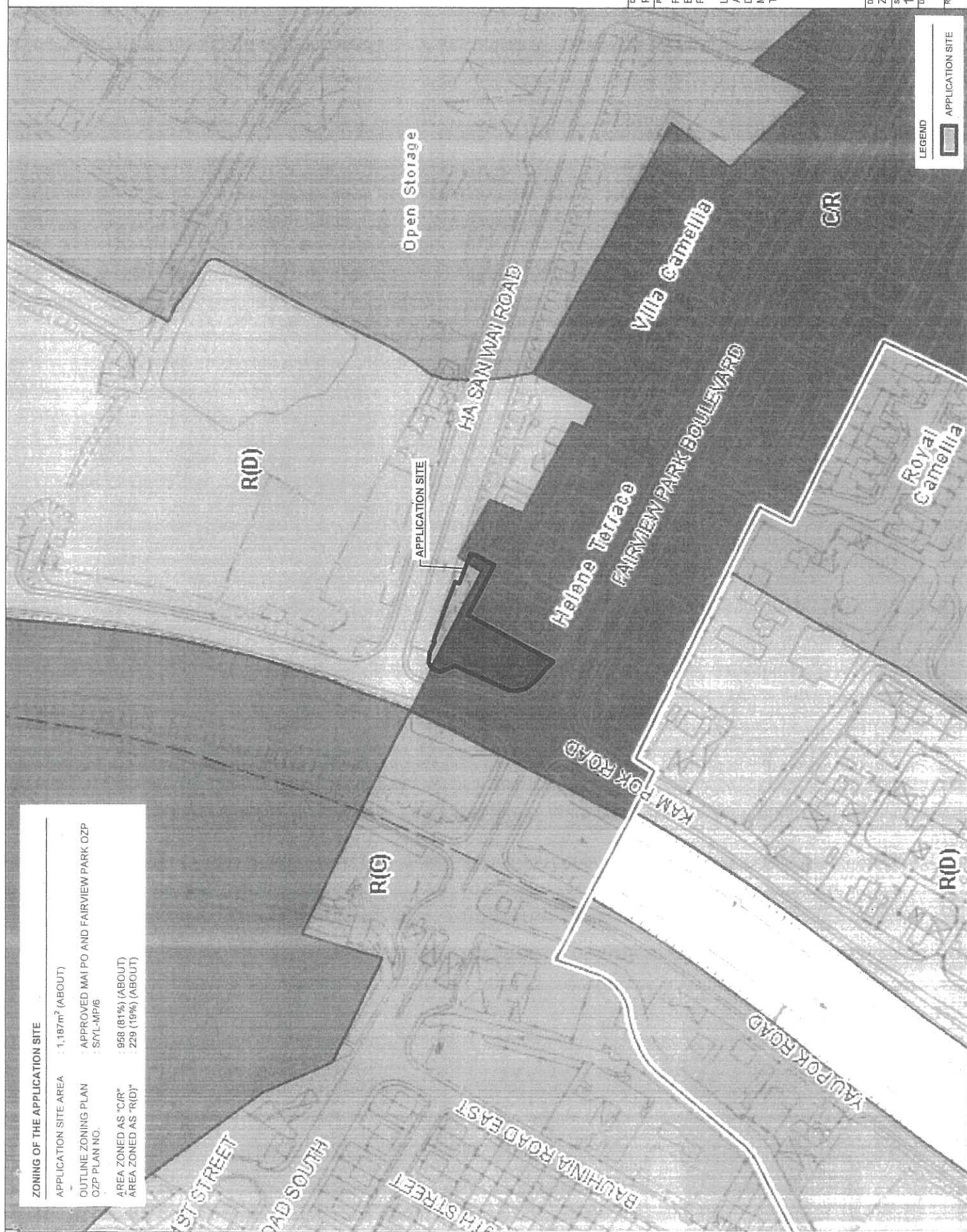
LEGEND





**ZONING OF THE APPLICATION SITE**

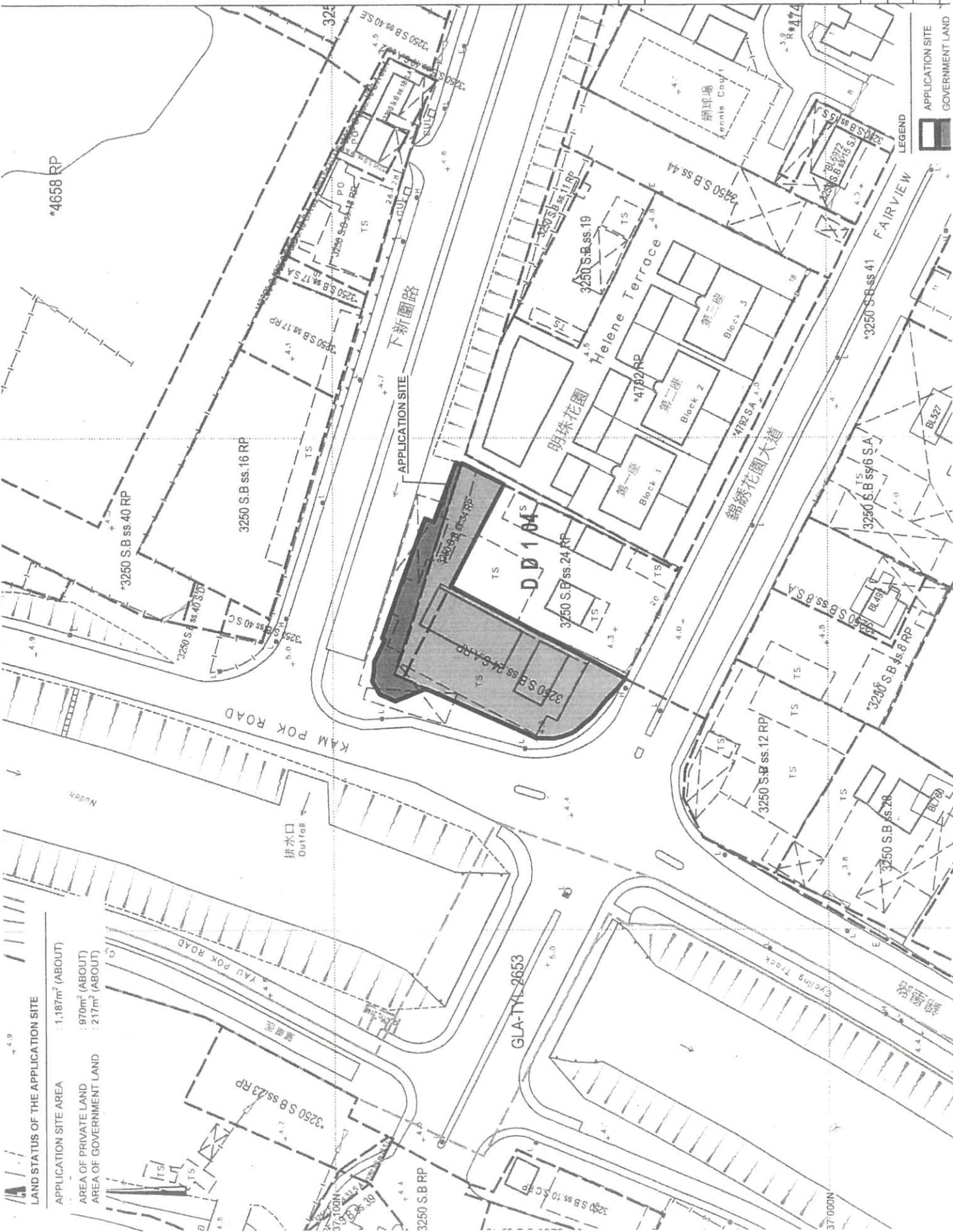
APPLICATION SITE AREA	1,187m <sup>2</sup> (ABOUT)
OUTLINE ZONING PLAN	APPROVED MAI PO AND FAIRVIEW PARK OZP
OZP PLAN NO.	SNL-MP6
AREA ZONED AS "CR"	958 (81%) (ABOUT)
AREA ZONED AS "R(D)"	229 (19%) (ABOUT)



Drawing No.	Ver.
P02	01
Project	PROPOSED TEMPORARY EATING PLACE FOR A PERIOD OF 3 YEARS
Location	LOTS 3250 S.B ss.24 S.A RP AND 3250 S.B ss.34 RP IN D.D. 104 AND ADJOINING GL MAI PO, YUEN LONG, NEW TERRITORIES
Drawing Title	ZONING OF THE SITE
Scale of A4	1 : 2000
Drawn	16.6.2021
Revised	
Date	

LEGEND

☒ APPLICATION SITE



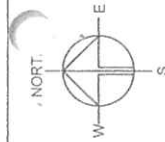
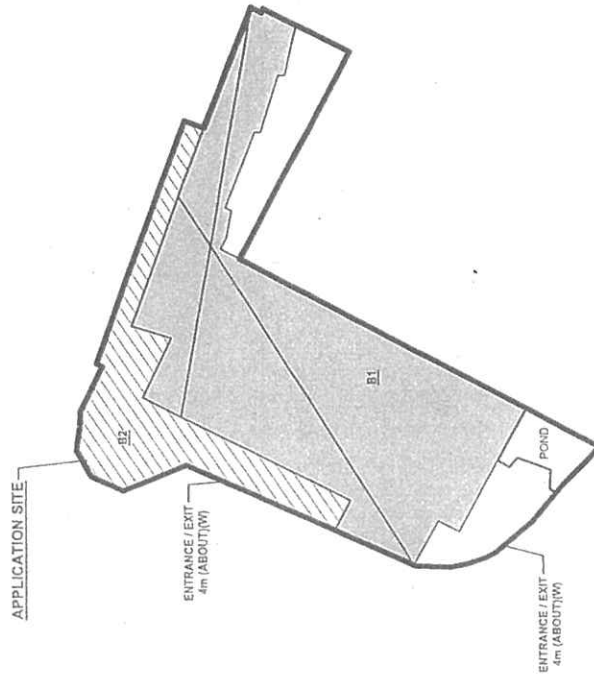
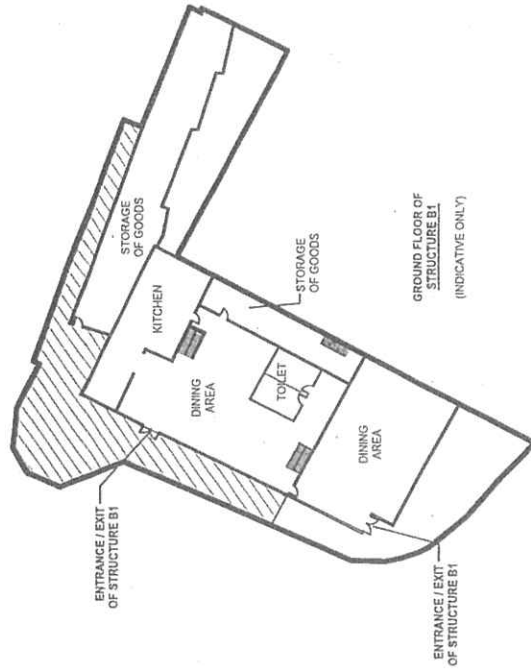
Drawn	Date
	7.7.2021
Revised	Date

APPLICATION SITE  
GOVERNMENT LAND

# DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	: 1,187m <sup>2</sup> (ABOUT)
COVERED AREA	: 980m <sup>2</sup> (ABOUT)
UNCOVERED AREA	: 207m <sup>2</sup> (ABOUT)
PLOT RATIO	: 1.36 (ABOUT)
SITE COVERAGE	: 83% (ABOUT)
NO. OF STRUCTURE	: 2
DOMESTIC GFA	: N/A
NON-DOMESTIC GFA	: 1,610m <sup>2</sup> (ABOUT)
BUILDING HEIGHT	: 4m - 7m (ABOUT)
NO. OF STOREY	: 1 - 2

STRUCTURE	USE	COVERED AREA	GFA	BUILDING HEIGHT
B1	EATING PLACE (G/F)	750m <sup>2</sup> (ABOUT)	750m <sup>2</sup> (ABOUT)	7m (ABOUT)(2-STOREY)
B2	EATING PLACE (1/F)	230m <sup>2</sup> (ABOUT)	230m <sup>2</sup> (ABOUT)	4m (ABOUT)(1-STOREY)
	RAIN SHELTER (CANOPY)			
	TOTAL	980m <sup>2</sup> (ABOUT)	1,610m <sup>2</sup> (ABOUT)	



Drawing No. P04

Ver. 01

Project  
PROPOSED TEMPORARY  
EATING PLACE FOR A  
PERIOD OF 3 YEARS

LOTS 3250 S.B ss.24 S.A RP  
AND 3250 S.B ss.34 RP IN  
D.D. 104, AND ADJOINING GL  
MAL PO, YUEN LONG, NEW  
TERRITORIES

Drawing Title  
LAYOUT PLAN

Scale of A4  
1 : 700

Drawn	OL	Date	12.7.2021
Revised	OL	Date	5.5.2023

## LEGEND

	APPLICATION SITE
	STRUCTURE (ENCLOSED)
	STRUCTURE (CANOPY)

F.S. NOTES :

- 1. SPRINKLER SYSTEM SHALL BE PROVIDED FOR THE ENTIRE STRUCTURE IN ACCORDANCE WITH BS EN 12846:2015 AND FSD CIRCULAR LETTER 5 / 2020 AND SUPPLIED BY A SPRINKLER WATER TANK OF 55,000LIT EFFECTIVE CAPACITY.
- 2. HAZARD CLASSIFICATION : ORDINARY HAZARD GROUP 1 (NOT MORE THAN 15M(H)).
- 3. ALL PIPES SHALL COMPLY WITH BS 1387 MEDIUM GRADE GALVANIZED MILD STEEL PIPE.
- 4. HOSE REEL SYSTEM SHALL BE PROVIDED FOR THE ENTIRE STRUCTURE IN ACCORDANCE WITH CODE OF PRACTICE AND SUPPLIED BY A HOSE REEL WATER TANK OF 2,000LIT EFFECTIVE CAPACITY.
- 5. LENGTH OF HOSE REEL SHALL BE NOT MORE THAN 30M.
- 6. FIRE ALARM SYSTEM SHALL BE PROVIDED FOR THE ENTIRE STRUCTURE IN ACCORDANCE WITH BS5839-1:2017 AND FSD CIRCULAR LETTER 6 / 2021.
- 7. VISUAL FIRE ALARM SYSTEM SHALL BE PROVIDED IN ACCORDANCE WITH BFA 2008.
- 8. EMERGENCY LIGHTING SHALL BE PROVIDED FOR THE ENTIRE STRUCTURE IN ACCORDANCE WITH BS 5266-1:2016 AND BS EN 1838:2013 AND FSD CIRCULAR LETTER 4 / 2021.
- 9. ALL EXITS TO BE CLEARLY INDICATED BY ILLUMINATED 'EXIT' SIGNS IN 180mm ENGLISH AND CHINESE CHARACTERS.
- 10. FIRE EXTINGUISHER SHALL BE PROVIDED FOR THE ENTIRE STRUCTURE.
- 11. ESSENTIAL SUPPLY TO BE TEE-OFF BEFORE THE MAIN INCOME SWITCH OF THE BUILDING.

ABBREVIATIONS

SPR	SPRINKLER	XX	G.I. PIPE, SIZE Ø32 UNLESS OTHERWISE SPECIFIED
HR	HOSE REEL	HR	G.I. PIPE, SIZE Ø50 FOR HR

FLOW SWITCH

68°C SPRINKLER HEAD UNDER SLAB SOFFIT

NEW 200mm SPRINKLER WATER MOTOR ALARM GONG

FIRE HOSE REEL

SPRINKLER CONTROL VALVE SET

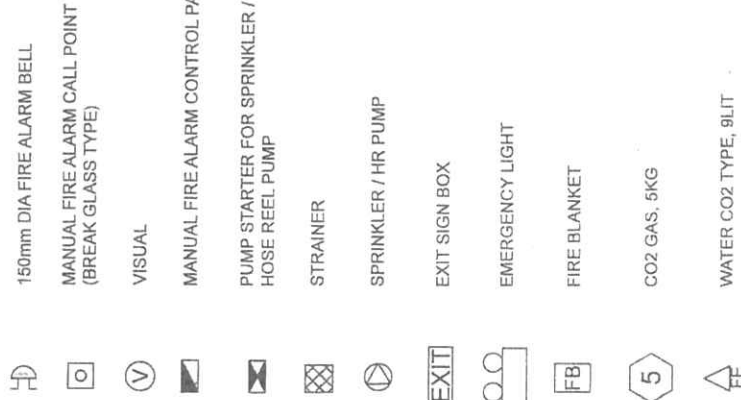
COLOUR CODE FOR PIPE SIZES

PIPE SIZE	COLOUR
32 mm	RED
40 mm	PURPLE
50 mm	YELLOW
65 mm	LIGHT BLUE
100 mm	LIGHT BROWN

LEGEND

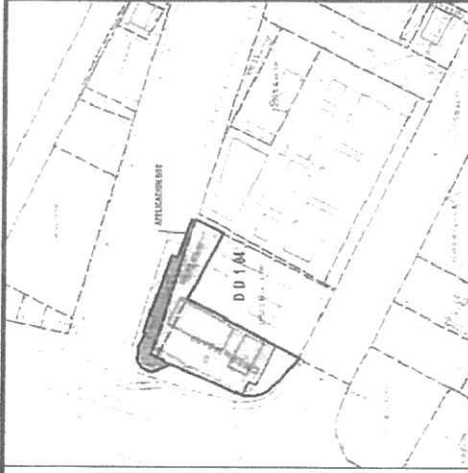


LEGEND



BLOCK PLAN

SCALE N.T.S.



TPB. REF.	
FSD REF.	
B. D. REF.	
V. D. REF.	
HAD REF.	
	</

ENTRANCE / EXIT OF STRUCTURE B1

SPRINKLER CONTROL VALE AND Ø100 SPRINKLER RISER TO ABOVE

Ø50 H.R. PIPE TO ABOVE

Ø50 H.R. PIPE TO ABOVE

STORAGE OF GOODS

KITCHEN

DINING AREA

TOILET

SHelter AREA 239M² (ABOUT) 4M (H) (ABOUT)

STORAGE OF GOODS

55000 LIT SPRINKLER WATER TANK

2000 LIT HR WATER TANK

Ø50 H.R. PIPE TO ABOVE

SCALE : 1:200

GROUND FLOOR OF STRUCTURE B1 (INDICATIVE ONLY)

SCALE : 1:500

ENTRANCE / EXIT OF STRUCTURE B1

STORAGE OF GOODS

KITCHEN

DINING AREA

TOILET

SHelter AREA 239M² (ABOUT) 4M (H) (ABOUT)

STORAGE OF GOODS

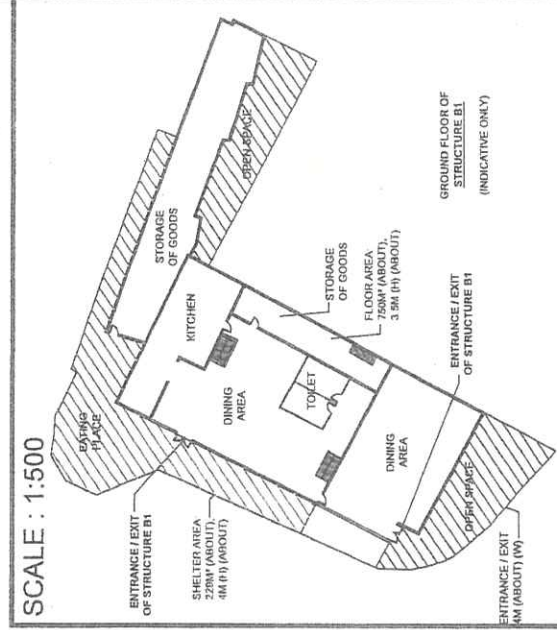
FLOOR AREA: 750M² (ABOUT) 3.5M (H) (ABOUT)

ENTRANCE / EXIT OF STRUCTURE B1

ENTRANCE / EXIT 4M (ABOUT) (H)

GROUND FLOOR OF STRUCTURE B1 (INDICATIVE ONLY)





## GROUND FLOOR OF STRUCTURE

[illegible]

Architectural floor plan of the first floor of Structure B1. The plan shows a large rectangular building with several rooms and outdoor areas. The rooms are labeled: DINING AREA (top left), DINING AREA (middle left), STAIRCASE (bottom left), TOILET (bottom center), and DINING AREA (bottom right). There are also two outdoor areas labeled "SHED" (top right and bottom right). The plan includes a scale of 1:200 and a north arrow pointing towards the top right.

SCALE : 1:200

ST FLOOR OF  
STRUCTURE B1  
(INDICATIVE ONLY)

SHED

DINING AREA

DINING AREA

STAIRCASE

TOILET

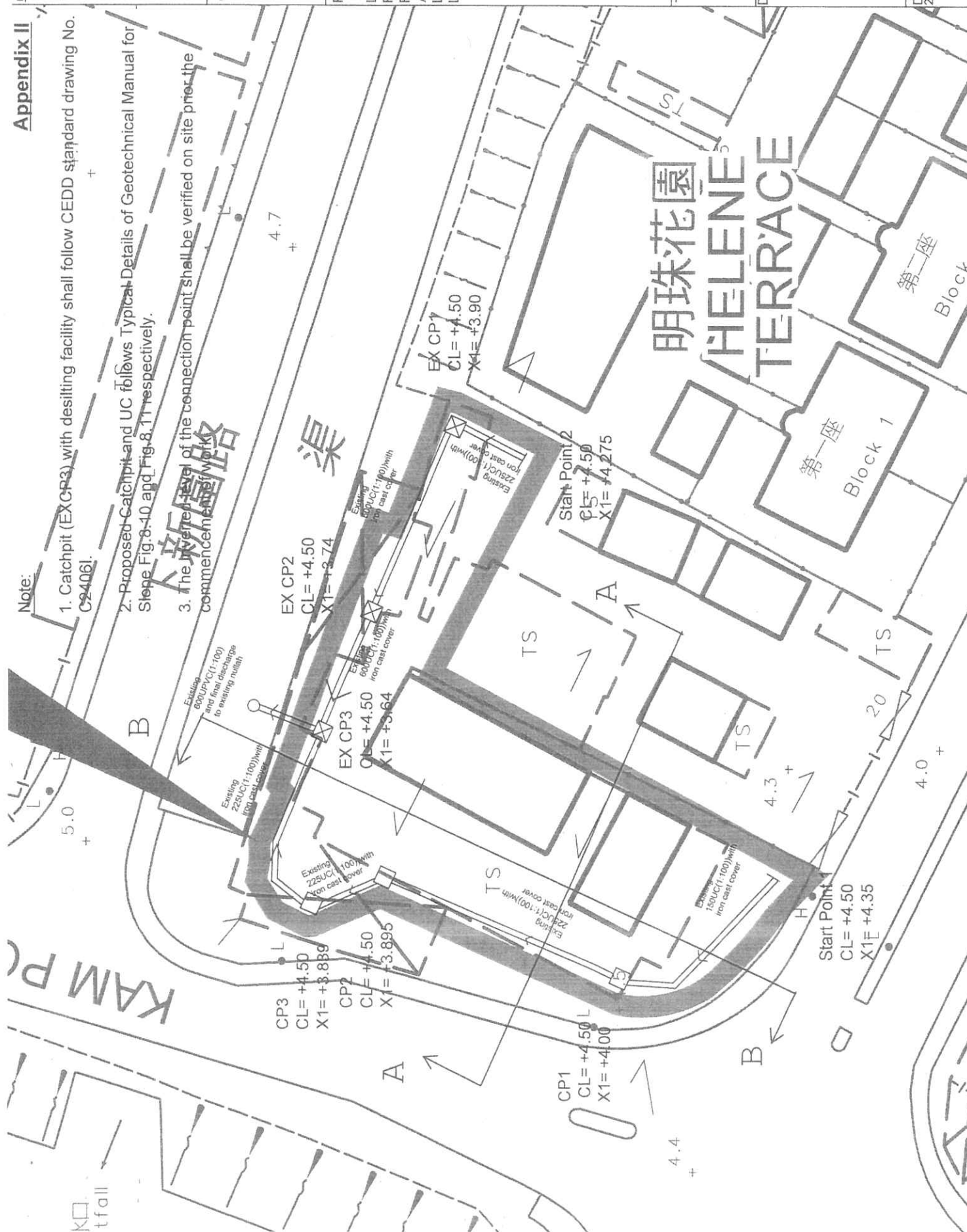
DINING AREA

SHED

**Legend:**

**Note:**

1. Catchpit (EX-CR3) with desilting facility shall follow CEDD standard drawing No. C24061.
2. Proposed Catchpit and UC flows Typical Details of Geotechnical Manual for Slope Fig.8.10 and Fig.8.11 respectively.
3. The inverted level of the connection point shall be verified on site prior the commencement of work.



Existing Drain

☐ Proposed Catchpit☒ Existing Catchpit

Company:

Project:

Lot 3250 S.B ss.24 S.A  
RP and 3250 S.B ss.34  
RP in D.D. 104 and  
Adjoining Government  
Land, Mai Po, Yuen  
Long  
(Drainage Proposal)

Title:

## Drainage layout

Dwg No:	File:
---------	-------

Fig. 1

Date: 20 Jan 2023

Legend:

- Existing Drain
- Proposed Catchpit
- Existing Catchpit

Company:

Project:

Lot 3250 S.B ss.24 S.A  
RP and 3250 S.B ss.34  
RP in D.D. 104 and  
Adjoining Government  
Land, Mai Po, Yuen  
Long  
(Drainage Proposal)

Title:

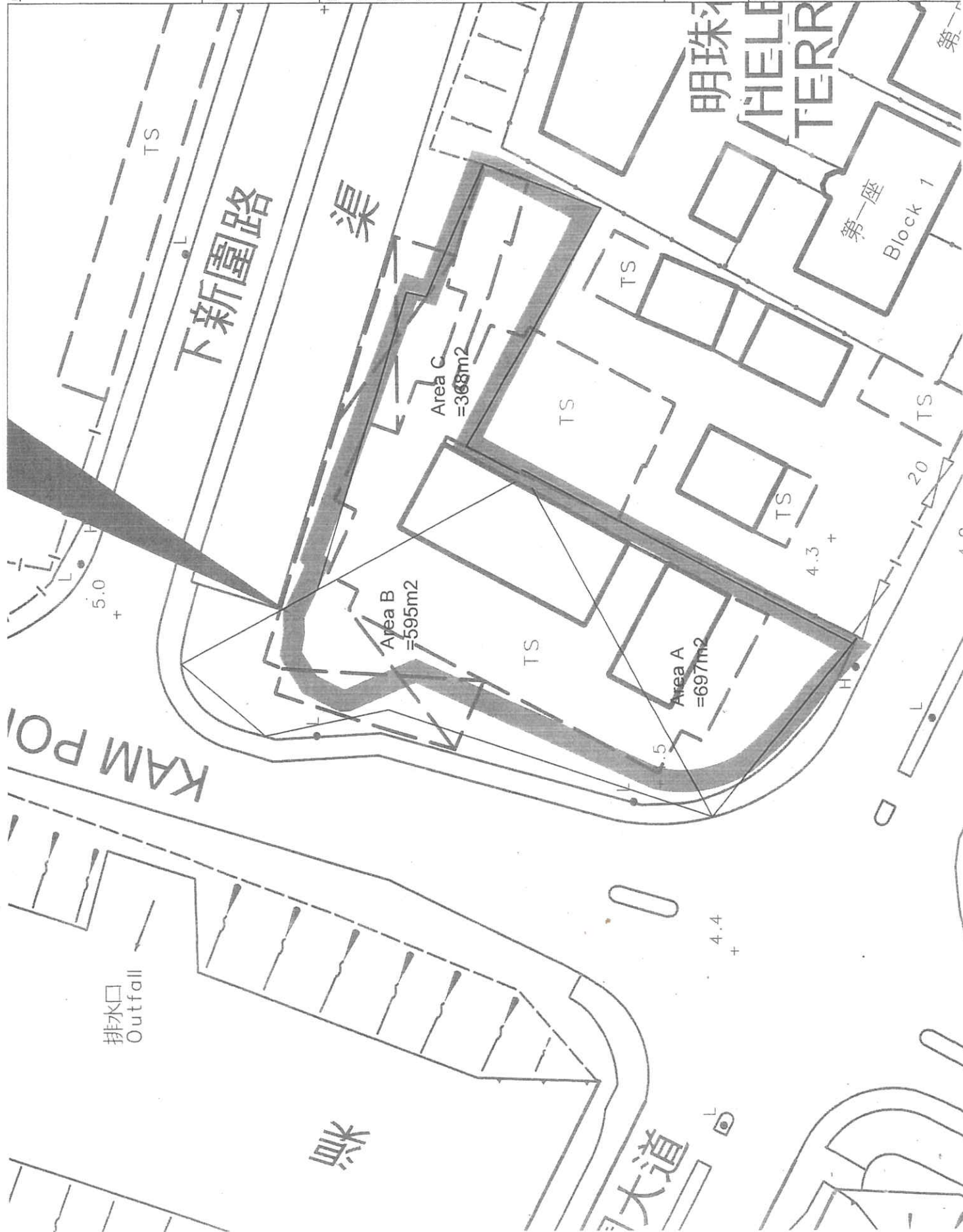
Catchment Zone

Dwg No: File:

Fig.2

Date:

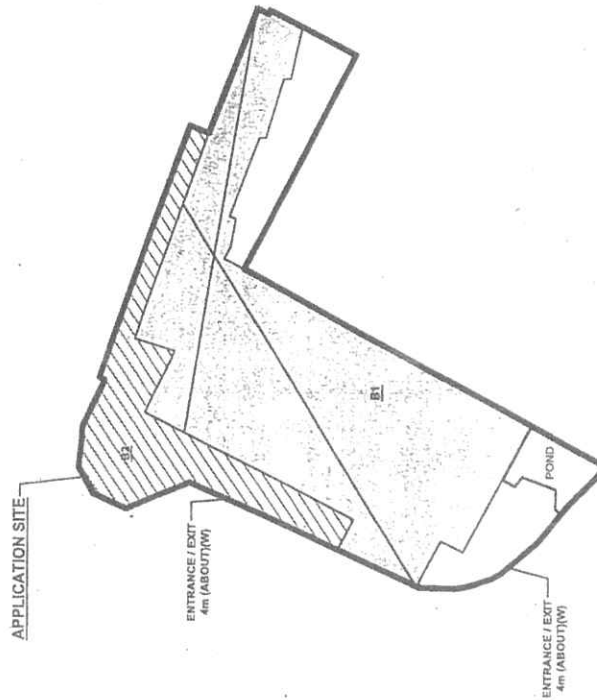
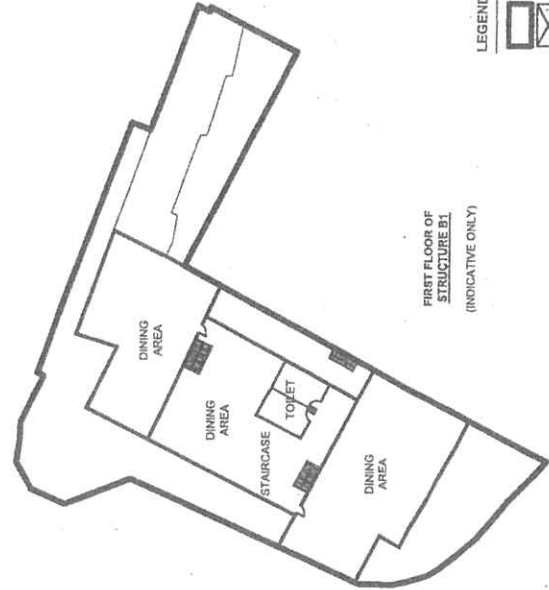
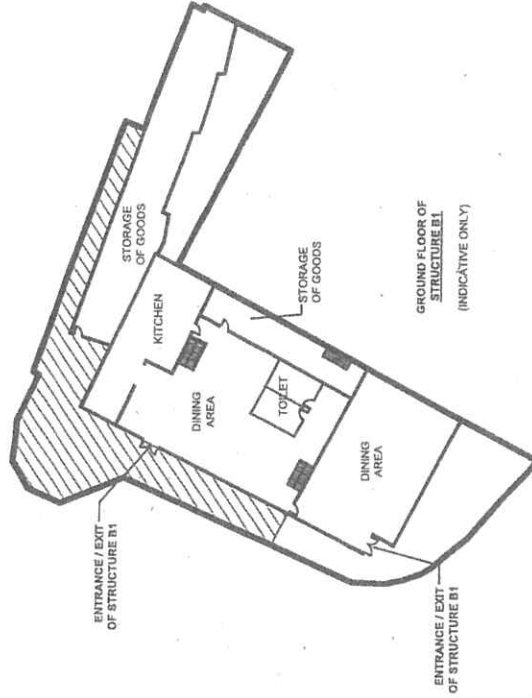
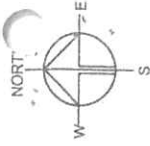
20 Jan 2023



# DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	1,187m <sup>2</sup> (ABOUT)
COVERED AREA	980m <sup>2</sup> (ABOUT)
UNCOVERED AREA	207m <sup>2</sup> (ABOUT)
PLOT RATIO	1.4 (ABOUT)
SITE COVERAGE	82% (ABOUT)
NO. OF STRUCTURE	2
DOMESTIC GFA	N/A
NON-DOMESTIC GFA	1,610m <sup>2</sup> (ABOUT)
BUILDING HEIGHT	4m - 7m (ABOUT)
NO. OF STOREY	1 - 2

STRUCTURE	USE	COVERED AREA	GFA	BUILDING HEIGHT
B1	EATING PLACE (G/F)	750m <sup>2</sup> (ABOUT)	750m <sup>2</sup> (ABOUT)	7m (ABOUT)(2-STOREY)
B2	EATING PLACE (1/F)	230m <sup>2</sup> (ABOUT)	230m <sup>2</sup> (ABOUT)	4m (ABOUT)(1-STOREY)
	RAIN SHELTER (CANOPY)			
	TOTAL	980m <sup>2</sup> (ABOUT)	1,610m <sup>2</sup> (ABOUT)	



LEGEND	APPLICATION SITE
	STRUCTURE (ENCLOSED)
	STRUCTURE (CANOPY)

Drawing No.	P04
Ver.	01
Project	PROPOSED TEMPORARY EATING PLACE FOR A PERIOD OF 3 YEARS
	LOTS 3250 S.B. ss.24 S.A. RP AND 3250 S.B. ss.34 RP IN D.D. 104, AND ADJOINING GL MAI PO, YUEN LONG, NEW TERRITORIES

Drawing Title	LAYOUT PLAN
Scale of A4	1:700
Drawn	
Check	
Date	12.7.2021
Revised	

申請編號 Application No. : A/YL-MP/314

此頁摘自申請人提交的文件。

This page is extracted from applicant's submitted documents.

Company:

Project :

Date:

12/2/2023

Calculation for channels:

Catchment Area of site

Site Area A

= 332 m<sup>2</sup>  
= 0.000332 km<sup>2</sup>

Peak runoff in m<sup>3</sup>/s

= 0.278 x 0.95 x 250 mm/hr x 0.000332 km<sup>2</sup>  
= 0.02192 m<sup>3</sup>/s  
= 1315 liter/min

Site Area B

= 595 m<sup>2</sup>  
= 0.000595 km<sup>2</sup>

Peak runoff in m<sup>3</sup>/s

= 0.278 x 0.95 x 250 mm/hr x 0.000595 km<sup>2</sup>  
= 0.039285 m<sup>3</sup>/s  
= 2357 liter/min

Site Area C

= 368 m<sup>2</sup>  
= 0.000368 km<sup>2</sup>

Peak runoff in m<sup>3</sup>/s

= 0.278 x 0.95 x 250 mm/hr x 0.000368 km<sup>2</sup>  
= 0.024297 m<sup>3</sup>/s  
= 1458 liter/min

Total Peak Runoff for Site A

= 0.02192 m<sup>3</sup>/s

Total Peak Runoff for Site B

= 0.061205 m<sup>3</sup>/s

Total Peak Runoff for Site C

= 0.085502 m<sup>3</sup>/s

1315.218 liter/min  
3672.3105 liter/min  
5130.1425 liter/min

According to (Figure 8.7 - Chart for the Rapid Design of Channels),

For gradient 1:100, 150UC will be suitable for the site A

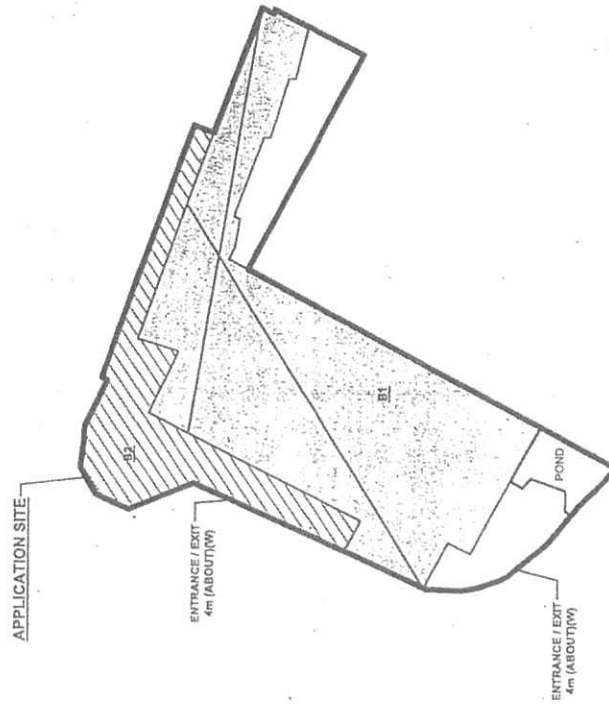
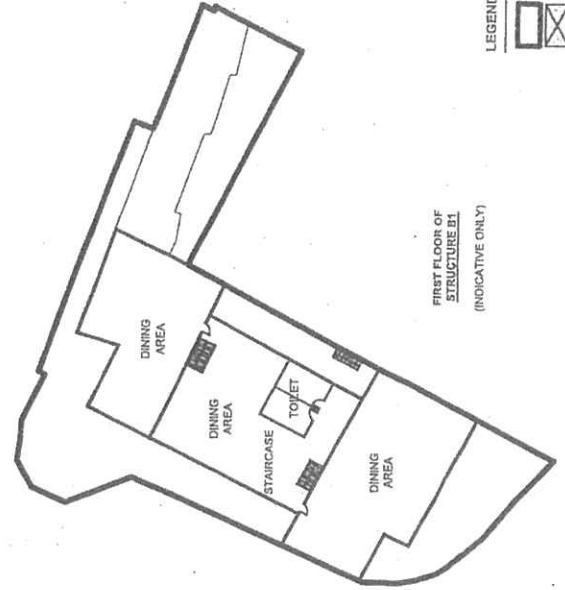
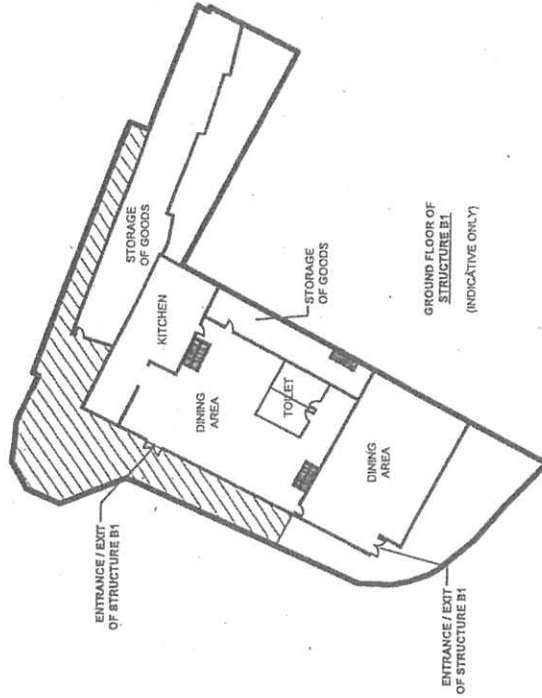
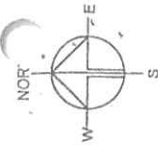
For gradient 1:100, 225UC will be suitable for the site B




For gradient 1:100, 600UC will be suitable for the site C

# DEVELOPMENT PARAMETERS

APPLICATION SITE AREA	: 1,187m <sup>2</sup> (ABOUT)
COVERED AREA	: 980m <sup>2</sup> (ABOUT)
UNCOVERED AREA	: 207m <sup>2</sup> (ABOUT)
PLOT RATIO	: 1.4 (ABOUT)
SITE COVERAGE	: 82% (ABOUT)
NO. OF STRUCTURE	: 2
DOMESTIC GFA	: N/A
NON-DOMESTIC GFA	: 1,610m <sup>2</sup> (ABOUT)
BUILDING HEIGHT	: 4m - 7m (ABOUT)
NO. OF STOREY	: 1 - 2

STRUCTURE	USE	COVERED AREA	GFA	BUILDING HEIGHT
B1	EATING PLACE (G/F)	750m <sup>2</sup> (ABOUT)	750m <sup>2</sup> (ABOUT)	7m (ABOUT)(2-STOREY)
B2	EATING PLACE (1/F)	230m <sup>2</sup> (ABOUT)	230m <sup>2</sup> (ABOUT)	4m (ABOUT)(1-STOREY)
	RAIN SHELTER (CANOPY)			
TOTAL		980m <sup>2</sup> (ABOUT)	1,610m <sup>2</sup> (ABOUT)	



LEGEND	
	APPLICATION SITE
	STRUCTURE (ENCLOSED)
	STRUCTURE (CANOPY)

Drawing No.	Ver.
P04	01
Project	
PROPOSED TEMPORARY EATING PLACE FOR A PERIOD OF 3 YEARS	
LOTS 3250 S.B. 55.24 S.A. RP AND 3250 S.B. 55.34 RP IN D.D. 104, AND ADJOINING GL. MAI PO, YUEN LONG, NEW TERRITORIES	

Drawing Title	LAYOUT PLAN
Scale of A4	1 : 700
Drawn	
Check	
Date	12.7.2021
Revised	

申請編號 Application No.: A/YL-MP/314

此頁摘自申請人提交的文件。

This page is extracted from applicant's submitted documents.

Date: 12/2/2023

Catchment Area of site

Site Area A							
	=	332	m <sup>2</sup>				
	=	0.000332	km <sup>2</sup>				
Peak runoff in m <sup>3</sup> /s	=	0.278	x	0.95	x	250	mm/hr x 0.000332 km <sup>2</sup>
	=	0.02192	m <sup>3</sup> /s				
	=	1315	liter/min				
Site Area B							
	=	595	m <sup>2</sup>				
	=	0.000595	km <sup>2</sup>				
Peak runoff in m <sup>3</sup> /s	=	0.278	x	0.95	x	250	mm/hr x 0.000595 km <sup>2</sup>
	=	0.039285	m <sup>3</sup> /s				
	=	2357	liter/min				
Site Area C							
	=	368	m <sup>2</sup>				
	=	0.000368	km <sup>2</sup>				
Peak runoff in m <sup>3</sup> /s	=	0.278	x	0.95	x	250	mm/hr x 0.000368 km <sup>2</sup>
	=	0.024297	m <sup>3</sup> /s				
	=	1458	liter/min				
Total Peak Runoff for Site A	=	0.02192	m <sup>3</sup> /s	=		1315.218	liter/min
Total Peak Runoff for Site B	=	0.061205	m <sup>3</sup> /s	=		3672.3105	liter/min
Total Peak Runoff for Site C	=	0.085502	m <sup>3</sup> /s	=		5130.1425	liter/min

According to (Figure 8.7 - Chart for the Rapid Design of Channels),  
 For gradient 1:100, 150UC will be suitable for the site A  
 For gradient 1:100, 225UC will be suitable for the site B  
 For gradient 1:100, 600UC will be suitable for the site C

Site Boundary

+5.0

+4.5

Site Boundary

+4.3

### Section A-A

Site Boundary

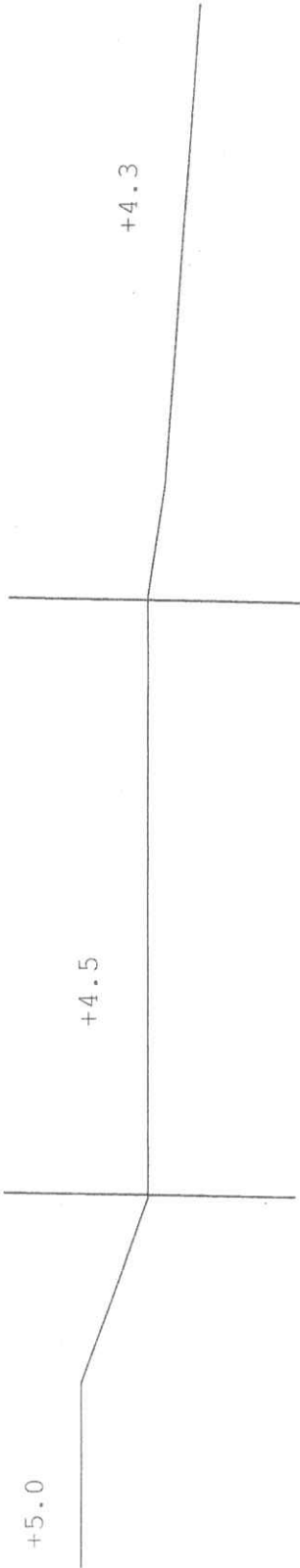
+4.2

+4.5

Site Boundary

### Section B-B

Existing Stream



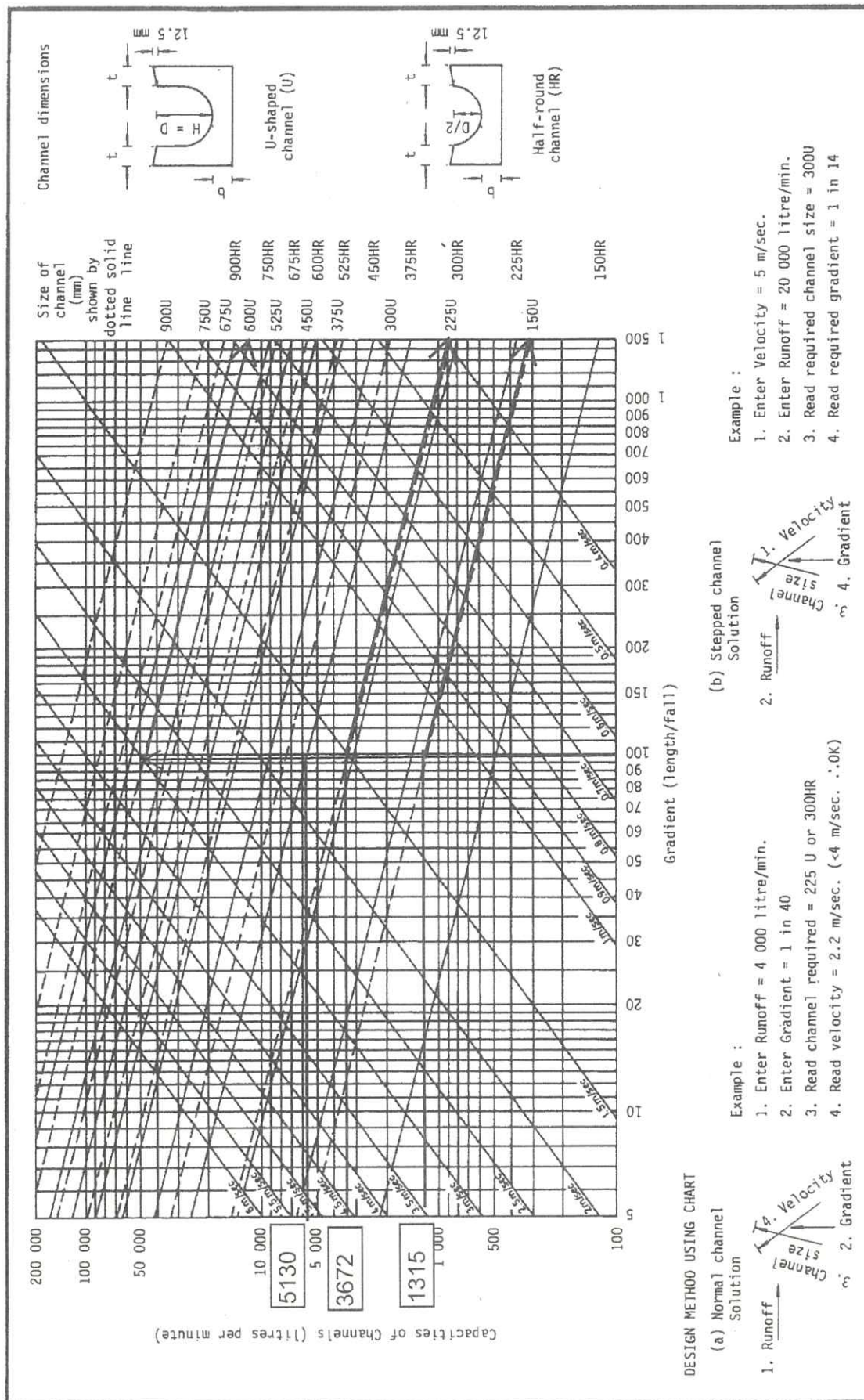
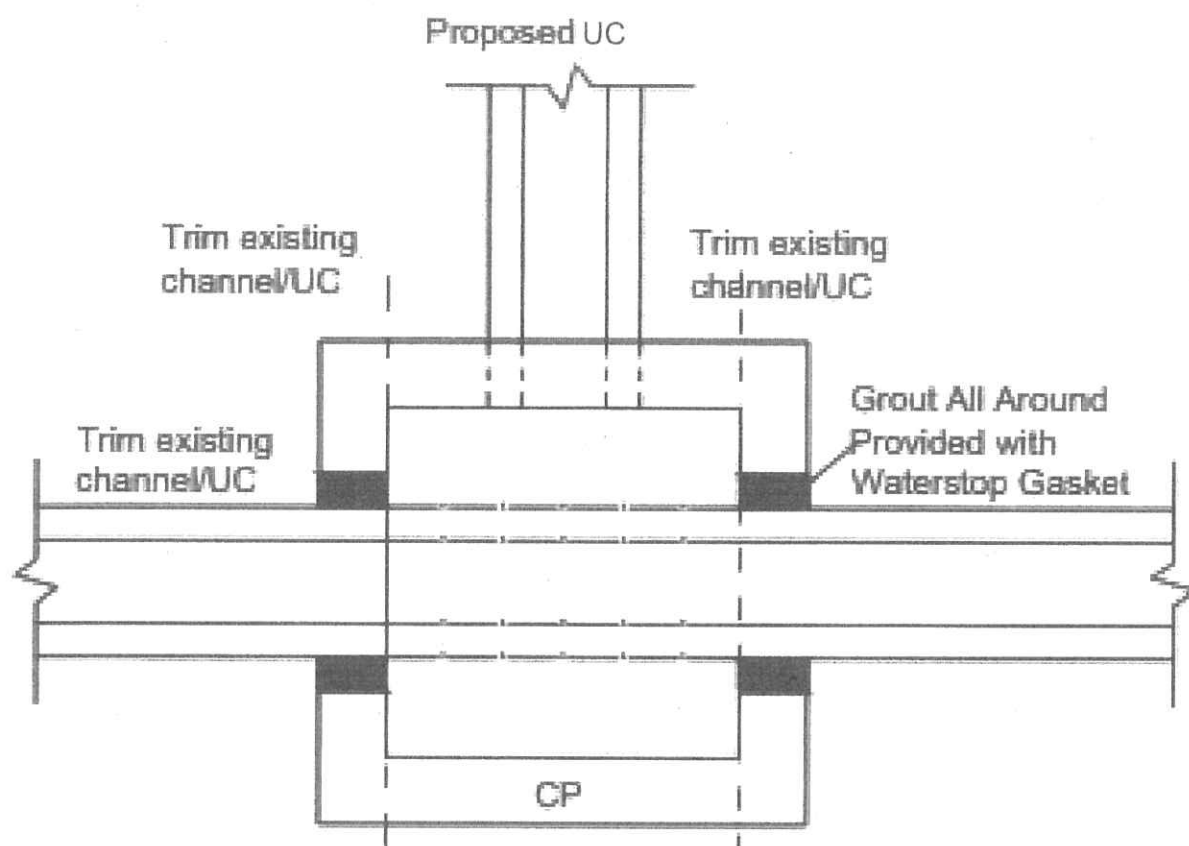


Figure 8.7 - Chart for the Rapid Design of Channels



### CONNECTION DETAILS

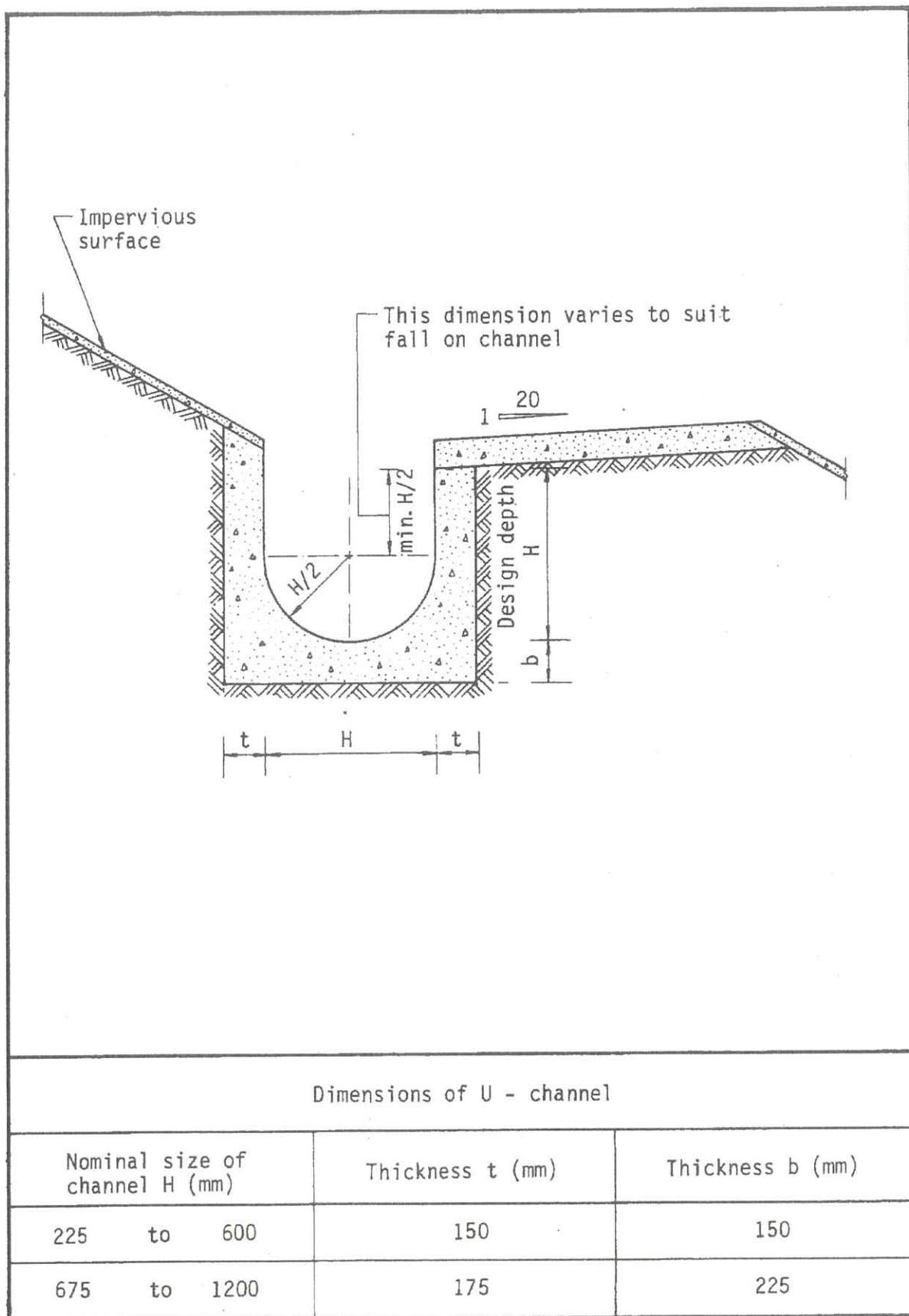


Figure 8.11 - Typical U-channel Details

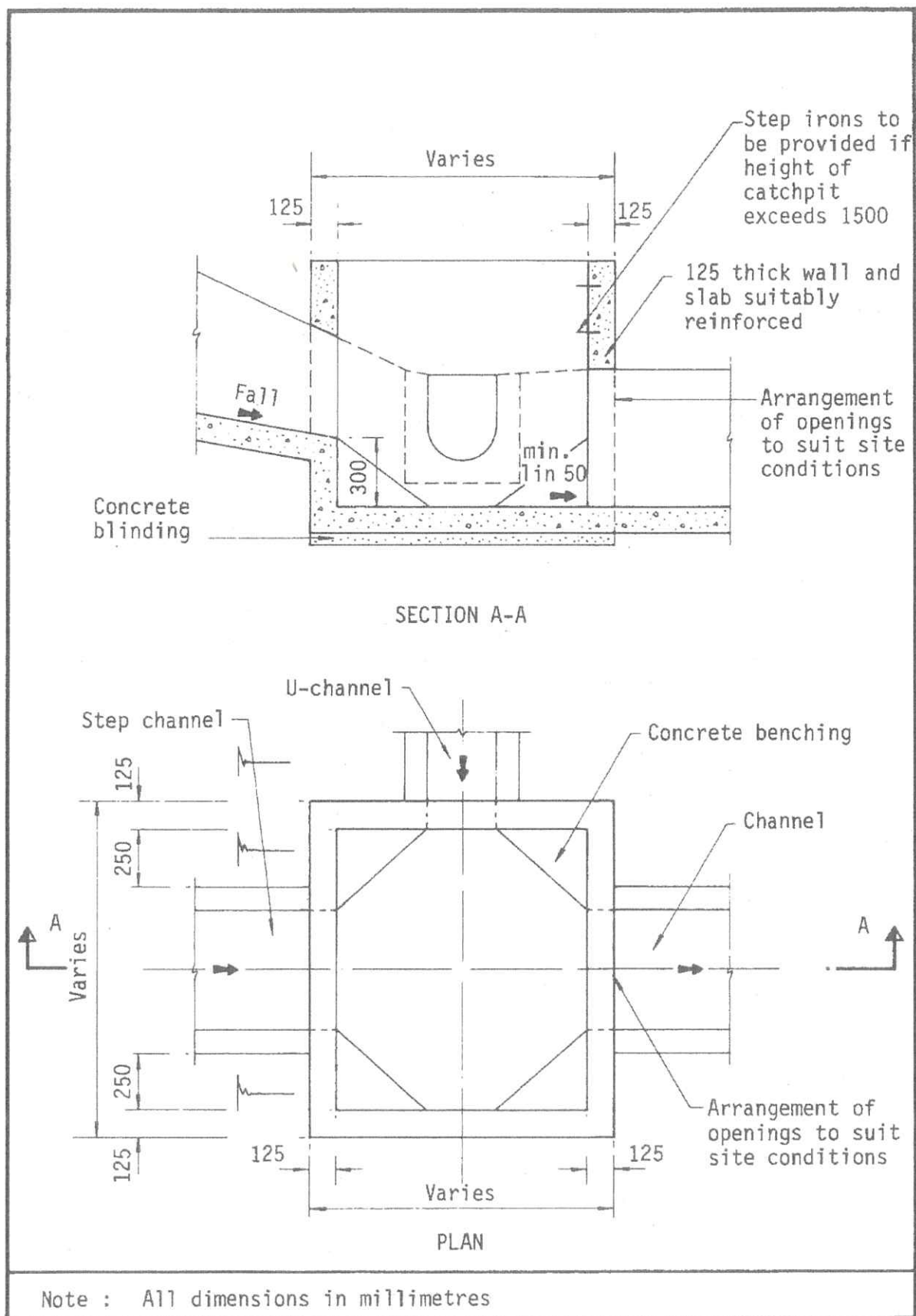
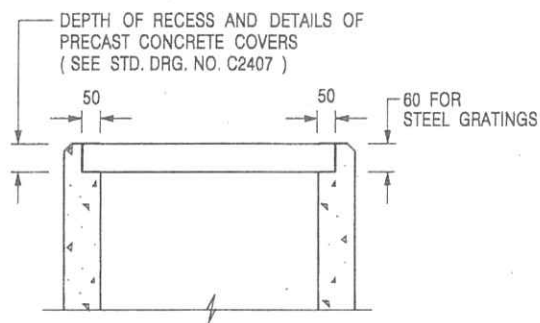


Figure 8.10 - Typical Details of Catchpits



### ALTERNATIVE TOP SECTION FOR PRECAST CONCRETE COVERS / GRATINGS

#### NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS (SEE DETAIL 'A' ON STD. DRG. NO. C2405) OR CONCRETE COVERS (SEE STD. DRG. NO. C2407) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING (SEE DETAIL 'G' ON STD. DRG. NO. C2405; EXCEPT ON THE UPSLOPE SIDE) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS (SEE DSD STD. DRG. NO. DS1043) AT 300 c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'F' ON STD. DRG. NO. C2405.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE

CATCHPIT WITH TRAP  
(SHEET 2 OF 2)



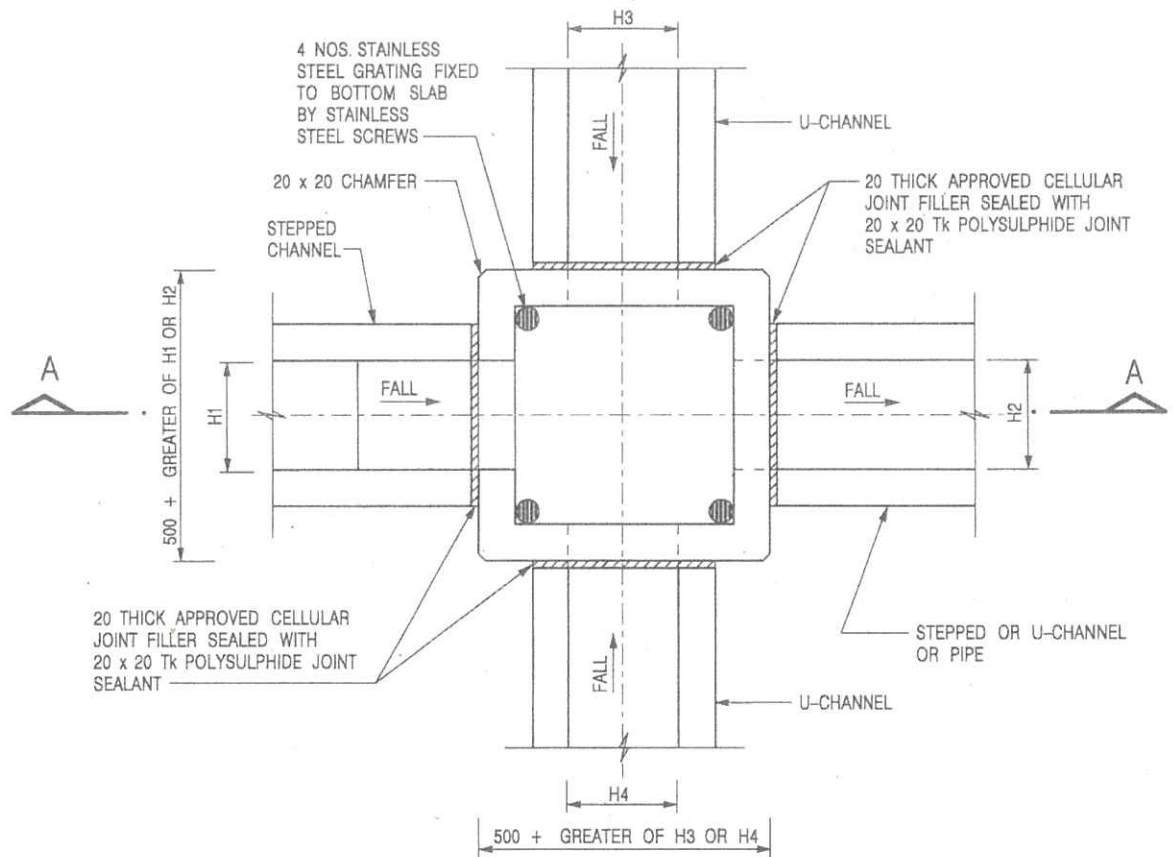
CIVIL ENGINEERING AND  
DEVELOPMENT DEPARTMENT

SCALE 1 : 20

DATE JAN 1991

DRAWING NO.

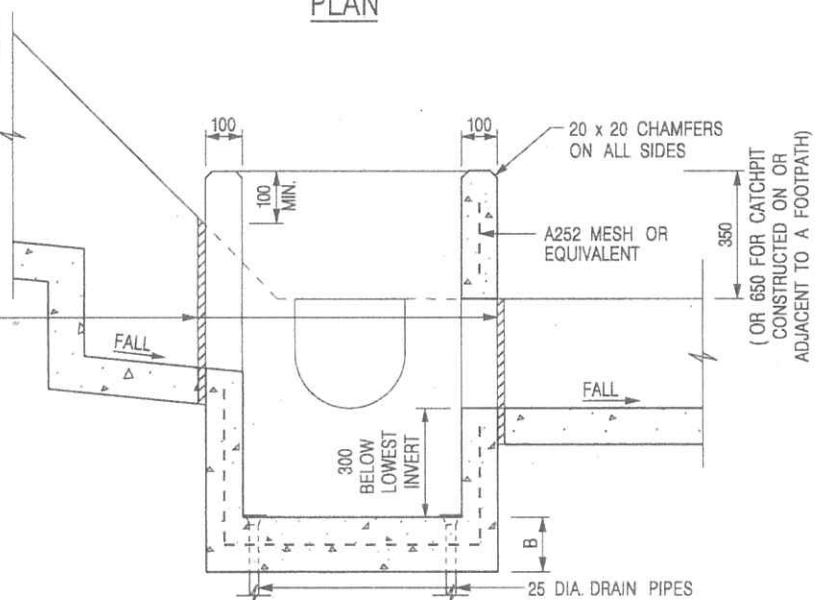
C2406 /2



PLAN

NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175

20 THICK APPROVED CELLULAR JOINT FILLER SEALED WITH 20 x 20 Tk POLYSULPHIDE JOINT SEALANT



SECTION A - A

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 2 FOR OTHER NOTES.

CATCHPIT WITH TRAP  
(SHEET 1 OF 2)

FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE DATE



CIVIL ENGINEERING AND  
DEVELOPMENT DEPARTMENT

SCALE 1 : 20

DATE JAN 1991

DRAWING NO.

C2406 /1



顧問有限公司  
盈卓物業

Our Ref. :  
Your Ref. : TPB/A/YL-MP/342

The Secretary  
Town Planning Board  
15/F, North Point Government office  
333 Java Road  
North Point, Hong Kong

By Email

7 July 2023

Dear Sir,

**1<sup>st</sup> Further Information**

**Temporary Eating Place for a Period of 3 Years in "Commercial/Residential" and  
"Residential (Group D)" Zones, Lots 3250 S.B ss.24 S.A RP and 3250 S.B ss.34 RP  
in D.D.104 and Adjoining Government Land, Mai Po, Yuen Long**

**(S.16 Planning Application No. A/YL-MP/342)**

We are writing to submit Further Information to address departmental comments of the subject application (**Appendix I**).

Should you require more information regarding the application, please contact our Mr. Orpheus LEE at (852) or the undersigned at your convenience. Thank you for your kind attention.

Yours faithfully,

For and on behalf of  
**R-riches Property Consultants Limited**

**Louis TSE**  
Town Planner

cc DPO/FSYLE, PlanD

(Attn.: Ms. Alice CHEUNG  
(Attn.: Mr. Davy LAM

email: ayycheung@pland.gov.hk)  
email: dlylam@pland.gov.hk)



## Responses-to-Comments

**Temporary Eating Place for a Period of 3 Years in “Commercial/Residential” and  
“Residential (Group D)” Zones, Lots 3250 S.B ss.24 S.A RP and 3250 S.B ss.34 RP  
in D.D.104 and Adjoining Government Land, Mai Po, Yuen Long**

**(Application No. A/YL-MP/342)**

(i) A RtoC Table:

Departmental Comments		Applicant's Responses
<b>1. Comments of Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD)</b> <b>(Contact Person: Ms. Christine TAM; Tel: 2762 4185)</b>		
(a)	Please be advised that part of the Fairview Park Boulevard as shown coloured yellow in the attached plan is maintained by HyD. Please provide a detailed layout plan to clearly indicate the location of the vehicular access.	Please be confirmed that no parking and loading/unloading (L/UL) space is proposed at the application site (the Site), hence, no vehicular access is provided. Staff and visitors are required to access the Site by walking.
(b)	The applicant should provide the run-in/out at Fairview Park Boulevard to the satisfaction of TD and HyD in accordance with the latest version of Highways Standard Drawing No. H1113 and H1114, or H5133, H5134 and H5135, whichever set is appropriate to match with the existing adjacent pavement.	Please be confirmed that no parking and L/UL space is proposed at the Site, hence, no run-in/out is provided.
(c)	The applicant should submit the details of relocation works of street furniture at Fairview Park Boulevard for TD and HyD review. No relocation works of street furniture should be implemented unless approval on the relocation proposal is obtained from TD and HyD.	Please be confirmed that no relocation works of street furniture will be implemented.
<b>2. Comments of Commissioner for Transport, Transport Department (C for T)</b> <b>(Contact Person: Mr. LAM Chi Sing; Tel: 2399 2716)</b>		
(a)	The applicant should clarify the access to the subject site in view that right turn from the Fairview Park Boulevard at its junction with Kant Pok Road is prohibited. In	The existing entrance/exit is located at the southwest portion of the Site which is accessible from Fairview Park Boulevard. Please be confirmed that no private car parking

	<p>addition, the proposed access to the subject site, i.e. Fairview Park Boulevard, is not managed by Transport Department. The land status of the access should be clarified by the applicant and consent from the lot owner should be sought.</p>	<p>and L/UL space is provided at the Site. Staff and visitors are required to access the Site by walking.</p> <p>Regarding land status of the access, the applicant will liaise with respective land owner(s) regarding the management and maintenance responsibilities of the local access after planning approval has been granted from the Town Planning Board.</p>
(b)	<p>The applicant should clarify any vehicular access, provision of car parking and loading/unloading spaces are required for the operation of the proposed eating place. In particular, the applicant should demonstrate how the daily delivery by light goods vehicle (LGV) is arranged in view that no private car parking and fixed loading / unloading space is provided at the Site.</p>	<p>Since no parking or L/UL space is provided at the Site, staff and visitors are required to access the Site by walking. For the logistic arrangement, only one 5.5 tonnes lorry will be deployed for delivery of goods to the Site once a week between 10:00am to 11:00am for approximately 10 mins at Ha San Wai Road on the basis that it will not affect traffic flow. Goods/tools to support the daily operation of the Site will either be transported by trolleys or hand-carried by staff. As the Site is the subject of a previous approved S.16 planning application (No. A/YL-MP/314) for the same logistic arrangement has already been adopted and is workable.</p>
(c)	<p>The applicant should clarify should there be any parking spaces for visitors to avoid illegal parking on Kam Pok Road and Ha San Wai Road.</p>	<p>Staff and visitor are required to access the Site by walking. If illegal parking activities were observed in vicinity of the Site, they will be reported to respective departments by staff deployed at the entrance/exit of the Site.</p>
<p><b>3. Comments of Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD)</b>  <b>(Contact Person: Mr. TANG Kin Ming; Tel: 2300 1257)</b></p>		
(a)	<p>In Figure 2, please provide the justification of the partition of three catchment areas. The catchment areas should depend on the geography and topography of the areas.</p>	<p>Noted. The applicant will submit a revised drainage proposal, with provision of peripheral u-channels and catchpits to mitigate potential adverse drainage impact generated by the proposed development after planning approval has been granted from the Board.</p>
(b)	<p>Please advise if any site formation/ land filling works to be carried out under this application. Please note that the overland</p>	<p>The applicant will implement the proposed</p>

	flow from the adjacent lands should not be affected.	drainage facilities at the Site once the drainage proposal is accepted by DSD/the Board.
(c)	According to Area A and calculation chart, the existing 150UC is determined to be undersized. Please review and revise.	
(d)	Please explain why the runoff is from eastern to western if the formation level is flat at +4.5mPD while the surface runoff may flow to adjacent areas.	
(e)	Please advise why u-channel is not provided at the eastern side of the site. Please advise how the overland flow from the above area of the site could be properly intercepted and discharged. The surface runoff will discharge to adjacent site if no u-channel is provided. In general, peripheral surface channels shall be provided along the site boundary to collect the surface runoff accrued on the application site and to intercept the overland flow from the adjacent lands.	
(f)	The existing drainage facilities, to which the stormwater of the development from the subject site would discharge, should be indicated on plan. The relevant connection details to existing nullah should be provided for comment.	
(g)	The applicant should check and ensure the hydraulic capacity of the existing drainage facilities would not be adversely affected by the captioned development. Please provide site photos to show existing condition of the existing drainage facilities which receives the discharge from the application site and demonstrate the existing drainage facilities have spare capacity to cater for the additional discharge, if any, from the proposed development.	

(h)	Please clarify whether any walls or hoarding would be erected along the site boundary. Where walls or hoarding are erected are laid along the site boundary, adequate opening should be provided to intercept the existing overland flow passing through the site. The development should neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent areas, etc.	
(i)	The development should neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent areas, etc.	
(j)	The applicant should consult DLO/YL and seek consent from the relevant owners for any drainage works to be carried out outside his lot boundary before commencement of the drainage works.	
<b>4. Comments of Director of Fire Services, Fire Services Department (D of FS, FSD)</b> <b>(Contact Person: Mr. WONG HO Yin; Tel: 2733 7737)</b>		
(a)	All proposed FSIs shall be incorporated on the FSI proposal.	Noted. The applicant will submit a revised fire service installations proposal after planning approval has been obtained from the Town Planning Board.
(b)	Schematic drawings will not be vetted at this stage and shall be omitted from future submission.	
(c)	The standards and specifications of the proposed visual fire alarms shall be revised as "the FSD Circular Letter No. 2/2012 and the Design Manual: Barrier Free Access 2008".	
(d)	The standards and specifications of the proposed directional and exit signs shall be revised as "BS 5266: Part 1 and the FSD Circular Letter No. 5/2008".	



**Previous s.16 Applications covering the Application Site**

**Approved Applications**

No.	Application No.	Proposed Use(s)/Development(s)	Date of Consideration (RNTPC/TPB)
1.	A/DPA/YL-MP/3	Restaurant and Bar	18.10.1991 ( <i>RNTPC</i> )
2.	A/YL-MP/314	Proposed Temporary Eating Place for a Period of 3 Years	24.9.2021 ( <i>RNTPC</i> ) [Revoked on 24.3.2023]

**Rejected Application**

No.	Application No.	Proposed Use(s)/Development(s)	Date of Consideration (RNTPC/TPB)	Rejection Reason
1.	A/YL-MP/218	Temporary Eating Place (Outside Seating Accommodation of a Restaurant) for a Period of 3 Years	6.9.2013 ( <i>RNTPC</i> )	(1)

**Rejection Reason:**

- (1) The site is a piece of government land with kerbside planting and drainage facilities maintained by the Drainage Services Department. The applicant fails to demonstrate that the development will not obstruct the routine maintenance work, in particular for the drainage facilities at the application site.



**Government Departments' General Comments**

**1. Land Administration**

Comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD):

- the application site (the Site) comprises an Old Schedule Agricultural Lots (OSALs) and Government Land (GL). The OSALs are held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government;
- the GL within the Site (about 233m<sup>2</sup> subject to verification) is covered by a Short Term Tenancy No. STTYL0138 for the purpose of “Temporary Eating Place”;
- Lot Nos. 3250 S.B ss.24 S.A RP and 3250 S.B ss.34 RP in D.D. 104 are covered by Short Term Waiver No. 5369 to permit structures for the purpose of “Temporary Eating Place”; and
- advisory comments as detailed in **Appendix IV**.

**2. Traffic**

Comments of the Commissioner for Transport (C for T):

- no vehicle is allowed to queue back to or reverse onto/from the subject site at any time during the planning approval period;
- advisory comments as detailed in **Appendix IV**.

**3. Environment**

Comments of the Director of Environmental Protection (DEP):

- no environmental complaint relating to the Site was recorded in the past three years;
- in accordance with the revised “Code of Practice on Handling the Environmental Aspects of Temporary uses and Open Storage Sites”, he has no objection to the application; and
- advisory comments as detailed in **Appendix IV**.

**4. Landscape**

Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD):

- the Site falls within “Commercial/Residential” (“C/R”) and “Residential (Group D)” (“R(D)”) zone, which are non-landscape sensitive zonings and no significant landscape impact arising from the proposed development is anticipated; and

- should the Board approve this application, it is considered not necessary to impose a landscape condition as no adverse landscape impact arising from the proposed use within the Site is anticipated in subject “C/R” and “R(D)” zones.

## 5. Drainage

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD):

- no objection in principle to the proposed development from public drainage point of view; and
- should Town Planning Board consider that the application is acceptable from planning point of view, conditions should be stipulated requiring (i) the submission of a revised drainage proposal; and (ii) the implementation and maintenance of the drainage proposal for the development to the satisfaction of the Director of Drainage Services or of the Town Planning Board.

## 6. Fire Safety

Comments of the Director of Fire Services (D of FS):

- he has no objection in principle to the proposal subject to fire service installations being provided to his satisfaction;
- fire service installations (FSIs) are anticipated to be required in consideration of the design/nature of the proposal. The applicant is advised to submit relevant layout plans incorporated with the proposed FSIs to his department for approval; and
- advisory comments as detailed in **Appendix IV**.

## 7. Environmental Hygiene

Comments of the Director of Food and Environmental Hygiene (DFEH):

- she has no adverse comments on the planning application;
- the Site is currently covered by two food licences issued by his Department as follows:

Licence	General Restaurant Licence
Address	G/F & 1/F, DD 104, Lot 3250B, 24A (Portion), Fairview Park Boulevard, Yuen Long, New Territories
Licence Period	3.1.2023 to 2.1.2024

Licence	Light Refreshment Restaurant Licence
Address	G/F, DD 104, Lot 3250B 24A (Portion), Fairview Park Boulevard, San Tin, Yuen Long, New Territories
Licence Period	20.12.2022 to 19.12.2023

- advisory comments as detailed in **Appendix IV**.

## 8. Other Departments

The following government departments have no objection to/no adverse comment on the application and their advisory comments, if any, are in **Appendix IV**:

- Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD);
- Chief Engineer/Railway Development 2-1, Highways Department (CE/RD2-1, HyD);
- Director of Agriculture, Fisheries and Conservation (DAFC);
- Project Manager (West), Civil Engineering and Development Department (PM(W), CEDD);
- Chief Engineer/Construction, Water Supplies Department (CE/C, WSD);
- Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD);
- Commissioner of Police (C of P); and
- District Officer (Yuen Long), Home Affairs Department (DO(YL), HAD).



**Recommended Advisory Clauses**

- (a) should the applicant fail to comply with the approval conditions again resulting in revocation of the planning permission, sympathetic consideration may not be given by the Rural and New Town Planning Committee/Town Planning Board to any further application;
- (b) to note the comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD) that
  - should planning approval be given to the subject planning application, the Short Term Tenancy (STT)/Short Term Waiver (STW) holder(s) will need to apply to LandsD for modification of the STT/STW conditions where appropriate. Besides, given the proposed use is temporary in nature, only application for regularisation or erection of temporary structure(s) will be considered. Application(s) for any of the above will be considered by LandsD acting in the capacity of the landlord or lessor at its sole discretion and there is no guarantee that such application(s) will be approved. If such application(s) is approved, it will be subject to such terms and conditions, including among others the payment of rent or fee, as may be imposed by LandsD;
- (c) to note the comments of the Commissioner for Transport (C for T) that
  - no vehicle is allowed to queue back to or reverse onto/from the subject site at any time during the planning approval period;
- (d) to note the comments of the Director of Environmental Protection (DEP) that
  - the applicant is advised to follow the relevant mitigation measures and requirements in the latest “Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites” to minimise potential environmental impacts on the surrounding areas;
  - to control the only fume and cooking odour emissions from the proposed use, the applicant is advised to follow “Control of Oily Fume and Cooking Odour from Restaurant and Food Business” issued by the Environmental Protection Department ([https://www.epd.gov.hk/epd/sites/default/files/epd/english/environmentinhk/air/guide\\_ref/files/pamphlet\\_oilfume\\_eng.pdf](https://www.epd.gov.hk/epd/sites/default/files/epd/english/environmentinhk/air/guide_ref/files/pamphlet_oilfume_eng.pdf)); and
  - all wastewater collected from the kitchen, including that from basins, sinks and floor drains, should be discharged via a grease trap in accordance with ProPECC PN 5/93 “Drainage Plans subject to Comment by Environmental Protection Department” and effluent discharges from the proposed use are subject to control under the Water Pollution Control Ordinance;
- (e) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD) that
  - the development should neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent areas, etc.; and

- the applicant should consult DLO/YL and seek consent from the relevant owners for any drainage works to be carried out outside the lot boundary before commencement of the drainage works;
- (f) to note the comments of the Director of Fire Services (D of FS) that
- the submitted layout plans incorporated with the proposed FSIs should be drawn to scale and depicted with dimensions and nature of occupancy; and the location of the proposed FSIs should be clearly marked on the layout plans;
  - if the proposed structure(s) is required to comply with the Building Ordinance (BO) (Cap. 123), detailed fire service requirements will be formulated upon receipt of formal submission of general building plans; and
  - licensing requirements would be formulated upon receipt of formal application via the licensing authority;
- (g) to note the comments of the Director of Food and Environmental Hygiene (DFEH) that
- no Food and Environmental Hygiene Department's (FEHD) facilities will be affected;
  - proper licence/permit issued by this Department is required if there is any food business/catering service/activities regulated by DFEH under the Public Health and Municipal Services Ordinance (Cap. 132) and other relevant legislation for the public. The operation of any eating place should be under a food licence issued by the FEHD. If the operator intends to operate a restaurant business in the territory, a restaurant licence should be obtained from FEHD in accordance with the Public Health and Municipal Services Ordinance (Cap. 132). For the operation of other types of food business, relevant food licences should also be obtained from FEHD in accordance with Cap. 132. Under the Food Business Regulation, Cap. 132X, a Food Factory Licence should be obtained from this department for food business which involves the preparation of food for sale for human consumption off the premises before commencement of such business. The application for food business licences under Cap. 132, if acceptable by FEHD, will be referred to relevant government departments for comment. If there is no objection from the departments concerned, a letter of requirements will be issued to the applicant for compliance and the licence will be issued upon compliance of all the requirements;
  - the operation of the eating place must not cause any environmental nuisance to the surrounding. The refuse generated by the proposed eating place are regarded as trade refuse. The management or owner of the site is responsible for its removal and disposal at their expenses. The operation of any business should not cause any obstruction or environmental nuisance in the vicinity; and
  - proper licence issued by this Department is required if related place of entertainment is involved. Any person who desires to keep or use any place of public entertainment for example a theatre and cinema or a place, building, erection or structure, whether temporary or permanent, on one occasion or more, capable of accommodating the public presenting or carrying on public entertainment within Places of Public Entertainment Ordinance (Cap. 172) and its subsidiary legislation, such as a concert, opera, ballet, stage performance or other musical, dramatic or theatrical entertainment, cinematograph or laser projection display or an amusement

ride and mechanical device which is designed for amusement, a Place of Public Entertainment Licence (or Temporary Place of Public Entertainment Licence) should be obtained from FEHD whatever the general public is admitted with or without payment;

- (h) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that
- there is no record of approval granted by Building Authority (BA) for the existing structures at the Site;
  - the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
  - the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of B(P)R at building plan submission stage;
  - if the existing structures (not being a New Territories Exempted House) are erected on leased land without the approval of BA, they are unauthorised building works (UBWs) under BO and should not be designated for any proposed use under the captioned application;
  - for UBWs erected on leased land, enforcement action may be taken by BD to effect their removal in accordance with the prevailing enforcement policy against UBWs as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBWs on the Site under BO;
  - before any new building works (including containers/open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent of BA should be obtained, otherwise they are UBWs under BO. An Authorised Person should be appointed as the co-ordinator for the proposed building works in accordance with BO;
  - if the proposed use under application is subject to issue of a license, the applicant should be reminded that any existing structures on the application site intended to be used for such purposes are required to comply with the building safety and other relevant requirements as may be imposed by the licensing authority;
  - any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings are subject to the control of Part VII of the B(P)R; and
  - detailed checking under the BO will be carried out at building plan submission stage.



☐ Urgent ☐ Return Receipt Requested ☐ Sign ☐ Encrypt ☐ Mark Subject Restricted ☐ Expand personal&publi



**[Possible SPAM] A/YL-MP/342 DD 104 Mai Po**

13/06/2023 02:29

From:

To:

File Ref:

tpbpd <tpbpd@pland.gov.hk>

A/YL-MP/342

Lots 3250 S.B ss.24 S.A RP and 3250 S.B ss.34 RP in D.D. 104 and Adjoining Government Land, Mai Po

Site area: About 1,187sq.m Includes Government Land of about 217sq.m

Zoning: "Commercial/Residential" and "Res (Group D)"

Applied use: Eating Place / ??? Vehicle Parking

Dear TPB Members,

Application 314 revoked in March for failure to fulfill various fire and drainage conditions.

Solution, make a fresh application because it is common knowledge that PlanD will support and members will ask no questions.

However the location so close to large residential developments should be a cause for concern.

The impact of fires and unhygienic practices on the local community can be significant.

Are members going to reward the applicant for failure to ensure that the most basic services are in place?

Mary Mulvihill

