

2024年 2月 2 3日  
此文件在 收到。城市規劃委員會  
只會在收到所有必要的資料及文件後才正式確認收到  
申請的日期。

This document is received on 23 FEB 2024.  
The Town Planning Board will formally acknowledge  
the date of receipt of the application only upon receipt  
of all the required information and documents.

Form No. S16-III  
表格第 S16-III 號

**APPLICATION FOR PERMISSION  
UNDER SECTION 16 OF  
THE TOWN PLANNING ORDINANCE  
(CAP. 131)**

根據《城市規劃條例》(第131章)  
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of Land  
and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas,  
or Renewal of Permission for such Temporary Use or Development\***

**適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行  
為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議\***

*\*Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.*

*\*其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。*

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:  
[https://www.tpb.gov.hk/en/plan\\_application/apply.html](https://www.tpb.gov.hk/en/plan_application/apply.html)

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：  
[https://www.tpb.gov.hk/tc/plan\\_application/apply.html](https://www.tpb.gov.hk/tc/plan_application/apply.html)

**General Note and Annotation for the Form**

**填寫表格的一般指引及註解**

- # "Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made  
「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人
- & Please attach documentary proof 請夾附證明文件
- ^ Please insert number where appropriate 請在適當地方註明編號
- Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」
- Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明
- Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2400400 3/2 by hand

Form No. S16-III 表格第 S16-III 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A14C-NTM 1471
	Date Received 收到日期	23 FEB 2024

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).  
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處(熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓)索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.  
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

### 1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☒ Organisation 機構)

Evangelical Lutheran Church Social Service - Hong Kong

### 2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Steps Consultants Limited

### 3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lots Nos. 1354, 1356, 1357, 1358, 1359 (Part), 1366 (Part), 1367, 1369, 1370, 1371 S.A, 1371 S.B, 1372, 1373 RP, 1374, 1376, 1392 RP (Part), 1399 (Part), 1401 (Part), 1402, 1403, 1405, 1406, 1407, 1408, 1410, 1413, 1420, 1421, 1422, 1468, 1469, 1473, 1474, 1476, 1478, 1479, 1480, 1481, 1482, 1483, 1484, 1485 (Part), 1486, 1487, 1488, 1489, 1490, 1491, 1492, 1494, 1496, 1502 S.B (Part), 1504, 1505, 1619 (Part), 1622 and 1636 in D.D. 105 and Adjoining Government Land in Ngau Tam Mei, Yuen Long, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 21,602 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 30,021 sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	2,131 sq.m 平方米 <input checked="" type="checkbox"/> About 約



(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Ngau Tam Mei Outline Zoning Plan No. S/YL-NTM/12
(e) Land use zone(s) involved 涉及的土地用途地帶	"Residential (Group C)"
(f) Current use(s) 現時用途	Transitional Housing Development  (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

#### 4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☐ is the sole "current land owner"<sup>#&</sup> (please proceed to Part 6 and attach documentary proof of ownership).  
是唯一的「現行土地擁有人」<sup>#&</sup> (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners"<sup>#&</sup> (please attach documentary proof of ownership).  
是其中一名「現行土地擁有人」<sup>#&</sup> (請夾附業權證明文件)。
- ☒ is not a "current land owner"<sup>#</sup>.  
並不是「現行土地擁有人」<sup>#</sup>。

- ☐ The application site is entirely on Government land (please proceed to Part 6).  
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

#### 5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at ..... 6/2/2024 ..... (DD/MM/YYYY), this application involves a total of ..... 2 ..... "current land owner(s)"<sup>#</sup>.  
根據土地註冊處截至 ..... 年 ..... 月 ..... 日的記錄，這宗申請共牽涉 ..... 名「現行土地擁有人」<sup>#</sup>。

(b) The applicant 申請人 –

- ☒ has obtained consent(s) of ..... 2 ..... "current land owner(s)"<sup>#</sup>.  
已取得 ..... 名「現行土地擁有人」<sup>#</sup>的同意。

Details of consent of "current land owner(s)" <sup>#</sup> obtained 取得「現行土地擁有人」 <sup>#</sup> 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)
2	Lots Nos. 1354, 1356, 1357, 1358, 1359 (Part), 1366 (Part), 1367, 1369, 1370, 1371 S.A, 1371 S.B, 1372, 1373 RP, 1374, 1376, 1392 RP (Part), 1399 (Part), 1401 (Part), 1402, 1403, 1405, 1406, 1407, 1408, 1410, 1413, 1420, 1421, 1422, 1468, 1469, 1473, 1474, 1476, 1478, 1479, 1480, 1481, 1482, 1483, 1484, 1485 (Part), 1486, 1487, 1488, 1489, 1490, 1491, 1492, 1494, 1496, 1502 S.B (Part), 1504, 1505, 1619 (Part), 1622 and 1636 in D.D. 105	6/2/2024

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified ..... “current land owner(s)”#  
已通知 ..... 名「現行土地擁有人」#。

Details of the “current land owner(s)”# notified 已獲通知「現行土地擁有人」#的詳細資料		
No. of ‘Current Land Owner(s)’ 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):  
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the “current land owner(s)” on \_\_\_\_\_ (DD/MM/YYYY)#&  
於\_\_\_\_\_ (日/月/年)向每一名「現行土地擁有人」#郵遞要求同意書&

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on \_\_\_\_\_ (DD/MM/YYYY)&  
於\_\_\_\_\_ (日/月/年)在指定報章就申請刊登一次通知&
- ☐ posted notice in a prominent position on or near application site/premises on \_\_\_\_\_ (DD/MM/YYYY)&  
於\_\_\_\_\_ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知&
- ☐ sent notice to relevant owners’ corporation(s)/owners’ committee(s)/mutual aid committee(s)/management office(s) or rural committee on \_\_\_\_\_ (DD/MM/YYYY)&  
於\_\_\_\_\_ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會&

Others 其他

- ☐ others (please specify)  
其他（請指明）

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Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料



**6. Type(s) of Application 申請類別****(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas**

位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展

(For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B))

(如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)

(a) Proposed use(s)/development  
擬議用途/發展

(Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)

(b) Effective period of permission applied for  
申請的許可有效期☐ year(s) 年 .....☐ month(s) 個月 .....**(c) Development Schedule 發展細節表**Proposed uncovered land area 擬議露天土地面積 .....sq.m ☐About 約Proposed covered land area 擬議有上蓋土地面積 .....sq.m ☐About 約

Proposed number of buildings/structures 擬議建築物/構築物數目 .....

Proposed domestic floor area 擬議住用樓面面積 .....sq.m ☐About 約Proposed non-domestic floor area 擬議非住用樓面面積 .....sq.m ☐About 約Proposed gross floor area 擬議總樓面面積 .....sq.m ☐About 約

Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)

.....

.....

.....

.....

Proposed number of car parking spaces by types 不同種類停車位的擬議數目

Private Car Parking Spaces 私家車車位 .....

Motorcycle Parking Spaces 電單車車位 .....

Light Goods Vehicle Parking Spaces 輕型貨車泊車位 .....

Medium Goods Vehicle Parking Spaces 中型貨車泊車位 .....

Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 .....

Others (Please Specify) 其他 (請列明) .....

Proposed number of loading/unloading spaces 上落客貨車位的擬議數目

Taxi Spaces 的士車位 .....

Coach Spaces 旅遊巴車位 .....

Light Goods Vehicle Spaces 輕型貨車車位 .....

Medium Goods Vehicle Spaces 中型貨車車位 .....

Heavy Goods Vehicle Spaces 重型貨車車位 .....

Others (Please Specify) 其他 (請列明) .....

Proposed operating hours 擬議營運時間			
.....			
.....			
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤/ 有關建築物?	Yes 是	<input type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用))	
	No 否	<input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度)  <input type="checkbox"/>	
(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。)			
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?	Yes 是	<input type="checkbox"/> Please provide details 請提供詳情 ..... ..... .....	
	No 否	<input type="checkbox"/>	
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程?	Yes 是	<input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地/池塘界線，以及河道改道、填塘、填土及/或挖土的細節及/或範圍)  <input type="checkbox"/> Diversion of stream 河道改道  <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 ..... m 米 <input type="checkbox"/> About 約  <input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 ..... m 米 <input type="checkbox"/> About 約  <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 ..... m 米 <input type="checkbox"/> About 約	
	No 否	<input type="checkbox"/>	
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?	On environment 對環境 On traffic 對交通 On water supply 對供水 On drainage 對排水 On slopes 對斜坡 Affected by slopes 受斜坡影響 Landscape Impact 構成景觀影響 Tree Felling 砍伐樹木 Visual Impact 構成視覺影響 Others (Please Specify) 其他 (請列明)		Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/>
	..... .....		



	Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)
.....	
.....	
.....	
.....	
.....	

<b>(B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas</b> 位於鄉郊地區或受規管地區臨時用途/發展的許可續期	
(a) Application number to which the permission relates 與許可有關的申請編號	A/ <u>YL-NTM</u> / <u>431</u>
(b) Date of approval 獲批給許可的日期	<u>14/1/2022</u> ..... (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期	<u>14/1/2025</u> ..... (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	Proposed Temporary Transitional Housing with Ancillary Facilities for a Period of 3 Years
(e) Approval conditions 附帶條件	<div style="margin-bottom: 10px;"> <input type="checkbox"/> The permission does not have any approval condition          許可並沒有任何附帶條件       </div> <div style="margin-bottom: 10px;"> <input type="checkbox"/> Applicant has complied with all the approval conditions          申請人已履行全部附帶條件       </div> <div style="margin-bottom: 10px;"> <input checked="" type="checkbox"/> Applicant has not yet complied with the following approval condition(s):          申請人仍未履行下列附帶條件：  <u>Please refer to Planning Statement</u> </div> <div style="margin-bottom: 10px;">         Reason(s) for non-compliance:          仍未履行的原因：  <u>Please refer to Planning Statement</u> </div> <div>         (Please use separate sheets if the space above is insufficient)          (如以上空間不足，請另頁說明)       </div>
(f) Renewal period sought 要求的續期期間	<input checked="" type="checkbox"/> year(s) 年 ..... <u>3</u> ..... <input type="checkbox"/> month(s) 個月 .....

## 7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.  
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

Please refer to Planning Statement



**8. Declaration 聲明**

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.  
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.  
本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature  
簽署



☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

T.M. Kong

Town Planner

Name in Block Letters  
姓名（請以正楷填寫）

Position (if applicable)  
職位（如適用）

Professional Qualification(s) ☐ Member 會員 / ☐ Fellow of 資深會員

專業資格

☐ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他 .....



on behalf of  
代表

Steps Consultants Limited

☐ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

6/2/2024

(DD/MM/YYYY 日/月/年)

**Remark 備註**

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

**Warning 警告**

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

**Statement on Personal Data 個人資料的聲明**

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and

處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

- (b) facilitating communication between the applicant and the Secretary of the Board/Government departments.

方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要	
(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information. ) (請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)	
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置／地址	Lots Nos. 1354, 1356, 1357, 1358, 1359 (Part), 1366 (Part), 1367, 1369, 1370, 1371 S.A, 1371 S.B, 1372, 1373 RP, 1374, 1376, 1392 RP (Part), 1399 (Part), 1401 (Part), 1402, 1403, 1405, 1406, 1407, 1408, 1410, 1413, 1420, 1421, 1422, 1468, 1469, 1473, 1474, 1476, 1478, 1479, 1480, 1481, 1482, 1483, 1484, 1485 (Part), 1486, 1487, 1488, 1489, 1490, 1491, 1492, 1494, 1496, 1502 S.B (Part), 1504, 1505, 1619 (Part), 1622 and 1636 in D.D. 105 and Adjoining Government Land in Ngau Tam Mei, Yuen Long, New Territories
Site area 地盤面積	21,602 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 2,131 sq. m 平方米 <input checked="" type="checkbox"/> About 約)
Plan 圖則	Approved Ngau Tam Mei Outline Zoning Plan No. S/YL-NTM/12
Zoning 地帶	"Residential (Group C)"
Type of Application 申請類別	<input type="checkbox"/> Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____ <input checked="" type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 <input checked="" type="checkbox"/> Year(s) 年 <u>3</u> <input type="checkbox"/> Month(s) 月 _____
Applied use/ development 申請用途/發展	Temporary Transitional Housing and Ancillary Facilities for a Period of 3 Years



(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	29321 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	1.36 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	700 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.03 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	4	
	Non-domestic 非住用	2	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	17 m 米 <input checked="" type="checkbox"/> (Not more than 不多於)	
		4 Storeys(s) 層 <input checked="" type="checkbox"/> (Not more than 不多於)	
	Non-domestic 非住用	16 m 米 <input checked="" type="checkbox"/> (Not more than 不多於)	
		4 Storeys(s) 層 <input checked="" type="checkbox"/> (Not more than 不多於)	
(iv) Site coverage 上蓋面積		60 %	<input checked="" type="checkbox"/> About 約
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數  Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____		
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數  Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____ _____		4

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	<u>Chinese</u> 中文	<u>English</u> 英文
<b><u>Plans and Drawings 圖則及繪圖</u></b>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input type="checkbox"/>
<hr/>		
<b><u>Reports 報告書</u></b>		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估（噪音、空氣及／或水的污染）	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input type="checkbox"/>
<hr/>		
<hr/>		
Note: May insert more than one 「✓」, 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。



## GENERAL NOTES

- ALL SITE FORMATION, FOUNDATION, STRUCTURAL DETAILS (INCLUDING DESIGNED IMPOSED LOADS) AND CALCULATIONS SHALL BE SUBMITTED SEPARATELY.
- DRAINAGE PLANS AND DETAILS SHALL BE SUBMITTED SEPARATELY.
- ALL CLADDING DETAILS AND CALCULATIONS SHALL BE SUBMITTED SEPARATELY.
- ALL PARAPETS AND RAILINGS SHALL BE 1100MM HIGH MIN. ABOVE FINISHED FLOOR LEVEL.
- FOR HABITABLE ROOMS, CLEAR HEIGHT BETWEEN FINISHED FLOOR LEVEL TO THE UNDERSIDE OF BEAMS SHALL BE 2300MM MIN.
- FOR HABITABLE ROOMS, CLEAR HEIGHT BETWEEN FINISHED FLOOR LEVEL TO THE CEILING SHALL BE 2500MM MIN.
- FOR HABITABLE ROOMS, CLEAR HEIGHT BETWEEN FINISHED FLOOR LEVEL TO THE UNDERSIDE OF BEAM IN STAIRCASES AND EXIT ROUTES SHALL BE 2000MM MIN.
- THE INTERNAL SURFACE OF EVERY KITCHEN TO 1200MM HIGH MIN. SHALL BE FACED WITH TILES OR RENDERED IN CEMENT MORTAR OR OTHER NON-ABSORBENT MATERIAL. ALL TOILETS, REFUSE ROOMS TO HAVE TILED FLOORS AND FULL HEIGHT GLAZED TILED WALL.
- ALL STAIRCASES OF 1050MM WIDE OR MORE SHALL BE PROVIDED WITH HANDRAILS ON BOTH SIDES.
- ALL RISERS OF STAIRCASES SHALL NOT BE MORE THAN 175MM AND TREADS NOT LESS THAN 225MM.
- ALL LEVELS ARE STRUCTURAL UNLESS OTHERWISE NOTED AND ARE SHOWN IN METERS ABOVE P.D.
- BUILDING (REFUSE STORAGE AND MATERIAL RECOVERY CHAMBERS AND REFUSE CHUTES) REGULATIONS TO BE COMPLIED WITH.
- ALL COMPARTMENT R.C. WALLS FOR EXIT ROUTES AND STAIRS AT GROUND STOREY OR ABOVE TO BE F.R.R. OF NOT LESS THAN -/60/60.
- MECHANICAL VENTILATION SHALL BE CAPABLE OF SUPPLYING FRESH AIR TO ALL PARTS OF AREAS REQUIRING IT AT A RATE OF NOT LESS THAN 5 CHANGES OF AIR PER HOUR.
- ALL PROVISIONS FOR DISABLED PERSONS ARE TO COMPLY WITH BUILDING ORDNANCE (CAP. 123), BUILDING (PLANNING) REGULATIONS 72 AND DESIGN MANUAL BARRIER FREE ACCESS 2008.
- ALL PARTS OF EXIT ROUTES SHOULD BE PROVIDED WITH ARTIFICIAL LIGHTING PROVIDING A HORIZONTAL ILLUMINANCE AT FLOOR LEVEL OF NOT LESS THAN 30 LUX AND BACKED UP BY AN EMERGENCY LIGHTING SYSTEM PROVIDING A HORIZONTAL ILLUMINANCE AT FLOOR LEVEL OF NOT LESS THAN 2 LUX. THE DESIGN OF THE EMERGENCY LIGHTING SYSTEM SHOULD COMPLY WITH THE CODE OF PRACTICE FOR MIN. FIRE SERVICES INSTALLATIONS AND EQUIPMENT.
- DOORS, EITHER WITH OR WITHOUT F.R.R., AT PROTECTED LOBBIES TO BE PROVIDED WITH SMOKE SEAL.
- ALL PLANTS AND EQUIPMENTS INDICATED TO BE INSTALLED AND PROVED TO FUNCTION BEFORE OF APPLICATION.
- IN ACCORDANCE WITH PNAP APP-98, FOR DOMESTIC BATHROOM AND LAVATORIES WHICH MECHANICAL LIGHTING AND VENTILATION IS PROVIDED, PERMANENT VENTILATION PROVIDED IN THE FORM OF A APERTURE IN DOOR, WHICH IS SUITABLY LOCATED AND PERMANENTLY OPEN OR PROTECTED WITH LOUVERS HAVING MINIMUM AREA OF 1/20 OF THE FLOOR AREA OF THE ROOM.
- (-/60/60) FRR ENCLOSURE TO BE PROVIDED FOR ALL PROTECTED LOBBY FOR PIPE WORKS EXCEPT FIRE SERVICES, THE HEIGHT SHOULD NOT LESS THAN 2000MM ABOVE FLOOR LEVEL.
- THE MATERIAL INCLUDING THE EMBEDDED FILERS OR INSULATIONS IN THE PROPOSED EXTERNAL METAL CLADDING SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS IN COMPLIANCE WITH BUILDING (CONSTRUCTION) REGULATION 39 AND RELEVANT CLAUSES OF CODE OF PRACTICE FOR FIRE SAFETY IN BUILDINGS 2011 (OCTOBER 2015 VERSION) PART E PARTICULARLY E10.1 - NON-COMBUSTIBILITY.
- BEFORE APPLYING FOR THE CONSENT TO COMMENCE THE SUPERSTRUCTURE WORKS, THE PROVISIONS FOR M&R ACCESS REQUIRED UNDER THE CODE OF PRACTICE ON DESIGN FOR SAFETY - EXTERNAL MAINTENANCE WILL BE SUBMITTED TO AND APPROVED BY BD.
- ALL SERVICE DUCTS TO BE SEALED AT EACH FLOOR LEVEL.
- METAL RAILING ON ROOF TO COMPLY WITH CODE OF PRACTICE ON ACCESS OF EXTERNAL MAINTENANCE 2021.

## MODULAR INTEGRATED CONSTRUCTION (MIC) NOTES:

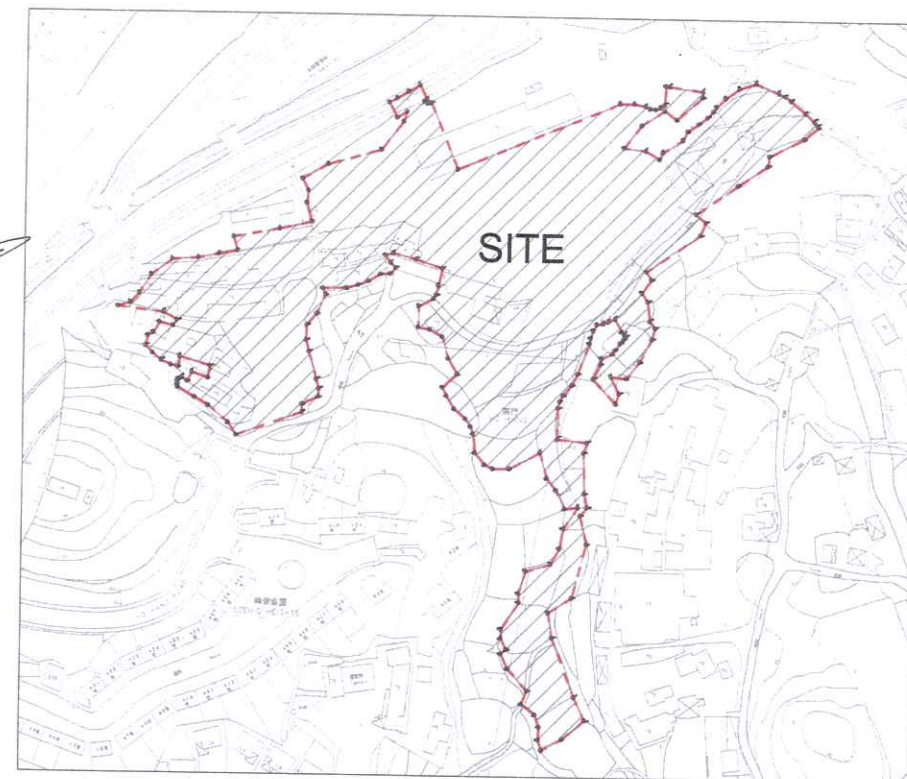
- MODULAR INTEGRATED CONSTRUCTION (MIC) IS ADOPTED IN THIS DEVELOPMENT PROJECT. THE TYPES OF MIC MODULES TO BE FABRICATED OFF-SITE AND THE CORRESPONDING MIC FLOOR AREA ARE SHOWN ON DRAWING NO. GP04.
- CORRESPONDING SUPERSTRUCTURE AND DRAINAGE PLANS SHALL BE SUBMITTED SEPARATELY AND THE APPROVAL OF SUCH BY THE BUILDING AUTHORITY (BA) SHALL BE OBTAINED BEFORE COMMENCEMENT OF THE MODULAR UNIT PRODUCTION WORK IN THE PREFABRICATION FACTORY.
- ESSENTIAL INFORMATION OF THE MIC SYSTEM AS LISTED IN PNAP ADV-36 SHALL BE SUBMITTED SEPARATELY AND THE ACCEPTANCE OF SUCH BY THE BA SHALL BE OBTAINED BEFORE THE COMMENCEMENT OF THE MODULAR UNIT PRODUCTION WORK IN THE PREFABRICATION FACTORY. (FOR MIC WITHOUT IPA)
- A QUALITY ASSURANCE SCHEME AND A MIC SUPERVISION PLAN SHALL BE PREPARED IN ACCORDANCE WITH PNAP ADV-36 AND SUBMITTED AT LEAST 14 DAYS BEFORE THE COMMENCEMENT OF THE MODULAR UNIT PRODUCTION WORK IN THE PREFABRICATION FACTORY.
- ANY FUTURE ALTERATIONS AND ADDITIONS (A&A) WORKS AFTER ISSUANCE OF OCCUPATION PERMIT SHALL REQUIRE PRIOR APPROVAL AND CONSENT FROM THE BA UNLESS THE A&A WORKS FALL WITHIN THE MINOR WORKS ITEMS WHICH MAY BE CARRIED OUT THROUGH THE SIMPLIFIED REQUIREMENTS UNDER THE MINOR WORKS CONTROL SYSTEM.
- ALL BUILDING SERVICES/CONDUITS ARE EXPOSED AND SHALL NOT BE EMBEDDED WITHIN THE FIRE PROTECTION BOARD WALL/CEILING SYSTEM.

## DEVELOPMENT SCHEDULE

LOT NO.	VARIOUS LOTS IN D.D. 105 AND ADJOINING GOVERNMENT LAND
SITE AREA (FROM LEASE)	21,602 SQ.M
CLASS OF SITE	A
HEIGHT OF BUILDING (FROM MEAN STREET LEVEL = 6.4mPD)	23.20mPD - 6.4mPD = 16.8m
REMAINING DOMESTIC PLOT RATIO FOR COMPOSITE BUILDING	(5.8 - 0.03) / 5.8 x 3.6 = 3.58
PERMITTED GROSS FLOOR AREA (DOMESTIC)	21,602 SQ.M x 3.58 = 77,335.16 SQ.M
PROPOSED GROSS FLOOR AREA (DOMESTIC)	79,321.447 SQ.M
PROPOSED DOMESTIC PLOT RATIO	79,321.447 SQ.M / 21,602 = 3.67 < 3.58
PERMITTED PLOT RATIO (NON-DOMESTIC)	5.8
PERMITTED GFA (NON-DOMESTIC)	21,602 SQ.M x 5.8 = 125,291.60 SQ.M
PROPOSED GFA (NON-DOMESTIC)	699,631 SQ.M
PROPOSED NON-DOMESTIC PLOT RATIO	699,631 SQ.M / 21,602 = 32.39 < 5.8
PERMITTED DOMESTIC SITE COVERAGE	60%
PROPOSED SITE COVERAGE AREA (DOMESTIC)	7852.955 SQ.M
PERCENTAGE OF PROPOSED SITE COVERAGE (DOMESTIC)	7852.955 SQ.M / 21,602 x 100% = 36.35% < 60%
PERMITTED NON-DOMESTIC SITE COVERAGE (OVER 15m BUT NOT EXCEEDING 18m)	97.5%
PROPOSED SITE COVERAGE AREA (NON-DOMESTIC)	10,913.14 SQ.M
PERCENTAGE OF PROPOSED SITE COVERAGE (NON-DOMESTIC)	10,913.14 SQ.M / 21,602 x 100% = 50.52% < 97.5%

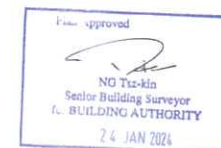
## Drawing List

Drawing No.	Drawing Title	Scale
GP01-1	General Notes, Location and Block Plan	N.T.S.
GP01-2	General Notes, Location and Block Plan (2)	N.T.S.
GP02	Master Layout Plan	1:500
GP03-1	EVA Calculation Diagram	1:500
GP03-2	Open Area Calculation Diagram	N.T.S.
GP03-3	Greenery Area Calculation Diagram	N.T.S.
GP04	Module Demarcation Diagram	N.T.S.
GP05-1	Ground Floor Plan Block 1 and Amenity Block (Block 3)	1:200
GP05-2	Ground Floor Plan Block 2 and STP & E/M and Multi-function room 1	1:200
GP05-3	Ground Floor Plan Block 3 and Block 4	1:200
GP05-4	First Floor Plan Block 1 and Amenity Block (Block 3)	1:200
GP05-5	First Floor Plan Block 2 and STP & E/M	1:200
GP05-6	First Floor Plan Block 3 & Block 4	1:200
GP05-7	2/F-3/F Typical Floor Plan Block 1 and Amenity Block (Block 3)	1:200
GP05-8	2/F - 3/F TYPICAL FLOOR PLAN BLOCK 2 AND 1/F STP & E/M	1:200
GP05-9	2/F-3/F Typical Floor Plan Block 3 and Block 4	1:200
GP05-10	Roof floor plan Block 1 and Amenity Block (Block 3)	1:200
GP05-11	Roof floor plan Block 2 and STP & E/M	1:200
GP05-12	Roof Plan Block 3 & Block 4	1:200
GP06-1	Overall Site Elevation (1)	1:200
GP06-2	Overall Site Elevation (2)	1:200
GP06-3	Elevations of Block 1	1:200
GP06-3A	Elevations of Block 2	1:200
GP06-4	Elevations of Block 3	1:200
GP06-4A	Elevations of Block 4	1:200
GP06-5	Elevations of Amenity Block (Block 5)	1:200
GP06-5A	Elevations of STP & E/M BLOCK	1:200
GP07-1	Overall Site Section (1)	1:200
GP07-2	Overall Site Section (2)	1:200
GP08	Typical MIC Type	1:50
GP08-1	Module type A & AR (Mirrored)	1:50
GP08-2	Module type B & BR (Mirrored)	1:50
GP08-3	Module type C1 & C2 and type C1R & C2R (Mirrored)	1:50
GP08-4	Module type D1, D2, D3, D4 & D5 and type D1R, D2R & D3R	1:50
GP08-5	Module type E1 & E2 and type E1R & E2R (Mirrored)	1:50
GP08-5a	Module type E3 & E4	1:50
GP08-6	Module type F1 & F2	1:50
GP08-7	Module type F3, F6 & F7	1:50
GP08-8	Module type G1, G2 & G3 and G1R, G2R, G3R (Mirrored) and Module type G4, G5 & G6 and type G4R, G5R & G6R (Mirrored)	1:50
GP08-9	Module type G7, G8 & G9 and type G10, G11 & G12 and type G10, G13 & G10R	1:50
GP08-10	Module type H1, H2, H3, H4	1:50
GP08-10a	Module type H5, H6, H7, H8, H9	1:50
GP08-11	Module type J	1:50
GP08-11a	Module type J1 & J2	1:50
GP08-12	Module type K AND KR	1:50
GP08-12a	Module type K1 AND K2	1:50
GP08-13	Module type L1, L2 & L1R	1:50
GP08-13a	Module type L3, L4 & L5	1:50
GP08-14	Module type M1 & M2	1:50
GP08-15	Module type S1, S1A & S1B	1:50
GP08-15a	Module type S2, S2A & S2B	1:50
GP08-15b	Module type S3, S3A & S3B	1:50
GP09	Domestic Unit Floor Plans and U.F.A. Calculations	N.T.S.
GP10	Non-Domestic Unit Floor Plans and U.F.A. Calculations	N.T.S.
GP11-1	Calculations (1)	N.T.S.
GP11-2	Calculations (2)	N.T.S.
GP11-3	Calculations (3)	N.T.S.
GP12	Diagram For Prescribed Windows	N.T.S.
GP13	M & R Plan	N.T.S.



LOCATION PLAN

GP14-1	Details D1	N.T.S.
GP14-2	Details D2	1:10
GP14-3	Details D3	1:10
GP14-4	Details D4	1:10
GP14-5	Typical details 1	1:10



## LEGEND

STRUCTURAL FLOOR LEVEL	F.E.	4.5KG CO2 FIRE EXTINGUISHER
FINISHING FLOOR LEVEL	F.E.1	9 LITERS WATER CO2 F.E.
ST-1	HR	HOSE REEL
P.D.	F.H.	FIRE HYDRANT
F.A.I.	F.S.I.	FIRE INLET
M.L.	S.F.H.	STREET FIRE HYDRANT
E.A.D.	PIPE WELL	PIPE WELL
EXIT SIGN	EXISTING TREE	EXISTING TREE
DIRECTIONAL SIGN (RIGHT)	225MM (W) STEEL COVERED SURFACE CHANNEL WITH 2 NOS. DRAINAGE OUTLET	
DIRECTIONAL SIGN (LEFT)		
MECHANICAL VENTILATION & ARTIFICIAL LIGHTING	IHP	INSPECTION HATCH PANEL
ARTIFICIAL LIGHTING		
C.L.		
1500mm x 1500mm		
BOUNDARY LINE		

## ABBREVIATIONS

BD	BED ROOM
Dts	DISABLED TOILET
DIN.	DINING ROOM
EMR	ELECTRICAL METER ROOM
F	FEMALE TOILET
KIT.	KITCHEN
LAV.	LAVATORY
LV.	LIVING ROOM
M	MALE TOILET
MA	MAINTENANCE ACCESS
PL	PLANTER
RSMRC	REFUSE STORAGE AND MATERIAL RECOVERY CHAMBER
RSMRR	REFUSE STORAGE AND MATERIAL RECOVERY ROOM
S.C.	SURFACE CHANNEL
S.D.	SLIDING DOOR
WMC	WATER METER CABINET
CMC	CHECK METER CABINET
SCV	SPRINKLER CONTROL VALVE SET AND SPRINKLER INLET

DOOR MARK	FRR	VISION PANEL	CLOSER	SMOKE SEAL	ELECTRICAL LOCKING DEVICE TO BE RELEASED AUTOMATICALLY TO COMPLY WITH FS CODE B13.2
TIMBER DOOR					
D1	(-/30/30)	YES	YES	YES	
D2	(-/30/30)		YES	YES	
D3	(-/30/30)	YES	YES		
D4	(-/30/30)		YES		
D5	(-/60/60)		YES	YES	
D6	(-/60/60)	YES	YES	YES	
D7	(-/60/60)	YES	YES		
D8	(-/60/60)		YES		
AP	(-/60/60)				
METAL DOOR					
M2	(-/60/60)		YES	YES	
M1	NIL				
GLASS DOOR					
G1	NIL				

## COMPLIANCE WITH PLANNING APPROVAL (APPROVAL OF SECTION 16 BY TPB ON 28/1/2022)

	PLANNING APPROVAL	PROPOSED
SITE COVERAGE	NOT MORE THAN 60%	36.16% (DOMESTIC) 4.414% (NON-DOMESTIC)
NUMBER OF BLOCKS	6 (4 RESIDENTIAL, 2 ANCILLARY)	6 (4 RESIDENTIAL, 2 ANCILLARY)
PLOT RATIO	1.53	1.39
DOMESTIC GROSS FLOOR AREA	30,004 sqm	79,321.447 sqm
NON-DOMESTIC GROSS FLOOR AREA	3,038 sqm	699,631 sqm
TOTAL GROSS FLOOR AREA	33,042 sqm	802,107.8 sqm
BUILDING HEIGHT	4 STOREYS 17m / +23mPD	4 STOREYS 15.015m / +23.2mPD (MAX.)
ANCILLARY BLOCK (BLOCK 5)	3 STOREYS 16m / +23mPD	4 STOREYS 11.265m / +19.39mPD
STP/E&M BUILDING	2 STOREYS 14m / +21mPD	2 STOREYS 11.4m / +18.1mPD
NOS. OF UNITS	1076	1080
OPEN SPACE	NOT LESS THAN 2676 sqm	4510.274 sqm
LOADING/UNLOADING BAY	4 HDV	4 HDV
BICYCLE PARKING	NOT REQUIRED	0
CARPARK	NOT REQUIRED	0

## LEGEND OF COLOURING OF PLAN

BRICK
CONCRETE SLAB
R.C. WORKS
BRICKWORKS
PLASTER / CEMENT RENDERING
TILES / NON-ABSORBENT MATERIAL
GLASS WORKS
TIMBER WORKS
METAL WORK / STEEL WORKS
INSITU WORKS
SANITARY FITTINGS
GREENERY AREA

SD Ref No: PP 8/31683 (2)	SD Ref No: SD 2/8059/22(7)
Revisions and Submissions	Check
No. Date Details	
1 07/2022 1ST SUBMISSION	
2 12/2022 1ST AMENDMENT	
3 28 FEB 2023 GENERAL REVISION	
4 07 JUNE 2023 GENERAL REVISION	
5 08 SEPT 2023 GENERAL REVISION	
6 12 DEC 2023 GENERAL REVISION	

Client/Employer  
  
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 Project Quantity Surveyor: Birk Consultancy Limited

Design and Building Contractor  
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 新福港建築有限公司

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Structural Designer / B.S.E.  
**hewson consulting**  
 MC Designer  
**Astute**  
 Building Construction Company Limited  
 MC Supplier and Manufacturer

**E Hans**

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 5. Prints without an authorized signature in the checked and approved spaces below and after the last revision above are NOT valid for use outside SRL.

Project:  
**PROPOSED TRANSITIONAL HOUSING AT VARIOUS LOTS IN D.D. 105 AND ADJOINING GOVERNMENT LAND, NGAU TAM MEI, YUEN LONG, N.T.**

Drawing title:  
**GENERAL NOTES, LOCATION AND BLOCK PLAN (1)**  
 Drawn by: KP Date: 12 DEC 2023  
 Checked for correctness by: BF Date: 12 DEC 2023  
 Approved for issue by: BF Date: 12 DEC 2023  
 Scale: A.S. Print Date: 12 DEC 2023  
 Project: A-2301 Drawing: GP01-1 Revision: E



## FIRE SERVICES NOTES

### 1. Automatic Sprinkler System

- Automatic sprinkler system will be designed in accordance with LPC rules to BS EN 12845: 2015 and HKFSD Circular Letter No. 5/2020.
- The hazard classification of the sprinkler system shall be designed as follows:
  - OH1: G/F to 3/F of Amenity block (Block 5);
- Sprinkler system will be provided to cover the below area (improved automatic sprinkler system refer to item 1.2):
  - Amenity block (Block 5);
- The sprinkler system will be provided to cover the Amenity block (Block 5) (G/F) included all staircases and toilets, except all E&M plant rooms, pipe ducts, water meter cabinets and all E&M cabinets.
- For 1/F to 3/F at Amenity Block (Block 5), sprinkler system will only be provided for the residential units with open kitchen.
- Sprinkler system will not be provided to entire STP & E/M block.
- Sprinkler water tank and sprinkler pump room will be provided as follows:
  - One 37,000 litres sprinkler water tank and sprinkler pump room to be provided for Amenity block (Block 5) at 1/F of STP & E/M block.
- Individual sprinkler pumps set (each set consisted with one duty, one standby and jockey pump(s)) will be provided.
- The sprinkler system will be provided on G/F and extended two floors above 1/F to 2/F inside staircase areas of Amenity block (Block 5). The sprinkler heads will be fast response type.
- One no. of sprinkler inlet for the automatic sprinkler system of the amenity block (Block 5) will be provided on G/F as indicated on plans.
- The sprinkler alarm will be connected to the Fire Services Communications Centre via F.S. direct telephone link.
- Sprinkler control valve will be provided as indicated on plans.

### 2. Improved Automatic Sprinkler System

- Improved automatic sprinkler system will be designed in accordance with LPC rules to BS EN 12845: 2015 and HKFSD Circular Letter No. 4/1996, 5/2020.
- The hazard classification of the improved sprinkler system shall be designed as follows:
  - OH1: Residential units with open kitchen in domestic floors;
- Four(4) individual improved sprinkler systems will be provided to cover the below areas:
  - Residential units with open kitchen in domestic floors of Block 1;
  - Residential units with open kitchen in domestic floors of Block 2;
  - Residential units with open kitchen in domestic floors of Block 3;
  - Residential units with open kitchen in domestic floors of Block 4;
- Sprinkler inlets will be provided on G/F as indicated on plans. Only sprinkler inlets for the corresponding sprinkler system will be interconnected. No interconnection will be provided between different sprinkler systems.
- The sprinkler alarm will be connected to the Fire Services Communications Centre via F.S. direct telephone link.
- Sprinkler control valve for each block will be provided at corresponding block.
- No sprinkler tank or pump to be provided for the improved automatic sprinkler system, the water supply will be fed from town main directly.

### 2. Fire Hydrant and Hose Reel System

- Fire hydrant and hose reel systems will be designed in accordance with the Codes of Practice, HKFSD Circular Letter No. 2/2013 and latest HKFSD requirements.
- Five (5) individual FH&HR systems will be provided as below:
  - Amenity block (Block 5), Block 1, Block 2, Block 3, Block 4;
- Five (5) individual F.S. water tanks and F.S. pump rooms will be provided as follows and indicates on plans:
  - One 27,000 litres F.S. water tank and F.S. pump room to be provided for Amenity block (Block 5) at 1/F of STP & E/M block;
  - One 36,000 litres F.S. water tank and F.S. pump room to be provided for Block 1 at G/F of STP & E/M block;
  - One 36,000 litres F.S. water tank and F.S. pump room to be provided for Block 2 at G/F of STP & E/M block;
  - One 36,000 litres F.S. water tank and F.S. pump room to be provided for Block 3 at G/F of STP & E/M block;
  - One 36,000 litres F.S. water tank and F.S. pump room to be provided for Block 4 at G/F of STP & E/M block;
- Individual fixed pumps sets (each set consisted with one duty, one standby and one jockey pump) will be provided at related F.S. pump rooms as indicated on plans.
- Sufficient fire hydrant and hose reel will be provided on each floor. Fire hydrants will be provided in all required staircase enclosures. Hose reels will be provided to ensure that every part of the floor can be reached by a length of not more than 30m hose reel tubing.
- F.S. inlets will be provided as indicated on plans. Only F.S. inlets for the corresponding Fire Hydrant & Hose Reel System will be interconnected. No interconnection will be provided between different Fire Hydrant & Hose Reel Systems.
- No fire hydrant & hose reel will be provided for STP & E/M block, open landscape/outdoor areas on G/F, master meter room & store room.

### 3. Automatic Fire Detection and Manual Fire Alarm System

- Automatic fire detection and manual fire alarm system will be designed in accordance with BS 5839-1:2017 (INCORPORATING CORRIGENDUM NO.1) and HKFSD Circular Letter no. 6/2021.
- A manually operated fire alarm system c/w manual breakglass and alarm bell will be provided throughout the building and incorporated to the FH&HR system.
- All detectors are addressable type.
- For Amenity block (Block 5) (G/F), automatic fire detection system will be provided for all E&M plant rooms not covered by sprinkler system only except E&M ducts and cable trenches.
- For domestic floors for Block 1, 2, 3, 4 and Amenity block (Block 5) (1/F to 3/F), automatic fire detection system will not be provided, (except the living area of residential units with open kitchen and the lobby outside the flat with open kitchen).
- All alarm signals of Block 1, 3, 4 & Amenity Block will be transmitted to the F.S. sub-panel at each block respectively, and then repeat to the F.S. control panel provided inside the F.S. control room located on G/F of STP & E/M block as indicated on plans.
- All alarm signals of Block 2 and Multi function room 1 will be transmitted to the F.S. sub-panel inside security room at Block 2, and then repeat to the F.S. control panel provided inside the F.S. control room located on G/F of STP & E/M block as indicated on plans.
- Visual fire alarm will be provided for Amenity block (Block 5) (G/F) and multi function room 1 only in accordance with Barrier Free Access 2008. Visual fire alarm will not be provided to open landscape and outdoor areas.
- For Block 1, 2, 3, 4, upon actuation of any of the fire alarm signal (except addressable sounder-based smoke detector signals from flat unit with open kitchen), all the alarm bells and visual fire alarms for Amenity block (Block 5) and the master alarm bell outside F.S. control room will be operated and fixed fire pump for Amenity block (Block 5) will be activated.

- For Amenity block (Block 5), upon actuation of any of the fire alarm signal (except addressable sounder-based smoke detector signals from flat unit with open kitchen), all the alarm bells and visual fire alarms for Amenity block (Block 5) and the master alarm bell outside F.S. control room will be operated and fixed fire pump for Amenity block (Block 5) will be activated.
- For STP & E/M block, upon actuation of any of the fire alarm signal, all the alarm bells for STP & E/M block and the master alarm bell outside F.S. control room will be operated.
- For External Multi function room 1, upon actuation of any of the fire alarm signal, all the alarm bells and visual fire alarms for External Multi function room 1 and the master alarm bell outside F.S. control room will be operated and H.R. pump for multi function room 1 will be activated.
- For Master meter room & store room, upon actuation of any of the fire alarm signal, all the alarm bells for Master meter room and the master alarm bell outside F.S. control room will be operated.
- Common fire alarm signal will be transmitted to the Fire Services Communications Centre via a direct telephone link from F.S. control panel located in F.S. control room.
- All alarm signal from F.S. control panel will be repeated to the repeater panel provided inside the reception office at Block 2.

### 4. Fire Services Provision for Open Kitchen

All fire safety provisions inside the open kitchen design will be designed in accordance with the Code of Practice for Fire Safety in Buildings 2011, Clause C13.4.

#### a. Automatic Sprinkler System

- Sprinkler head will be provided to cover the national open kitchen area. The alarm signal of the system will be connected to the F.S. sub-panel, and then repeat to the F.S. control panel in the F.S. control room, the common fire alarm signal of the building will be transmitted to the Fire Services Communications Centre.

#### b. Addressable Automatic Detection System

- Sounder-based smoke detector will cover the living area of residential units with open kitchen design except bedroom(s) and bathroom(s). The alarm signal of the sounder-based smoke detector will be transmitted to the F.S. sub-panel, and then repeat to the F.S. control panel in the F.S. control room, the common building fire alarm signal will be transmitted to the Fire Services Communications Centre via a direct telephone link.
- Smoke detectors will cover the entire lobby and corridor outside residential units with open kitchen. The alarm signal of the smoke detectors will be connected to the F.S. sub-panel, and then repeat to the F.S. control panel in the F.S. control room, the common building fire alarm signal will be transmitted to the Fire Services Communications Centre via a direct telephone link.
- A full-height wall having an FRR of not less than -/30/30 adjacent to the exit door will be erected in each flat with open kitchen. The width of the wall should not be less than 600mm.
- A fire safety management plan in accordance with clause F5.8 of the Code of Practice for Fire Safety in Buildings 2011 will be submitted and endorsed by the FSD prior to request for FSI acceptance inspection.

#### 5. Portable Fire Extinguisher

- The appropriate type of fire extinguisher will be provided at location as shown on plans.
- NO. F.S. inlets will be provided.
- A manually operated fire alarm system c/w manual breakglass and alarm bell will be provided throughout the room and incorporated to the HR system.
- Visual fire alarm will be provided.

#### 6. Ventilation/Air Conditioning Control System

- When a Ventilation/Air Conditioning Control System will be provided, it will stop mechanically induced air movement within designated fire compartment.

#### 7. Exit Sign

- Sufficient exit signs and directional signs to be provided to ensure that all exit routes from any floor within the building are clearly indicated as required by the configuration of staircase serving the building are clearly indicated. Exit / directional sign shall comply with F.S.D. circular letter no. 5/2008 and BS 5266: Part 1: 2016 with 2 hours self-contained battery back up and from upstream of main incomer switch.

#### 8. Emergency Lighting

- Emergency lighting will be designed in accordance with BS 5266: Part 1: 2016, BSEN 1838: 2013 and circular letter No.4/2021.
- For domestic portion of amenity block, block 1, block 2, block 3, block 4, self contained 2 hours battery backup emergency lighting to be provided to all staircase, passages and common area of all floors except individual domestic flat.
- For non-domestic portion of amenity block and external multi function room 1 & 2, self contained 2 hours battery backup emergency lighting to be provided.
- For STP & E/M block, self contained 2 hours battery backup emergency lighting to be provided.

- No emergency lighting will be provided for external areas of the development, cable ducts, pipe ducts, check / water meter cabinet.

#### 9. Emergency Generator

- No emergency generator will be provided.
- The essential power supply for all the fire services installation will be direct connected before the power supply company's (CLP) incoming main distribution board.

#### 10. Audio / Visual Advisory System

- Audio / Visual Advisory System will not be provided as the area of each floor which occupied by guests or visitors is not exceeding 2,000m<sup>2</sup>.

#### 11. Street Fire Hydrant System

- Street fire hydrants to be provided for the development and shall comply to FSD COP September 2022.
- Pedestal street fire hydrants to be provided along the emergency vehicular access as indicated on plans.
- No street fire hydrant tank or pump to be provided for the street fire hydrants. The water supply for the street fire hydrants to be fed from the town main directly to maintain a total output of not less than 4000L/min from any one street fire hydrant with a minimum running pressure of 170kPa. AP is required to ensure the flow and pressure of street fire hydrant to meet FSD requirement.
- The proposed installation shall be accepted and approved by WSD.

- Fire services completion advice for the SFH installation issued by WSD shall be provided in the application of inspection and testing of the fire service installations and equipment as stipulated in FSD circular letter no. 1/2008.

- External Multi function room 1 (total floor area not exceed 230m<sup>2</sup>) and Multi function room on G/F of block 3 (total floor area not exceed 230m<sup>2</sup>)

- Due to EVA deficiency of External Multi function room 1 & 2, sprinkler system with fast response type sprinkler heads will be provided to External Multi function room 1 and extended from block 2, sprinkler system, and sprinkler system with fast response type sprinkler heads will be provided to External Multi function room 2 and extended from block 4 sprinkler system. The hazard is classified as OH1.

- Modified hose reel systems will be designed in accordance with the Codes of Practice, HKFSD Circular Letter No. 2/2013 and latest HKFSD requirements.

- Two(2) individual HR systems will be provided as below:
  - External Multi function room 1;
  - External Multi function room 2.

- Two(2) individual H.R. water tanks and H.R. pump rooms will be provided as follows and indicates on plans:
  - One 2,000 litres H.R. water tank and H.R. pump room to be provided for External Multi function room 1 at G/F of External Multi function room 1;
  - One 2,000 litres H.R. water tank and H.R. pump room to be provided for External Multi function room 2 at G/F of External Multi function room 2.

- Individual pumps sets (each set consisted with one duty, one standby and one jockey pump) will be provided at related H.R. pump rooms as indicated on plans.

- Sufficient hose reel will be provided on each floor. Hose reels will be provided to ensure that every part of the floor can be reached by a length of not more than 30m hose reel tubing.

- NO. F.S. inlets will be provided.

- A manually operated fire alarm system c/w manual breakglass and alarm bell will be provided throughout the room and incorporated to the HR system.

- Visual fire alarm will be provided.

- Master Meter Room

- Only detector, manual break glass, alarm bell and F.E. will be provided.

- For Modular Integrated Construction (MIC), FSD circular letter no. 3/2019 will be complied.

- Any intended storage or use of dangerous goods as defined in chapter 295 of the laws of Hong Kong to be notified to the director of fire services (Separate application giving full details to be submitted to the dangerous goods division regarding D.G. storage.)

- Miscellaneous

- All linings for acoustic and thermal insulation purposes in ducting and concealed locations will be of Class 1 or 2 rate of spread of flame as per BS 476: part 7 or equivalent, or be brought up to that standard by use of an approved fire retardant product.

- All linings for acoustic, thermal insulation and decorative purposes within protected means of escape will be of Class 1 or 2 rate of spread of flame as per BS 476: part 7 or equivalent, or be brought up to that standard by use of an approved fire retardant product.

- For non-domestic portion of amenity block and external multi function room 1 & 2, self contained 2 hours battery backup emergency lighting to be provided.

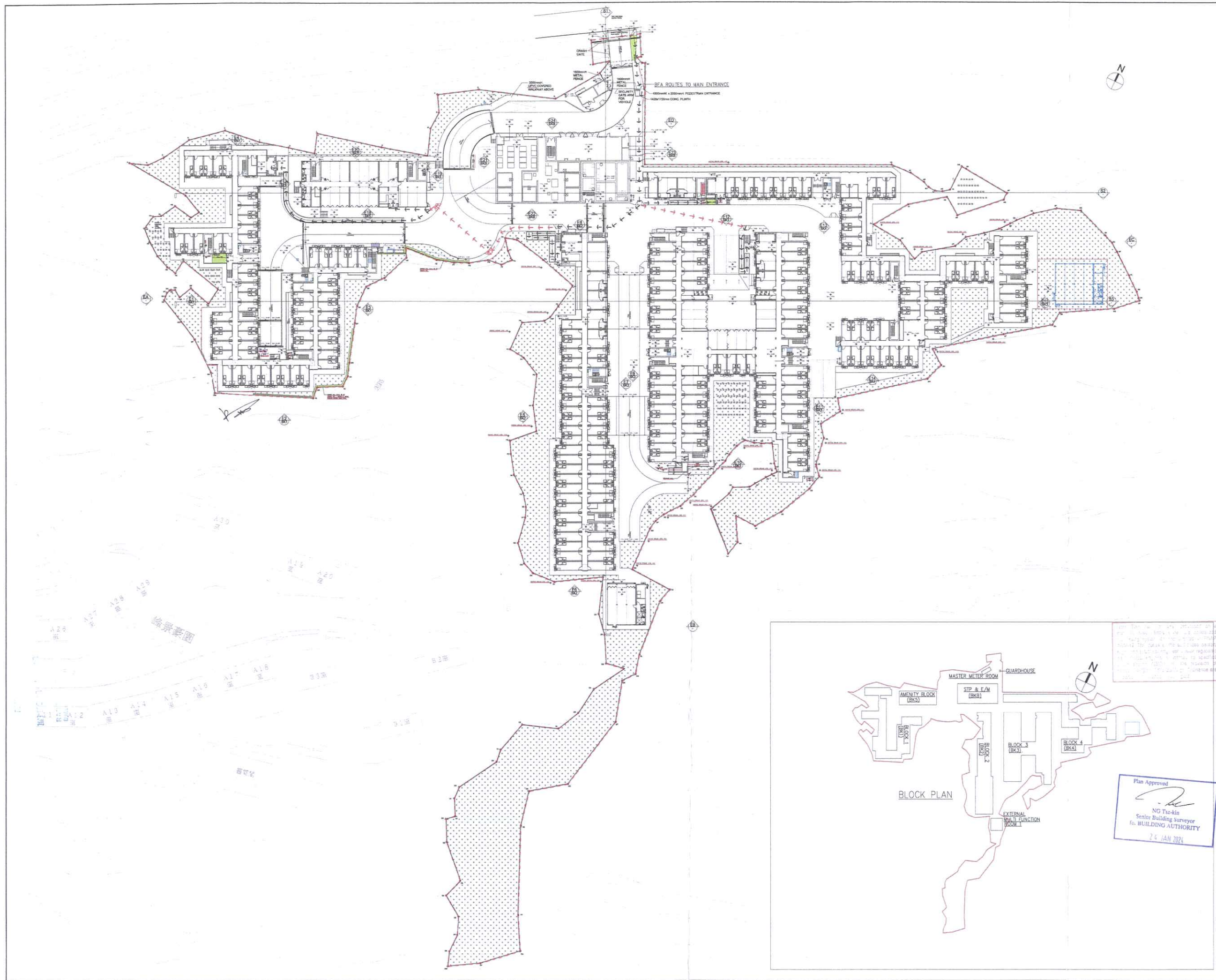
- For STP & E/M block, self contained 2 hours battery backup emergency lighting to be provided.

## LAND SURVEY PLAN COORDINATES FOR ADDITIONAL SITE AREA

SUBJECT LOT CO-ORDINATES & DIMENSIONS			1983 Dat. Details		
Boundary Point	Bearing	Distance	Boundary Point	Bearing	Distance
BA	202° 50' 54"	5.683	830882.559	824517.387	
BB	232° 10' 52"	85.745	830866.145	824596.746	
BC	144° 50' 38"	3.939	830867.789	824596.746	
BD	212° 02' 17"	6.737	830871.282	824594.952	
BE	144° 50' 38"	4.884	830873.899	824597.561	
BF	171° 02' 27"	8.077	830845.321	824598.843	
BG	128° 52' 35"	3.544	830842.196	824597.561	
BH	193° 02' 16"	4.615	830838.756	824595.132	
BI	328° 52' 35"	8.769	830827.198	824595.132	
BJ	212° 51' 01"	10.791	830822.020	824595.132	
BK	279° 08' 41"	6.241	830822.284	824584.082	
BL	151° 18' 47"	7.988	830813.625	824587.923	
BM	152° 52' 02"	4.462	830811.267	824586.964	
BN	312° 52' 35"	14.082	830822.196	824575.771	
BO	23° 13' 59"	6.148	830827.267	824575.771	
BP	37° 49' 18"	1.898	830837.777	824586.964	
BQ	63° 29' 48"	4.816	830831.685	824584.082	
BR	37° 49' 18"	3.470	830836.324	824587.923	
BS	31° 38' 52"	1.073	830839.777	824586.964	
BT	31° 38' 52"	1.073	830839.777	824586.964	
BU	31° 38' 52"	1.073	830839.777	824586.964	
BV	31° 38' 52"	1.073	830839.777	824586.964	
BW	31° 38' 52"	1.073	830839.777	824586.964	
BX	31° 38' 52"	1.073	830839.777	824586.964	
BY	31° 38' 52"	1.073	830839.777	824586.964	
BZ	31° 38' 52"	1.073	830839.777	824586.964	
CA	249° 02' 14"	2.133	830843.917	824573.811	
CB	144° 50' 38"	4.884	830873.899	824597.561	
CC	207° 48' 17"	2.809	830845.321	824575.771	
CD	186° 56' 12"	2.214	830825.447	824574.442	
CE	254° 36' 19"	5.269	830817.921	824568.719	
CF	190° 18' 52"	2.751	830808.182	824568.719	
CG	204° 32' 52"	2.968	830810.893	824563.559	
CH	190° 18' 52"	2.751	830808.182	824568.719	
CI	178° 29' 22"	12.908	830879.283	824563.559	
CJ	190° 18' 52"	12.483	830874.626	824575.771	
CK	144° 50' 38"	4.884	830873.899	824597.561	
CL	173° 58' 56"	16.713	830773.779	824575.771	
CM	217° 44' 09"	5.752	830874.626	824575.771	
CN	144° 50' 38"	4.884	830873.899	824597.561	
CO	144° 50' 38"	4.884	830873.899	824597.561	
CP	144° 50' 38"	4.884	830873.899	824597.561	
CQ	144° 50' 38"	4.884	830873.899	824597.561	
CR	144° 50' 38"	4.884	830873.899	824597.561	
CS	144° 50' 38"	4.884	830873.899	824597.561	
CT	144° 50' 38"	4.884	830873.899	824597.561	
CU	144° 50' 38"	4.884	830873.899	824597.561	
CV	144° 50' 38"	4.884	830873.899	824597.561	
CW	144° 50' 38"	4.884	830873.899	824597.561	
CX	144° 50' 38"	4.884	830873.899	824597.561	
CY	144° 50' 38"	4.884	830873.899	824597.561	
CZ	144° 50' 38"	4.884	830873.899	824597.561	
DA	144° 50' 38"	4.884	830873.899	824597.561	
DB	144° 50' 38"	4.884	830873.899	824597.561	
DC	144° 50' 38"	4.884	830873.899	824597.561	
DD	144° 50' 38"	4.884	830873.899	824597.561	
DE	144° 50' 38"	4.884	830873.899	824597.561	
DF	144° 50' 38"	4.884	830873.899	824597.561	
DG	144° 50' 38"	4.884	830873.899	824597.561	
DH	144° 50' 38"	4.884	830873.899	824597.561	
DI	144° 50' 38"	4.884	830873.899	824597.561	
DJ	144° 50' 38"	4.884	830873.899	824597.561	
DK	144° 50' 38"	4.884	830873.899	824597.561	
DL	144° 50' 38"	4.884	830873.899	824597.561	
DM	144° 50' 38"	4.884	830873.899	824597.561	
DN	144° 50' 38"	4.884	830873.899	824597.561	
DO	144° 50' 38"	4.884	830873.899	824597.561	
DP	144° 50' 38"	4.884	830873.899	824597.561	
DQ	144° 50' 38"	4.884	830873.899	824597.561	
DR	144° 50' 38"	4.884	830873.899	824597.561	
DS	144° 50' 38"	4.884	830873.899	824597.561	
DT	144° 50' 38"	4.884	830873.899	824597.561	
DU	144° 50' 38"	4.884	830873.899	824597.561	
DV	144° 50' 38"	4.884	830873.899	824597.561	
DW	144° 50' 38"	4.884	830873.899	824597.561	
DX	144° 50' 38"	4.884	830873.899	824597.561	
DY	144° 50' 38"	4.884	830873.899	824597.561	
DZ	144° 50' 38"	4.884	830873.899	824597.561	

Area = 21,60





FSD Ref No: FP 8/31683 <2>		
RD Ref No: BU 2/9059/22(H)		
Revisions and Submissions		
No.	Date	Details
A	07/02/23	1ST SUBMISSION
B	12/02/23	1ST AMENDMENT
C	28 FEB 2023	GENERAL REVISION
D	07 JUN 2023	GENERAL REVISION
E	08 SEPT 2023	GENERAL REVISION
F	12 DEC 2023	GENERAL REVISION

Client/Employer

 基督教香港信義會  
Evangelical Lutheran Church Social Service Hong Kong

Project Architect

**Deloitte** 德勤

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Project Structural Engineer: Mannings (Asia) Consultants Ltd  
Project E/M Engineer: WSP (Asia) Ltd  
Project Quantity Surveyor: Berra Consultants Limited

Design and Building Contractor

**SFK** Sun Fook Kong Construction Limited  
新福鴻營造有限公司

Architectural Designer / Authorized Person

**OIYN LIMITED**  
FOR ARCHITECTS & ASSOCIATES  
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YUNG CHUNG KWONG  
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Authorized Person-Architect

Structural Designer / R.S.E.

**hewson**  
consulting

MC Designer

**Astute**  
Building Construction  
Company Limited

MC Supplier and Manufacturer

**E Hans**

NOTES:  
1. This drawing and design are copyright and no portion may be reproduced without the written permission of the Architect.  
2. Use written dimensions or grid lines in preference to scaled dimensions. Measurements to existing work are to be checked on site.  
3. This drawing is to be read in conjunction with the Architect's Specification and Conditions of Contract.  
4. Prints not showing the last revision are to be cancelled.  
5. Prints without an authorized signature in the checked and approved spaces below and after the last revision above are NOT valid for use outside SRL.

Project:  
PROPOSED TRANSITIONAL HOUSING  
AT VARIOUS LOTS IN D.D. 105 AND  
ADJOINING GOVERNMENT LAND,  
NGAU TAM MEI, YUEN LONG, N.T.

Drawing Title:  
MASTER LAYOUT PLAN

Drawn by:	Date:	
KP	12 DEC 2023	
Checked for correctness by:	Date:	
BF	12 DEC 2023	
Approved for issue by:	Date:	
BF	12 DEC 2023	
Scale:	Print Date:	
1:500@A1	12 DEC 2023	
Project:	Drawing:	Revision:
A-2301	GP02	E

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**From:** TM Kong <[REDACTED]>  
**Sent:** 2024-02-29 星期四 10:41:24  
**To:** tpbpd/PLAND <tpbpd@pland.gov.hk>  
**Cc:** Karen Kei Yee CHAN/PLAND <kkychan2@pland.gov.hk>  
**Subject:** A/YL-NTM/471 - SI  
**Attachment:** NTM\_471\_Planning Statement\_20240229.pdf;  
NTM\_471\_Renewal\_Drawings\_20240229.pdf

Dear Sir,

Please see attachments for the Planning Statement with Appendices and Drawings.

Should you have any query, please feel free to contact TM Kong at [REDACTED].

Thank you for your kind attention.

Yours faithfully,  
TM Kong



\_20220927 FI(2)\_Drainage Proposal to discharge condition (j).pdf



\_20220927\_A\_YL-NTM\_431\_FSI Proposal to discharge condition (h).pdf



\_A\_YL\_NTM\_431 condition (c)\_20230117\_land decontamination.pdf



\_A\_YL\_NTM\_431 condition (d)\_NIA\_20220905.pdf



\_Condition b d compliance letters.pdf



\_Condition c h j compliance letters.pdf



\_NTM 431 (b)\_ submission.pdf



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**From:** TM Kong <[REDACTED]>  
**Sent:** 2024-02-29 星期四 11:15:33  
**To:** tpbpd/PLAND <tpbpd@pland.gov.hk>  
**Cc:** Karen Kei Yee CHAN/PLAND <kkychan2@pland.gov.hk>  
**Subject:** Re: A/YL-NTM/471 - SI  
**Attachment:** NTM\_471\_Planning Statement\_20240229\_updated.pdf

Dear all,

Please supercede the Planning Statement with this attachment.

Should you have any query, please feel free to contact TM Kong at [REDACTED].  
Thank you for your kind attention.

Regards,  
TM Kong

TM Kong [REDACTED] 於 2024 年 2 月 29 日週四 上午 10:41 寫道：  
Dear Sir,

Please see attachments for the Planning Statement with Appendices and Drawings.

Should you have any query, please feel free to contact TM Kong at 9804 3332.

Thank you for your kind attention.

Yours faithfully,  
TM Kong



\_20220927 FI(2)\_Drainage Proposal to discharge condition (j).pdf



\_20220927\_A\_YL-NTM\_431\_FSI Proposal to discharge condition (h).pdf



\_A\_YL\_NTM\_431 condition (c)\_20230117\_land decontamination.pdf



\_A\_YL\_NTM\_431 condition (d)\_NIA\_20220905.pdf



\_Condition b d compliance letters.pdf



\_Condition c h j compliance letters.pdf



\_NTM 431 (b)\_ submission.pdf

# Planning Statement

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**Section 16 Application for Renewal of  
Temporary Transitional Housing with Ancillary  
Facilities for a Period of 3 Years at various lots  
in D.D. 105, Ngau Tam Mei, New Territories**

FEBRUARY 29, 2024

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**STEPS CONSULTANTS LIMITED**





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# EXECUTIVE SUMMARY

This application is submitted to the Town Planning Board (“the Board”) under Section 16 of the Town Planning Ordinance (“the Ordinance”) for a renewal of planning approval for the temporary transitional housing development & ancillary uses for a period of 3 years (“the Development”) at Ngau Tam Mei, New Territories (“the Site”). The Board approved the planning application no. A/YL-NTM/431 with conditions on 14 January 2022.

The Site falls within an area designated as “Residential (Group C)” (“R(C)”) on the Approved Ngau Tam Mei Outline Zoning Plan No. S/YL-NTM/12 (“the OZP”). According to the Notes of the OZP, this zone is intended primarily for low-rise, low-density residential developments where commercial uses serving the residential neighbourhood may be permitted on application to the Town Planning Board. The proposed development is identified as low-rise and low-density residential development, which is in line with the planning intention. Meanwhile, the Site is subject to a maximum plot ratio of 0.4 and a building height restriction of 3 storeys (9m) as stipulated on the OZP. However, planning applications of minor relaxation of plot ratio may be considered by the Board based on individual planning merits.

In response to the Chief Executive’s 2018 Policy Address in increasing the supply of transitional housing, planning approval was granted to the Applicant to utilise the Site for a temporary transitional housing purpose to ease the immediate pressure of housing need. The Proposed Development is already coordinating by the Task Force on Transitional Housing under the Transport and Housing Bureau and operated by the Applicant. The construction works will be completed by April 2024 and the applicant intends to operate till 2029. The applicant now seeks to renew the planning approval.

The development is with a site area of 21,602m<sup>2</sup>, a plot ratio of less than 1.53 (Domestic plot ratio of 1.39 and Non-domestic plot ratio of 0.14), site coverage of not more than 60%, the total gross floor area (“GFA”) of not more than 33,042m<sup>2</sup> (Domestic GFA of 30,004m<sup>2</sup> and Non-domestic GFA of 3,038m<sup>2</sup>), and a maximum building height of not more than 17m (+25mPD) and 4-storey blocks. The development includes 5 domestic blocks (one of the blocks might be mixed use, subject to final design) and 3 ancillary blocks. A total of about 1,080 transitional housing units will be provided.

Technical assessments have been conducted in the previous application to ascertain technical feasibility and compatibility of the development. No adverse impact will be anticipated from the development.

To ease the pressure on housing demand and families on the public rental housing waiting list, we look forward to hearing from the Board for a positive decision in the planning application.

# 內容摘要

本申請根據《城市規劃條例》（下稱“條例”）第 16 條向城市規劃委員會（下稱“城規會”）提交，就位於新界元朗牛潭尾（“申請地點”）的臨時過渡性房屋申請規劃許可續期（為期 3 年）（“發展”）。城規會於 2022 年 1 月 14 日在有條件下批給臨時性質的許可（規劃申請編號：A/YL-NTM/431）。

申請地點位於《屯門分區規劃大綱核准圖 S/TM/35》（下稱“大綱圖”）上被劃為「住宅(丙類)」的地帶內。根據大綱圖的註釋，此地帶的規劃意向，主要是作低層、低密度的住宅發展，服務住宅區一帶地方的商業用途，如向城規會提出申請，或會獲得批准。同時，申請地點的地積比率上限為 0.4，建築高度限制為三層(9 米)。然而，城規會可能會根據個別發展項目的情況，考慮批准略微放寬地積比率和建築高度限制的規劃申請。

以回應行政長官在 2018 年發表的施政報告內要增加過渡性房屋的政策措施，擬議發展旨在短期內幫助不適切居所的租戶和家庭。自上一次申請獲得批准，過渡性房屋專責小組已經在統籌發展，並交由申請人營運。本發展預計將會在 2024 年四月竣工，初步計劃營運至 2029 年。因此，申請人希望獲得許可續期。

該發展佔地約 21,602 平方米、地積比率為不多於 1.53（住宅地積比率為 1.39，非住宅地積比率為 0.14）、總樓面面積約 30,021 平方米（住宅建築面積 30,004 平方米，非住宅建築面積 3,038 平方米）、以及建築物高度不多於 17 米（主水平基準上 25 米）和 4 層建築。該發展包括 5 座住宅房舍（其中一座可為綜合使用，基於最終設計而定）連 3 座配套設施，可共提供 1,080 個單位。

各方面的技術評估已在上一次申請進行，已確定該發展的技術可行性及與周邊環境兼容。本發展項目不會產生負面影響。

基於解決短期房屋需求，並紓緩長期等候公屋家庭的壓力，我們期待城規會給予考慮並批准是次規劃申請。



## GENERAL NOTES

- ALL SITE FORMATION, FOUNDATION, STRUCTURAL DETAILS (INCLUDING DESIGNED IMPOSED LOADS) AND CALCULATIONS SHALL BE SUBMITTED SEPARATELY.
- DRAINAGE PLANS AND DETAILS SHALL BE SUBMITTED SEPARATELY.
- ALL CLADDING DETAILS AND CALCULATIONS SHALL BE SUBMITTED SEPARATELY.
- ALL PARAPETS AND RAILINGS SHALL BE 1100MM HIGH MIN. ABOVE FINISHED FLOOR LEVEL.
- FOR HABITABLE ROOMS, CLEAR HEIGHT BETWEEN FINISHED FLOOR LEVEL TO THE UNDERSIDE OF BEAMS SHALL BE 2300MM MIN.
- FOR HABITABLE ROOMS, CLEAR HEIGHT BETWEEN FINISHED FLOOR LEVEL TO THE CEILING SHALL BE 2500MM MIN.
- CLEAR HEIGHT BETWEEN FINISHED FLOOR LEVEL TO THE UNDERSIDE OF BEAM IN STAIRCASES AND EXIT ROUTES SHALL BE 2000MM MIN.
- THE INTERNAL SURFACE OF EVERY KITCHEN TO 1200MM HIGH MIN. SHALL BE FACED WITH TILES OR RENDERED IN CEMENT MORTAR OR OTHER NON-ABSORBENT MATERIAL. ALL TOILETS, REFUSE ROOMS TO HAVE TILED FLOORS AND FULL HEIGHT GLAZED TILED WALL.
- ALL STAIRCASES OF 1050MM WIDE OR MORE SHALL BE PROVIDED WITH HANDRAILS ON BOTH SIDES.
- ALL RISERS OF STAIRCASES SHALL NOT BE MORE THAN 175MM AND TREADS NOT LESS THAN 225MM.
- ALL LEVELS ARE STRUCTURAL UNLESS OTHERWISE NOTED AND ARE SHOWN IN METERS ABOVE P.D.
- BUILDING (REFUSE STORAGE AND MATERIAL RECOVERY CHAMBERS AND REFUSE CHUTES) REGULATIONS TO BE COMPLIED WITH.
- ALL COMPARTMENT R.C. WALLS FOR EXIT ROUTES AND STAIRS AT GROUND STOREY OR ABOVE TO BE F.R.R. OF NOT LESS THAN -/60/60.
- MECHANICAL VENTILATION SHALL BE CAPABLE OF SUPPLYING FRESH AIR TO ALL PARTS OF AREAS REQUIRING IT AT A RATE OF NOT LESS THAN 5 CHANGES OF AIR PER HOUR.
- ALL PROVISIONS FOR DISABLED PERSONS ARE TO COMPLY WITH BUILDING ORDINANCE (CAP. 123), BUILDING (PLANNING) REGULATIONS 72 AND DESIGN MANUAL BARRIER FREE ACCESS 2008.
- ALL PARTS OF EXIT ROUTES SHOULD BE PROVIDED WITH ARTIFICIAL LIGHTING PROVIDING A HORIZONTAL ILLUMINANCE AT FLOOR LEVEL OF NOT LESS THAN 30 LUX AND BACKED UP BY AN EMERGENCY LIGHTING SYSTEM PROVIDING A HORIZONTAL ILLUMINANCE AT FLOOR LEVEL OF NOT LESS THAN 2 LUX. THE DESIGN OF THE EMERGENCY LIGHTING SYSTEM SHOULD COMPLY WITH THE CODE OF PRACTICE FOR MIN. FIRE SERVICES INSTALLATIONS AND EQUIPMENT.
- DOORS, EITHER WITH OR WITHOUT F.R.R., AT PROTECTED LOBBIES TO BE PROVIDED WITH SMOKE SEAL.
- ALL PLANTS AND EQUIPMENTS INDICATED TO BE INSTALLED AND PROVED TO FUNCTION BEFORE OP APPLICATION.
- IN ACCORDANCE WITH PNAP APP-98, FOR DOMESTIC BATHROOM AND LAVATORIES WHICH MECHANICAL LIGHTING AND VENTILATION IS PROVIDED, PERMANENT VENTILATION PROVIDED IN THE FORM OF A APERTURE IN DOOR, WHICH IS SUITABLY LOCATED AND PERMANENTLY OPEN OR PROTECTED WITH LOUVERS HAVING MINIMUM AREA OF 1/20 OF THE FLOOR AREA OF THE ROOM.
- (-/60/60) FRR ENCLOSURE TO BE PROVIDED FOR ALL PROTECTED LOBBY FOR PIPE WORKS EXCEPT FIRE SERVICES, THE HEIGHT SHOULD NOT LESS THAN 2000MM ABOVE FLOOR LEVEL.
- THE MATERIAL INCLUDING THE EMBEDDED FILLERS OR INSULATIONS IN THE PROPOSED EXTERNAL METAL CLADDING SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS IN COMPLIANCE WITH BUILDING (CONSTRUCTION) REGULATION 39 AND RELEVANT CLAUSES OF CODE OF PRACTICE FOR FIRE SAFETY IN BUILDINGS 2011 (OCTOBER 2015 VERSION) PART E PARTICULARLY E10.1 - NON-COMBUSTIBILITY.
- BEFORE APPLYING FOR THE CONSENT TO COMMENCE THE SUPERSTRUCTURE WORKS, THE PROVISIONS FOR M&R ACCESS REQUIRED UNDER THE CODE OF PRACTICE ON DESIGN FOR SAFETY - EXTERNAL MAINTENANCE WILL BE SUBMITTED TO AND APPROVED BY BD.
- ALL SERVICE DUCTS TO BE SEALED AT EACH FLOOR LEVEL.
- METAL RAILING ON ROOF TO COMPLY WITH CODE OF PRACTICE ON ACCESS OF EXTERNAL MAINTENANCE 2021.

## MODULAR INTEGRATED CONSTRUCTION (MIC) NOTES:

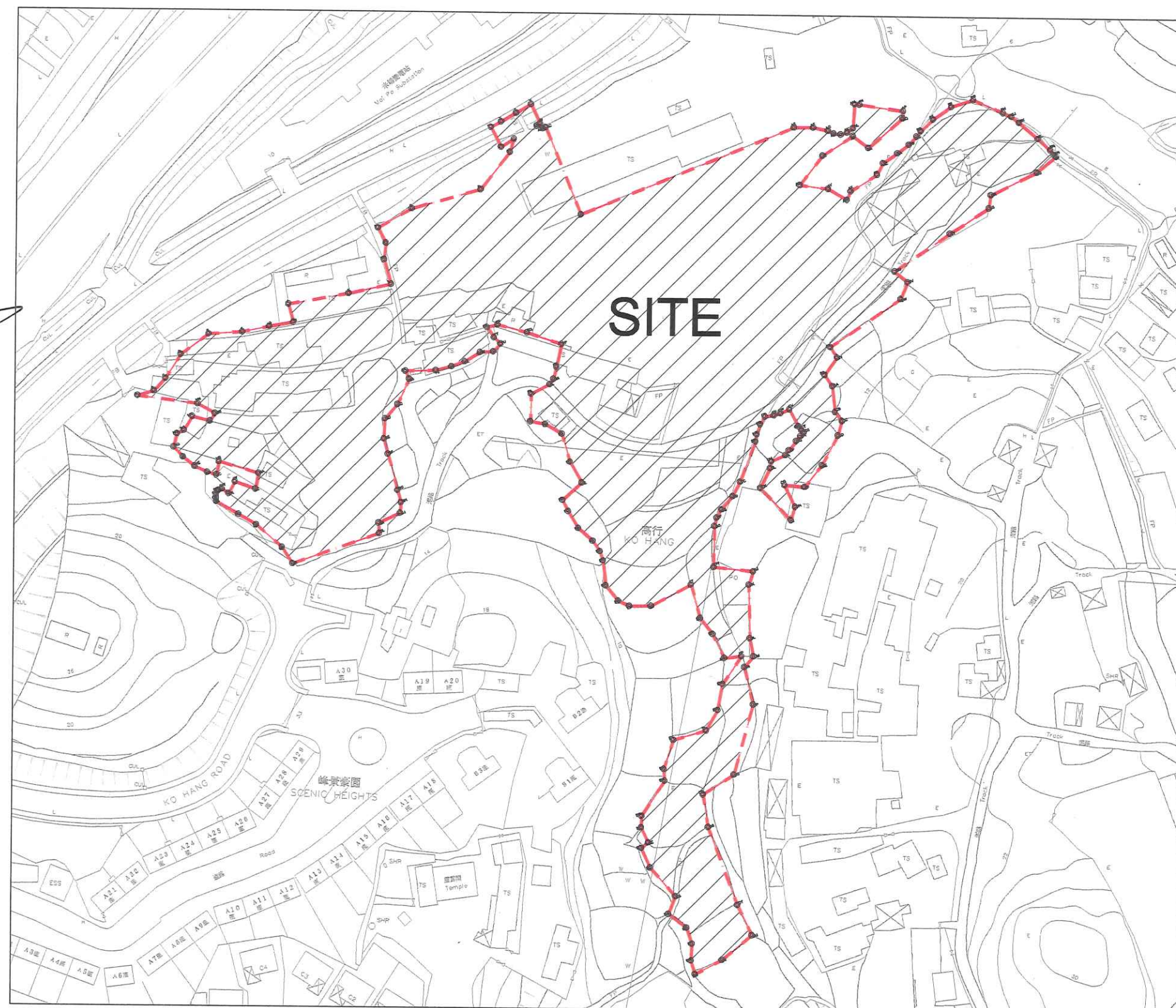
- MODULAR INTEGRATED CONSTRUCTION (MIC) IS ADOPTED IN THIS DEVELOPMENT PROJECT. THE TYPES OF MIC MODULES TO BE FABRICATED OFF-SITE AND THE CORRESPONDING MIC FLOOR AREA ARE SHOWN ON DRAWING NO. GP04.
- CORRESPONDING SUPERSTRUCTURE AND DRAINAGE PLANS SHALL BE SUBMITTED SEPARATELY AND THE APPROVAL OF SUCH BY THE BUILDING AUTHORITY (BA) SHALL BE OBTAINED BEFORE COMMENCEMENT OF THE MODULAR UNIT PRODUCTION WORK IN THE PREFABRICATION FACTORY.
- ESSENTIAL INFORMATION OF THE MIC SYSTEM AS LISTED IN PNAP ADV-36 SHALL BE SUBMITTED SEPARATELY AND THE ACCEPTANCE OF SUCH BY THE BA SHALL BE OBTAINED BEFORE THE COMMENCEMENT OF THE MODULAR UNIT PRODUCTION WORK IN THE PREFABRICATION FACTORY. (FOR MIC WITHOUT IPA)
- A QUALITY ASSURANCE SCHEME AND A MIC SUPERVISION PLAN SHALL BE PREPARED IN ACCORDANCE WITH PNAP ADV-36 AND SUBMITTED AT LEAST 14 DAYS BEFORE THE COMMENCEMENT OF THE MODULAR UNIT PRODUCTION WORK IN THE PREFABRICATION FACTORY.
- ANY FUTURE ALTERATIONS AND ADDITIONS (A&A) WORKS AFTER ISSUANCE OF OCCUPATION PERMIT SHALL REQUIRE PRIOR APPROVAL AND CONSENT FROM THE BA UNLESS THE A&A WORKS FALL WITHIN THE MINOR WORKS ITEMS WHICH MAY BE CARRIED OUT THROUGH THE SIMPLIFIED REQUIREMENTS UNDER THE MINOR WORKS CONTROL SYSTEM.
- ALL BUILDING SERVICES/CONDUITS ARE EXPOSED AND SHALL NOT BE EMBEDDED WITHIN THE FIRE PROTECTION BOARD WALL/CEILING SYSTEM.

## DEVELOPMENT SCHEDULE

UNDER BUILDING (PLANNING) REGULATION	
LOT NO.	VARIOUS LOTS IN D.D. 105 AND ADJOINING GOVERNMENT LAND
SITE AREA (FROM LEASE)	21,602 SQ.M
CLASS OF SITE	A
HEIGHT OF BUILDING (FROM MEAN STREET LEVEL = 6.4mPD)	23.20mPD - 6.4mPD = 16.8m
REMAINING DOMESTIC PLOT RATIO FOR COMPOSITE BUILDING	(5.8 - 0.03)/5.8 x 3.6 = 3.58
PERMITTED GROSS FLOOR AREA (DOMESTIC)	21,602 SQ.M x 3.58 = 77,335.16 SQ.M
PROPOSED GROSS FLOOR AREA (DOMESTIC)	29,321.447 SQ.M
PROPOSED DOMESTIC PLOT RATIO	29,321.447 SQ.M / 21,602 = 1.36 < 3.58
PERMITTED PLOT RATIO (NON-DOMESTIC)	5.8
PERMITTED GFA (NON-DOMESTIC)	21,602 SQ.M x 5.8 = 125,291.60 SQ.M
PROPOSED GFA (NON-DOMESTIC)	699.631 SQ.M
PROPOSED NON-DOMESTIC PLOT RATIO	699.631 SQ.M / 21,602 = 0.03 < 5.8
PERMITTED DOMESTIC SITE COVERAGE	60%
PROPOSED SITE COVERAGE AREA (DOMESTIC)	7852.955 SQ.M
PERCENTAGE OF PROPOSED SITE COVERAGE (DOMESTIC)	7852.955 SQ.M / 21,602 x 100% = 36.35% < 60%
PERMITTED NON-DOMESTIC SITE COVERAGE (OVER 15m BUT NOT EXCEEDING 18m)	97.5%
PROPOSED SITE COVERAGE AREA (NON-DOMESTIC)	1,091.314 SQ.M
PERCENTAGE OF PROPOSED SITE COVERAGE (NON-DOMESTIC)	1,091.314 SQ.M / 21,602 x 100% = 5.052% < 97.5%

## Drawing List

Drawing No.	Drawing Title	Scale
GP01-1	General Notes, Location and Block Plan	N.T.S.
GP01-2	General Notes, Location and Block Plan (2)	N.T.S.
GP02	Master Layout Plan	1:500
GP03-1	E.V.A. Calculation Diagram	1:500
GP03-2	Open Area Calculation Diagram	N.T.S.
GP03-3	Greenery Area Calculation Diagram	N.T.S.
GP04	Module Demarcation Diagram	N.T.S.
GP05-1	Ground Floor Plan Block 1 and Amenity Block (Block 5)	1:200
GP05-2	Ground Floor Plan Block 2 and STP & E/M and Multi function room 1	1:200
GP05-3	Ground Floor Plan Block 3 and Block 4 <del>Multi Function Room 1</del>	1:200
GP05-4	First Floor Plan Block 1 and Amenity Block (Block 5)	1:200
GP05-5	First Floor Plan Block 2 and STP & E/M	1:200
GP05-6	First Floor Plan Block 3 & Block 4	1:200
GP05-7	2/F-3/F Typical Floor Plan Block 1 and Amenity Block (Block 5)	1:200
GP05-8	2/F - 3/F TYPICAL FLOOR PLAN BLOCK 2 AND 1/F STP & E/M	1:200
GP05-9	2/F-3/F TYPICAL FLOOR PLAN BLOCK 3 AND BLOCK 4	1:200
GP05-10	Roof floor plan Block 1 and Amenity Block (Block 5)	1:200
GP05-11	Roof floor plan Block 2 and STP & E/M	1:200
GP05-12	Roof Plan Block 3 & Block 4	1:200
GP06-1	Overall Site Elevation (1)	1:200
GP06-2	Overall Site Elevation (2)	1:200
GP06-3	Elevations of Block 1	1:200
GP06-3A	Elevations of Block 2	1:200
GP06-4	Elevations of Block 3	1:200
GP06-4A	Elevations of Block 4	1:200
GP06-5	Elevations of Amenity Block (Block 5)	1:200
GP06-5A	Elevations of STP & E/M BLOCK	1:200
GP07-1	Overall Site Section (1)	1:200
GP07-2	Overall Site Section (2)	1:200
GP08	Typical MIC Type	1:50
GP08-1	Module type A & AR (Mirrored)	1:50
GP08-2	Module type B & BR (Mirrored)	1:50
GP08-3	Module type C1 & C2 and type C1R & C2R (Mirrored)	1:50
GP08-4	Module type D1, D2, D3, D4 & D5 and type D1R, D2R & D3R	1:50
GP08-5	Module type E1 & E2 and type E1R & E2R (Mirrored)	1:50
GP08-5a	Module type E3 & E4	1:50
GP08-6	Module type F1 & F2	1:50
GP08-7	Module type F5, F6 & F7	1:50
GP08-8	Module type G1, G2 & G3 and G1R, G2R, G3R (Mirrored) and Module type G4, G5 & G6 and type G4R, G5R & G6R (Mirrored)	1:50
GP08-9	Module type G7, G8 & G9 and type G10, G11 & G12 and type g10, G13 & G10R	1:50
GP08-10	Module type H1, H2, H3, H4,	1:50
GP08-10a	Module type H5, H6, H7, H8, H9	1:50
GP08-11	Module type J	1:50
GP08-11a	Module type J1 & J2	1:50
GP08-12	Module type K AND KR	1:50
GP08-12a	Module type K1 AND K2	1:50
GP08-13	Module type L1, L2 & L1R	1:50
GP08-13a	Module type L3, L4 & L5	1:50
GP08-14	Module type M1 & M2	1:50
GP08-15	Module type S1, S1A & S1B	1:50
GP08-15a	Module type S2, S2A & S2B	1:50
GP08-15b	Module type S3, S3A & S3B	1:50
GP09	Domestic Unit Floor Plans and U.F.A Calculations	N.T.S.
GP10	Non-Domestic Unit Floor Plans and U.F.A Calculations	N.T.S.
GP11-1	Calculations (1)	N.T.S.
GP11-2	Calculations (2)	N.T.S.
GP11-3	Calculations (3)	N.T.S.
GP12	Diagram For Prescribed Windows	N.T.S.
GP13	M & R Plan	N.T.S.



LOCATION PLAN

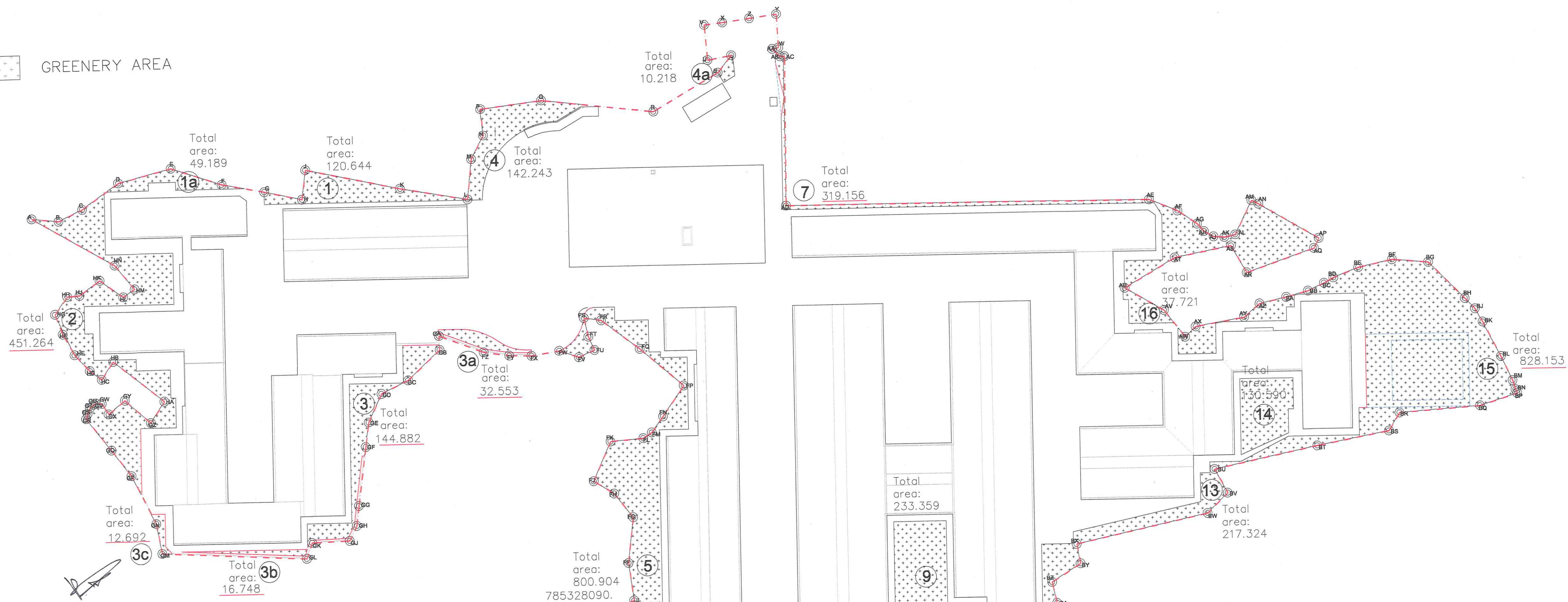
1 : 1500

GP14-1	Details 01	N.T.S.
GP14-2	Details 02	1:10
GP14-3	Details 03	1:10
GP14-4	Details 04	1:10
GP14-5	Typical details 1	1:10

Note: This plan has been prepared in accordance with the provisions of the Building Ordinance (Cap. 123) and the Building Regulations (Cap. 123A) and the Building (Planning) Regulations (Cap. 123B) and the Building (Miscellaneous Provisions) Regulations (Cap. 123C) and the Building (Miscellaneous Provisions) Regulations (Cap. 123D) and the Building (Miscellaneous Provisions) Regulations (Cap. 123E) and the Building (Miscellaneous Provisions) Regulations (Cap. 123F) and the Building (Miscellaneous Provisions) Regulations (Cap. 123G) and the Building (Miscellaneous Provisions) Regulations (Cap. 123H) and the Building (Miscellaneous Provisions) Regulations (Cap. 123I) and the Building (Miscellaneous Provisions) Regulations (Cap. 123J) and the Building (Miscellaneous Provisions) Regulations (Cap. 123K) and the Building (Miscellaneous Provisions) Regulations (Cap. 123L) and the Building (Miscellaneous Provisions) Regulations (Cap. 123M) and the Building (Miscellaneous Provisions) Regulations (Cap. 123N) and the Building (Miscellaneous Provisions) Regulations (Cap. 123O) and the Building (Miscellaneous Provisions) Regulations (Cap. 123P) and the Building (Miscellaneous Provisions) Regulations (Cap. 123Q) and the Building (Miscellaneous Provisions) Regulations (Cap. 123R) and the Building (Miscellaneous Provisions) Regulations (Cap. 123S) and the Building (Miscellaneous Provisions) Regulations (Cap. 123T) and the Building (Miscellaneous Provisions) Regulations (Cap. 123U) and the Building (Miscellaneous Provisions) Regulations (Cap. 123V) and the Building (Miscellaneous Provisions) Regulations (Cap. 123W) and the Building (Miscellaneous Provisions) Regulations (Cap. 123X) and the Building (Miscellaneous Provisions) Regulations (Cap. 123Y) and the Building (Miscellaneous Provisions) Regulations (Cap. 123Z) and the Building (Miscellaneous Provisions) Regulations (Cap. 123AA) and the Building (Miscellaneous Provisions) Regulations (Cap. 123AB) and the Building (Miscellaneous Provisions) Regulations (Cap. 123AC) and the Building (Miscellaneous Provisions) Regulations (Cap. 123AD) and the Building (Miscellaneous Provisions) Regulations (Cap. 123AE) and the Building (Miscellaneous Provisions) Regulations (Cap. 123AF) and the Building (Miscellaneous Provisions) Regulations (Cap. 123AG) and the Building (Miscellaneous Provisions) Regulations (Cap. 123AH) and the Building (Miscellaneous Provisions) Regulations (Cap. 123AI) and the Building (Miscellaneous Provisions) Regulations (Cap. 123AJ) and the Building (Miscellaneous Provisions) Regulations (Cap. 123AK) and the Building (Miscellaneous Provisions) Regulations (Cap. 123AL) and the Building (Miscellaneous Provisions) Regulations (Cap. 123AM) and the Building (Miscellaneous Provisions) Regulations (Cap. 123AN) and the Building (Miscellaneous Provisions) Regulations (Cap. 123AO) and the Building (Miscellaneous Provisions) Regulations (Cap. 123AP) and the Building (Miscellaneous Provisions) 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GREENERY AREA



## GREENERY AREA CALCULATION

REQUIRED UNDER SECTION-16

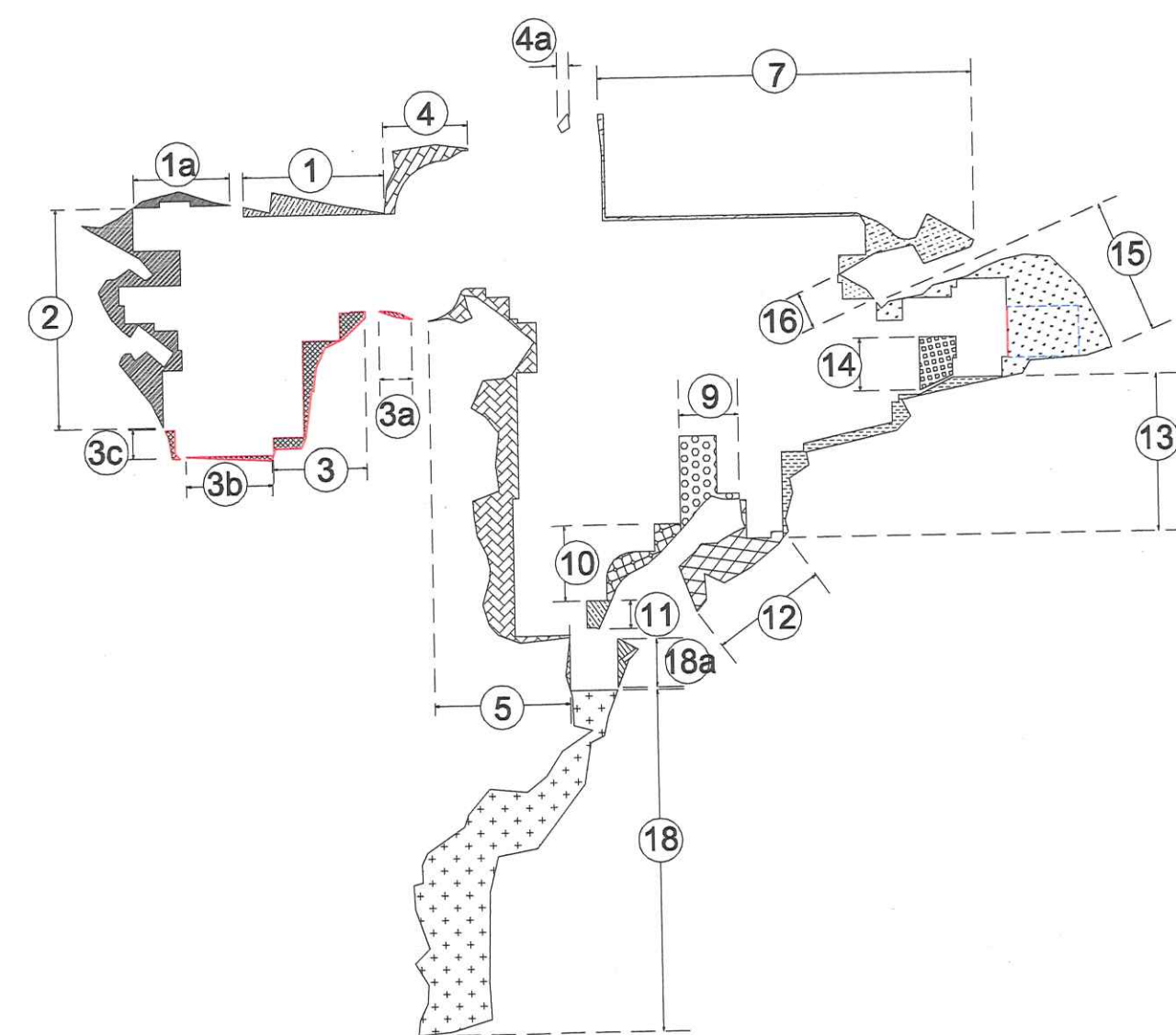
REQUIRED GREENERY AREA = 2676 SQ.M.

TOTAL GREENERY AREA PROVIDED:

$$\begin{aligned} & ① + ①a + ② + ③ + ③a + ③b + ③c + ④ + ④a + \\ & ⑤ + ⑦ + ⑨ + ⑩ + ⑪ + ⑫ + ⑬ + \\ & ⑭ + ⑮ + ⑯ + ⑱ + ⑱a \end{aligned}$$

$$\begin{aligned} = & 120.644 + 49.189 + 451.264 + 144.882 + 32.553 + 16.748 + 12.692 + 142.243 + 10.218 + \\ & 800.904 + 319.156 + 233.359 + 129.561 + 41.448 + 296.153 + 217.324 + \\ & 130.590 + 828.153 + 37.721 + 1633.680 + 34.268 \end{aligned}$$

$$= 5682.750 \text{ SQ.M.} > 2676 \text{ SQ.M.}$$



## GREENERY AREA DIAGRAM

Note: This plan has been processed on a certified check basis under the centralized processing system as promulgated in PNAP ADM-18. The duties of the authorized person, registered structural engineer and/or registered geotechnical engineer consent as specified under section 4(3)(b) and the provision of section 14(2)(c) of the Buildings Ordinance are of particular relevance in this regard.

Plan Approved  
NG Tsz-kin  
Senior Building Surveyor  
for BUILDING AUTHORITY  
24 JAN 2024

FSD Ref No: FP 8/31683 <2>		
BD Ref No: BD 2/9059/22(TH)		
Revisions and Submissions:		
No:	Date:	Details:
A	07/2022	1ST SUBMISSION
B	10/2022	1ST AMENDMENT
C	28 FEB 2023	GENERAL REVISION
D	07 JUN 2023	GENERAL REVISION
E	12 DEC 2023	GENERAL REVISION

Client/Employer



Project Architect

**Deloitte** 德勤

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Project Structural Engineer: Mannings (Asia) Consultants Ltd  
Project E/M Engineer: WSP (Asia) Ltd  
Project Quantity Surveyor: Bera Consultants Limited

Design and Building Contractor

**SFK** Sun Fook Kong Construction Limited  
新福港營造有限公司

Architectural Designer / Authorized Person

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YUNG CHUNG KWONG  
Authorized Person

FUNG BRIAN PAK YAN  
Authorized Person-Architect

Structural Designer / R.S.E.

**hewson**  
consulting

M/C Designer

**Astute**  
Building Construction  
Company Limited

M/C Supplier and Manufacturer

**E Hans**

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2. Use written dimensions or grid lines in preference to scaled dimensions. Measurements to existing work are to be checked on site.  
3. This drawing is to be read in conjunction with the Architect's Specification and Conditions of Contract.  
4. Prints not showing the last revision are to be cancelled.  
5. Prints without an authorized signature in the checked and approved spaces below and after the last revision above are NOT valid for use outside SRL.

Project:  
PROPOSED TRANSITIONAL HOUSING  
AT VARIOUS LOTS IN D.D. 105 AND  
ADJOINING GOVERNMENT LAND,  
NGAU TAM MEI, YUEN LONG, N.T.

Drawing title:  
GREENERY AREA CALCULATION  
DIAGRAM

Drawn by:	Date:
KP	12 DEC 2023
Checked for correctness by:	Date:
BF	12 DEC 2023
Approved for issue by:	Date:
BF	12 DEC 2023
Scale:	Print Date:
1:500@A1	12 DEC 2023
Project:	Drawing:
A-2301	GP03-3

Revision:  
D



## FIRE SERVICES NOTES

### 1.1. Automatic Sprinkler System

- Automatic sprinkler system will be designed in accordance with LPC rules to BS EN 12845: 2015 and HKFSD Circular Letter No. 5/2020.
- The hazard classification of the sprinkler system shall be designed as follows:
  - OH1: G/F to 3/F of Amenity block (Block 5);
- Sprinkler system will be provided to cover the below area (Improvise automatic sprinkler system refer to item 1.2):
  - Amenity block (Block 5);
- The sprinkler system will be provided to cover the Amenity block (Block 5) (G/F) included all staircases and toilets, except all E&M plant rooms, pipe ducts, water meter cabinets and all E&M cabinets.
- For 1/F to 3/F at Amenity Block (Block 5), sprinkler system will only be provided for the residential units with open kitchen.
- Sprinkler system will not be provided to entire STP & E/M block.
- Sprinkler water tank and sprinkler pump room will be provided as follows:
  - One 37,000 litres sprinkler water tank and sprinkler pump room to be provided for Amenity block (Block 5) at 1/F of STP & E/M block.
- Individual sprinkler pumps set [each set consisted with one duty, one standby and jockey pump(s)] will be provided.
- The sprinkler system will be provided on G/F and extended two floors above 1/F to 2/F inside staircase areas of Amenity block (Block 5). The sprinkler heads will be fast response type.
- One no. of sprinkler inlet for the automatic sprinkler system of the amenity block (Block 5) will be provided on G/F as indicated on plans.
- The sprinkler alarm will be connected to the Fire Services Communications Centre via F.S. direct telephone link.
- Sprinkler control valve will be provided as indicated on plans.

### 1.2. Improvised Automatic Sprinkler System

- Improvised automatic sprinkler system will be designed in accordance with LPC rules to BS EN 12845: 2015 and HKFSD Circular Letter No. 4/1996, 5/2020.
- The hazard classification of the improvised sprinkler system shall be designed as follows:
  - OH1: Residential units with open kitchen in domestic floors.
- Four(4) individual improvised sprinkler systems will be provided to cover the below areas:
  - Residential units with open kitchen in domestic floors of Block 1;
  - Residential units with open kitchen in domestic floors of Block 2;
  - Residential units with open kitchen in domestic floors of Block 3;
  - Residential units with open kitchen in domestic floors of Block 4.
- Sprinkler inlets will be provided on G/F as indicated on plans. Only sprinkler inlets for the corresponding sprinkler system will be interconnected. No interconnection will be provided between different sprinkler systems.
- The sprinkler alarm will be connected to the Fire Services Communications Centre via F.S. direct telephone link.
- Sprinkler control valve for each block will be provided at corresponding block.
- No sprinkler tank or pump to be provided for the improvised automatic sprinkler system, the water supply will be fed from town main directly.

### 2. Fire Hydrant and Hose Reel System

- Fire hydrant and hose reel systems will be designed in accordance with the Codes of Practice, HKFSD Circular Letter No. 2/2013 and latest HKFSD requirements.
- Five (5) individual FH&HR systems will be provided as below:
  - Amenity block (Block 5), Block 1, Block 2, Block 3, Block 4.
- Five (5) individual F.S. water tanks and F.S. pump rooms will be provided as follows and indicates on plans.
  - One 27,000 litres F.S. water tank and F.S. pump room to be provided for Amenity block (Block 5) at 1/F of STP & E/M block;
  - One 36,000 litres F.S. water tank and F.S. pump room to be provided for Block 1 at G/F of STP & E/M block;
  - One 36,000 litres F.S. water tank and F.S. pump room to be provided for Block 2 at G/F of STP & E/M block;
  - One 36,000 litres F.S. water tank and F.S. pump room to be provided for Block 3 at G/F of STP & E/M block;
  - One 36,000 litres F.S. water tank and F.S. pump room to be provided for Block 4 at G/F of STP & E/M block.
- Individual fixed pumps sets (each set consisted with one duty, one standby and one jockey pump) will be provided at related F.S. pump rooms as indicated on plans.
- Sufficient fire hydrant and hose reel will be provided on each floor. Fire hydrants will be provided in all required staircase enclosures. Hose reels will be provided to ensure that every part of the floor can be reached by a length of not more than 30m hose reel tubing.
- F.S. inlets will be provided as indicated on plans. Only F.S. inlets for the corresponding Fire Hydrant & Hose Reel System will be interconnected. No interconnection will be provided between different Fire Hydrant & Hose Reel Systems.
- No fire hydrant & hose reel will be provided for STP & E/M block, open landscape\_outdoor areas on G/F, master meter room & store room.

### 3. Automatic Fire Detection and Manual Fire Alarm System

- Automatic fire detection and manual fire alarm system will be designed in accordance with BS 5839-1:2017 (INCORPORATING CORRIGENDUM NO.1)and HKFSD Circular Letter no. 6/2021.
- A manually operated fire alarm system c/w manual breakglass and alarm bell will be provided throughout the building and incorporated to the FH&HR system.
- All detectors are addressable type.
- For Amenity block (Block 5) (G/F), automatic fire detection system will be provided for all E&M plant rooms not covered by sprinkler system only except E&M ducts and cable trenches.
- For domestic floors for Block 1, 2, 3, 4 and Amenity block (Block 5) (1/F to 3/F), automatic fire detection system will not be provided. (except the living area of residential units with open kitchen and the lobby outside the flat with open kitchen).
- All alarm signals of Block 1, 3, 4 and Amenity Block will be transmitted to the F.S. sub-panel at each block respectively, and then repeat to the F.S. control panel provided inside the F.S. control room located on G/F of STP & E/M block as indicated on plans.
- All alarm signals of Block 2 and Multi function Room 1 will be transmitted to the F.S. sub-panel inside security room at Block 2, and then repeat to the F.S. control panel provided inside the F.S. control room located on G/F of STP & E/M block as indicated on plans.
- Visual fire alarm will be provided for Amenity block (Block 5) (G/F) and multi function room 1 only in accordance with Barrier Free Access 2008. Visual fire alarm will not be provided to open landscape and outdoor areas.
- For Block 1, 2, 3, 4, upon actuation of any of the fire alarm signal (except addressable sounder-based smoke detector signals from flat unit with open kitchen), the alarm bells from the corresponding block and the master alarm bell outside F.S. control room will be operated and the fixed fire pump of the corresponding block will be activated.

- For Amenity block (Block 5), upon actuation of any of the fire alarm signal (except addressable sounder-based smoke detector signals from flat unit with open kitchen), all the alarm bells and visual fire alarms for Amenity block (Block 5) and the master alarm bell outside F.S. control room will be operated and fixed fire pump for Amenity block (Block 5) will be activated.
- For STP & E/M block, upon actuation of any of the fire alarm signal, all the alarm bells for STP & E/M block and the master alarm bell outside F.S. control room will be operated.
- For External Multi function room 1, upon actuation of any of the fire alarm signal, all the alarm bells and visual fire alarms for External Multi function room 1 and the master alarm bell outside F.S. control room will be operated and H.R. pump for multi function room 1 will be activated.
- For Master meter room & store room, upon actuation of any of the fire alarm signal, all the alarm bells for Master meter room and the master alarm bell outside F.S. control room will be operated.
- Common fire alarm signal will be transmitted to the Fire Services Communications Centre via a direct telephone link from F.S. control panel located in F.S. control room.
- All alarm signal from F.S. control panel will be repeated to the repeater panel provided inside the reception office at Block 2.

### 4. Fire Services Provision for Open Kitchen

All fire safety provisions inside the open kitchen design will be designed in accordance with the Code of Practice for Fire Safety in Buildings 2011, Clause C13.4.

#### a. Automatic Sprinkler System

—Sprinkler head will be provided to cover the notional open kitchen area. The alarm signal of the system will be connected to the F.S. sub-panel, and then repeat to the F.S. control panel in the F.S. control room, the common fire alarm signal of the building will be transmitted to the Fire Services Communications Centre.

#### b. Addressable Automatic Detection System

—Sounder-based smoke detector will cover the living area of residential units with open kitchen design except bedroom(s) and bathroom(s). The alarm signal of the sounder-based smoke detector will be transmitted the F.S. sub-panel, and then repeat to the F.S. control panel in the F.S. control room, the common building fire alarm signal of the building will be transmitted to the Fire Services Communications Centre via a direct telephone link.

—Smoke detectors will cover the entire lobby and corridor outside residential units with open kitchen. The alarm signal of the smoke detectors will be connected to the F.S. sub-panel, and then repeat to the F.S. control panel in the F.S. control room, the common building fire alarm signal of the building will be transmitted to the Fire Services Communications Centre via a direct telephone link.

—A full-height wall having an FRR of not less than ~/30/30 adjacent to the exit door will be erected in each flat with open kitchen. The width of the wall should not be less than 600mm.

A fire safety management plan in accordance with clause F5.8 of the Code of Practice for Fire Safety in Buildings 2011 will be submitted and endorsed by the FSD prior to request for FSI acceptance inspection.

### 5. Portable Fire Extinguisher

- The appropriate type of fire extinguisher will be provided at location as shown on plans.

### 6. Ventilation/Air Conditioning Control System:

- When a Ventilation/Air Conditioning Control System will be provided, it will stop mechanically induced air movement within designated fire compartment.

### 7. Exit Sign

- Sufficient exit signs and directional signs to be provided to ensure that all exit routes from any floor within the building are clearly indicated as required by the configuration of staircase serving the building are clearly indicated. Exit / directional sign shall comply with F.S.D. circular letter no. 5/2008 and BS 5266: Part 1: 2016 with 2 hours self-contained battery back up and from upstairs of main incomeer switch.

### 8. Emergency Lighting

- Emergency lighting will be designed in accordance with BS 5266: Part 1: 2016, BSEN 1838: 2013 and circular letter No.4/2021.
- For domestic portion of amenity block, block 1, block 2, block 3, block 4, self contained 2 hours battery backup emergency lighting to be provided to all staircase, passages and common area of all floors except individual domestic flat.
- For non-domestic portion of amenity block and external multi function room 1 & 2, self contained 2 hours battery backup emergency lighting to be provided.
- For STP & E/M block, self contained 2 hours battery backup emergency lighting to be provided.

- No emergency lighting will be provided for external areas of the development, cable ducts, pipe ducts, check / water meter cabinet.

### 9. Emergency Generator

- No emergency generator will be provided.
- The essential power supply for all the fire services installation will be direct connected before the power supply company's (CLP) incoming main distribution board.

### 10. Audio / Visual Advisory System:

- Audio / Visual Advisory System will not be provided as the area of each floor which occupied by guests or visitors is not exceeding 2,000m².

### 11. Street Fire Hydrant System:

- Street fire hydrants to be provided for the development and shall comply to FSD COP September 2022.
- Pedestal street fire hydrants to be provided along the emergency vehicular access as indicated on plans.
- No street fire hydrant tank or pump to be provided for the street fire hydrants. The water supply for the street fire hydrants to be fed from the town main directly to maintain a total output of not less than 4000L/min from any one street fire hydrant with a minimum running pressure of 170kPa. AP is required to ensure the flow and pressure of street fire hydrant to meet FSD requirement.
- The proposed installation shall be accepted and approved by WSD.

- Fire services completion advice for the SFH installation issued by WSD shall be provided in the application of inspection and testing of the fire service installations and equipment as stipulated in FSD circular letter no. 1/2008.

### 12. External Multi function Room 1 & 2 (total floor area not exceed 230m²) and Multi function room on G/F of block 3 (total floor area not exceed 230m²)

- Due to EVA deficiency of External Multi function room 1 & 2, sprinkler system with fast response type sprinkler heads will be provided to External Multi function room 1 and extended from block 2 sprinkler system, and sprinkler system with fast response type sprinkler heads will be provided to External Multi function room 2 and extended from block 4 sprinkler system. The hazard is classified as OH1.
- Modified hose reel systems will be designed in accordance with the Codes of Practice, HKFSD Circular Letter No. 2/2013 and latest HKFSD requirements.
- Two(2) individual HR systems will be provided as below:
  - External Multi function room 1;
  - External Multi function room 2.
- Two(2) individual H.R. water tanks and H.R. pump rooms will be provided as follows and indicates on plans.
  - One 2,000 litres H.R. water tank and H.R. pump room to be provided for External Multi function room 1;
  - One 2,000 litres H.R. water tank and H.R. pump room to be provided for External Multi function room 2 at G/F of External Multi function room 2.
- Individual pumps sets (each set consisted with one duty, one standby and one jockey pump) will be provided at related H.R. pump rooms as indicated on plans.
- Sufficient hose reel will be provided on each floor. Hose reels will be provided to ensure that every part of the floor can be reached by a length of not more than 30m hose reel tubing.
- NO F.S. inlets will be provided.
- A manually operated fire alarm system c/w manual breakglass and alarm bell will be provided throughout the room and incorporated to the HR system.
- Visual fire alarm will be provided.

### 13. Master Meter Room

- Only detector, manual break glass, alarm bell and F.E. will be provided.

### 14. For Modular Integrated Construction (MIC), FSD circular letter no. 3/2019 will be complied.

- Any intended storage or use of dangerous goods as defined in chapter 295 of the laws of Hong Kong to be notified to the director of fire services (Separate application giving full details to be submitted to the dangerous goods division regarding D.G. storage.)

### 16. Miscellaneous

- All linings for acoustic and thermal insulation purposes in ducting and concealed spaces will be of Class 1 or 2 rate of surface spread of flame as per BS 476: part 7 or equivalent, or be brought up to that standard by use of an approved fire retardant product.
- All linings for acoustic, thermal insulation and decorative purposes within protected means of escape will be of Class 1 & 2 rate of spread of flame as per BS 476: part 7 or equivalent, or be brought up to that standard by use of an approved fire retardant product.

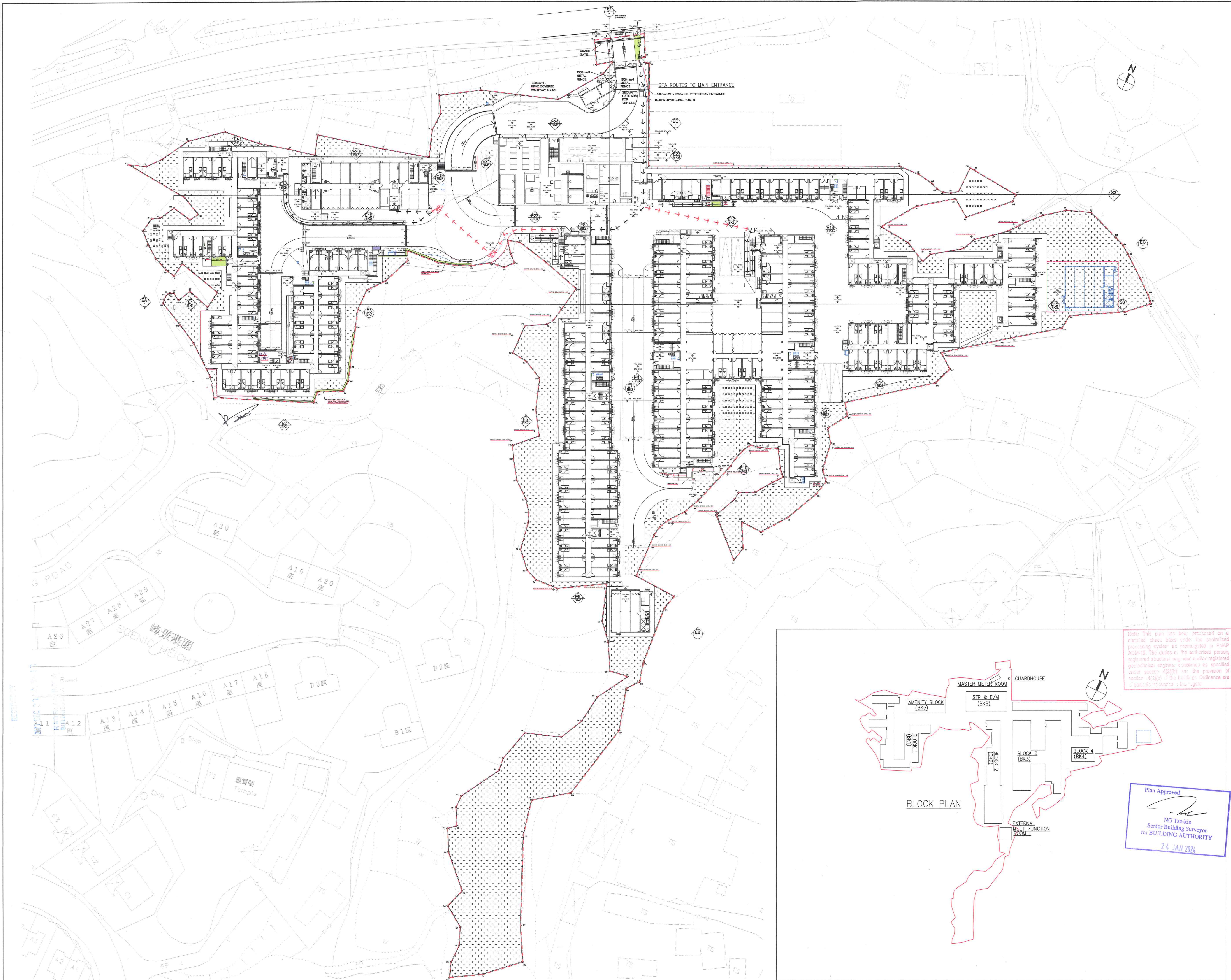
## LAND SURVEY PLAN COORDINATES FOR ADDITIONAL SITE AREA

SUBJECT LOT CO-ORDINATES & DIMENSIONS:		1980 Grid Coordinates:	
Boundary Point	Bearing	Distance	N
BN	232° 10' 30"	26.755	838866.145
BX	144° 09' 28"	3.996	838862.992
BY	312° 03' 17"	6.727	838871.692
CA	142° 09' 34"	4.284	838893.699
CB	171° 00' 27"	9.077	838845.921
CC	138° 50' 35"	3.546	838843.251
CD	203° 05' 16"	4.615	838829.756
CE	205° 00' 37"	10.591	838829.158
CF	192° 52' 00"	4.462	838811.267
CG	212° 08' 41"	6.241	838822.284
CH	119° 47' 17"	7.388	838813.625
CI	192° 52' 00"	4.462	838811.267
CJ	312° 03' 17"	6.727	838871.692
CK	22° 12' 59"	9.946	838827.357
CL	5° 52' 14"	2.150	838829.556
CM	65° 29' 46"	4.616	838811.685
CN	32° 24' 14"	1.915	838833.301
CO	37° 49' 18"	1.888	838837.796
CP	310° 08' 20"	1.721	838839.123
CQ	318° 58' 22"	1.521	838840.923
CR	308° 11' 05"	3.302	838845.929
CS	243° 18' 23"	3.046	838844.570
CT	249° 01' 14"	2.133	838843.817
CU	260° 24' 29"	2.901	838843.325
CV	207° 48' 27"	2.808	838842.447
DA	156° 11' 09"	3.338	838837.644
DB	102° 04' 00"	1.511	838842.447
DC	197° 30' 40"	13.551	838825.448
DD	204° 06' 29"	5.069	838817.951
DE	217° 24' 22"	5.500	838813.552
DF	206° 22' 50"	2.968	838810.693
DG	190° 07' 33"	7.751	838808.127
DH	178° 59' 20"	10.508	838795.293
DI	152° 58' 16"	10.403	838794.626
DJ	195° 10' 31"	4.343	838790.444
DK	159° 36' 16"	16.713	838779.776
DL	165° 37' 59"	7.255	838768.204
DM	182° 48' 09"	4.382	838764.738
DN	182° 48' 11"	12.127	838751.093
DO	194° 10' 08"	26.797	838730.818
DP	161° 36' 02"	11.474	838729.091
DQ	167° 56' 47"	10.345	838713.974
DR	156° 10' 34"	26.050	838701.127
DS	151° 09' 59"	10.476	838690.950
DT	157° 04' 04"	12.177	838676.666
DU	238° 36' 45"	9.586	838667.721
DV	34° 00' 37"	4.445	838671.900
DW	30° 56' 25"	5.293	838677.200
DX	338° 58' 18"	5.344	838682.170
DY	304° 23' 25"	7.164	838685.183
EZ	18° 42' 52"	5.943	838681.812
FA	315° 12' 29"	11.574	838701.316
FB	332° 39' 37"	6.768	838706.321
FC	304° 23' 25"	7.159	838701.316
FD	331° 51' 51"	5.616	838712.748
FE	308° 58' 18"	3.608	838715.355
FF	308° 58' 18"	3.608	838715.355
FG	352° 40' 37"	7.330	838731.390
FH	14° 32' 22"	6.624	838731.390
FI	70° 47' 32"	10.676	838744.224
FJ	20° 29' 29"	3.320	838759.746
FK	7° 29' 19"	8.893	838758.979
FL	304° 23' 25"	7.159	838701.316
FM	261° 01' 25"	5.365	838767.209
FN	422° 48' 46"	8.402	838761.406
FO	318° 29' 56"	6.279	838775.256
FP	341° 24' 02"	10.804	838789.496
FQ	288° 27' 07"	6.763	838781.767
FR	298° 33' 14"	8.824	838785.444
FS	317° 10' 46"	6.191	838787.774
FT	11° 77' 22"	8.254	838791.616
FU	338° 40' 37"	3.053	838798.286
FV	330° 58' 18"	3.608	838715.355
FW	308° 58' 18"	3.608	838715.355
FX	304° 23' 25"	7.159	838701.316
FY	304° 23' 25"	7.159	838701.316
FZ	304° 23' 25"	7.159	838701.316
GA	304° 23' 25"	7.159	838701.316
GB	304° 23' 25"	7.159	838701.316
GC	304° 23' 25"	7.159	838701.316
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GE	304° 23' 25"	7.159	838701.316
GF	304° 23' 25"	7.159	838701.316
GH	304° 23' 25"	7.159	838701.316
GI	304° 23' 25"	7.159	838701.316
GJ	304° 23' 25"	7.159	838701.316
GK	304° 23' 25"	7.159	838701.316
GL	304° 23' 25"	7.159	838701.316
GM	304° 23' 25"	7.159	838701.316
GN	304° 23' 25"	7.159	838701.316
GO	304° 23' 25"	7.159	838701.316
GP	304° 23' 25"	7.159	838701.316
GQ	304° 23' 25"	7.159	838701.316
GR	304° 23' 25"	7.159	838701.316
GS	304° 23' 25"	7.159	838701.316
GT	304° 23' 25"	7.159	838701.316
GU	304° 23' 25"	7.159	838701.316
GV	304° 23' 25"	7.159	838701.316

SUBJECT LOT CO-ORDINATES & DIMENSIONS:		1980 Grid Coordinates:	
Boundary Point	Bearing Distance	N	E
GA	242° 25' 30" 7.470	838803.439	842537.837
GB	173° 50' 04" 3.322	838803.136	842536.194
GC	247° 34' 43" 28.766	838789.164	842311.023
GD	354° 10' 03" 4.076	838784.000	842310.085
GE	308° 11' 29" 10.765	838800.746	842119.385
GF	297° 31' 29" 6.490	838803.746	842113.830
GH	296° 28' 33" 8.048	838807.324	842036.626
GI	292° 32' 51" 1.057	838808.462	842036.484
GJ	295° 41' 30" 1.213	838809.633	842036.414
GK	23° 18' 12" 1.026	838810.357	842036.812
GL	43° 43' 11" 0.506	838810.923	842037.162
GM	65° 44' 04" 1.170	838811.404	842038.229
GN	142° 31' 40" 2.488	838810.066	842011.227
GO	25° 47' 21" 4.195	838813.843	842016.132
GP	102° 15' 51" 6.838	838811.528	842016.711
GQ	7° 55' 01" 5.017	838816.897	842015.407
GR	282° 11' 34" 2.940	838816.516	842006.816
GS	187° 54' 51" 4.241	838813.715	842006.236
GT	281° 11' 34" 2.940	838816.516	842006.816
GU	291° 45' 45" 4.373	838817.957	842019.297
HV	302° 44' 46" 7.311	838802.721	842025.427
HJ	314° 02' 45" 4.229	838802.662	842025.418
HK	10° 29' 38" 4.283	838802.673	842025.427
HL	6° 28' 19" 4.282	838802.670	842025.427
HM	28° 51' 34" 4.983	838803.426	842017.707
HL	102° 05' 58" 5.729	838806.426	842013.747
HI	31° 00' 09" 5.737	838804.721	842004.752
HN	292° 44' 46" 6.211	838802.681	842019.577
A	274° 48' 08" 18.707	838807.249	842030.316

Area = 21,602 sq.m. (about)






FSD Ref No: FP 8/31683 <2>  
BD Ref No: BD 2/9059/22(H)

Revisions and Submissions:

No.	Date	Details	Chkd.
-	07/2022	1ST SUBMISSION	
A	10/2022	1ST AMENDMENT	
B	28 FEB 2023	GENERAL REVISION	
C	07 JUN 2023	GENERAL REVISION	
D	08 SEPT 2023	GENERAL REVISION	
E	12 DEC 2023	GENERAL REVISION	

Client/Employer

  
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Project E/M Engineer: WSP (Asia) Ltd  
Project Quantity Surveyor: Beria Consultants Limited


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Structural Designer / R.S.E.

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consulting

M/C Designer

  
Astute  
Building Construction  
Company Limited

M/C Supplier and Manufacturer

  
E Hans

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Project:  
PROPOSED TRANSITIONAL HOUSING  
AT VARIOUS LOTS IN D.D. 105 AND  
ADJOINING GOVERNMENT LAND,  
NGAU TAM MEI, YUEN LONG, N.T.

Drawing Title:  
MASTER LAYOUT PLAN

Drawn by:	Date:
KP	12 DEC 2023

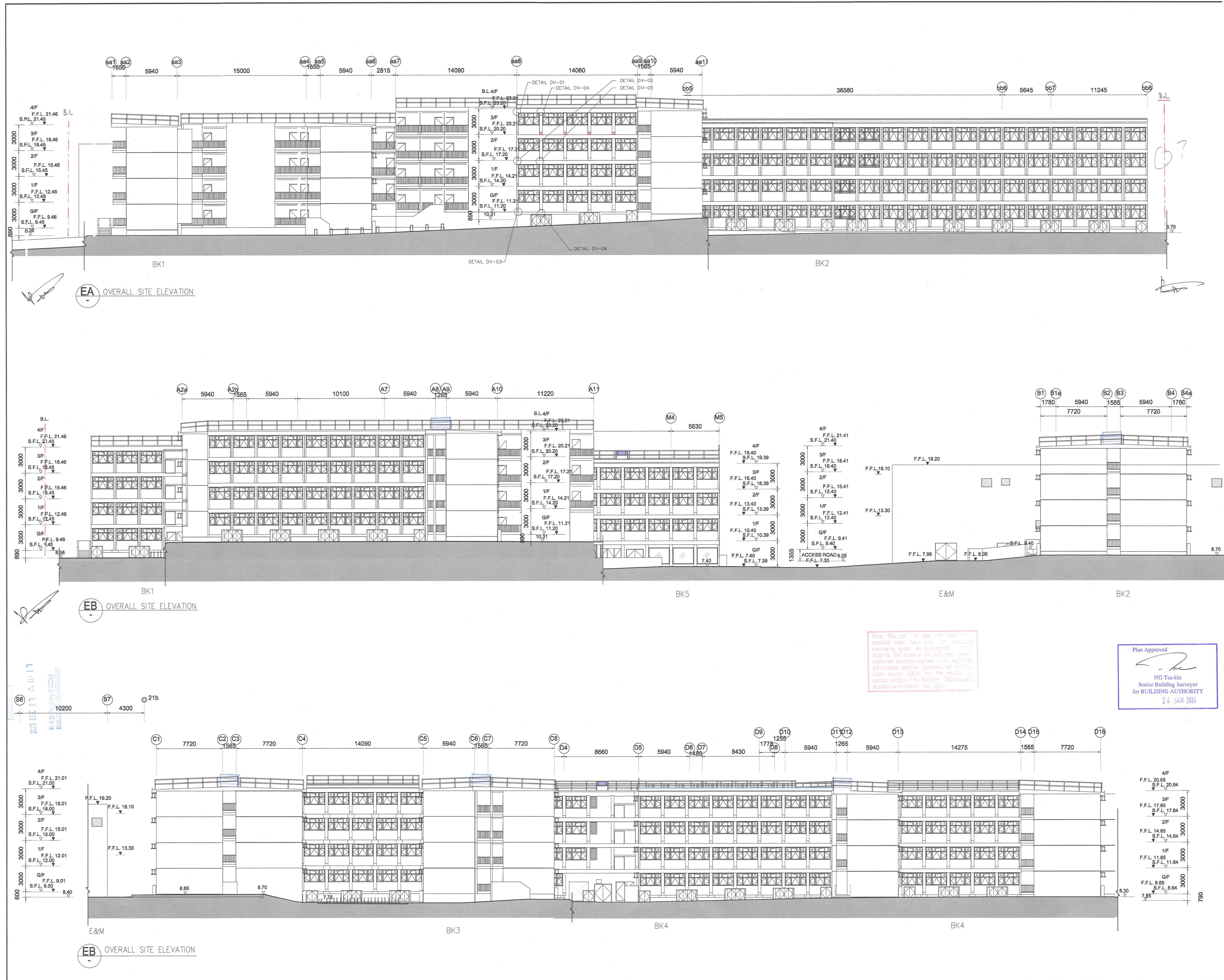
Checked for correctness by:	Date:
BF	12 DEC 2023

Approved for issue by:	Date:
BF	12 DEC 2023

Scale:	Print Date:
1:500@A1	12 DEC 2023

Project:	Drawing:	Revision:
A-2301	GP02	E





FSD Ref No: FP 8/31683 <2>  
BD Ref No: BD 2/9059/22(H)

Revisions and Submissions:

No.	Date	Details	Chkd.
1	02 SEP 2022	1ST APPROVAL	
2	28 FEB 2023	GENERAL REVISION	
3	07 JUN 2023	GENERAL REVISION	
4	12 DEC 2023	GENERAL REVISION	

Client/Employer

  
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Project S/M Engineer: NSP (Asia) Ltd  
Project Quantity Surveyor: Beria Consultants Limited

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Structural Designer / R.S.E.

  
hewson consulting

MIC Designer

  
Astute Building Construction Company Limited

MIC Supplier and Manufacturer

  
E Hans

NOTES:

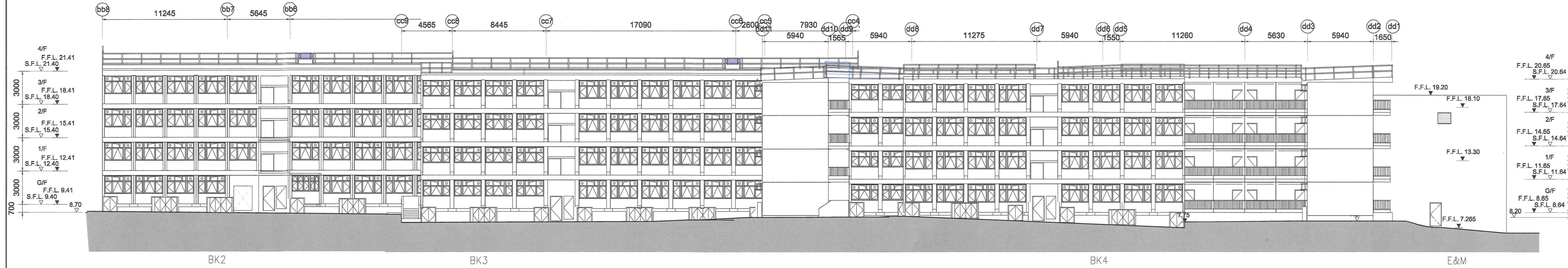
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Project:  
PROPOSED TRANSITIONAL HOUSING  
AT VARIOUS LOTS IN D.D. 105 AND  
ADJOINING GOVERNMENT LAND,  
NGAU TAM MEI, YUEN LONG, N.T.

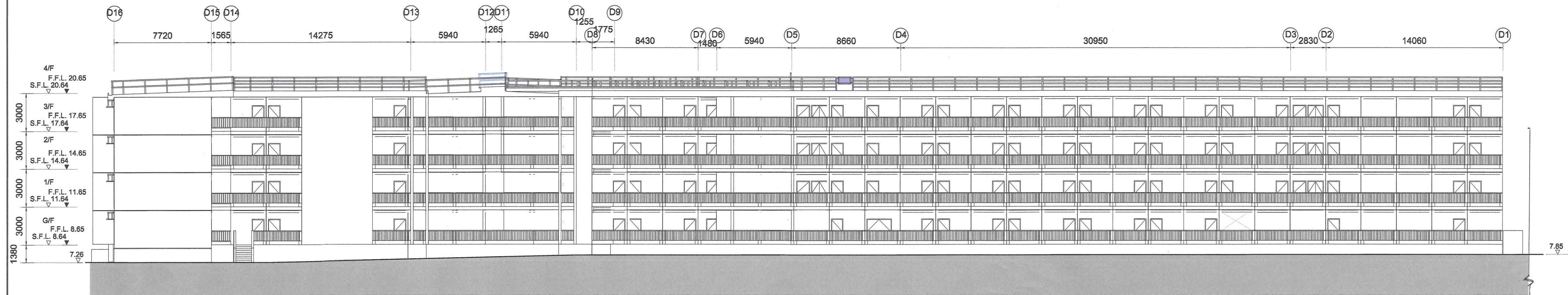
Drawing title:  
OVERALL SITE ELEVATION (1)

Drawn by: KP Date: 12 DEC 2023  
Checked for correctness by: BF Date: 12 DEC 2023  
Approved for issue by: BF Date: 12 DEC 2023  
Scale: 1:200@A1 Print Date: 12 DEC 2023  
Project: GP06-1 Revision: C

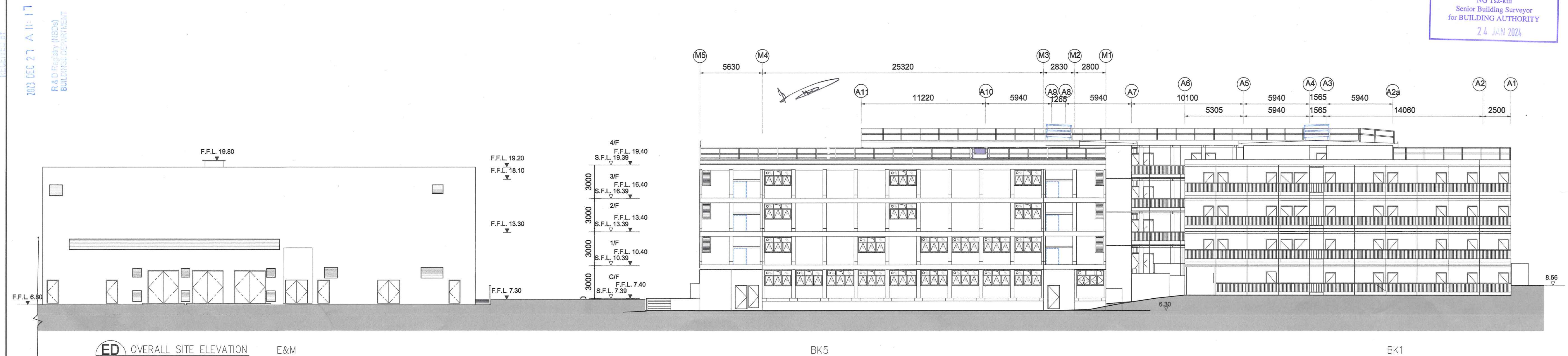




EC OVERALL SITE ELEVATION



ED OVERALL SITE ELEVATION



ED OVERALL SITE ELEVATION

FSD Ref No: FP 8/31683 <2>			
BD Ref No: BD 2/9059/22(TH)			
Revisions and Submissions:			
No.	Date	Details	Chkd.
-	02 SEP 2022	1ST APPROVAL	
A	08 FEB 2023	GENERAL REVISION	
B	07 JUN 2023	GENERAL REVISION	
C	12 DEC 2023	GENERAL REVISION	

Client/Employer

 基督教香港信義會

Evangelical Lutheran Church Social Service Hong Kong

Project Architect

**Deloitte.** 德勤

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Project S/M Engineer NSP (Asia) Ltd  
Project Quantity Surveyor Beria Consultants Limited

Design and Building Contractor

**SFK** Sun Fook Kong Construction Limited  
新福港營造有限公司

Architectural Designer / Authorized Person

**OIYN LIMITED**  
FOR ARCHITECTS & ASSOCIATES

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TEL:3488-1890 FAX:3020-8409 EMAIL ADDRESS: mol@oiyn.com.hk

  
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Authorized Person

FUNG BRIAN PAK YAN  
  
Authorized Person-Architect

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MIC Supplier and Manufacturer

 E Hans

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Project:  
PROPOSED TRANSITIONAL HOUSING  
AT VARIOUS LOTS IN D.D. 105 AND  
ADJOINING GOVERNMENT LAND,  
NGAU TAM MEI, YUEN LONG, N.T.

Drawing title:  
OVERALL SITE ELEVATION (2)

Drawn by:	Date:	
KP	12 DEC 2023	
Checked for correctness by:	Date:	
BF	12 DEC 2023	
Approved for issue by:	Date:	
BF	12 DEC 2023	
Scale:	Print Date:	
1:200@A1	12 DEC 2023	
Project:	Drawing:	Revision:
A-2301	GP06-2	C



Prepared for

**Melody Gain Limited & Clanville Developments Limited**

Prepared by

**Ramboll Hong Kong Limited**

**PROPOSED TEMPORARY TRANSITIONAL HOUSING AT  
VARIOUS LOTS IN D.D. 105 AND ADJOINING GOVERNMENT  
LAND, NGAU TAM MEI, YUEN LONG, N.T.**

**LAND CONTAMINATION REVIEW REPORT  
(LCRR)**

Date **25 February 2022**

Prepared by **Minnie KONG**  
**Environmental Consultant**

Signed



Approved by **Zoe CHAN**  
**Principal Consultant**

Signed

Project Reference **NWDNTMTHEI00**Document No. **R8354\_v1.0a**

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## CHAPTERS

	Page
<b>1. INTRODUCTION .....</b>	<b>1-1</b>
1.1 Background Information .....	1-1
1.2 Objectives and Outline .....	1-1
1.3 Reporting Structure .....	1-1
<b>2. LEGISLATION AND GUIDELINES .....</b>	<b>2-1</b>
<b>3. REVIEW OF THE RELEVANT REPORTS .....</b>	<b>3-1</b>
3.1 Introduction .....	3-1
3.2 Site Environs .....	3-1
3.3 Review on Currently Available Information .....	3-1
3.4 Review on Potentially Contaminated Areas and Hotspots .....	3-4
<b>4. CONCLUSION .....</b>	<b>4-1</b>

## TABLES

Table 1	Previous Land Uses Summary .....	3-1
Table 2	Enquiries and Responses on Land Contamination Related Records in the Subject Site .....	3-3

## FIGURES

Figure 1	Location of Subject Site and Its Environs
Figure 2	Layout of the Subject Site

## APPENDICES

Appendix A	Historical Aerial Photos
Appendix B	Previous Drillhole Records
Appendix C	Copy of Consultant's Letters and the Letters Replies from Various Government Departments
Appendix D	Screen Capture of BRAVO
Appendix E	Site Walkover Checklist
Appendix F	Photo Records of the Site Visit



## 1. INTRODUCTION

### 1.1 Background Information

- 1.1.1 The Project Proponent, Melody Gain Limited & Clanville Developments Limited, is planning to develop temporary transitional housing at Various Lots in D.D. 105 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories (the Subject Site). The Subject Site is illustrated in **Figure 1**.
- 1.1.2 A Section 16 planning application has been approved by the Town Planning Board (TPB) on 14 January 2022 with conditions to permit the proposed temporary transitional housing and ancillary facilities for a period of 3 years at the Subject Site. Among the approval conditions, Condition (b) requires “the submission of a documentary justification to substantiate whether there is any land contamination issue for the site within 9 months from the date of planning approval to the satisfaction of the Director of Environmental Protection or of the TPB by 14.10.2022”.
- 1.1.3 Ramboll Hong Kong Limited (the Consultant) has been commissioned by the Project Proponent to carry out the land contamination study and prepare the Land Contamination Review Report (LCRR) for the Subject Site as the first step to assess the contamination status and identify possible remedial measures if necessary (hereafter as “this Assignment”).

### 1.2 Objectives and Outline

- The objectives of this Assignment is to assess the potential land contamination impact at the Subject Site due to previous land uses and/or existing site condition and land use.

### 1.3 Reporting Structure

- 1.3.1 The remainder of this LCRR is structured as:
- Section 2 presents the guidelines adopted for this Assignment;
  - Section 3 presents the review of the relevant reports and documents; and
  - Section 4 presents forthcoming tasks for this Assignment.

## 2. LEGISLATION AND GUIDELINES

2.1.1 This LCRR has been prepared following the guidance and steps outlined in the guidelines published by EPD listed below:

- *Guidance Manual for Use of Risk-Based Remediation Goals (RBRGs) for Contaminated Land Management (Guidance Manual), dated December 2007;*
- *Guidance Note for Contaminated Land Assessment and Remediation (Guidance Note), dated 15 August 2007; and*
- *Practice Guide for Investigation and Remediation of Contaminated Land (Practice Guide), dated August 2011.*



### 3. REVIEW OF THE RELEVANT REPORTS

#### 3.1 Introduction

3.1.1 This Section presents a review of available information related to this Assignment.

#### 3.2 Site Environs

3.2.1 The Subject Site is located at various Lots in D.D. 105 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories with site area of approximately 21,731m<sup>2</sup> (based on the latest site boundary). The Subject Site is also elevated at around 5.8 to 10.4 mPD currently. It is bounded by Mai Po Electricity Substation and San Tin Highway to the North, Open area with scattered temporary structures to the East, Residential Area of Rolling Hills to the South, Scenic Heights to the Southwest to West.

3.2.2 **Figure 1** shows the locations of the Subject Site and its environ.

3.2.3 The closest residential community to the Subject Site is Scenic Heights located approximately 80m to the southwest of the Subject Site.

#### 3.3 Review on Currently Available Information

##### Review on Historical Aerial Photographs and Available Documents

3.3.1 With reference to the historical aerial photographs available from the Lands Department (LandsD), the previous land uses of the Subject Site are summarized in **Table 1**.

3.3.2 The aerial photos of year 1963, 1972, 1980, 1985, 1990, 1995, 2000, 2005, 2009, 2012, 2015, 2018, and 2021 are attached in **Appendix A**.

**Table 1 Previous Land Uses Summary**

Year	Previous Land Uses at the Subject Site
1963	Mainly agricultural purposes with fields and scattered huts.
1972	Over 50% of the Subject Site remained as agricultural farmland, some farmland had been left vacant with vegetation covered. <ul style="list-style-type: none"> <li>• Upper East Portion: Remained as agricultural farmland.</li> <li>• Upper West Portion: Mostly vacant land covered with vegetation. Some squatters for residential purposes were observed.</li> <li>• Lower Portion: Vacant land covered with vegetation.</li> </ul>
1980	No significant change in land use. <ul style="list-style-type: none"> <li>• Upper East Portion: Remained as agricultural farmland.</li> <li>• Upper West Portion: Mostly vacant land covered with vegetation. Some squatters for residential purposes were observed.</li> <li>• Lower Portion: Some vacant land had returned to agricultural farmland.</li> </ul>
1985	No significant change in land use. <ul style="list-style-type: none"> <li>• Upper East Portion: Remained as agricultural farmland.</li> <li>• Upper West Portion: Mostly vacant land covered with vegetation. Some squatters for residential purposes were observed.</li> <li>• Lower Portion: Remained as agricultural farmland.</li> </ul>
1990	No significant change in land use. <ul style="list-style-type: none"> <li>• Upper East Portion: Remained as agricultural farmland.</li> </ul>

Year	Previous Land Uses at the Subject Site
	<ul style="list-style-type: none"> <li>Upper West Portion: Mostly vacant land covered with vegetation. Some squatters for residential purposes were observed.</li> <li>Lower Portion: Remained as agricultural farmland.</li> </ul>
1995	<p>No significant land use change.</p> <ul style="list-style-type: none"> <li>Upper East Portion: Remained as agricultural farmland.</li> <li>Upper West Portion: Mostly vacant land covered with vegetation. Some squatters for residential purposes were observed.</li> <li>Lower Portion: Some farmland had been left vacant with vegetation covered.</li> </ul>
2000	<p>No significant change in land use.</p> <ul style="list-style-type: none"> <li>Upper East Portion: Some agricultural farmland had been left vacant with vegetation covered.</li> <li>Upper West Portion: Mostly vacant land covered with vegetation. Some squatters for residential purposes were observed.</li> <li>Lower Portion: Vacant land covered with vegetation.</li> </ul>
2005	<p>No significant change in land use.</p> <ul style="list-style-type: none"> <li>Upper East Portion: Mostly vacant land covered with vegetation. A small area at the furthest east was developed for residential purpose. One temporary structure for residential use was observed in the middle of the Subject Site.</li> <li>Upper West Portion: Mostly vacant land covered with vegetation. Squatters for residential purposes remained at the farthest west.</li> <li>Lower Portion: Vacant land covered with vegetation.</li> </ul>
2009	<p>No significant change in land use.</p> <ul style="list-style-type: none"> <li>Upper East Portion: Mostly vacant land covered with vegetation. A small area at the furthest east was developed for residential purpose. One temporary structure for residential use was observed in the middle of the Subject Site.</li> <li>Upper West Portion: Mostly vacant land covered with vegetation. Squatters for residential purposes remained at the farthest west.</li> <li>Lower Portion: Vacant land covered with vegetation.</li> </ul>
2012	<p>No significant change in land use.</p> <ul style="list-style-type: none"> <li>Upper East Portion: Mostly vacant land covered with vegetation. A small area at the furthest east was developed for residential purpose. One temporary structure for residential use was observed in the middle of the Subject Site.</li> <li>Upper West Portion: Mostly vacant land covered with vegetation. Squatters for residential purposes remained at the farthest west.</li> <li>Lower Portion: Vacant land covered with vegetation.</li> </ul>
2015	<ul style="list-style-type: none"> <li>Upper East Portion: Most vacant land covered with vegetation were changed to open space for construction materials storage as advised by Project Proponent.</li> <li>Upper West Portion: Some vacant land covered with vegetation reduced and changed to temporary structure for residential use as advised by Project Proponent. Squatters for residential purposes remained at the farthest west.</li> <li>Lower Portion: No significant change in land use. Vacant land covered with vegetation.</li> </ul>
2018	<ul style="list-style-type: none"> <li>Upper East Portion: No significant change in land use. Most of the land was used as construction materials storage as advised by Project Proponent.</li> <li>Upper West Portion: Temporary structure for residential use remained unchanged as advised by Project Proponent. Most of the vacant land covered with vegetation changed to open space for construction materials storage as advised by Project Proponent.</li> <li>Lower Portion: No significant change in land use. Vacant land covered with vegetation.</li> </ul>



Year	Previous Land Uses at the Subject Site
2021	<ul style="list-style-type: none"> <li>Upper East Portion: No significant change in land use. Most of the land was used as construction materials storage as advised by Project Proponent.</li> <li>Upper West Portion: No significant change in land use. Temporary structure for residential use and open space for construction materials storage remained unchanged as advised by Project Proponent.</li> <li>Lower Portion: Vacant land covered with vegetation changed to open space for construction materials storage as advised by Project Proponent.</li> </ul>

#### Site Geological and Hydro-geological Profile

- 3.3.3 Available geotechnical information of the surroundings of the Subject Site has been reviewed as well. The drillhole records in close vicinity of the Subject Site revealed that the area consists of colluvium or silt from ground level, then followed by decomposed volcanic, weathered schist or tuff. Moreover, the general uphill and downhill direction of the Subject Site are southeast and northwest respectively. It is expected that the groundwater flows from the southeast to the northwest within the Subject Site. The relevant drillhole records are provided in **Appendix B**.

#### Information from Government Department

- 3.3.4 Apart from the information reviewed, the following Departments of the Government of HKSAR have been enquired on the latest update on the availability of land use status and records of any land contamination and/or spillage for the Subject Site. The summary of correspondence is presented in **Table 2** below. Copy of the letters which the Consultant sent to various Government Departments and relevant replied from various Government Departments are included in **Appendix C** for reference.

**Table 2 Enquiries and Responses on Land Contamination Related Records in the Subject Site**

Government Departments	Response Date	Summary
FSD	26 November 2021	➤ Neither records of DGs license, fire incidents nor incidents of spillage / leakage of DGs.
EPD	3 December 2021	➤ No record of chemical leakage/ leakage incident/ chemical waste producers registered at the Subject Site in the past 4 years. ➤ No record of register of chemical waste producers in the Territory Control Office of EPD.

- 3.3.5 Building Records Access and Viewing On-line (BRAVO) of BD to obtain records for completed private building has been checked. There is neither records of building, structural, drainage, alternation & additions, site formation, minor works nor existing building available at the Subject Site. The captured screen of BRAVO is provided in **Appendix D** for reference.

#### Site Inspection and Observation

- 3.3.6 Site walkover survey of the Subject Site was conducted on 30 November 2021.
- 3.3.7 The Subject Site is generally flat terrain. The entire Subject Site is mainly divided into the upper and lower part in terms of usage nature. The upper part is mostly used as

open space for construction materials storage (Photo 3 to 4, 15 to 18, 22 to 24) with a small portion used as tenant car park (Photo 1) and retail shop for plants and garden accessories (Photo 2). Some scattered squatters / temporary structures for residential use were also located within the upper part (Photo 5 to 7, 12 to 14). The lower part is generally vacant with some vegetation cover and trees (Photo 25 to 26).

- 3.3.8 In the upper part of the Subject Site, construction materials were observed to be stored in the Northeast (Photo 3, 4), West (Photo 15 to 18) and Northwest (Photo 22 to 24) of this portion respectively. As advised by the site owner, non-polluting construction materials (e.g. steel bars, metal scaffolding, timber) are stored within the Subject Site. There is no chemical used or stored and no chemical wastes generated from the Subject Site during their operation of the storage of the construction materials. Site inspection also revealed similar site observation that the storage area stored non-polluting construction materials such as steel bars, metal scaffolding and timber.
- 3.3.9 Other uses such as car park, retail shop for plants and garden accessories and residential squatters or temporary structures were observed in the upper part of the Subject Site. The area of car park and retail shop are located at the Northwest (Photo 1) and North (Photo 2) respectively with well paved ground at their locations. Meanwhile, scattered residential squatters or temporary structures were observed to the Northeast (Photo 5 to 7) and Southwest (Photo 12 to 14) of the upper part. These activities do not appear to bring significant contamination to the land.
- 3.3.10 For the lower part of the Subject Site, the land is currently vacant with some vegetation (Photo 25 to 26). No other activities were observed during the site inspection.
- 3.3.11 During the site walkover survey, there were no other signs of obvious / suspected contamination such as oil stains, abnormal odour and distress vegetation, and no underground storage tank and pipe works within the whole Subject Site.
- 3.3.12 Based on the abovementioned observation of the site walkover survey, it is anticipated that there is no land contamination issues from the current land use.
- 3.3.13 A Site Walkover Checklist has been completed with the Project Proponent as required in the *Practice Guide* and attached in **Appendix E**.
- 3.3.14 Photo records of the Subject Site taken during the site inspection are presented in **Appendix F**.

### **3.4 Review on Potentially Contaminated Areas and Hotspots**

- 3.4.1 As shown in the historical aerial photographs available from the LandsD, the Subject Site was used to be farmland, vacant land with vegetation, scattered squatters or temporary structures. As advised by the Project Proponent, the squatters or temporary structures were residential use. Since 2015, some of the vacant land were changed to open space for construction materials storage as advised by Project Proponent. Non-polluting construction materials (e.g. steel bars, metal scaffolding, timber) are stored within the Subject Site as advised by the site owner during the site inspection. Those land uses were not considered with land contamination activities.
- 3.4.2 Also, according to the records provided by FSD and EPD, no records of DGs license, fire incidents nor incidents of spillage / leakage of DGs and no record of chemical leakage/ leakage incident/ chemical waste producers registered at the Subject Site in the past 4 years. For building records obtained from BRAVO of BD, no record of building, structural, drainage, alternation & additions, site formation, minor works or existing building is available at the Subject Site.
- 3.4.3 Upon the site inspections of the Subject Site, no signs of potential sources and



obvious/suspected contamination, such as soil staining, abnormal odour and/or distressed vegetation, within the Subject Site has been observed. In addition, there are no hot spots with potential source of contamination listed below identified in the Subject Site, including:

- Aboveground or underground storage tanks and pipe works;
- Abandoned pipes, bulk storage tanks, pumps;
- Improper management of drum storages;
- Waste disposal facilities;
- Chemical storage areas,
- Chemical waste storage areas; and
- Damaged pavements, drainage facilities that may result in release of contaminants.

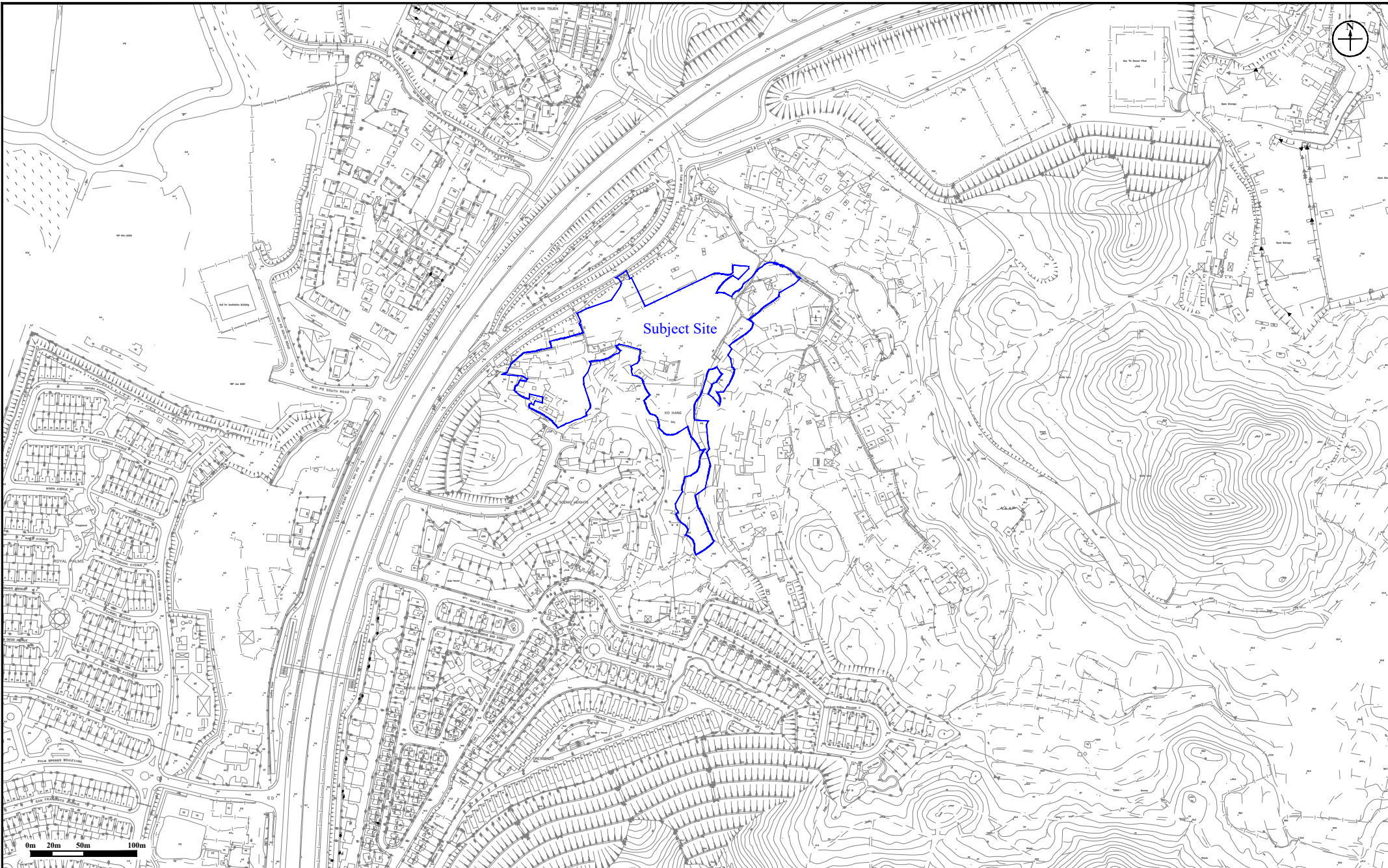
3.4.4 Therefore, no potential land contamination activities and facilities identified in the Subject Site.

## 4. CONCLUSION

- 4.1.1 Temporary transitional housing is planned to develop at the Subject Site under Section 16 planning application. A Section 16 planning application has been approved by the Town Planning Board (TPB) on 14 January 2022 with conditions to permit the proposed temporary transitional housing and ancillary facilities for a period of 3 years at the Subject Site. Among the approval conditions, Condition (b) requires “the submission of a documentary justification to substantiate whether there is any land contamination issue for the site within 9 months from the date of planning approval to the satisfaction of the Director of Environmental Protection or of the TPB by 14.10.2022”.
- 4.1.2 Summarizing all findings from the land contamination appraisal and presented in this LCRR, the Subject Site is mainly used for construction material storage, with limited degree of other activities such as car park, retail shop for plants and garden accessories and residential squatters or temporary structures. All of these activities do not appear to bring any significant contamination to the land.
- 4.1.3 As shown in the historical aerial photographs available from the LandsD, the Subject Site was used to be farmland, vacant land with vegetation, scattered squatters or temporary structures. As advised by the Project Proponent, the squatters or temporary structures were residential use. Since 2015, some of the vacant land were changed to open space for construction materials storage as advised by Project Proponent. Non-polluting construction materials (e.g. steel bars, metal scaffolding, timber) are stored within the Subject Site as advised by the site owner during the site inspection. Those land uses were not considered with land contamination activities.
- 4.1.4 Also, according to the records provided by FSD and EPD, no records of DGs license, fire incidents nor incidents of spillage / leakage of DGs and no record of chemical leakage/ leakage incident/ chemical waste producers registered at the Subject Site in the past 4 years. For building records obtained from BRAVO of BD, no record of building, structural, drainage, alternation & additions, site formation, minor works or existing building is available at the Subject Site.
- 4.1.5 During the site inspection, no signs of obvious / suspected contamination such as oil stain, abnormal odour within the Subject Site were observed. Therefore, land contamination issue is unlikely during the operation of Subject Site.
- 4.1.6 Based on the information above, no land contamination issue is posed from the past and current landuse within the Subject Site. Thus, it is considered that the Subject Site would not have any land contamination impact. No further site investigation and land contamination assessment are required for the Subject Site.

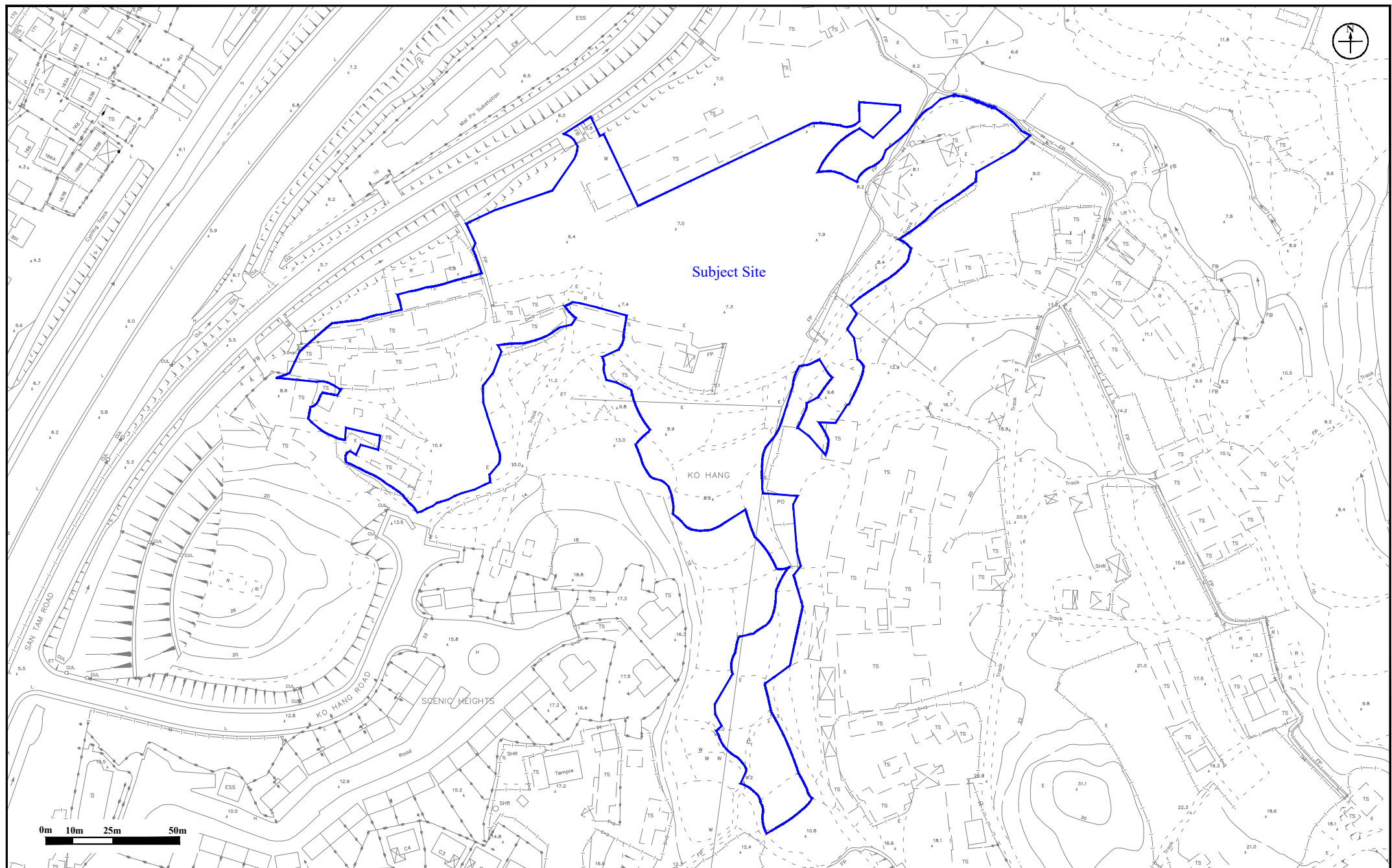


## Figures



<b>Figure:</b> 1		RAMBOLL	
<b>Title:</b> Location of Subject Site and its Environs		Drawn by: MK	
<b>Project:</b> Proposed Temporary Transitional Housing at Various Lots in D.D. 105 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, N.T.		Checked by: ZC	
		Rev.: 1.0	
		Date: Dec 2021	





**Figure: 2**

**Title:** Layout of the Subject Site

**Project:** Proposed Temporary Transitional Housing at Various Lots in D.D. 105 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, N.T.

**RAMBOLL**

Drawn by: MK

Checked by: ZC

Rev.: 1.0

Date: Jan 2022

## Appendix A

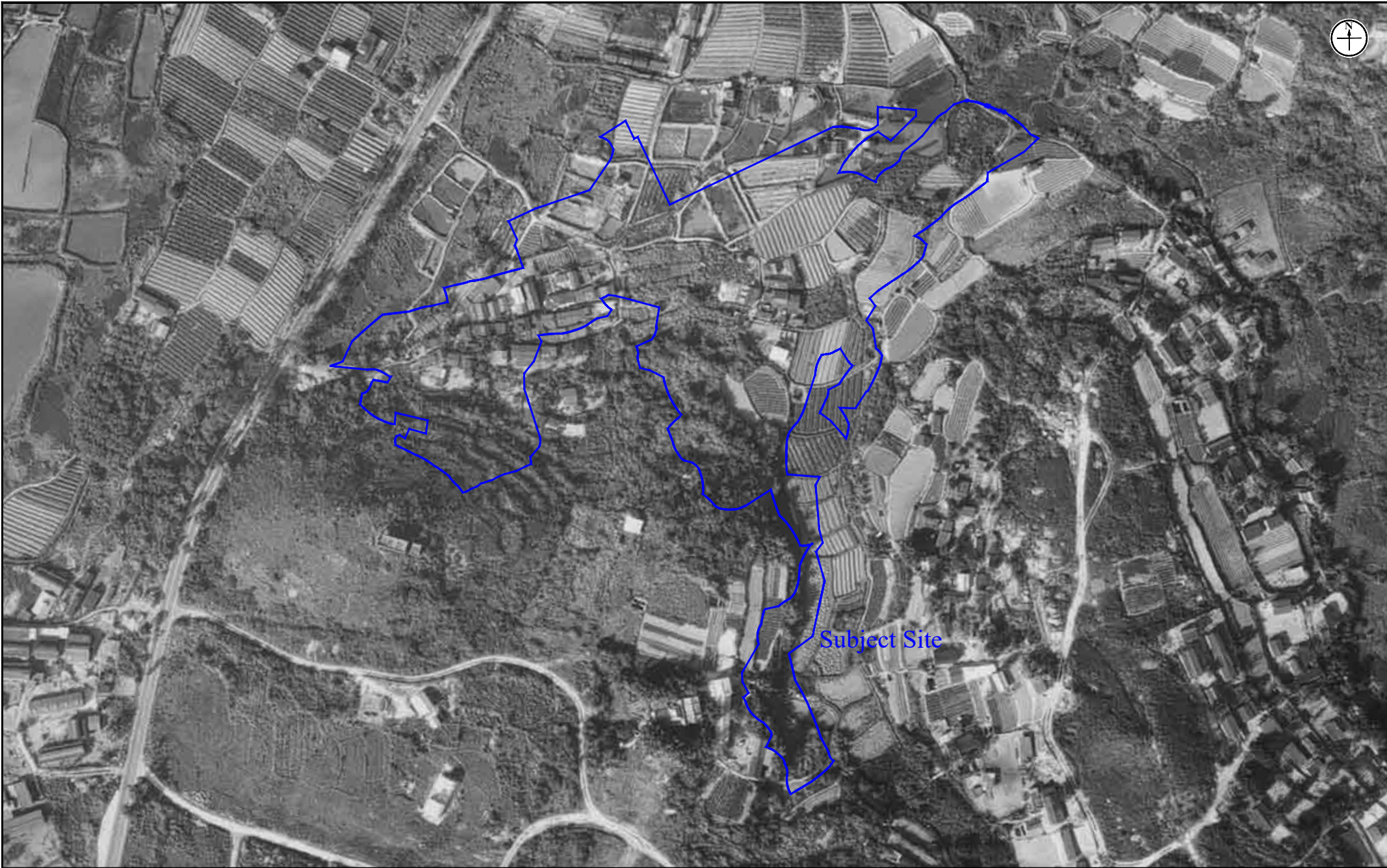
### Historical Aerial Photos





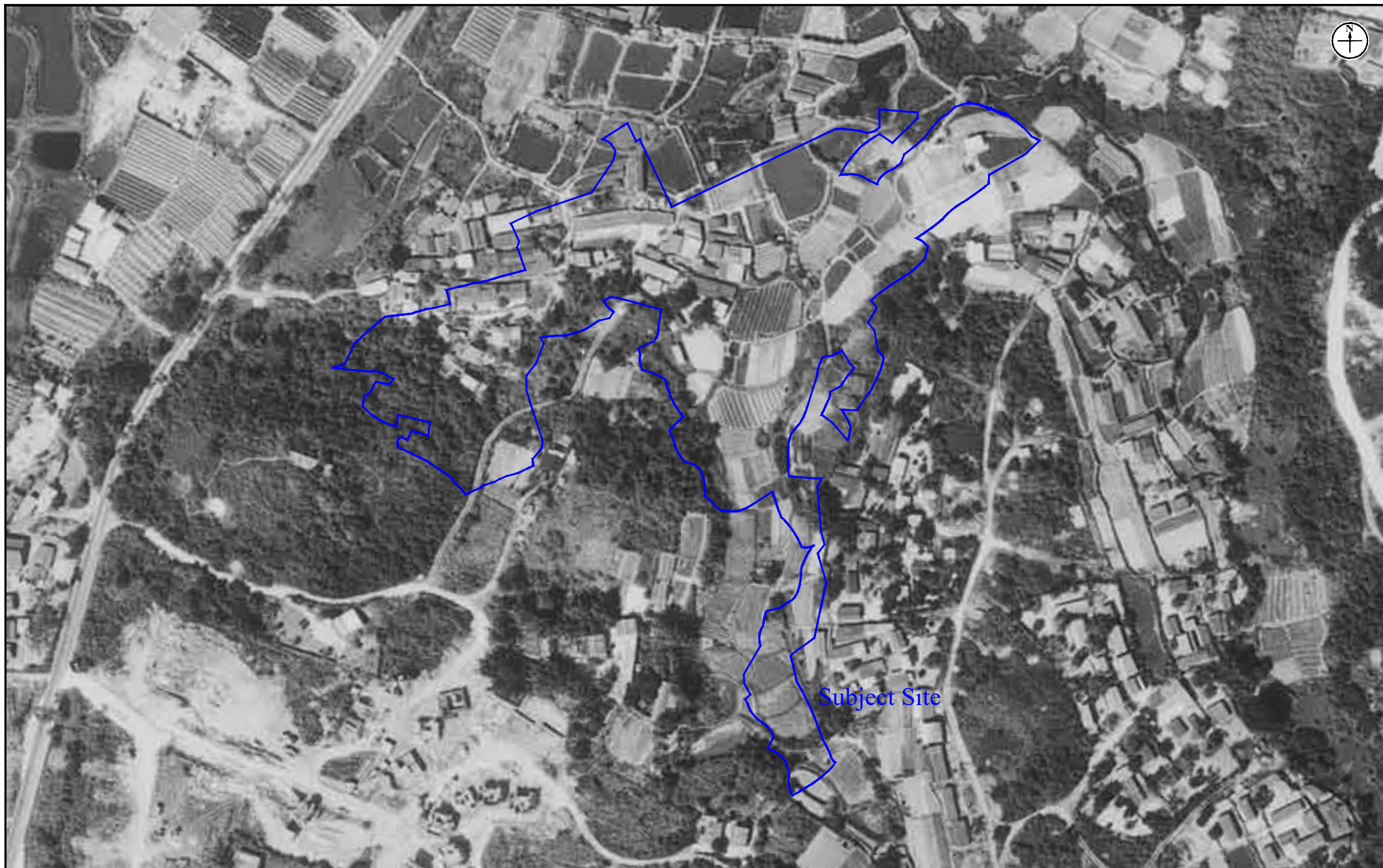
<b>Appendix:</b> A		RAMBOLL	
<b>Title:</b>	Historical Aerial Photo (1963)	Drawn by:	MK
<b>Project:</b>	Proposed Temporary Transitional Housing At Various Lots in D.D. 105 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, N.T.	Checked by:	ZC
		Rev.:	1.0
		Date:	Dec 2021





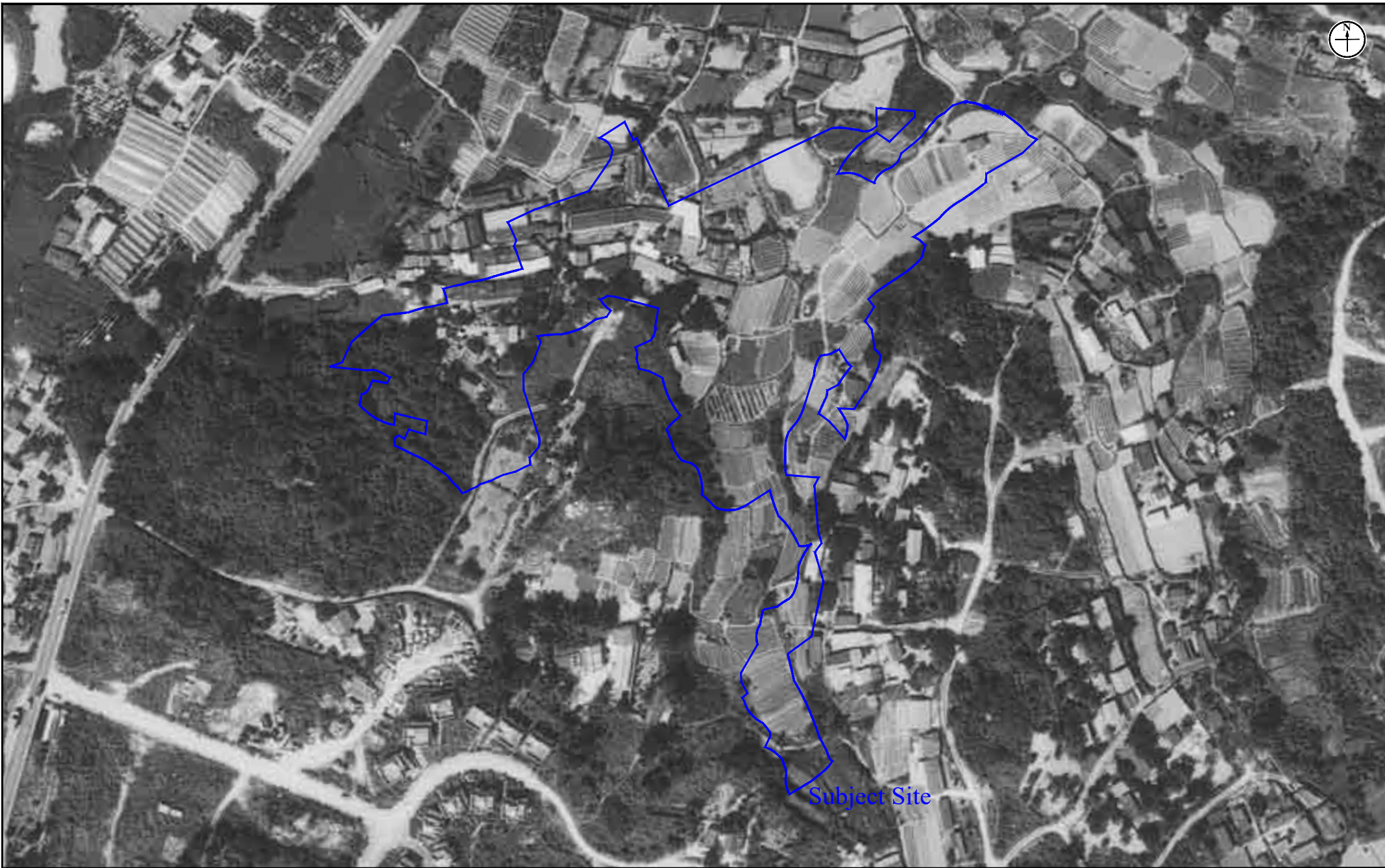
<b>Appendix:</b> A		RAMBOLL	
<b>Title:</b>	Historical Aerial Photo (1972)	Drawn by:	MK
<b>Project:</b>	Proposed Temporary Transitional Housing At Various Lots in D.D. 105 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, N.T.	Checked by:	ZC
		Rev.:	1.0
		Date:	Dec 2021





<b>Appendix:</b> A		RAMBOLL	
<b>Title:</b>	Historical Aerial Photo (1980)	Drawn by:	MK
		Checked by:	ZC
<b>Project:</b>	Proposed Temporary Transitional Housing At Various Lots in D.D. 105 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, N.T.	Rev.:	1.0
		Date:	Dec 2021





<b>Appendix:</b> A		RAMBOLL	
<b>Title:</b>	Historical Aerial Photo (1985)	Drawn by:	MK
<b>Project:</b>	Proposed Temporary Transitional Housing At Various Lots in D.D. 105 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, N.T.	Checked by:	ZC
		Rev.:	1.0
		Date:	Dec 2021





<b>Appendix:</b> A		RAMBOLL	
<b>Title:</b>	Historical Aerial Photo (1990)	Drawn by:	MK
<b>Project:</b>	Proposed Temporary Transitional Housing At Various Lots in D.D. 105 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, N.T.	Checked by:	ZC
		Rev.:	1.0
		Date:	Dec 2021





<b>Appendix:</b> A		RAMBOLL	
<b>Title:</b>	Historical Aerial Photo (1995)	Drawn by:	MK
<b>Project:</b>	Proposed Temporary Transitional Housing At Various Lots in D.D. 105 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, N.T.	Checked by:	ZC
		Rev.:	1.0
		Date:	Dec 2021





<b>Appendix:</b> A		RAMBOLL	
<b>Title:</b>	Historical Aerial Photo (2000)	Drawn by:	MK
<b>Project:</b>	Proposed Temporary Transitional Housing At Various Lots in D.D. 105 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, N.T.	Checked by:	ZC
		Rev.:	1.0
		Date:	Dec 2021





<b>Appendix:</b> A		RAMBOLL	
<b>Title:</b>	Historical Aerial Photo (2005)	Drawn by:	MK
<b>Project:</b>	Proposed Temporary Transitional Housing At Various Lots in D.D. 105 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, N.T.	Checked by:	ZC
		Rev.:	1.0
		Date:	Dec 2021





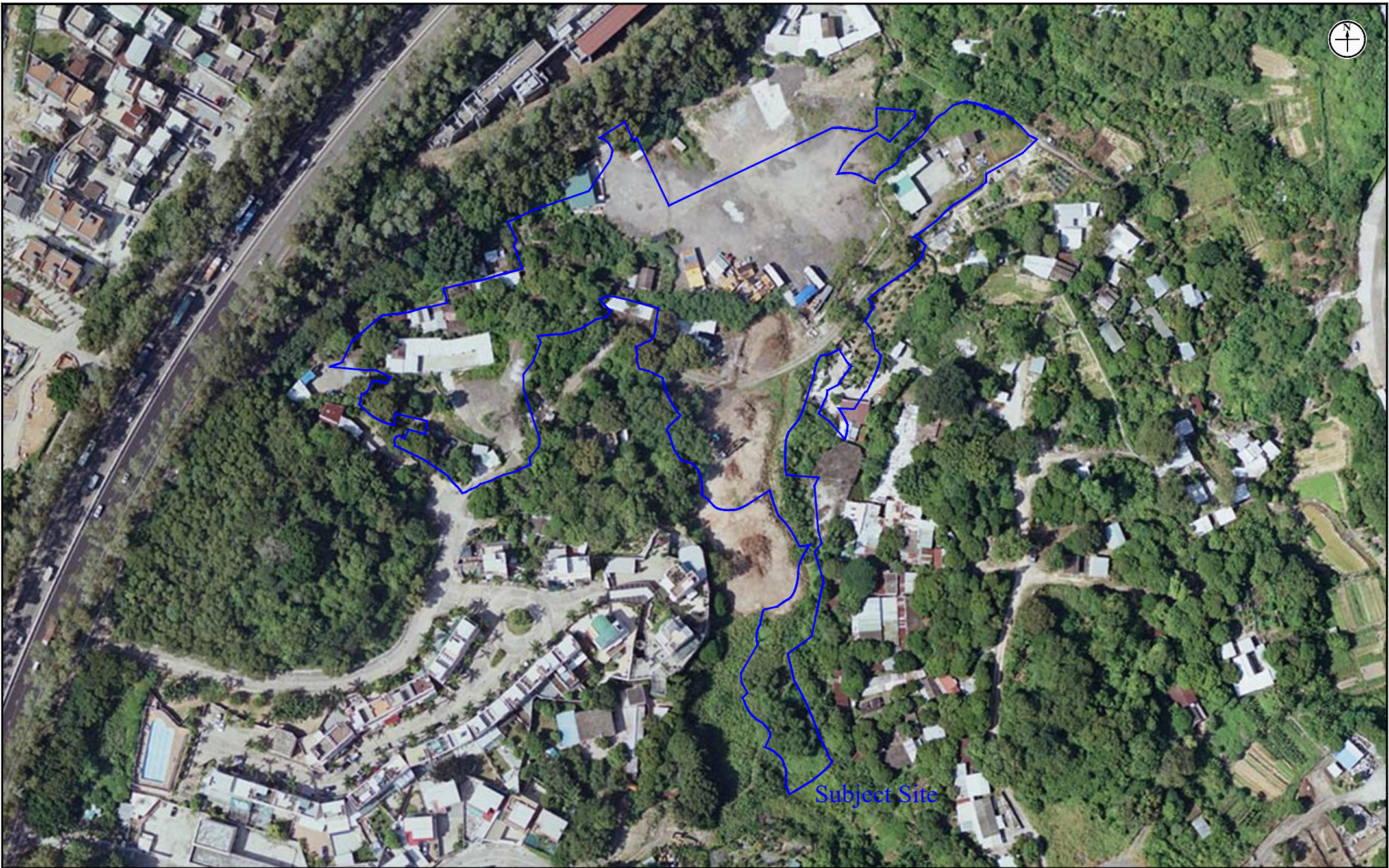
<b>Appendix:</b> A		RAMBOLL	
<b>Title:</b>	Historical Aerial Photo (2009)	Drawn by:	MK
<b>Project:</b>	Proposed Temporary Transitional Housing At Various Lots in D.D. 105 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, N.T.	Checked by:	ZC
		Rev.:	1.0
		Date:	Dec 2021





<b>Appendix:</b> A		RAMBOLL	
<b>Title:</b>	Historical Aerial Photo (2012)	Drawn by:	MK
<b>Project:</b>	Proposed Temporary Transitional Housing At Various Lots in D.D. 105 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, N.T.	Checked by:	ZC
		Rev.:	1.0
		Date:	Dec 2021





<b>Appendix:</b> A		RAMBOLL	
<b>Title:</b>	Historical Aerial Photo (2015)	Drawn by:	MK
<b>Project:</b>	Proposed Temporary Transitional Housing At Various Lots in D.D. 105 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, N.T.	Checked by:	ZC
		Rev.:	1.0
		Date:	Dec 2021





<b>Appendix:</b> A		RAMBOLL	
<b>Title:</b>	Historical Aerial Photo (2018)	Drawn by:	MK
<b>Project:</b>	Proposed Temporary Transitional Housing At Various Lots in D.D. 105 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, N.T.	Checked by:	ZC
		Rev.:	1.0
		Date:	Dec 2021





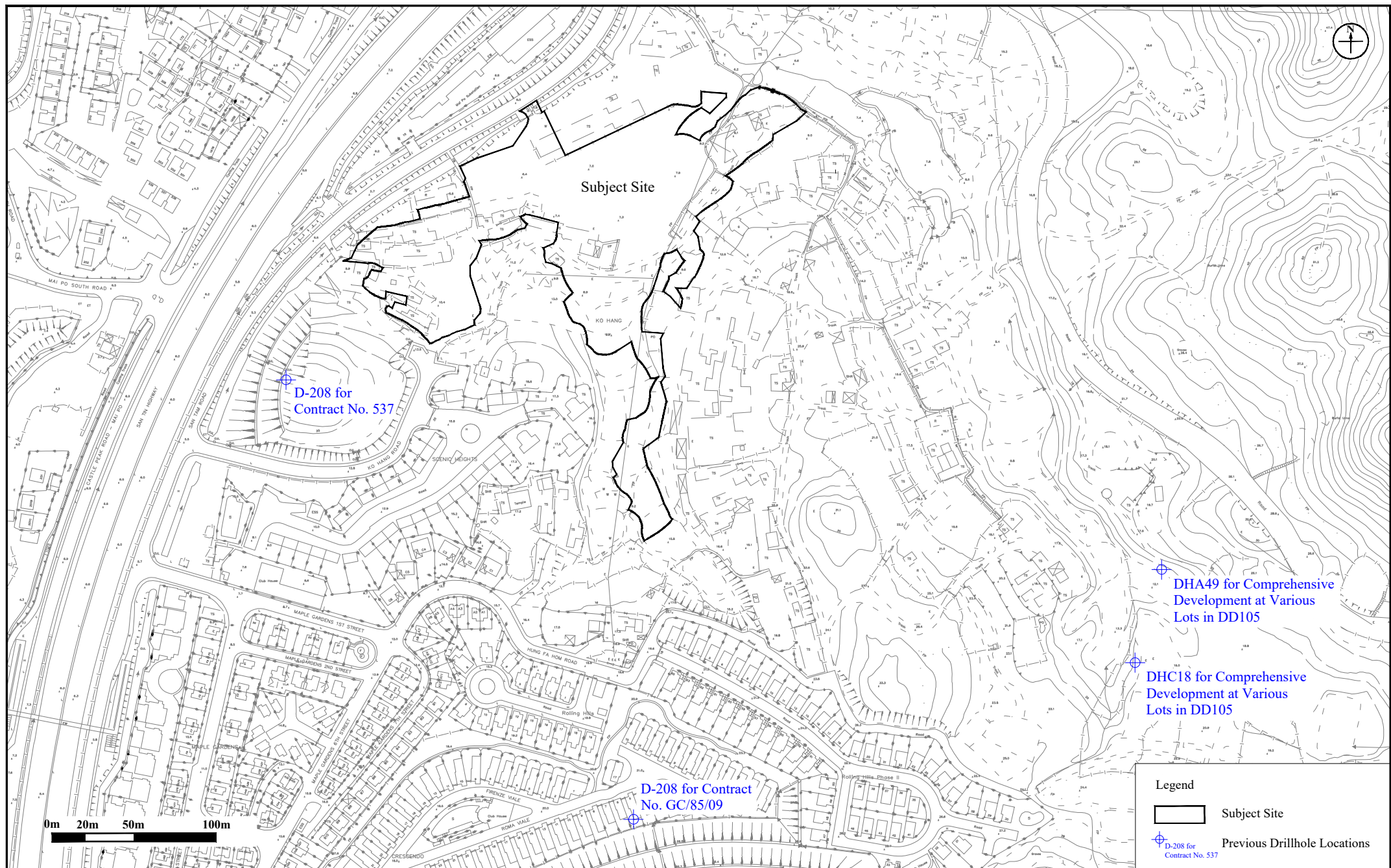
<b>Appendix:</b> A		RAMBOLL	
<b>Title:</b>	Historical Aerial Photo (2021)	Drawn by:	MK
<b>Project:</b>	Proposed Temporary Transitional Housing At Various Lots in D.D. 105 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, N.T.	Checked by:	ZC
		Rev.:	1.0
		Date:	Dec 2021



## Appendix B

### Previous Drillhole Records





<b>Appendix: B</b>		<b>RAMBOLL</b>	
<b>Title:</b>	Previous Drillhole Record	Drawn by:	MK
<b>Project:</b>	Proposed Temporary Transitional Housing at Various Lots in D.D. 105 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, N.T.	Checked by:	ZC
		Rev.:	1.0
		Date:	Jan 2022







D-208

Sheet 2 of 3

Harris & Sutherland (Far East)





Equipment & Methods: Rotary drilling, Hx diameter, from 10.00 to 23.00m

D-208

Hong Kong Metric Grid Reference: E 824245.42 N 838766.14 Ground level: 26.53 mPD.

Diameters are in mm. Lengths, levels & thicknesses are in m. Angle to horizontal: 90°. Bearing:

° E of N

Sheet 3 of 3

[illegible]

LEGEND (lengths and positions of symbols are to scale)

**Samples**

- Small disturbed
- Large disturbed
- U100 Undisturbed
- type & dia
- M = triple tube
- U = tube
- Nx Core & size
- ▲ Water sample

- ↓ Standard penetration Test (SPT)
- ↓ Piezometer filter
- ↓ Permeability/water absorption in hole
- ↓ Permeability in piezometer

Results & observations	
N	Standard Penetration Test
m	Moisture content
K	Permeability
L	Water absorption
W	Water return
r	Coring rate
RQD	Rock quality designation
FI	Fracture index

## REMARKS

Scale 1:50  
Logged by YEUNG  
Date 17-12-81

Rig arrive	Rig depart
------------	------------

12-12-81 16-12-81

AU TAU TO FAN KAM ROAD HIGHWAY PROJECT:

## SITE INVESTIGATION

P.W.D. CONTRACT No. 537 of 1981

CONTRACTOR: Lam Construction Co. Ltd.

CLIENT: Highways Office, Public Works Department

**CONSULTANTS:** Binnie & Partners (Hong Kong)

Willbur Smith & Associates

Harris &amp; Sutherland (Far East)





Location: Circular Road Improvement  
Equipment & Methods: Drilling E: 824245.42

(STANDPIPE)

D-208

Hong Kong Metric Grid Reference: N: 838766.14  
Date advancing investigation hole passed piezometer location:

Ground level: 26.53mPD.

Date piezometer installed: 17/12/81

Sheet 1 of 1

# PIEZOMETER TIP DETAILS

Type:

External diameter: mm  
Internal diameter: mm  
Length of porous section: mm  
Nominal pore size:  $\mu$ m

Permeability: m/s  
Air entry rating: \*  
Standpipe internal diameter: 23 mm

## FILTER DETAILS

Material: Clean sandy gravel m<sup>3</sup>  
Volume used: 26280 mm  
Length: 1.2-4.5 mm  
Nominal diameter: 1.2-4.5 mm

SOIL DESCRIPTION Dense, brownish yellow, silt  
With occasional coarse grain sand. (C.D.V.)

## WATER LEVELS AND RESPONSE TEST DETAILS

(Date) and local time	Measured depth below		Level mPD	Remarks (including source of any water added)
	ground level m	top of standpipe m		
0:00	3.46	3.71	23.03	Test carried out on 4/1/82 Time: 14:29 p.m.
0:15	/	/	/	
0:30	11.58	11.65	15.09	
1:00	15.18	15.25	11.49	Water level before test 20.76m.
2:00	17.48	17.57	9.19	
4:00	19.54	19.61	7.31	
8:00	20.39	20.46	6.28	
15:00	20.57	20.64	6.10	
30:00	20.63	20.70	6.04	
45:00	20.65	20.72	6.02	
60:00	20.66	20.73	6.01	

Item	Depth below ground level m	
Top of cover	-0.14	
Top of standpipe	-0.07	
Top of seal		
Top of filter	2.00	
Top of porous section of tip	25.28	
Base of porous section of tip		
Base of filter		
Base of seal	28.00	

### LEGEND

na Not applicable  
uk Unknown

### REMARKS

\* Water dissipated very fast.

AU TAU TO FAN KAM ROAD HIGHWAY PROJECT:

SITE INVESTIGATION

P.W.D. CONTRACT No. 537 of 1981

CONTRACTOR: Lam Construction Co. Ltd.  
CONSULTANTS: Binjie & Partners (Hong Kong)

CLIENT: Highways Office, Public Works Department  
Wilbur Smith & Associates Harris & Sutherland (Far East)





CONTRACT NO. GC/85/09

W.O. NO. PW7/2/16.33

## DRILLHOLE RECORD

HOLE NO. WT8

Lam Geotechnics Limited

SHEET 1 of 4

DATE from 24.6.86 to 26.6.86

PROJECT Site Investigation N.T. Circular Road Improvements Phase 3 -  
Fairview Park to Mai Po Proposed Borrow Area

METHOD Rotary

CO-ORDINATES

ROCK COREBIT T2, TNW

MACHINE & NO. Long Year  
D-46E 824458  
N 838497HOLE DIA. 140mm to 114mm  
P to H

FLUSHING MEDIUM Water

ORIENTATION Vertical

GROUND LEVEL 55.60 mPD

Drilling Progress	Casing depth/size	Water level/time/date	Water Recovery %	Total core Recovery %	Solid core Recovery %	R.Q.D.	Fracture Index	Tests	Samples	Reduced Level	Depth (m.)	Legend	Grade	Zone	Description
24/6	P		90							55.10	0.00	○			Moderately strong, purplish brown, GRAVEL and COBBLES of moderately decomposed volcanic (COLLUVIUM)
				100							1.00	x x			
											2.00	x x			Medium dense, purplish brown, clayey SILT with weathered rock fragments (COLLUVIUM)
				90						51.60	3.00	x x			
											4.00	x x			
				100							5.00	x x	V		Medium dense, yellowish brownish grey, clayey sandy SILT, limonite stained relict joints (Completely decomposed VOLCANIC)
										49.40	6.00	x x			
				78	0	0	*		T2	48.60	6.20	○	IV to III		Brownish grey, BOULDER of highly to moderately decomposed volcanic, rock fractured
				80							7.00	x x			
											8.00	x x			Medium dense to dense, brownish purplish grey, clayey sandy SILT with weathered rock fragments from 7.00m to 8.00m, 17.00m to 18.00m and quartz (vein) rock fragments from 18.00m to 18.50m, limonite stained relict joints (Completely to highly decomposed VOLCANIC)
				100							9.00	x x	V to IV		
24/6	P		90								10.00	x x			

- Small disturbed sample
- ▲ Water sample
- ◆ Large disturbed sample
- ▼ Water Level
- ▨ SPT liner sample
- ↓ Standard penetration test
- U76 undisturbed sample
- ⬇ Permeability test
- U100 undisturbed sample
- ▲ Piezometer tip
- ▨ Master sample
- ✓ In situ vane shear test
- P/S Piston sample

LOGGED K.Y.Kwok

DATE 27.6.86

CHECKED *[Signature]*

DATE 3.7.86

## REMARKS

1. A piezometer was installed at depth 39.50m with sand pocket from 38.70m to 40.00m
2. \* : Cannot be determined



CONTRACT NO. GC/85/09

W.O. NO. PW7/2/16.33

## DRILLHOLE RECORD

HOLE NO. WT8

Lam Geotechnics Limited

SHEET 2 of 4

DATE from 24.6.86 to 26.6.86

PROJECT Site Investigation N.T. Circular Road Improvements Phase 3 -  
Fairview Park to Mai Po Proposed Borrow Area

METHOD Rotary

CO-ORDINATES

ROCK COREBIT T2, TNW

MACHINE & NO. Long Year  
D-46

E 824458

N 838497

HOLE DIA. 140mm to 114mm  
P to H

FLUSHING MEDIUM Water

ORIENTATION Vertical

GROUND LEVEL 55.60 mPD

Drilling Progress	Casing depth/size	Water level/ time/ date	Water Recovery %	Total core Recovery %	Solid core Recovery %	R.Q.D.	Fracture Index	Tests	Samples	Reduced Level	Depth (m.)	Legend	Grade	Zone	Description
24/6	P		90								10.00	x x x			
24/6		5.00m at 19:00									11.00	x x x			
25/6		NIL at 7:00		100							12.00	x x x			
											13.00	x x x			
				100							14.00	x x x			
											15.00	x x x			
				100							16.00	x x x			
											17.00	x x x			
				100							18.00	x x x			
	18.00 P H			80	0	0	*		T2		18.50	x x x			
											19.00	x x x			
				100							20.00	x x x			
25/6	H		80												

Weak to moderately brown, fine  
grained, completely to highly  
decomposed volcanic fragments with  
occasional iron, manganese infilled  
relict joints from 19.00m to 21.00m(Completely to highly decomposed  
VOLCANIC)

- Small disturbed sample
- ◆ Large disturbed sample
- ▨ SPT liner sample
- U76 undisturbed sample
- U100 undisturbed sample
- ▨ Mazier sample
- P/S Piston sample.
- ▲ Water sample
- ▼ Water Level
- ↓ Standard penetration test
- ⬇ Permeability test
- ▲ Piezometer tip
- ✓ In situ vane shear test

LOGGED K.Y.Kwok

DATE 27.6.86

CHECKED *[Signature]*

DATE 3.7.86

REMARKS



CONTRACT NO. GC/85/09

W.O. NO. PW7/2/16.33

## DRILLHOLE RECORD

HOLE NO. NT8

Lam Geotechnics Limited

SHEET 3 of 4

DATE from 24.6.86 to 26.6.86

PROJECT Site Investigation N.T. Circular Road Improvements Phase 3 -  
Fairview Park to Mai Po Proposed Borrow Area

METHOD Rotary

CO-ORDINATES

ROCK COREBIT T2, TNW

MACHINE & NO. Long Year  
D-46E 824458  
N 838497HOLE DIA. 140mm to 114mm  
P to H

FLUSHING MEDIUM Water

ORIENTATION Vertical

GROUND LEVEL 55.60 mPD

Drilling Progress	Casing depth/size	Water level/time/date	Water Recovery %	Total core Recovery %	Solid core Recovery %	R.Q.D.	Fracture Index	Tests	Samples	Reduced Level	Depth (m.)	Legend	Grade	Zone	Description
25/6	H		80	100	100						20.00	x x			Medium dense to dense, brownish purplish grey, clayey sandy SILT with weathered rock fragments from 7.00m to 8.00m, 17.00m to 18.00m and quartz (vein) rock fragments from 18.00m to 18.50m, limonite stained relict joints  (Completely to highly decomposed VOLCANIC)
											21.00	x x			
											22.00	x x			
											23.00	x x			
											24.00	x x			
											25.00	x x			
											26.00	x x			
											26.50	x x			
											27.00	x x			
											28.00	x x			
											29.00	x x			Medium dense to dense, greenish grey, clayey SILT limonite stained relict joints  (Completely decomposed VOLCANIC)
											29.10	x x			
25/6	H		80	80							30.00	x x			

- Small disturbed sample
- ▲ Water sample
- ◆ Large disturbed sample
- ▼ Water Level
- ▨ SPT liner sample
- ↓ Standard penetration test
- U76 undisturbed sample
- ↓ Permeability test
- U100 undisturbed sample
- ▲ Piezometer tip
- ▨ Mazier sample
- ✓ In situ vane shear test
- P/S Piston sample

LOGGED K.Y.Kwok

REMARKS

DATE 27.6.86

CHECKED *[Signature]*

DATE 3.7.86



CONTRACT NO. GC/85/09

W.O. NO. PW7/2/16.33

## DRILLHOLE RECORD

HOLE NO. WTB

Lam Geotechnics Limited

SHEET 4 of 4

DATE from 24.6.86 to 26.6.86

PROJECT Site Investigation N.T. Circular Road Improvements Phase 3 -  
Fairview Park to Mai Po Proposed Borrow Area

METHOD Rotary

CO-ORDINATES

ROCK COREBIT T2, TNW

MACHINE & NO. Long Year  
D-46E 824458  
N 838497HOLE DIA. 140mm to 114mm  
P to H

FLUSHING MEDIUM Water

ORIENTATION Vertical

GROUND LEVEL 55.60 mPD

Drilling Progress	Casing depth/size	Water level/time/date	Water Recovery %	Total core Recovery %	Solid core Recovery %	R.Q.D.	Fracture Index	Tests	Samples	Reduced Level	Depth (m.)	Legend	Grade	Zone	Description
25/6	H		80								30.00	x x x			
				100							31.00	x x x			
											32.00	x x x			
25/6		19.00m at 19:00									33.00	x x x	V		Medium dense to dense, greenish grey, clayey SILT limonite stained relict joints
26/6		29.00m at 7:00		100							34.00	x x x			(Completely decomposed VOLCANIC)
											35.00	x x x			
				100							36.00	x x x			
										19.40	36.20				
				85	50	50	4		T2		18.60	37.00	II		Grey, BOULDER of slightly decomposed volcanic
				80							38.00	x x x	V		Medium dense to dense, yellowish brown, clayey SILT, limonite stained relict joints (Completely decomposed VOLCANIC)
	39.00 H									16.60	39.00		III to II		Strong, grey, fine to medium grained moderately to slightly decomposed metamorphic rhyotaxitic VOLCANIC, closely spaced joints with limonite stained and kaolin infilling dip 75°-85°
26/6		23.00m at 19:00	80	96	96	84	4		TNW		15.60	40.00			End of investigation hole at 40.00m

- Small disturbed sample
- Large disturbed sample
- SPT liner sample
- U76 undisturbed sample
- U100 undisturbed sample
- Mazier sample
- P/S Piston sample
- ▲ Water sample
- ▼ Water Level
- ↓ Standard penetration test
- Permeability test
- ▲ Piezometer tip
- ✓ In situ vane shear test

LOGGED K.Y.Kwok

DATE 27.6.86

CHECKED *[Signature]*

DATE 3.7.86

REMARKS



# Terraform Engineering (International) Ltd.

Contract No.: \_\_\_\_\_  
 Hole No.: DHA49  
 Sheet: 1 of 2  
 Date: 17.08.2020 to 18.08.2020

## DRILLHOLE RECORD

Project: Ground Investigation Works for Proposed Residential Development at Lot No. 2091 in D.D. No. 105, Shek Wu Wai, San Tin, Yuen Long, N.T.

Method: ROTARY

Co-ordinates:

Rock Corebit: T2-101

Machine Opnr.: CHAN

E: 824781.245

Hole Dia: SX/PX/HX

Flushing Medium: WATER

Orientation: VERTICAL

Ground Level: +12.30 mPD

Drilling Progress	Casing Depth/Size	Water Level/Time	Water Recovery %	Total Core Recovery %	Solid Core Recovery %	Rock Quality Designation %	Fracture Index	Tests	Samples No. Type Depth	Reduced Level (mPD)	Depth (m)	Legend	Grade	Description
17/08	SX								Inspection Pit	+12.30	0.00			Firm, dark brown,, sandy SILT with some angular fine to medium gravel. (FILL)
				100				1,2,3,3,3,3 N=12	1 2.00 2 3.10 3 3.55	+10.80	1.50		V	Extremely weak, brown, completely decomposed coarse ash crystal TUFF. (Firm, sandy SILT.)
	PX			100				2,2,3,3,4,4 N=14	5 4.00 6 5.10 7 5.55	+6.30	6.00		V	Extremely weak to very weak, dark grey, completely decomposed coarse ash crystal TUFF. (Firm, sandy SILT.)
				100				2,3,3,4,4,3 N=14	9 6.00 10 7.10 11 7.55					
	HX							2,3,4,5,5,5 N=19	13 8.00 14 9.10 15 9.55	+2.30	10.00			

- Small disturbed sample
- ⬇ Large disturbed sample
- ▨ SPT liner sample
- U76 undisturbed sample
- ▩ Mazier sample
- P/S Piston sample
- ⬇ Water table
- ⬇ Standard Penetration Test
- Permeability test
- ⬆ Piezometer tip
- ⬆ Standpipe tip
- ⬇ Vane shear test

Logged by: M.Y. LEE  
 Date: 23-08-2020  
 Checked by: LIU  
 Date: 23-08-2020

Remarks:



# Terraform Engineering (International) Ltd.

Contract No.: \_\_\_\_\_  
Hole No.: DHA49  
Sheet: 2 of 2  
Date: 17.08.2020 to 18.08.2020

## DRILLHOLE RECORD

Project: Ground Investigation Works for Proposed Residential Development at Lot No. 2091 in D.D. No. 105, Shek Wu Wai, San Tin, Yuen Long, N.T.

Method: ROTARY

Co-ordinates:

Rock Corebit: T2-101

Machine Optr.: CHAN

E: 824781.245

Hole Dia: SX/PX/HX

N: 838649.918

Flushing Medium: WATER

Orientation: VERTICAL

Ground Level: +12.30 mPD

Drilling Progress	Casing Depth/Size	Water Level/Time	Water Recovery %	Total Core Recovery %	Solid Core Recovery %	Rock Quality Designation %	Fracture Index	Tests	Samples No. Type Depth	Reduced Level (mPD)	Depth (m)	Legend	Grade	Description
	HX			100				3,4,5,6,6,6 N=23	17 18 19 20	10.90 11.10 11.55	+2.30	10.00	V	Extremely weak, dark greenish grey, completely decomposed coarse ash crystal TUFF. (Firm, sandy SILT.)
				100				4,6,6,9,9,11 N=35	21 22 23 24	12.00 13.10 13.55				
17/08				100	92	64	6.0		T2-101	14.10	-1.80	14.10	III	Strong, dark greenish grey & dark grey, slightly decomposed coarse ash crystal TUFF. Joints are medium to widely, occasional closely spaced, extremely narrow, rough planar, rough undulating, iron stained, dipping at 10-20, 45-60 & subvertical.  From 14.10m to 14.30m, 16.10m to 17.10m: moderately strong, moderately decomposed. From 17.40m to 18.20m: tuff breccia with quartz fragments.
18/08	4.10m			100	100	100	1.5		T2-101	14.77	-2.00	14.30	II	
				100	100	100	8.0		T2-101	15.77	-3.80	16.10	III	
				100	96	79	3.3		T2-101	16.72	-4.80	17.10	II	
				100	100	84			T2-101	17.66	-5.10	17.40		
				100	100	88	6.0		T2-101	18.55	-5.90	18.20		
18/08									T2-101	19.40	-7.10	19.40		End of hole at depth of 19.40m.

- Small disturbed sample
- ⬇ Large disturbed sample
- ▨ SPT liner sample
- U76 undisturbed sample
- ▨ Mazier sample
- P/S Piston sample
- ⚡ Water table
- ⬇ Standard Penetration Test
- ⊙ Permeability test
- ⬆ Piezometer tip
- ⬆ Standpipe tip
- ⚡ Vane shear test

Logged by: M.Y. LEE  
Date: 23-08-2020  
Checked by: LIU  
Date: 23-08-2020

Remarks:



Terraform Engineering (International) Ltd.

Contract No.: \_\_\_\_\_

Hole No.: DHC18

Sheet: 1 of 4

Date: 08.10.2020 to 10.10.2020

## DRILLHOLE RECORD

Project: Ground Investigation Works for Proposed Residential Development at Lot No. 2091 in D.D. No. 105, Shek Wu Wai, San Tin, Yuen Long, N.T.

Method: ROTARY

Co-ordinates:

E: 824765.002

N: 838592.985

Rock Corebit: T2-101

Machine Optr.: HUI

Hole Dia: SX/PX/HX

Flushing Medium: WATER

Orientation: VERTICAL

Ground Level: +17.15 mPD

Drilling Progress	Casing Depth/Size	Water Level/Time	Water Recovery %	Total Core Recovery %	Solid Core Recovery %	Rock Quality Designation %	Fracture Index	Tests	Samples	Reduced Level (mPD)	Depth (m)	Legend	Grade	Description
08/10	SX			100				3,5,5,6,8,10 N=29 ↓	No. 1 Type 2.00 Depth 2.45 2.50 3.60	+17.15 +16.65	0.00 0.50			Firm, dark brownish grey, sandy SILT with some angular fine to coarse gravel. (FILL)
				100				3,4,6,8,9,10 N=33 ↓	No. 2 Type 4.00 Depth 4.45 4.50 5.60					Firm, dark brown, clayey sandy SILT. (COLLUVIUM)
	PX			100				3,5,6,7,7,10 N=30 ↓	No. 3 Type 6.00 Depth 6.45 6.50 7.60	+10.65	6.50			Firm, dark reddish brown, clayey sandy SILT. (COLLUVIUM).
				95				2,4,6,6,7,9 N=28 ↓	No. 4 Type 8.00 Depth 8.45 8.50 9.60	+8.65	8.50			Firm, dark brown, clayey sandy SILT. (COLLUVIUM)
										+7.15	10.00			

- |                          |                             |
|--------------------------|-----------------------------|
| ● Small disturbed sample | ▼ Water table               |
| ⬮ Large disturbed sample | ↓ Standard Penetration Test |
| ▨ SPT liner sample       | ● Permeability test         |
| ■ U76 undisturbed sample | ⬆ Piezometer tip            |
| ▨ Mazier sample          | ⬆ Standpipe tip             |
| P/S Piston sample        | ▼ Vane shear test           |

Logged by: M.Y. LEE

Date: 13-10-2020

Checked by: LIU

Date: 13-10-2020

Remarks:



# Terraform Engineering (International) Ltd.

Contract No.: \_\_\_\_\_  
 Hole No.: DHC18  
 Sheet: 2 of 4  
 Date: 08.10.2020 to 10.10.2020

## DRILLHOLE RECORD

Project: Ground Investigation Works for Proposed Residential Development at Lot No. 2091 in D.D. No. 105, Shek Wu Wai, San Tin, Yuen Long, N.T.

Method: ROTARY

Co-ordinates:

Rock Corebit: T2-101

Machine Optr.: HUI

E: 824765.002

Hole Dia: SX/PX/HX

N: 838592.985

Flushing Medium: WATER

Orientation: VERTICAL

Ground Level: +17.15 mPD

Drilling Progress	Casing Depth/Size	Water Level/Time	Water Recovery %	Total Core Recovery %	Solid Core Recovery %	Rock Quality Designation %	Fracture Index	Tests	Samples No. Type Depth	Reduced Level (mPD)	Depth (m)	Legend	Grade	Description
08/10				100				8,15,23,32,40,53 N=148	17 10.00 18 10.45 19 10.50 20 11.60	+7.15 +6.65	10.00 10.50			See sheet 1 of 4 for details.
09/10		1.10m		95				4,8,10,13,16,20 N=59	21 12.00 22 12.45 23 12.50 24 13.60					V Extremely weak, dark brown & dark greenish grey, completely decomposed coarse ash crystal TUFF. (Firm, sandy SILT.)
	PX			100				4,7,9,9,10,12 N=40	25 14.00 26 14.45 27 14.50 28 15.60					
				100				5,7,8,10,13,18 N=49	29 16.00 30 16.45 31 16.50 32 17.60					
				100				5,7,10,14,16,20 N=60	33 18.00 34 18.45 35 18.50 36 19.60					
										-2.85	20.00			

- Small disturbed sample
- ◆ Large disturbed sample
- ▨ SPT liner sample
- U76 undisturbed sample
- ▩ Mazier sample
- P/S Piston sample
- ▼ Water table
- ↓ Standard Penetration Test
- Permeability test
- ▲ Piezometer tip
- ⬆ Standpipe tip
- ▼ Vane shear test

Logged by: M.Y. LEE

Remarks:

Date: 13-10-2020

Checked by: LIU

Date: 13-10-2020



# Terraform Engineering (International) Ltd.

## DRILLHOLE RECORD

Contract No.: \_\_\_\_\_  
Hole No.: DHC18  
Sheet: 3 of 4  
Date: 08.10.2020 to 10.10.2020

Project: Ground Investigation Works for Proposed Residential Development at Lot No. 2091 in D.D. No. 105, Shek Wu Wai, San Tin, Yuen Long, N.T.

Method: ROTARY

Co-ordinates:

Rock Corebit: T2-101

Machine Optr.: HUI

E: 824765.002

Hole Dia: SX/PX/HX

N: 838592.985

Flushing Medium: WATER

Orientation: VERTICAL

Ground Level: +17.15 mPD

Drilling Progress	Casing Depth/Size	Water Level/Time	Water Recovery %	Total Core Recovery %	Solid Core Recovery %	Rock Quality Designation %	Fracture Index	Tests	Samples No.	Type	Depth	Reduced Level (mPD)	Depth (m)	Legend	Grade	Description
	PX			100				5,8,10,13,17,22 N=62	37	●	20.00	-2.85	20.00		V	See sheet 2 of 4 for details.
									38	●	20.45	-3.35	20.50			
									39	●	21.60					
									40	●	21.60					
								6,10,13,17,21,25 N=76	41	●	22.00					
									42	●	22.45					
									43	●	22.50					
									44	●	23.60					
									45	●	24.00					
								6,9,15,20,25,29 N=89	46	●	24.45	-7.35	24.50			
									47	●	24.50					
									48	●	25.60					
									49	●	26.00					
								6,8,11,15,19,24 N=69	50	●	26.45					
									51	●	26.50					
									52	●	27.60					
									53	●	28.00					
								5,9,16,21,26,31 N=94	54	●	28.45					
									55	●	28.50					
									56	●	29.60					
												-12.85	30.00			

- Small disturbed sample
- Large disturbed sample
- SPT liner sample
- U76 undisturbed sample
- Mazier sample
- P/S Piston sample

- Water table
- Standard Penetration Test
- Permeability test
- Piezometer tip
- Standpipe tip
- Vane shear test

Logged by: M.Y. LEE  
Date: 13-10-2020  
Checked by: LIU  
Date: 13-10-2020

Remarks:




# Terraform Engineering (International) Ltd.

Contract No.: \_\_\_\_\_  
Hole No.: DHC18  
Sheet: 4 of 4  
Date: 08.10.2020 to 10.10.2020

## DRILLHOLE RECORD

Project: Ground Investigation Works for Proposed Residential Development at Lot No. 2091 in D.D. No. 105, Shek Wu Wai, San Tin, Yuen Long, N.T.

Method: ROTARY	Co-ordinates: E: 824765.002 N: 838592.985	Rock Corebit: T2-101
Machine Opnr.: HUI		Hole Dia: SX/PX/HX
Flushing Medium: WATER	Orientation: VERTICAL	Ground Level: +17.15 mPD

Drilling Progress	Casing Depth/Size	Water Level/Time	Water Recovery %	Total Core Recovery %	Solid Core Recovery %	Rock Quality Designation %	Fracture Index	Tests	Samples	Reduced Level (mPD)	Depth (m)	Legend	Grade	Description
10/10	HX							50/40mm,200/60mm N=200/60mm	No. 57 Type ● Depth 30.00 30.10 30.34 T2-101 31.64 T2-101 33.14 T2-101 34.70 T2-101 36.20	-12.85 -13.19 -13.45	30.00 30.34 30.60		IV III II	<p>Very weak, dark greyish brown, highly decomposed coarse ash crystal TUFF. (sandy fine to coarse GRAVEL with some quartz fragments.)</p> <p>Strong, dark grey, slightly decomposed coarse ash crystal TUFF. Joints are medium, occasional closely to very closely spaced, extremely narrow, rough planar, rough undulating, iron stained, chlorite c&amp; calcite coated, dipping at 10-20, 45-60 &amp; subvertical.</p> <p>From 30.34m to 30.60m: moderately strong, moderately decomposed. From 30.60m to 30.64m, 35.35m to 35.50m: with quartz fragments.</p>
			100	96	85		5.4							
							12.2							
			100	97	81		6.7							
			100	100	100		1.6							
			100	100	100									
														End of hole at depth of 36.20m.

- Small disturbed sample
- ⬇ Large disturbed sample
- ▨ SPT liner sample
- U76 undisturbed sample
- ▨ Mazier sample
- P/S Piston sample
- ☒ Water table
- ⬇ Standard Penetration Test
- Permeability test
- ⬆ Piezometer tip
- ⬆ Standpipe tip
- ☒ Vane shear test

Logged by: M.Y. LEE  
Date: 13-10-2020  
Checked by: LIU  
Date: 13-10-2020

Remarks:



## Appendix C

Copy of Consultant's Letters and the Letters Replies from Various Government  
Departments



2 February 2021

Fire Services Department  
Fire Services Headquarters  
Management Group (MG)  
9<sup>th</sup> Floor, Fire Services Headquarters Building, 1 Hong Chong Road,  
Tsim Sha Tsui East, Kowloon

By Fax (2739 5879) & Post

Dear Sir / Madam,

**Land Contamination Assessment Study for a Proposed Transitional Housing in DD105 Ngau Tam Mei, Yuen Long, N.T.- Enquiry for Land Contamination Information**

We are conducting a Land Contamination Assessment Study for a Proposed Transitional Housing in DD105 Ngau Tam Mei, Yuen Long, New Territories. As required by the "Practice Guide for Investigation and Remediation of Contaminated Land" published by the Environmental Protection Department of the Government of HKSAR (EPD), information pertaining to the change of land uses/past activities/incidents/accidents at the Application Site are required as part of the vetting process.

Of particular interests are spill and incident reports (including records of fire at the Application Site) that we believe your Department might have record of. Furthermore, we would also like to know whether anywhere of the Application Site had applied or possessed license for dangerous goods storage. We enclosed herewith a site map showing the location of the Application Site for your reference.

Due to the urgency of the project, we would be much appreciated if you could provide the requested information at your earliest convenience.

Should you have any queries, please do not hesitate to contact the undersigned at 3465 2811 (email: cchiu@ramboll.com) or our Ms. Angela Chan at 3465 2820 (email: awychan@ramboll.com). We sincerely seek your feedback on this matter. Thank you in advance for any assistance you can provide.

Yours faithfully,  
For and on behalf of  
Ramboll Hong Kong Limited



Calvin Chiu  
Senior Manager

Enclosure: Location Plan of the Application Site



消 防 處  
香港九龍尖沙咀東部康莊道 1 號  
消防處總部大廈



**FIRE SERVICES DEPARTMENT**  
**FIRE SERVICES HEADQUARTERS BUILDING,**  
No.1 Hong Chong Road,  
Tsim Sha Tsui East, Kowloon,  
Hong Kong.

本處檔號 **OUR REF.** : (86) in FSD GR 6-5/4 R Pt.37  
來函檔號 **YOUR REF.** : NWDNTMTHEI00\_0\_0002L.21  
電子郵件 **E-mail** : hkfsdenq@hkfsd.gov.hk  
圖文傳真 **FAX NO.** : 2739 5879  
電 話 **TEL NO.** : 2733 7741

26 November 2021

Ramboll Hong Kong Limited  
21/F, BEA Harbour View Centre,  
56 Gloucester Road,  
Wanchai, Hong Kong.  
**(Attn: Mr. Calvin CHIU, Senior Manager)**

Dear Mr. CHIU,

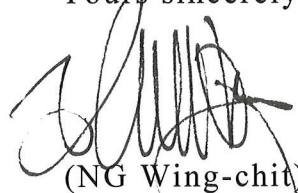
**Land Contamination Assessment Study for a Proposed Transitional  
Housing in DD105 Ngau Tam Mei, Yuen Long N.T.  
Request for Information of Dangerous Goods & Incident Records**

I refer to your letter of 2.2.2021 and subsequent email of 23.11.2021 regarding the captioned request and reply below in response to your questions:-

Please be advised that neither records of dangerous goods license, fire incidents nor incidents of spillage / leakage of dangerous goods were found in connection with the given conditions of your request at the subject location.

If you have further questions, please feel free to contact the undersigned.

Yours sincerely,

  
(NG Wing-chit)  
for Director of Fire Services



Ref.: NWDNTMTHEI00\_0\_0001L.21

2 February 2021

Environmental Protection Department  
Environmental Compliance Division  
Regional Office (North)  
10th Floor, Sha Tin Government Offices, 1 Sheung Wo Che Road,  
Sha Tin, New Territories

By Fax (2685 1155) & Post

Dear Sir / Madam,

**Land Contamination Assessment Study for a Proposed Transitional Housing in DD105 Ngau Tam Mei, Yuen Long, N.T.- Enquiry for Land Contamination Information**

We are conducting a Land Contamination Assessment Study for a Proposed Transitional Housing in DD105 Ngau Tam Mei, Yuen Long, New Territories. As required by the "Practice Guide for Investigation and Remediation of Contaminated Land" published by the Environmental Protection Department of the Government of HKSAR (EPD), information pertaining to the change of land uses/past activities/incidents/accidents at the Application Site are required as part of the vetting process.

Of particular interests is whether there are any registered chemical waste producers under your record in the Application Site, any waste disposal record, any accidental spillage record, any submission relating to land contamination assessment and any information you could provide which might be useful for our study. We enclosed herewith a site map showing the location of the Application Site for your reference.

Due to the urgency of the project, we would be much appreciated if you could provide the requested information at your earliest convenience.

Should you have any queries, please do not hesitate to contact the undersigned at 3465 2811 (email: cchiu@ramboll.com) or our Ms. Angela Chan at 3465 2820 (email: awychan@ramboll.com). We sincerely seek your feedback on this matter. Thank you in advance for any assistance you can provide.

Yours faithfully,  
For and on behalf of  
Ramboll Hong Kong Limited



Calvin Chiu  
Senior Manager

Enclosure: Location Plan of the Application Site



## Minny Kong

---

**From:** leolau@epd.gov.hk  
**Sent:** Friday, 3 December 2021 6:49 PM  
**To:** Minny Kong  
**Cc:** leolau@epd.gov.hk; arthurlau@epd.gov.hk  
**Subject:** Re: Land Contamination Assessment Study for a Proposed Transitional Housing in DD105 Ngau Tam Mei, Yuen Long, N.T.- Enquiry for Land Contamination Information

Dear Ms. KONG,

I refer to your email below.

Please be informed that there was no record of chemical spillage / leakage incident / chemical waste producers registered at the captioned location in the past 4 years.

Should you have any queries, please contact our Mr. Arthur LAU at 2158-5709.

Yours faithfully,

(Leo K.Y. LAU)  
for Director of Environmental Protection  
Tel. - 2158-5833

---

From: Minny Kong <MKONG@ramboll.com>  
To: "leolau@epd.gov.hk" <leolau@epd.gov.hk>  
Cc: "arthurlau@epd.gov.hk" <arthurlau@epd.gov.hk>, Zoe Chan <zchan@ramboll.com>  
Date: 03/12/2021 17:29  
Subject: Land Contamination Assessment Study for a Proposed Transitional Housing in DD105 Ngau Tam Mei, Yuen Long, N.T.- Enquiry for Land Contamination Information

---

Dear Mr. Lau,

Further to the previous correspondence (as attached) about enquiry for Land Contamination Information, we are conducting a Land Contamination Assessment Study for the captioned project where information pertaining to the change of land uses/past activities/incidents/accidents at the Application Site are required as part of the vetting process. We would be grateful if you could provide us the following information for the Application Site, if any and available:

1. Chemical Spillage/ leakage records; and
2. Records of Chemical Waste Producers Registration

Due to urgency of the project, we would be much appreciated if you could provide the requested information by 10 Dec 2021.

Please feel free to contact us in case of any questions. Thank you for your help.

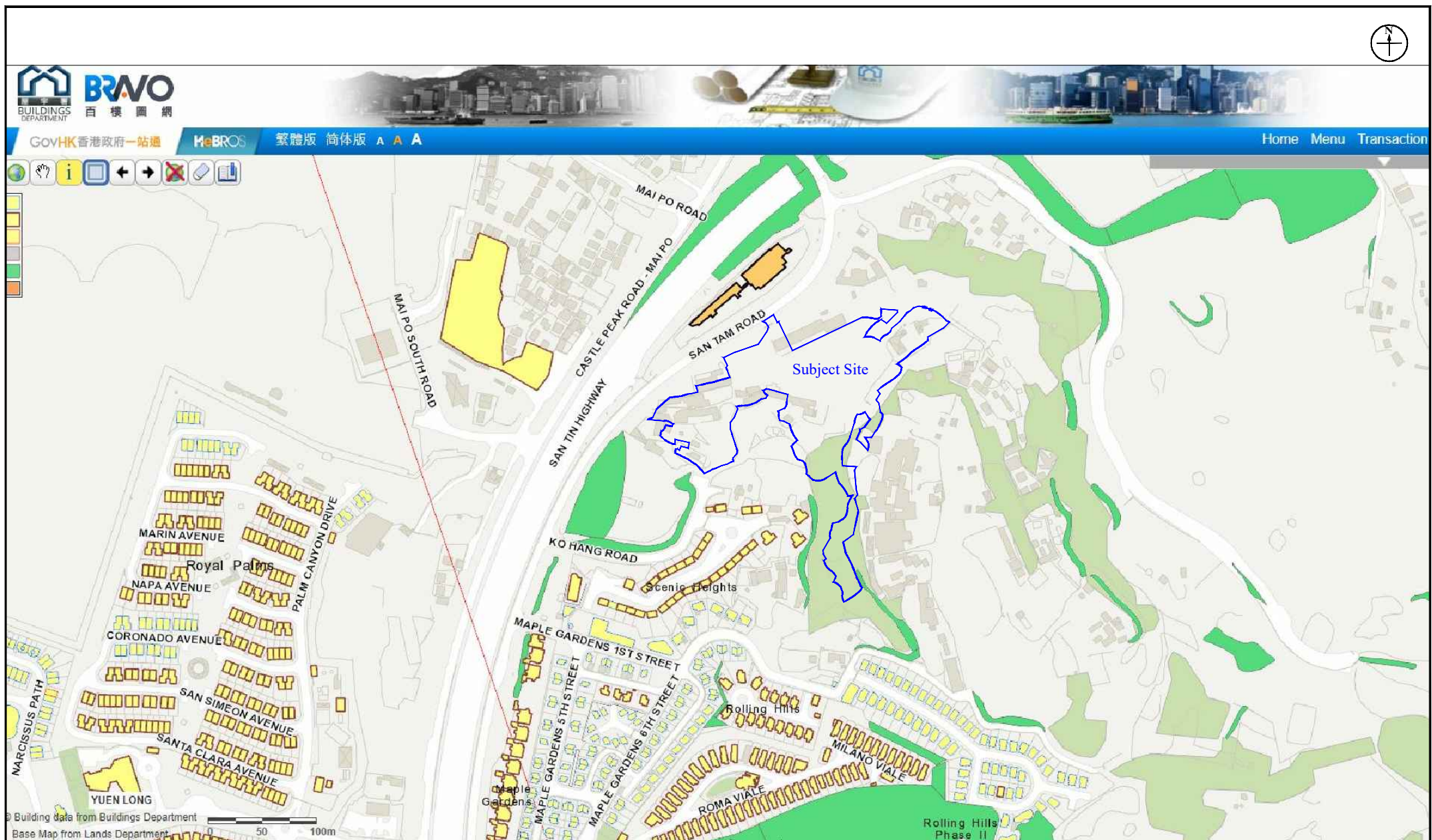
Kind regards



## Appendix D

### Screen Capture of BRAVO





<b>Appendix: D</b>		RAMBOLL	
<b>Title:</b>	Screen Capture of BRAVO	Drawn by:	MK
		Checked by:	ZC
<b>Project:</b>	Proposed Temporary Transitional Housing at Various Lots in D.D. 105 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, N.T.		
		Rev.:	1.0
		Date:	Dec 2021



## Appendix E

### Site Walkover Checklist



# Annex C1

## Site Walkover Checklist

Date of Site Visit: 30<sup>th</sup> November 2021

### GENERAL SITE DETAILS

SITE OWNER/CLIENT Melody Gain Limited and Clanville Developments Limited

PROPERTY ADDRESS Proposed Temporary Transitional Housing at Various Lots in D.D. 105 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, N.T.

### PERSON CONDUCTING THE QUESTIONNAIRE

NAME Minny Kong

POSITION Environmental Consultant (Ramboll Hong Kong Limited)

### AUTHORIZED OWNER/CLIENT REPRESENTATIVE (IF APPLICABLE)

NAME Kevin Kwong

POSITION Manager – Property Development

TELEPHONE 2844 3285

### SITE ACTIVITIES

Briefly describe activities carried out on site, including types of products/chemicals/materials handled.

**Obtain a flow schematic if possible.**

Number of employees:

Full-time: N/A

Part-time: N/A

Temporary/Seasonal: Temporary storage of construction materials

Maximum no. of people on site at any time:

N/A

Typical hours of operation:

N/A

Number of shifts:

N/A

Days per week:

N/A

Weeks per year:

N/A

Scheduled plant shut-down:

N/A



Detail the main sources of energy at the site:

Gas	<del>Yes</del> /No
Electricity	Yes/ <del>No</del>
Coal	<del>Yes</del> /No
Oil	<del>Yes</del> /No
Other	<del>Yes</del> /No

## **SITE DESCRIPTION**

This section is intended to gather information on site setting and environmental receptors on, adjacent or close to the site.

What is the total site area: About 21,731 sq. m.

What area of the site is covered by buildings (%): No buildings

Please list all current and previous owners/occupiers if possible.   
Previous: No available information;  
Current: Melody Gain Limited and Clanville Developments Limited

Is a site plan available? If yes, please attach. ~~Yes~~/No

Are there any other parties on site as tenants or sub-tenants? Yes/~~No~~

If yes, identify those parties: Zhuang Fortunate Agricultural Co., Limited

Describe surrounding land use (residential, industrial, rural, etc.) and identify neighbouring facilities and types of industry.

North: Mai Po Electricity Substation, San Tin Highway

South: Residential: Rolling Hills

East: Open area with scattered temporary structures

West: Residential: Scenic Heights, Maple Garden



## Annex C1 – Site Walkover Checklist

Describe the topography of the area (flat terrain, rolling hills, mountains, by a large body of water, vegetation, etc.).

Flat terrain with some vegetation

State the size and location of the nearest residential communities.

Scenic Heights (12,376 sq. m., 33 blocks in total)

Are there any sensitive habitats nearby, such as nature reserves, parks, wetlands or sites of special scientific interest?

No

### Questionnaire with Existing/Previous Site Owner or Occupier

Ref.		Yes/No	Notes
1.	What are the main activities/operations at the above address?	-	The site is used as temporary storage of construction materials mainly for sale.
2.	How long have you been occupying the site?		The site is owned by the current registered owners since 1996.
3.	Were you the first occupant on site? (If yes, what was the usage of the site prior to occupancy?)	No	No available information
4.	Prior to your occupancy, who occupied the site?	-	No available information
5.	What were the main activities/operations during their occupancy?	-	No available information
6.	Have there been any major changes in operations carried out at the site in the last 10 years?	No	The site is mainly vacant with some construction materials storage.
7.	Have any polluting activities been carried out in the vicinity of the site in the past?	No	-
8.	To the best of your knowledge, has the site ever been used as a petrol filling station/car service garage?	No	-
9.	Are there any boreholes/wells or natural springs either on the site or in the surrounding area?	No	-
10.	Do you have any registered hazardous installations as defined under relevant ordinances? (If yes, please provide details.)	No	The site is mainly vacant with some storage of construction materials (e.g. steel bars).  No chemicals are used in daily operation.
11.	Are any chemicals used in your daily operations? (If yes, please provide details.)	No	
	• Where do you store these chemicals?	-	
12.	Material inventory lists, including quantities and locations available? (If yes, how often are these inventories updated?)	No	
13.	Has the facility produced a separate hazardous substance inventory?	No	



14.	Have there ever been any incidents or accidents (e.g. spills, fires, injuries, etc.) involving any of these materials? (If yes, please provide details.)	No	
15.	How are materials received (e.g. rail, truck, etc.) and stored on site (e.g. drums, tanks, carboys, bags, silos, cisterns, vaults and cylinders)?	-	The materials are received by trucks, stored on pallets or within designated area.
16.	Do you have any underground storage tanks? (If yes, please provide details.)	No	-
	▪ How many underground storage tanks do you have on site?	-	-
	▪ What are the tanks constructed of?	-	-
	▪ What are the contents of these tanks?	-	-
	▪ Are the pipelines above or below ground?	-	-
	▪ If the pipelines are below ground, has any leak and integrity testing been performed?	-	-
	▪ Have there been any spills associated with these tanks?	-	-
17.	Are there any disused underground storage tanks?	No	-
18.	Do you have regular check for any spillage and monitoring of chemicals handled? (If yes, please provide details.)	No	No chemical and chemical waste were stored and handled within the site.
19.	How are the wastes disposed of?	-	The site is mainly vacant with some storage of construction materials (e.g. steel bars).
20.	Have you ever received any notices of violation of environmental regulations or received public complaints? (If yes, please provide details.)	No	-
21.	Have any spills occurred on site? (If yes, please provide details.)	No	-
	• When did the spill occur?	-	-
	• What were the substances spilled?	-	-
	• What was the quantity of material spilled?	-	-
	• Did you notify the relevant departments of the spill?	-	-
	• What were the actions taken to clean up the spill?	-	-
	• What were the areas affected?	-	-
22.	Do you have any records of major renovation of your site or rearrangement of underground utilities, pipe work/underground tanks (If yes, please provide details.)	No	-
23.	Have disused underground tanks been removed or otherwise secured (e.g. concrete, sand, etc.)?	No	-
24.	Are there any known contaminations on site? (If yes, please provide details.)	No	-



25.	Has the site ever been remediated? (If yes, please provide details.)	No	-
-----	---	----	---

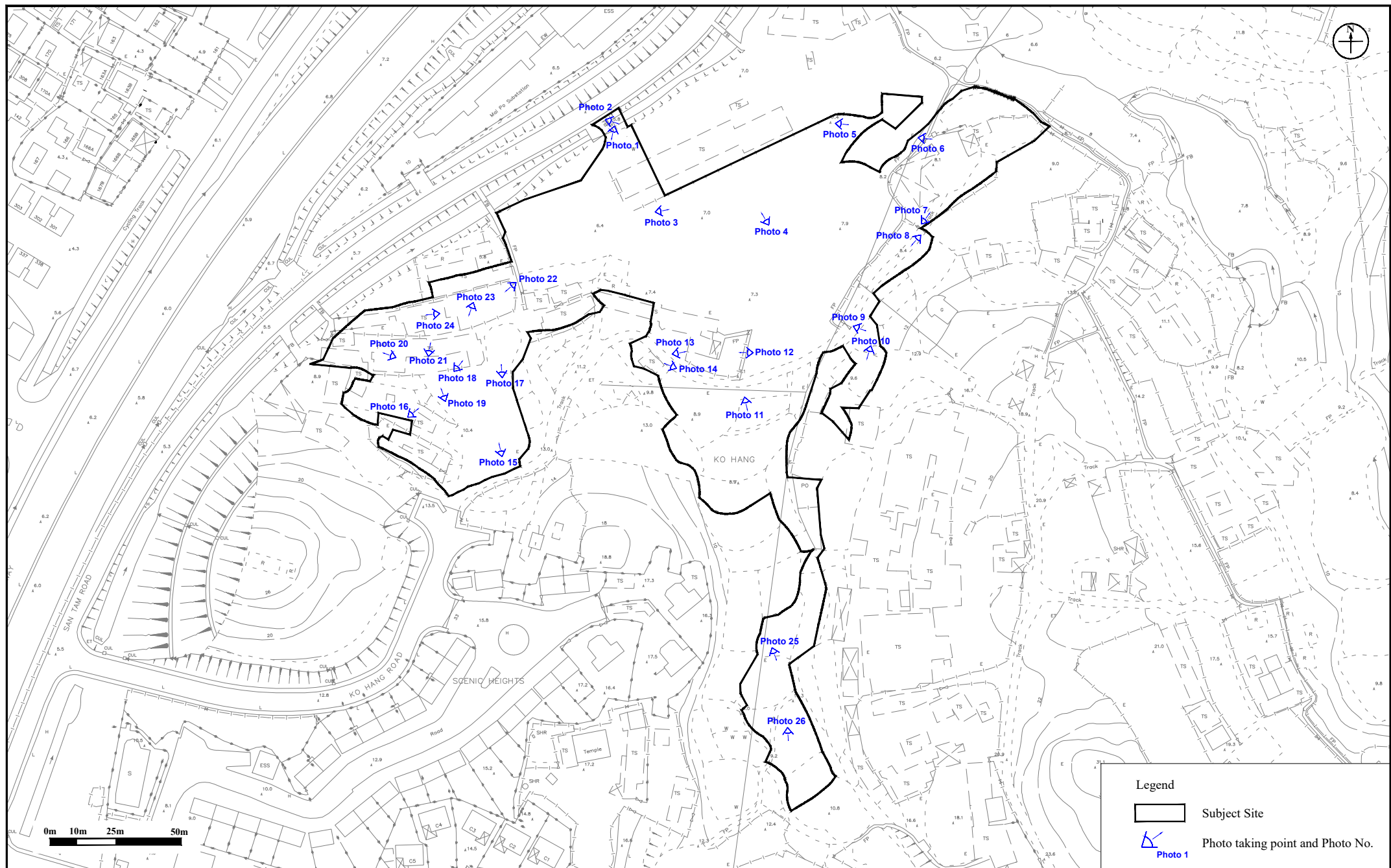
### Observations

1.	Are chemical storage areas provided with secondary containment (i.e. bund walls and floors)?	-	No chemical and chemical waste were stored and handled within the site.
2.	What are the conditions of the bund walls and floors?	-	No stains were observed on the floor. Storage area are mostly paved with concrete.
3.	Are any surface water drains located near to drum storage and unloading areas?	No	The site is mainly vacant with some storage of construction materials (e.g. steel bars).
4.	Are any solid or liquid waste (other than wastewater) generated at the site? (If yes, please provide details.)	No	
5.	Is there a storage site for the wastes?	No	
6.	Is there an on-site landfill?	No	
7.	Were any stressed vegetation noted on site during the site reconnaissance? (If yes, please indicate location and approximate size.)	No	-
8.	Were any stained surfaces noted on-site during the site reconnaissance? (If yes, please provide details.)	No	-
9.	Are there any potential off-site sources of contamination?	No	-
10.	Does the site have any equipment which might contain polychlorinated biphenyls (PCBs)?	No	The site is mainly vacant with some storage of construction materials (e.g. steel bars).  No chemical and chemical waste were stored and handled within the site.
11.	Are there any sumps, effluent pits, interceptors or lagoons on site?	No	
12.	Any noticeable odours during site walkover?	No	
13.	Are any of the following chemicals used on site: fuels, lubricating oils, hydraulic fluids, cleaning solvents, used chemical solutions, acids, anti-corrosive paints, thinners, coal, ash, oily tanks and bilge sludge, metal wastes, wood preservatives and polyurethane foam?	No	



## Appendix F

### Photo Records of the Site Visit



## Appendix: F

**Title:** Photo Records of the Site Visit

**Project:** Proposed Temporary Transitional Housing at Various Lots in D.D. 105 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, N.T.

**RAMBOLL**

Drawn by: MK

Checked by: ZC

Rev.: 1.0

Date: Jan 2022



**Photo Records (Site Visit on 30 November 2021)**



Photo 1:  
Upper Part of Subject Site - Northwest: Vacant land used as tenant car park



Photo 2:  
Upper Part of Subject Site - North: Temporary retail shop of building materials and greenery



Photo 3:  
Upper Part of Subject Site - Northeast: Construction materials storage



Photo 4:  
Upper Part of Subject Site - Northeast: Construction materials storage



Photo 5:  
Upper Part of Subject Site - Northeast: Residential squatter



Photo 6:  
Upper Part of Subject Site - Northeast: Residential squatter



**Photo Records (Site Visit on 30 November 2021)**



Photo 7:  
Upper Part of Subject Site - Northeast: Residential squatter



Photo 8:  
Upper Part of Subject Site - East: Vacant with vegetation



Photo 9:  
Upper Part of Subject Site - Southeast: abandoned land with overgrown vegetation



Photo 10:  
Upper Part of Subject Site - Southeast: abandoned land with overgrown vegetation



Photo 11:  
Upper part of Subject Site - South: Vacant with vegetation at two sides of the road



Photo 12:  
Upper part of Subject Site - Southwest: Residential squatter



**Photo Records (Site Visit on 30 November 2021)**



Photo 13:  
Upper part of Subject Site - Southwest: Residential squatter



Photo 14:  
Upper part of Subject Site - Southwest: Residential squatter



Photo 15:  
Upper part of Subject Site - West: Construction material storage



Photo 16:  
Upper part of Subject Site - West: Construction material storage with some overgrown vegetation



Photo 17:  
Upper part of Subject Site - West: Construction material storage



Photo 18:  
Upper part of Subject Site - West: Construction material storage



**Photo Records (Site Visit on 30 November 2021)**



Photo 19:  
Upper part of Subject Site - West: Vacant with some  
vegetation



Photo 20:  
Upper part of Subject Site - West: Vacant with vegetation



Photo 21:  
Upper part of Subject Site - West: Vacant with vegetation



Photo 22:  
Upper part of Subject Site – Northwest: Construction material  
storage



Photo 23:  
Upper part of Subject Site – Northwest: Construction material  
storage



Photo 24:  
Upper part of Subject Site – Northwest: Construction material  
storage



**Photo Records (Site Visit on 30 November 2021)**



Photo 25:  
Lower Part of Subject Site: Vacant with some vegetation



Photo 26:  
Lower Part of Subject Site: Vacant with some vegetation





**Architectural and Associated Consultancy Services  
for Transitional Housing Project  
at Various Lots in D.D. 105 and adjoining  
Government land, Ngau Tam Mei, Yuen Long**

**Noise Impact Assessment Report**

05 Sept 2022

Ref No.: C220326W-01

***Submitted to:***

**WCWP International Limited  
11F Skyway House, 3 Sham Mong Road  
Tai Kok Tsui, Kowloon,  
Hong Kong**

***Prepared By:***

**NOVOX Limited**

Phone: (852) 2690-9881

Fax: (852) 2600-4286

Address: Rm L, 7/F, Block II, 14-24 Au Pui Wan St, Fo Tan, N.T.

Email: [info@novox.com.hk](mailto:info@novox.com.hk)

Project:	Architectural and Associated Consultancy Services for Transitional Housing Project at Various Lots in D.D. 105 and adjoining Government land, Ngau Tam Mei, Yuen Long				
Document No.:	C220326W-01				
Revision	Issue Date	Description	Author	Checker	Approver
A	06/07/2022	First Issue	PL	EN	BW
B	09/08/2022	Revised according to EPD comment	PL	EN	BW
C	05/09/2022	Revised according to EPD comment	PL	EN	BW

Approved by:



Banting Wong  
MSc, CEng, MIOA,  
MHKIQEP, MHKIOA, AFCHKRI, MHKIEIA

#### Disclaimer:

- This report is prepared and submitted by Novox Limited with all reasonable skill to the best of our knowledge, incorporating our Terms and Conditions and taking account of the resources devoted to it by agreement with the client.
- We disclaim any responsibility to the client and others in respect of any matters outside the project scope.
- This report is confidential to the client and we accept no responsibility of whatsoever nature to third parties to whom this report, or any part thereof, is made known. Any such party relies upon the report at their own risk.



# TABLE OF CONTENT

1	INTRODUCTION .....	1
1.1	BACKGROUND .....	1
1.2	THE SITE ENVIRONMENT .....	1
1.3	THE PROPOSED DEVELOPMENT .....	2
2	NOISE SENSITIVE RECEIVERS (NSR) .....	3
2.1	REPRESENTATIVE NOISE SENSITIVE RECEIVERS .....	3
2.2	ENVIRONMENTAL LEGISLATION AND STANDARDS .....	3
3	ROAD TRAFFIC NOISE ASSESSMENT METHODOLOGY .....	6
3.1	ASSESSMENT MODEL .....	6
3.2	TRAFFIC FLOW DATA .....	6
3.3	ROAD CONDITIONS .....	7
3.4	TOPOLOGY AND BARRIER EFFECT .....	7
3.5	FAÇADE REFLECTION .....	8
4	FIXED SOURCE NOISE ASSESSMENT METHODOLOGY .....	9
4.1	ASSESSMENT MODEL .....	9
4.2	IDENTIFIED FIXED NOISE SOURCE .....	9
4.3	TOPOLOGY AND BARRIER EFFECT .....	11
4.4	FAÇADE REFLECTION .....	11
5	ROAD TRAFFIC NOISE IMPACT EVALUATION .....	12
5.1	BASELINE SCENARIO .....	12
5.2	MITIGATED SCENARIO .....	20
6	FIXED SOURCE NOISE IMPACT EVALUATION .....	31
7	FIXED SOURCE NOISE IMPACT TO SURROUNDINGS .....	40
7.1	NOISE SOURCE GENERATED BY THE PROJECT .....	40
7.2	FIXED PLANT NOISE ASSESSMENT RESULTS .....	40
8	CONCLUSIONS .....	41
	APPENDIX A SITE LAYOUT PLAN & NEARBY NOISE SOURCES .....	42
	APPENDIX B LATEST DEVELOPMENT PLAN .....	46
	APPENDIX C NOISE ASSESSMENT RESULTS (ROAD TRAFFIC) .....	54
	APPENDIX D NOISE ASSESSMENT RESULTS (FIXED SOURCE) .....	58
	APPENDIX E FIXED PLANT NOISE IMPACT TO SURROUNDING .....	60

## 1 INTRODUCTION

### 1.1 BACKGROUND

This Noise Impact Assessment (NIA) is prepared for the Transitional Housing Development at Ngau Tam Mei, Yuen Long, N.T. (“the Subject Site”). The Subject Site is located within areas which are currently zoned “Residential (Group C)” “R(C)” on the Approved Ngau Tam Mei Outline Zoning Plan (OZP no: S/YL-NTM/12).

The area for transitional housing purpose to provide temporary residential accommodations will be constructed, managed, and maintained by the applicant, Evangelical Lutheran Church Social Service – Hong Kong.

The Proposed Development at the Subject Site does not fall within the definition of designated project.

A planning application under Section 16 has been approved by the Town Planning Board (TPB) on 28 Jan 2022 (*application no.: A/YL-NTM/431*). As part of the Section 16 submission, Ramboll Hong Kong Limited has conducted the environmental assessment to assess the potential environmental noise, air quality, water quality impacts and waste implication.

Subsequent to the approval of Section 16 application, the Architect (WCWP International Ltd) has revised the master layout plan due to changes in site conditions. To satisfy the Section 16 approval conditions, Novox Ltd is commissioned to conduct an updated noise impact assessment to evaluate the potential environmental noise impact based on the latest master layout plan.

### 1.2 THE SITE ENVIRONMENT

The Subject Site is surrounded by San Tam Road and existing channels along it to the north to west. San Tin Highway is located further apart on same directions. There also exists a Mai Po Electricity Sub-Station (ESS) sandwiched between San Tam Road and San Tin Highway to the north of the Subject Site. To the south to southwest is an existing low-rise residential development (Scenic Heights). To the further south is another low-rise residential development (Rolling Hills). There are scattered temporary structures on east to southeast sides.

On the opposite side of San Tin Highway includes other low-rise residential developments such as Nga Yat Gui, Royal Garden, Noble Villas, Royal Palms, etc. Fish ponds and wetlands are located to the further northwest.

The Subject Site is currently rented out for shop and services for sales of building materials (with open storage). Scattered temporary structures can be found within site. There is an existing vehicular access to San Tam Road to the north and decking over a section of existing channel.

**Appendix A** shows the locations of the Subject Site and its surrounding environments and



noise sources.

### 1.3 THE PROPOSED DEVELOPMENT

Each transitional housing block consists of 4 storeys. There are also other ancillary facilities including amenity blocks housing laundry, storage room, management office, and onsite sewage treatment plant (STP) & E&M facilities, etc. Subsequent to the approval of Section 16 application, the Architect (WCWP International Ltd) has revised the master layout plan due to changes in site conditions, the major updates as briefly described as follows:

- Block 1: a change in footprint and orientation to accommodate more housing units;
- Amenity Block: place residential housing units on top of the Amenity Block to accommodate more housing units;
- Block 2 and Block 3: slight amendment to the layout and housing mix.
- Block 4: the available building footprint is reduced due to land restrictions at the northeast portion of the site, the number of housing units and building orientation is revised accordingly. The housing units at the eastern side are oriented outward.

Modular integrated construction (MIC) will be adopted for the transitional housing blocks to install the flat units within short period of time. Most of the building structures including façade, staircase, slab, partition are prefabricated offsite and then delivered to the site as modular block for assembly.

**Appendix B** shows the latest development scheme. Building G/F level and building height are tabulated below.

**Table 1-1** Building Elevation of the Proposed Development

Building Block	G/F Level [mPD]	No. of Storey	Building Height [m]
Block 1	+11.30	4	13.65
Block 2	+8.90	4	13.65
Block 3	+7.90	4	13.65
Block 4	+7.90	4	13.65
Amenity Block	+9.80	4	14.40
Sewage Treatment Plant	+6.50	2	12.80

## 2 NOISE SENSITIVE RECEIVERS (NSR)

### 2.1 REPRESENTATIVE NOISE SENSITIVE RECEIVERS

#### 2.1.1 Within the Development

All the residential units within the proposed development are identified as sensitive receivers for noise impact assessment. Representative Noise Sensitive Receivers (NSRs) at each flat was selected for the quantitative traffic noise impact assessment and their locations are shown in **Appendix A**. The assessment points include all openable windows in habitable rooms such as living rooms and bedrooms. Windows in noise tolerance spaces such as toilets, bathroom and staircases are excluded.

The assessment points have been taken to be situated at 1.2 m above floor slabs and at 1 m away from the external facade of openable windows of habitable room of the flats.

#### 2.1.2 Nearby NSRs

Apart from NSRs within the development, the onsite STP and other E&M rooms to be designed in future may also generate fixed noise impact on the surrounding noise sensitive buildings.

Site appraisal had been conducted on 22 June 2022, it is identified that the nearest surrounding existing NSR is Mai Po San Tsuen on opposite side of San Tin Highway with horizontal separation of over 130m from the proposed STP and E&M facilities. Yet, as Mai Po San Tsuen is separated by the highway, they would be subject to high background noise due to road traffic. In addition, future noise sensitive uses nearest to the proposed STP and E&M facilities within the Proposed Development are also considered.

### 2.2 ENVIRONMENTAL LEGISLATION AND STANDARDS

#### 2.2.1 Road Traffic Noise Assessment Criteria

Noise standards are recommended in the *Hong Kong Planning Standards and Guidelines* (HKPSG) for planning against noise impact from road traffic. As stated in Table 4.1 of Chapter 9 of HKPSG, the criterion for road traffic noise impact on domestic premises (habitable rooms) is  $L_{10}(1\text{-hour})$  70dB(A). This criterion applies to uses which rely on openable windows for ventilation.

#### 2.2.2 Nearby Fixed Noise Sources Impact to the Development

Impacts of nearby fixed noise sources on sensitive uses of the Proposed Development is governed by the *Technical Memorandum for the Assessment of Noise from Places other than Domestic Premises, Public Places or Construction Sites (IND-TM)* issued under the *Noise Control Ordinance* (“NCO”). In setting the ANL, reference has to be made to the Area Sensitive Rating (“ASR”) in Table 1 of IND-TM reflecting the type of area where the NSRs are situated.

The proposed development is considered as low-density residential area. Future noise sensitive uses of the proposed development are expected to be directly or indirectly affected by



San Tin Highway with Annual Average Daily Traffic (“AADT”) in excess of 30,000 (i.e. influencing factor, IF). An ASR of “B” or “C” is considered representative of the noise sensitive uses, depending on whether the receiver has direct line of sight to the IF.

Mai Po San Tsuen and other nearby village by themselves are considered as village type developments. An ASR of “B” is considered representative of the noise sensitive uses.

ANL and operation noise criteria for different Area Sensitivity Ratings (ASRs) are summarized in **Table 2-1** and **Table 2-2**.

**Table 2-1** Area Sensitivity Rating (ASR)

Type of Area Containing NSR \ Degree to which NSR is affected by IF	Not Affected	Indirectly Affected	Directly Affected
(i) Rural area, including country parks or village type developments	A	B	<b><u>B</u></b>
(ii) Low density residential area consisting of low-rise or isolated high-rise developments	A	<b><u>B</u></b>	<b><u>C</u></b>
(iii) Urban area	B	C	C
(iv) Area other than those above	B	B	C

**Table 2-2** Acceptable Noise Levels (ANLs)

Time Period \ ASR	A	B	<b><u>C</u></b>
Day (0700 to 1900 hours)	60	<b><u>65</u></b>	<b><u>70</u></b>
Evening (1900 to 2300 hours)			
Night (2300 to 0700 hours)	50	<b><u>55</u></b>	<b><u>60</u></b>

### 2.2.3 Fixed Noise Sources within the Development

According to the HKPSG, in order to plan for a better environment, all fixed noise sources within the development should be so located and designed, such that the level of the intruding noise at the façade of the nearest sensitive use should be at least 5 dB(A) below the appropriate ANL shown in the IND-TM or, in the case of the background being 5 dB(A) lower than the Acceptable Noise Level (ANL), the predicted noise level should not exceed the background.

In order to define the noise criterion, background noise measurement was conducted on 27 June 2022 from 03:00 hrs to 03:30 hrs and from 07:00 hrs to 07:30 hrs continuously for 30 minutes period at Mai Po San and at the development site. The selected measurement time is considered as the quietest (worst-assessment) duration during the daytime assessment period (i.e., 0700 to 1900 hours) and night-time period (i.e. 0300 to 0330 hours). Weather was fine

during the entire measurement period. Microphones were set at location 1m from a reflective surface erected at 1.2m above ground at Mai Po San Tsuen and set at location 1m free field erected at 1.2m above ground at the site boundary right next to the future STP and E&M Block of the proposed transitional housing development. The exact noise measurement locations and photos of the measurement setup are presented in **Appendix E**.

The measurement results in terms of  $L_{90,30\text{mins}}$  dB(A) are tabulated in below. During the measurement period the dominant noise sources are from nearby domestic premises and the heavily road traffic from San Tin Highway. There was no operation from nearby fixed noise during measurement.

**Table 2-3** Background Noise Measurement Result (Mai Po San Tsuen)

Measurement Start Time	Measurement End Time	Measured Background Noise Level $L_{90}$ , dB(A)
07:00	07:30	66.8
03:00	03:30	47.7

**Table 2-4** Background Noise Measurement Result (Proposed Development)

Measurement Start Time	Measurement End Time	Measured Background Noise Level $L_{90}$ , dB(A) <sup>#</sup>
07:00	07:30	62.3
03:00	03:30	49.7

*#included +3dB façade correction.*

Refer to the above noise measurement data comparing to the ANL-5, for Mai Po San Tsuen, day and evening time criterion and nighttime criterion is 60dBA and 47.7dBA respectively. For the proposed development, day and evening time criterion and nighttime criterion is 60dBA and 49.7dBA respectively.



### 3 ROAD TRAFFIC NOISE ASSESSMENT METHODOLOGY

#### 3.1 ASSESSMENT MODEL

The U.K. Department of Transport's procedure "*Calculation of Road Traffic Noise*" (CRTN) is used to predict the hourly  $L_{10}(1\text{-hour})$  noise levels generated from road traffic at selected representative NSRs using proprietary noise prediction software CadnaA. Road traffic noise impacts on various floor levels on the respective residential blocks/houses have been predicted. Practicable environmental mitigation measures will be recommended where necessary. The predicted noise levels are compared with the relevant HKPSG noise standards (i.e.  $L_{10}(1\text{-hour})$  70dB(A)).

The assessment methodology was implemented using noise prediction software CadnaA, which is a graphically based computer programs in full compliance with the noise prediction methodologies as set out in CRTN.

This proprietary modeling software is capable of simulating various road traffic conditions, road conditions and the form of noise mitigation measures. All the topographic effect, distance information, view angle information, shielding effects, ground absorption and façade reflection can be accurately illustrated and computed.

The road network, noise sensitive building layout and all other features that could have noise screening or reflective effects were digitized in the road traffic noise model. The roads were divided into discrete segments, each of which was assigned a segment number.

#### 3.2 TRAFFIC FLOW DATA

The road layout defines the road width, opposing traffic lane separation, road surface type, traffic mix, traffic flow and design speed. For the purpose of this road traffic noise impact assessment, traffic flows have been forecasted for all major roads within 300m of the proposed development.

The proposed development is applied for commencing operation in 2024. In the approved Section 16 application, traffic forecast for year 2039 representing the worst situation within 15 years from the operation has been adopted for noise impact assessment. Since the development is transitional in nature and may operate for a few years only, traffic forecast for year 2027 (3 year after occupancy of transitional housing) is adopted as the worst year for noise impact assessment. Traffic forecast data is provided by project traffic consultant based on 1% growth per annum and included in **Table 3-1**. The traffic forecast was conducted by the Project's traffic consultant and agreed with Transport Department (TD) and Planning Department (PlanD).

**Table 3-1** Year 2027 Traffic Forecast for Noise Impact Assessment

Road ID.	Road Name	Direction	Road Type	Road Speed [km/h]	Peak Hour	
					Traffic Flows [veh/hr]	% of HV <sup>*1</sup>
1	San Tin Highway	NB	Pervious	100	4038	40%

2	San Tin Highway	SB	Pervious	100	3639	45%
3	Castle Peak Road – Mai Po (Outside Mai Po San Tsuen)	2-way	Impervious	50	621	40%
4	Castle Peak Road – Mai Po (Outside Royal De Mai Po)	2-way	Impervious	50	488	35%
5	Castle Peak Road – Mai Po	2-way	Impervious	50	399	45%
6	Castle Peak Road – Mai Po	2-way	Impervious	50	488	35%
7	Mai Po Road	2-way	Impervious	50	44	20%
8	Mai Po South Road	2-way	Impervious	50	177	20%
9	San Tam Road (Under San Tin Highway)	2-way	Impervious	50	133	30%
10	San Tam Road	2-way	Impervious	50	89	35%
11	San Tam Road	2-way	Impervious	50	89	35%
12	San Tam Road	2-way	Impervious	50	89	35%
13	San Tam Road	2-way	Impervious	50	177	30%
14	Access Road	2-way	Impervious	50	44	25%
15	Ko Hang Road	2-way	Impervious	50	44	5%
16	Maple Gardens 1st Street	2-way	Impervious	50	89	20%
17	Maple Gardens 1st Street	2-way	Impervious	50	89	25%
18	Hung Fa Hom Road	2-way	Impervious	50	44	5%
19	Hung Fa Hom Road	2-way	Impervious	50	44	5%
20	Maple Gardens 5th Street	2-way	Impervious	50	44	10%
21	Maple Gardens 6th Street	2-way	Impervious	50	44	10%

Remarks:

- 1) HV includes Light Van, Public Light Bus, Light Goods Vehicle, Medium Goods Vehicle, Heavy Goods Vehicle and Container/Tractor, Coach and Bus.

### 3.3 ROAD CONDITIONS

The CRTN modelling method uses emission level adjustments to take into account the influence of various road surfaces and gradients on noise emission level. A -1dB correction to the basic road source noise level is applied to impervious road surface with traffic speed below 75km/hr, and -3.5dB correction to the basic road source noise level for pervious road surface.

### 3.4 TOPOLOGY AND BARRIER EFFECT

Topographic barrier including surrounding buildings, retaining walls, and natural terrains etc. all provide screening effect to the noise source. This information is retrieved from the latest



digital map data provided by Lands Department.

The noise barriers within the proposed development include self-screening by noise tolerant building blocks and architectural fins. These barriers are constructed in the 3D model based on latest master layout plan.

For the propagation of noise, a worst-case hard ground as defined in CRTN was assumed throughout the Study Area.

### **3.5 FAÇADE REFLECTION**

A +2.5dB(A) correction for façade reflection was applied at receptor locations in accordance with CRTN.

## 4 FIXED SOURCE NOISE ASSESSMENT METHODOLOGY

### 4.1 ASSESSMENT MODEL

Standard acoustical principles in accordance with “ISO 9613-2:1996 Acoustics — Attenuation of sound during propagation outdoors — Part 2: General method of calculation” will be adopted for prediction of fixed noise impact. The general equation used to calculate the equivalent continuous sound pressure level at a receiver location arising from each individual noise source is described below:

$$L_{eq} = L_w + D_c - A_{div} - A_{atm} - A_{gr} - A_{bar} - A_{misc}$$

Where

$L_w$  is the sound power level of the noise source;

$D_c$  is the directivity factor of the noise source;

$A_{div}$  is the attenuation due to geometrical divergence;

$A_{atm}$  is the attenuation due to atmospheric absorption;

$A_{gr}$  is the attenuation due to ground effect;

$A_{bar}$  is the attenuation due to barrier;

$A_{misc}$  is the attenuation due to miscellaneous other effects.

The prediction methodology described in ISO 9613-2 is implemented via noise prediction software CadnaA. A 3D model was constructed taking into account the topology and site layout plan. CadnaA is proprietary software for noise mapping of road traffic, railway as well as fixed industrial plants, etc. It has been used for city-scale Strategic Noise Mapping in Europe according to the EC Directive 2002/49/EC, the reliability has been well verified and accepted.

### 4.2 IDENTIFIED FIXED NOISE SOURCE

Desktop survey has been conducted to identify any presence of industrial/fixed noisy facilities/activities. There exists operation for sales of building materials with open storage to the east as observed in onsite survey. Moreover, there situates an existing Mai Po ESS on the opposite side of San Tam Road to the north.

According to an Environmental Assessment Report (Ref: NWDNTMTHEI00) prepared by Ramboll Hong Kong Limited dated November 2021 for the approved Section 16 application, 4 potential fixed/industrial noise sources were identified to the north/east of the Subject Site, namely Mai Po Electricity Sub-Station, 安達 (Storage) and 2 unnamed storage facilities.

Other than these, there are other uses which are not considered noisy in nature:

- a decoration material exhibition and sales centre to the northeast and partially within the Subject Site (Home Décor Centre);
- a transport company with delivery services by trucks, located aside Rolling Hills to the south (Chong Kee).



In order to verify whether there are any changes on the fixed/industrial noise sources or uses, a desktop review and site appraisal had been conducted on 22 June 2022 within 300m study area of the project. It is identified that the 4 potential fixed/industrial noise sources remain unchanged in both their locations and operation natures. There are no active operation and noisy generating equipment observed. According to the onsite survey, there is no noticeable noise observed from ESS even standing right in front of it or walk along the section of San Tam Road immediate to it. The noise environment is still dominated by road traffic, apparently from San Tin Highway. Besides, no other potential fixed/industrial noise sources identified within 300m study areas.

To summarise, 4 potential fixed/industrial noise sources were identified to the north/east of the Subject Site. Particulars of the identified fixed noise sources are presented in **Table 4-1** below. Except for S1 (Mai Po ESS), no other noise sources are considered of night time operation. The locations of the identified fixed noise sources are shown in **Appendix A**.

**Table 4-1** Identified Fixed Noise Sources for Noise Impact Assessment

ID	Source Description	Source Location		Assumed SWL, dB(A)	Operation?		Reference
		Easting	Northing		0700-2300	2300-0700	
S1	Mai Po Electricity Sub-Station	824395	838974	101	Y	Y	EIA for West Kowloon Cultural District (daytime SWL=98 dBA for 4 exhausts at 4 sides). For this study, 2 exhausts assumed on each of north/south side due to the elongated shape
S2	安達 (Storage)	824574	839056	92	Y	N	Transitional Housing Development at Lots 111 (Part), 116 to 119 in D.D. 108 and Adjoining Government Land, Fan Kam Road, Pat Heung, N.T. - Environmental Assessment
S3	Unnamed (Storage)	824503	839024	92	Y	N	Transitional Housing Development at Lots 111 (Part), 116 to 119 in D.D. 108 and Adjoining Government Land, Fan Kam Road, Pat Heung, N.T. - Environmental Assessment
S4	Unnamed (Storage)	824606	839044	92	Y	N	Transitional Housing Development at Lots 111 (Part), 116 to 119 in D.D. 108 and Adjoining Government Land, Fan Kam Road, Pat Heung, N.T. - Environmental Assessment

### **4.3 TOPOLOGY AND BARRIER EFFECT**

Topographic barrier including surrounding buildings, retaining walls, and natural terrains etc. all provide screening effect to the noise source. This information is retrieved from the latest digital map data provided by Lands Department.

The noise barriers within the proposed development include self-screening by noise tolerant building blocks and architectural fins. These barriers are constructed in the 3D model based on latest master layout plan.

For the propagation of noise, a worst-case hard ground was assumed throughout the Study Area. No ground attenuation effect is applied.

For calculation of barrier screening effect, maximum insertion loss is capped at 20dB for single barrier, 25dB for double barrier, this is strictly according to ISO 9613.

### **4.4 FAÇADE REFLECTION**

A +3.0dB(A) correction for façade reflection was applied at receptor locations.



## 5 ROAD TRAFFIC NOISE IMPACT EVALUATION

### 5.1 BASELINE SCENARIO

Quantitative road traffic noise impact assessment has been carried out and compared against the criterion. Noise levels were calculated for the baseline scenario without noise mitigation in place. Predicted maximum traffic noise levels for each assessment point are shown in table below. The assessment is based on conservation assumption of hard reflecting ground surface over the entire Study Area. The detailed noise model and contour map are shown in **Appendix C** for reference.

In the baseline scenario the building layout and orientation has been duly considered with respect to traffic noise impact. Whereas practicable, the housing units are oriented away from major roads. Noise tolerant building such as staircases are used for noise screening. Notwithstanding the above, there is still slight exceedance at Block 1 and Block 4. Noise mitigation measures are necessary.

**Table 5-1** Predicted Road Traffic Noise Impact for Unmitigated Scenario

Block	House ID	Predicted Noise Level L <sub>10, 1 hour</sub> , dBA				Noise Criteria, dBA
		G/F	1/F	2/F	3/F	
Amenity Block	AB_H01		54.2	56.9	60.6	70
	AB_H02		53.6	56.4	60.3	70
	AB_H03		53.6	56.3	60.2	70
	AB_H04		53.6	56.3	60.2	70
	AB_H05		53.6	56.3	60.1	70
	AB_H06		53.6	56.3	60.1	70
	AB_H07		53.6	56.2	60.0	70
	AB_H08		53.6	56.2	60.0	70
	AB_H09		53.6	56.2	60.0	70
	AB_H10		53.6	56.2	59.9	70
	AB_H11		53.6	56.2	59.9	70
	AB_H12		53.8	56.6	60.6	70
	AB_H13		55.2	59.3	64.9	70
Block 1	B1_H01	74.3	74.5	74.9	75.9	70
	B1_H02	68.3	68.8	70.0	72.5	70
	B1_H03	64.6	65.5	67.5	71.0	70
	B1_H04	61.6	63.1	65.8	69.8	70
	B1_H05	57.8	60.6	64.3	69.0	70

	B1_H06	56.2	59.5	63.7	68.1	70
	B1_H07	55.5	58.4	61.7	65.8	70
	B1_H08	55.2	57.8	60.8	64.7	70
	B1_H09	55.0	57.5	60.2	63.9	70
	B1_H10	54.9	57.2	59.9	63.2	70
	B1_H11	54.8	56.9	59.4	62.7	70
	B1_H12	54.7	56.8	59.3	62.4	70
	B1_H13	59.8	63.4	65.5	67.5	70
	B1_H14	60.3	63.8	66.0	67.8	70
	B1_H15	60.5	64.2	66.4	67.8	70
	B1_H16	60.7	63.6	66.6	67.9	70
	B1_H17	60.7	63.6	66.8	68.0	70
	B1_H18	55.7	57.6	59.6	62.3	70
	B1_H19	54.5	57.0	59.3	62.2	70
	B1_H20	54.8	57.1	59.3	62.0	70
	B1_H21	55.0	57.0	59.2	61.9	70
	B1_H22	55.1	57.1	59.1	61.8	70
	B1_H23	55.1	57.0	59.1	61.7	70
	B1_H24	55.0	56.9	59.0	61.6	70
	B1_H25	55.2	57.2	59.3	62.2	70
	B1_H26	56.5	58.7	61.5	64.9	70
	B1_H27	56.4	58.7	61.7	64.9	70
	B1_H28	56.4	58.7	61.8	65.0	70
	B1_H29	56.3	58.7	61.8	65.1	70
	B1_H30	56.1	58.5	61.8	65.2	70
	B1_H31	56.0	58.6	62.1	65.8	70
	B1_H32	55.8	58.4	62.1	65.8	70
	B1_H33	55.5	58.2	62.0	65.7	70
	B1_H34	55.1	57.8	61.7	65.3	70
	B1_H35	54.7	57.4	61.3	65.2	70
	B1_H36	62.6	65.9	66.7	67.7	70
	B1_H37	61.9	65.3	66.1	67.1	70
	B1_H38	60.9	64.4	65.2	66.2	70
	B1_H39	60.1	63.8	64.5	65.6	70



	B1_H40	59.6	63.4	64.2	65.2	70
	B1_H41	58.9	63.1	63.7	64.8	70
	B1_H42	58.2	62.5	63.1	64.3	70
	B1_H43	57.6	62.0	62.7	64.0	70
	B1_H44	57.2	61.7	62.3	63.7	70
	B1_H45	56.8	61.3	62.0	63.3	70
	B1_H46	58.1	59.7	61.5	63.6	70
	B1_H47	58.4	60.1	61.8	63.9	70
	B1_H48	58.8	60.4	62.2	64.2	70
	B1_H49	59.2	60.8	62.6	64.5	70
	B1_H50	59.6	61.2	63.0	64.8	70
	B1_H51	60.0	61.6	63.4	65.2	70
	B1_H52	60.0	61.7	63.5	65.2	70
	B1_H53	60.0	61.8	63.6	65.3	70
	B1_H54	59.9	61.7	63.5	65.2	70
	B1_H55	59.6	61.5	63.4	65.1	70
	B1_H56	59.3	61.3	63.4	65.5	70
	B1_H57	58.1	60.1	62.1	64.4	70
	B1_H58	54.8	56.9	59.3	62.5	70
	B1_H59	54.5	56.6	59.0	62.5	70
	B1_H60	54.4	56.5	59.0	62.5	70
	B1_H61	53.7	55.9	58.4	62.3	70
	B1_H62	53.0	55.1	57.8	61.9	70
	B1_H63	51.5	53.6	56.5	61.1	70
	B1_H64		53.0	55.7	59.9	70
	B1_H65		53.3	56.1	60.5	70
	B1_H66		53.6	56.5	61.0	70
Block 2	B2_H01		61.3	62.4	64.1	70
	B2_H02		57.6	60.1	63.0	70
	B2_H03		58.0	61.1	65.0	70
	B2_H04	53.2	55.6	58.6	62.4	70
	B2_H05	53.0	55.3	58.1	61.9	70
	B2_H06	53.1	55.2	57.9	61.6	70

	B2_H07	53.0	55.1	57.7	61.5	70
	B2_H08	53.0	55.1	57.7	61.3	70
	B2_H09	52.8	54.9	57.5	61.2	70
	B2_H10	52.7	54.8	57.4	61.2	70
	B2_H11	52.6	54.7	57.3	61.0	70
	B2_H12	52.6	54.7	57.3	61.0	70
	B2_H13	52.5	54.6	57.2	60.9	70
	B2_H14	52.4	54.5	57.0	60.8	70
	B2_H15	52.2	54.3	56.9	60.7	70
	B2_H16	52.1	54.2	56.8	60.6	70
	B2_H17	52.0	54.1	56.7	60.4	70
	B2_H18	52.0	54.0	56.6	60.4	70
	B2_H19	51.9	54.0	56.5	60.3	70
	B2_H20	51.9	53.9	56.5	60.3	70
	B2_H21	51.8	53.9	56.4	60.2	70
	B2_H22	51.7	53.8	56.4	60.1	70
	B2_H23	51.8	53.9	56.5	60.2	70
	B2_H24	52.0	54.1	56.8	60.5	70
	B2_H25	52.5	54.6	57.2	60.8	70
	B2_H26	52.6	54.8	57.4	60.8	70
	B2_H27	52.8	54.9	57.5	60.9	70
	B2_H28	53.1	55.1	57.7	60.9	70
	B2_H29	53.7	55.9	58.1	61.4	70
	B2_H30	53.8	55.2	56.9	58.9	70
	B2_H31	53.7	55.2	56.9	59.0	70
	B2_H32	53.5	55.1	56.8	59.1	70
	B2_H33	53.3	54.9	56.7	59.1	70
	B2_H34	53.0	54.6	56.5	59.0	70
	B2_H35	52.4	54.1	56.1	58.7	70
	B2_H36	51.3	53.1	55.0	57.7	70
	B2_H37	51.4	53.1	55.1	57.8	70
	B2_H38	51.6	53.3	55.2	57.9	70
	B2_H39	52.8	54.3	56.0	58.3	70
	B2_H40	56.3	57.8	59.3	61.2	70



	B2_H41	56.2	57.6	59.1	60.8	70
	B2_H42	56.1	57.3	58.7	60.3	70
	B2_H43	56.4	57.6	59.1	60.7	70
	B2_H44	56.8	58.1	59.6	61.1	70
	B2_H45	57.1	58.4	59.9	61.3	70
	B2_H46	57.4	58.7	60.1	61.6	70
	B2_H47	57.6	58.8	60.3	61.7	70
	B2_H48	57.8	59.0	60.5	61.9	70
	B2_H49	58.0	59.2	60.7	62.1	70
	B2_H50	58.2	59.5	60.9	62.4	70
	B2_H51	58.4	59.7	61.1	62.6	70
	B2_H52	58.7	60.0	61.4	62.9	70
	B2_H53	58.9	60.3	61.7	63.2	70
	B2_H54	59.2	60.7	62.1	63.7	70
Block 3	B3_H01	52.5	54.9	57.8	61.6	70
	B3_H02	52.4	54.8	57.6	61.4	70
	B3_H03	52.4	54.7	57.5	61.2	70
	B3_H04	52.4	54.6	57.4	61.1	70
	B3_H05	52.3	54.6	57.3	60.9	70
	B3_H06	52.3	54.5	57.2	60.8	70
	B3_H07	52.3	54.5	57.1	60.7	70
	B3_H08	52.3	54.5	57.2	60.7	70
	B3_H09	52.3	54.4	57.0	60.5	70
	B3_H10	52.4	54.6	57.2	60.7	70
	B3_H11	52.7	54.9	57.5	61.0	70
	B3_H12	52.8	54.9	57.5	60.8	70
	B3_H13	52.7	54.7	57.2	60.4	70
	B3_H14	52.3	54.3	56.6	59.6	70
	B3_H15	52.4	54.3	56.7	59.7	70
	B3_H16	52.5	54.5	56.8	59.9	70
	B3_H17	52.5	54.6	57.0	60.1	70
	B3_H18	52.6	54.7	57.2	60.3	70
	B3_H19		55.0	57.5	60.5	70

	B3_H20		55.4	57.9	60.9	70
	B3_H21		55.9	58.5	61.7	70
	B3_H22	52.0	54.3	57.2	61.0	70
	B3_H23	51.7	54.0	57.0	60.9	70
	B3_H24	51.7	54.1	57.0	60.9	70
	B3_H25	51.8	54.1	56.9	60.8	70
	B3_H26	51.8	54.1	56.9	60.7	70
	B3_H27	51.9	54.1	56.9	60.7	70
	B3_H28	52.0	54.3	57.1	60.8	70
	B3_H29	52.2	54.4	57.2	60.9	70
	B3_H30	52.3	54.6	57.3	60.9	70
	B3_H31	52.4	54.5	57.2	60.6	70
	B3_H32	52.3	54.4	57.0	60.4	70
	B3_H33	52.2	54.3	56.9	60.4	70
	B3_H34	52.2	54.3	56.9	60.4	70
	B3_H35	52.5	54.6	57.1	60.5	70
	B3_H36	53.4	55.5	58.0	61.1	70
	B3_H37	54.3	56.4	58.8	61.7	70
	B3_H38	54.5	56.6	59.0	62.1	70
	B3_H39	55.1	57.1	59.8	62.5	70
	B3_H40	55.1	57.7	60.2	62.7	70
	B3_H41	55.1	58.3	60.9	63.5	70
	B3_H42	54.9	58.6	60.9	63.8	70
	B3_H43	51.1	53.2	55.8	58.8	70
	B3_H44	50.9	53.1	55.7	58.9	70
	B3_H45	50.6	52.9	55.6	58.9	70
	B3_H46	50.3	52.6	55.4	58.8	70
	B3_H47	49.9	52.2	55.0	58.7	70
	B3_H48	49.3	51.6	54.4	58.3	70
	B3_H49	48.5	50.6	53.3	57.2	70
	B3_H50	48.5	50.6	53.3	57.2	70
	B3_H51	48.3	50.3	53.1	57.2	70
	B3_H52	48.0	50.1	52.9	57.0	70
	B3_H53	47.9	49.9	52.6	56.8	70



	B3_H54	47.6	49.6	52.3	56.4	70
	B3_H55	47.9	49.9	52.7	57.0	70
	B3_H56	48.6	50.8	53.9	58.3	70
	B3_H57	49.2	51.5	54.6	59.0	70
	B3_H58	49.6	52.0	55.1	59.3	70
	B3_H59	50.0	52.4	55.4	59.5	70
	B3_H60	50.3	52.7	55.7	59.6	70
	B3_H61	50.5	52.9	55.8	59.7	70
	B3_H62	50.7	53.1	55.9	59.7	70
	B3_H63	50.9	53.2	56.0	59.6	70
	B3_H64	51.7	53.4	55.5	58.3	70
	B3_H65	51.7	53.5	55.6	58.4	70
	B3_H66	51.8	53.6	55.7	58.4	70
	B3_H67	51.8	53.6	55.7	58.5	70
	B3_H68	51.9	53.7	55.8	58.6	70
	B3_H69	52.0	53.8	55.9	58.7	70
	B3_H70	52.0	53.8	55.9	58.7	70
	B3_H71	52.1	53.9	56.0	58.8	70
	B3_H72	52.2	54.0	56.1	58.9	70
	B3_H73	52.3	54.1	56.3	59.1	70
	B3_H74	52.5	54.3	56.6	59.5	70
	B3_H75	52.6	54.5	56.7	59.5	70
	B3_H76	52.7	54.6	56.8	59.6	70
	B3_H77	52.7	54.6	56.8	59.7	70
	B3_H78	53.5	55.4	57.5	60.2	70
	B3_H79	52.8	54.8	57.1	59.9	70
	B3_H80	52.9	55.0	57.3	60.1	70
	B3_H81	53.2	55.3	57.7	60.6	70
	B3_H82	53.6	55.8	58.4	61.3	70
	B3_H83	54.0	56.3	59.0	62.1	70
Block 4	B4_H01	50.4	52.7	56.0	61.3	70
	B4_H02		52.5	55.3	59.5	70
	B4_H03		52.5	55.2	59.0	70

	B4_H04		52.6	55.2	59.0	70
	B4_H05	50.6	52.6	55.2	59.0	70
	B4_H06	50.7	52.7	55.2	59.0	70
	B4_H07	50.7	52.7	55.2	58.9	70
	B4_H08	50.7	52.6	55.2	58.9	70
	B4_H09	50.7	52.6	55.1	58.9	70
	B4_H10	50.7	52.6	55.1	58.9	70
	B4_H11	50.7	52.6	55.1	58.9	70
	B4_H12	50.7	52.6	55.1	58.9	70
	B4_H13	50.7	52.6	55.1	58.8	70
	B4_H14	50.7	52.6	55.1	58.8	70
	B4_H15	50.7	52.6	55.1	58.8	70
	B4_H16	50.7	52.6	55.1	58.8	70
	B4_H17	50.6	52.5	55.0	58.8	70
	B4_H18	50.6	52.5	55.0	58.7	70
	B4_H19	51.4	53.5	56.2	60.0	70
	B4_H20	52.0	54.1	56.8	60.5	70
	B4_H21	52.7	54.8	57.3	60.6	70
	B4_H22	52.8	54.9	57.4	60.7	70
	B4_H23	52.4	54.6	57.1	60.4	70
	B4_H24	49.4	51.6	54.4	58.3	70
	B4_H25	48.8	50.9	53.7	57.7	70
	B4_H26	48.9	51.0	53.8	57.7	70
	B4_H27	49.0	51.1	53.9	57.7	70
	B4_H28	49.1	51.2	53.9	57.7	70
	B4_H29	49.2	51.3	53.9	57.7	70
	B4_H30	49.2	51.2	53.9	57.6	70
	B4_H31	50.0	52.3	55.1	59.0	70
	B4_H32	50.6	52.9	55.8	59.5	70
	B4_H33	51.0	53.3	56.0	59.6	70
	B4_H34	51.5	53.8	56.7	60.4	70
	B4_H35	51.7	54.1	56.9	60.7	70
	B4_H36	51.9	54.3	57.2	60.9	70
	B4_H37	52.3	54.6	57.4	61.1	70



	B4_H38	52.6	54.8	57.6	61.2	70
	B4_H39	49.5	51.7	54.5	58.1	70
	B4_H40	48.9	51.0	53.8	57.5	70
	B4_H41	49.0	51.1	53.9	57.5	70
	B4_H42	49.1	51.3	54.1	57.6	70
	B4_H43	49.2	51.4	54.2	57.6	70
	B4_H44	49.4	51.6	54.3	57.7	70
	B4_H45	49.5	51.7	54.4	57.7	70
	B4_H46	52.7	54.8	57.4	60.2	70
	B4_H47	51.3	53.6	56.7	60.6	70
	B4_H48	50.9	53.3	56.4	60.5	70
	B4_H49	50.3	52.8	56.0	60.3	70
	B4_H50	49.7	52.2	55.5	60.0	70
	B4_H51	49.1	51.4	54.7	59.3	70
	B4_H52	48.2	50.4	53.3	57.7	70
	B4_H53	48.0	50.1	53.0	57.2	70
	B4_H54	48.2	50.2	53.0	57.4	70
	B4_H55	48.3	50.4	53.2	57.5	70
	B4_H56	48.4	50.5	53.3	57.5	70
	B4_H57	65.6	66.7	67.8	69.4	70
	B4_H58	65.8	66.8	68.0	69.6	70
	B4_H59	65.9	66.9	68.1	69.6	70
	B4_H60	66.0	67.0	68.2	69.7	70
	B4_H61	65.9	67.0	68.2	69.8	70
	B4_H62	66.9	68.0	69.1	70.5	70
	B4_H63	67.3	68.4	69.5	70.8	70
	B4_H64	68.2	69.4	70.4	71.7	70
	B4_H65	48.9	50.9	53.6	57.8	70
	B4_H66	49.3	51.3	54.0	58.3	70
	B4_H67	55.3	57.5	60.4	63.5	70

## 5.2 MITIGATED SCENARIO

Practicable noise mitigation noise measures have been incorporated in the building layout

design, in accordance with *Practice Note on Application of Innovative Noise Mitigation Designs in Planning Private Residential Developments against Road Traffic Noise Impact*, including:

- At the western side of Block 1, a vertical architectural fin is provided for house 1. The fin shall extend 1.7m to the southern side to block road noise towards House 1 to 4.
- At the eastern side of Block 4, two vertical architectural fin is provided. The fin shall extend 2.0m to the eastern side to block road noise.

The locations of fins are indicated in the building layout in **Appendix A**. The construction and materials of mitigation measures are illustrated in **Appendix C**. For conservatism, the maximum noise reduction by architectural fin is capped at 3dB(A).

With the above mitigation measures in place, predicted maximum traffic noise levels for each assessment point are shown below. The residual noise impacts at all the noise assessment points comply with the HKPSG noise standard, except at House 01 of Block 1, where the noise exceedance is more than 3dB(A) and cannot be fully mitigated by architectural fins.

Other forms of mitigation measures have been explored with the design team and found not feasible due to the nature of transitional housing with MiC. Acoustic window insulation with air conditioning system is adopted for B1-H01 as the “last-resort” to abate residual noise. The window type will be openable well-gasketed window with minimum 6mm glass pane in accordance with HKPSG Chapter 9 requirements. Future occupants of transitional housing units with traffic noise exceedances will also be informed of the extent of noise exceedances.

**Table 5-2** Predicted Road Traffic Noise Impact for Mitigated Scenario

Block	House ID	Predicted Noise Level				Noise Criteria, dBA
		L <sub>10, 1 hour</sub> , dBA				
		G/F	1/F	2/F	3/F	
Amenity Block	AB_H01		54.2	56.9	60.6	70
	AB_H02		53.6	56.4	60.3	70
	AB_H03		53.6	56.3	60.2	70
	AB_H04		53.6	56.3	60.2	70
	AB_H05		53.6	56.3	60.1	70
	AB_H06		53.6	56.2	60.1	70
	AB_H07		53.6	56.2	60.0	70
	AB_H08		53.6	56.2	60.0	70
	AB_H09		53.6	56.2	60.0	70
	AB_H10		53.6	56.2	59.9	70
	AB_H11		53.6	56.2	59.9	70



	AB_H12		53.8	56.5	60.6	70
	AB_H13		55.2	59.3	64.9	70
Block 1	B1_H01	71.3	71.5	71.9	72.9	70
	B1_H02	65.3	65.8	67.0	69.5	70
	B1_H03	61.6	62.5	64.5	68.4	70
	B1_H04	58.6	60.1	63.5	68.1	70
	B1_H05	56.6	59.4	63.2	67.9	70
	B1_H06	56.2	59.5	63.7	68.1	70
	B1_H07	55.5	58.4	61.7	65.8	70
	B1_H08	55.2	57.8	60.8	64.7	70
	B1_H09	55.0	57.5	60.2	63.9	70
	B1_H10	54.9	57.2	59.9	63.2	70
	B1_H11	54.8	56.9	59.4	62.7	70
	B1_H12	54.7	56.8	59.3	62.4	70
	B1_H13	59.8	63.4	65.5	67.5	70
	B1_H14	60.3	63.8	66.0	67.8	70
	B1_H15	60.5	64.2	66.4	67.8	70
	B1_H16	60.7	63.6	66.6	67.9	70
	B1_H17	60.7	63.6	66.8	68.0	70
	B1_H18	55.7	57.6	59.6	62.3	70
	B1_H19	54.5	57.0	59.3	62.2	70
	B1_H20	54.8	57.1	59.3	62.0	70
	B1_H21	55.0	57.0	59.2	61.9	70
	B1_H22	55.1	57.1	59.1	61.8	70
	B1_H23	55.1	57.0	59.1	61.7	70
	B1_H24	55.0	56.9	59.0	61.6	70
	B1_H25	55.2	57.2	59.3	62.2	70
	B1_H26	56.5	58.7	61.5	64.9	70
	B1_H27	56.4	58.7	61.7	64.9	70
	B1_H28	56.4	58.7	61.8	65.0	70
	B1_H29	56.3	58.7	61.8	65.1	70
	B1_H30	56.1	58.5	61.8	65.2	70
	B1_H31	56.0	58.6	62.1	65.8	70

	B1_H32	55.8	58.4	62.1	65.8	70
	B1_H33	55.5	58.2	62.0	65.7	70
	B1_H34	55.1	57.8	61.7	65.3	70
	B1_H35	54.7	57.4	61.3	65.1	70
	B1_H36	62.6	65.9	66.7	67.7	70
	B1_H37	61.9	65.3	66.1	67.1	70
	B1_H38	60.9	64.4	65.2	66.2	70
	B1_H39	60.1	63.8	64.5	65.6	70
	B1_H40	59.6	63.4	64.2	65.2	70
	B1_H41	58.9	63.1	63.7	64.8	70
	B1_H42	58.2	62.5	63.1	64.3	70
	B1_H43	57.6	62.0	62.7	64.0	70
	B1_H44	57.2	61.7	62.3	63.7	70
	B1_H45	56.8	61.3	62.0	63.3	70
	B1_H46	58.1	59.7	61.5	63.6	70
	B1_H47	58.4	60.1	61.8	63.9	70
	B1_H48	58.8	60.4	62.2	64.2	70
	B1_H49	59.2	60.8	62.6	64.5	70
	B1_H50	59.5	61.2	63.0	64.8	70
	B1_H51	60.0	61.6	63.4	65.2	70
	B1_H52	60.0	61.7	63.5	65.2	70
	B1_H53	60.0	61.8	63.6	65.3	70
	B1_H54	59.9	61.7	63.5	65.2	70
	B1_H55	59.6	61.5	63.4	65.1	70
	B1_H56	59.3	61.3	63.4	65.5	70
	B1_H57	58.1	60.1	62.1	64.4	70
	B1_H58	54.8	56.9	59.3	62.5	70
	B1_H59	54.5	56.6	59.0	62.5	70
	B1_H60	54.4	56.5	59.0	62.5	70
	B1_H61	53.7	55.9	58.4	62.2	70
	B1_H62	53.0	55.1	57.7	61.9	70
	B1_H63	51.5	53.6	56.5	61.1	70
	B1_H64		53.0	55.7	59.9	70
	B1_H65		53.3	56.1	60.5	70



	B1_H66		53.6	56.5	61.0	70
Block 2	B2_H01		61.3	62.4	64.1	70
	B2_H02		57.6	60.1	63.0	70
	B2_H03		58.0	61.0	65.0	70
	B2_H04	53.2	55.6	58.6	62.4	70
	B2_H05	53.0	55.3	58.1	61.9	70
	B2_H06	53.1	55.2	57.9	61.6	70
	B2_H07	53.0	55.1	57.7	61.5	70
	B2_H08	53.0	55.1	57.7	61.3	70
	B2_H09	52.8	54.9	57.5	61.2	70
	B2_H10	52.7	54.8	57.4	61.2	70
	B2_H11	52.6	54.7	57.3	61.0	70
	B2_H12	52.6	54.7	57.3	61.0	70
	B2_H13	52.5	54.6	57.2	60.9	70
	B2_H14	52.4	54.5	57.0	60.8	70
	B2_H15	52.2	54.3	56.9	60.7	70
	B2_H16	52.1	54.2	56.8	60.6	70
	B2_H17	52.0	54.1	56.7	60.4	70
	B2_H18	52.0	54.0	56.6	60.4	70
	B2_H19	51.9	54.0	56.5	60.3	70
	B2_H20	51.9	53.9	56.5	60.3	70
	B2_H21	51.8	53.9	56.4	60.2	70
	B2_H22	51.7	53.8	56.4	60.1	70
	B2_H23	51.8	53.9	56.5	60.2	70
	B2_H24	52.0	54.1	56.8	60.5	70
	B2_H25	52.5	54.6	57.2	60.8	70
	B2_H26	52.6	54.8	57.4	60.8	70
	B2_H27	52.8	54.9	57.5	60.9	70
	B2_H28	53.1	55.1	57.7	60.9	70
	B2_H29	53.7	55.9	58.1	61.4	70
	B2_H30	53.8	55.3	56.9	58.9	70
	B2_H31	53.7	55.2	56.9	59.0	70
	B2_H32	53.5	55.1	56.8	59.1	70

	B2_H33	53.3	54.9	56.7	59.1	70
	B2_H34	53.0	54.6	56.5	59.1	70
	B2_H35	52.4	54.1	56.0	58.7	70
	B2_H36	51.3	53.1	55.0	57.7	70
	B2_H37	51.4	53.1	55.1	57.8	70
	B2_H38	51.6	53.3	55.2	57.9	70
	B2_H39	52.8	54.3	56.0	58.3	70
	B2_H40	56.3	57.8	59.3	61.2	70
	B2_H41	56.2	57.6	59.1	60.8	70
	B2_H42	56.1	57.3	58.7	60.3	70
	B2_H43	56.4	57.6	59.1	60.7	70
	B2_H44	56.8	58.1	59.6	61.0	70
	B2_H45	57.1	58.4	59.9	61.3	70
	B2_H46	57.4	58.7	60.1	61.6	70
	B2_H47	57.6	58.8	60.3	61.7	70
	B2_H48	57.8	59.0	60.5	61.9	70
	B2_H49	58.0	59.2	60.7	62.1	70
	B2_H50	58.2	59.4	60.9	62.4	70
	B2_H51	58.4	59.7	61.1	62.6	70
	B2_H52	58.7	60.0	61.4	62.9	70
	B2_H53	58.9	60.3	61.7	63.2	70
	B2_H54	59.2	60.7	62.1	63.7	70
Block 3	B3_H01	52.5	54.9	57.8	61.6	70
	B3_H02	52.4	54.8	57.7	61.4	70
	B3_H03	52.4	54.7	57.5	61.2	70
	B3_H04	52.4	54.6	57.4	61.1	70
	B3_H05	52.3	54.6	57.3	60.9	70
	B3_H06	52.3	54.5	57.2	60.8	70
	B3_H07	52.3	54.5	57.1	60.7	70
	B3_H08	52.3	54.5	57.2	60.7	70
	B3_H09	52.3	54.4	57.0	60.5	70
	B3_H10	52.4	54.6	57.2	60.7	70
	B3_H11	52.7	54.9	57.5	61.0	70



	B3_H12	52.8	54.9	57.5	60.8	70
	B3_H13	52.7	54.7	57.2	60.4	70
	B3_H14	52.3	54.3	56.6	59.6	70
	B3_H15	52.4	54.3	56.7	59.7	70
	B3_H16	52.5	54.5	56.8	59.9	70
	B3_H17	52.5	54.6	57.0	60.1	70
	B3_H18	52.6	54.7	57.2	60.3	70
	B3_H19		55.0	57.5	60.5	70
	B3_H20		55.4	57.9	60.9	70
	B3_H21		55.9	58.5	61.7	70
	B3_H22	52.0	54.3	57.2	61.0	70
	B3_H23	51.7	54.0	57.0	60.9	70
	B3_H24	51.7	54.1	57.0	60.9	70
	B3_H25	51.8	54.1	56.9	60.8	70
	B3_H26	51.8	54.1	56.9	60.7	70
	B3_H27	51.9	54.1	56.9	60.7	70
	B3_H28	52.0	54.3	57.1	60.8	70
	B3_H29	52.2	54.4	57.2	60.9	70
	B3_H30	52.3	54.6	57.3	60.9	70
	B3_H31	52.4	54.5	57.2	60.6	70
	B3_H32	52.3	54.4	57.0	60.4	70
	B3_H33	52.2	54.3	56.9	60.4	70
	B3_H34	52.2	54.3	56.9	60.3	70
	B3_H35	52.5	54.6	57.1	60.4	70
	B3_H36	53.4	55.5	58.0	61.1	70
	B3_H37	54.3	56.4	58.8	61.7	70
	B3_H38	54.5	56.6	59.0	62.1	70
	B3_H39	55.1	57.1	59.8	62.5	70
	B3_H40	55.1	57.7	60.2	62.7	70
	B3_H41	55.0	58.3	60.9	63.5	70
	B3_H42	54.9	58.6	60.9	63.8	70
	B3_H43	51.1	53.2	55.8	58.8	70
	B3_H44	50.9	53.1	55.7	58.9	70
	B3_H45	50.6	52.9	55.6	58.9	70

	B3_H46	50.3	52.6	55.4	58.8	70
	B3_H47	49.9	52.2	55.0	58.7	70
	B3_H48	49.3	51.6	54.4	58.3	70
	B3_H49	48.5	50.6	53.3	57.2	70
	B3_H50	48.5	50.6	53.3	57.2	70
	B3_H51	48.3	50.3	53.1	57.2	70
	B3_H52	48.0	50.1	52.9	57.0	70
	B3_H53	47.9	49.9	52.6	56.8	70
	B3_H54	47.6	49.6	52.3	56.4	70
	B3_H55	47.9	49.9	52.7	57.0	70
	B3_H56	48.6	50.8	53.8	58.3	70
	B3_H57	49.2	51.5	54.6	59.0	70
	B3_H58	49.6	52.0	55.1	59.3	70
	B3_H59	50.0	52.4	55.4	59.5	70
	B3_H60	50.3	52.7	55.7	59.6	70
	B3_H61	50.5	52.9	55.8	59.7	70
	B3_H62	50.7	53.0	55.9	59.7	70
	B3_H63	50.9	53.2	56.0	59.6	70
	B3_H64	51.7	53.4	55.5	58.3	70
	B3_H65	51.7	53.5	55.6	58.4	70
	B3_H66	51.8	53.6	55.7	58.4	70
	B3_H67	51.8	53.6	55.7	58.5	70
	B3_H68	51.9	53.7	55.8	58.6	70
	B3_H69	52.0	53.8	55.9	58.7	70
	B3_H70	52.0	53.8	55.9	58.7	70
	B3_H71	52.1	53.9	56.0	58.8	70
	B3_H72	52.2	54.0	56.1	58.9	70
	B3_H73	52.3	54.1	56.3	59.1	70
	B3_H74	52.5	54.3	56.6	59.5	70
	B3_H75	52.6	54.5	56.7	59.5	70
	B3_H76	52.7	54.6	56.8	59.6	70
	B3_H77	52.7	54.6	56.8	59.7	70
	B3_H78	53.5	55.4	57.5	60.2	70
	B3_H79	52.8	54.8	57.1	59.9	70



	B3_H80	52.9	55.0	57.3	60.1	70
	B3_H81	53.2	55.3	57.7	60.6	70
	B3_H82	53.6	55.8	58.3	61.3	70
	B3_H83	54.0	56.3	59.0	62.1	70
Block 4	B4_H01	50.4	52.7	56.0	61.3	70
	B4_H02		52.5	55.3	59.4	70
	B4_H03		52.5	55.2	59.0	70
	B4_H04		52.6	55.2	59.0	70
	B4_H05	50.6	52.6	55.2	59.0	70
	B4_H06	50.7	52.7	55.2	59.0	70
	B4_H07	50.7	52.7	55.2	58.9	70
	B4_H08	50.7	52.6	55.2	58.9	70
	B4_H09	50.7	52.6	55.1	58.9	70
	B4_H10	50.7	52.6	55.1	58.9	70
	B4_H11	50.7	52.6	55.1	58.9	70
	B4_H12	50.7	52.6	55.1	58.9	70
	B4_H13	50.7	52.6	55.1	58.8	70
	B4_H14	50.7	52.6	55.1	58.8	70
	B4_H15	50.7	52.6	55.1	58.8	70
	B4_H16	50.7	52.6	55.1	58.8	70
	B4_H17	50.6	52.5	55.0	58.8	70
	B4_H18	50.6	52.5	55.0	58.7	70
	B4_H19	51.4	53.5	56.2	60.0	70
	B4_H20	52.0	54.1	56.8	60.5	70
	B4_H21	52.7	54.8	57.3	60.6	70
	B4_H22	52.8	54.9	57.4	60.7	70
	B4_H23	52.4	54.6	57.1	60.4	70
	B4_H24	49.4	51.6	54.4	58.3	70
	B4_H25	48.8	50.9	53.7	57.7	70
	B4_H26	48.9	51.0	53.8	57.7	70
	B4_H27	49.0	51.1	53.9	57.7	70
	B4_H28	49.1	51.2	53.9	57.7	70
	B4_H29	49.2	51.3	53.9	57.7	70

	B4_H30	49.2	51.2	53.9	57.6	70
	B4_H31	50.0	52.3	55.1	59.0	70
	B4_H32	50.6	52.9	55.7	59.5	70
	B4_H33	51.0	53.2	56.0	59.5	70
	B4_H34	51.5	53.8	56.6	60.4	70
	B4_H35	51.7	54.1	56.9	60.7	70
	B4_H36	51.9	54.3	57.2	60.9	70
	B4_H37	52.3	54.6	57.4	61.1	70
	B4_H38	52.6	54.8	57.6	61.2	70
	B4_H39	49.5	51.7	54.5	58.1	70
	B4_H40	48.9	51.0	53.8	57.5	70
	B4_H41	49.0	51.1	53.9	57.5	70
	B4_H42	49.1	51.3	54.1	57.6	70
	B4_H43	49.2	51.4	54.2	57.6	70
	B4_H44	49.4	51.6	54.3	57.7	70
	B4_H45	49.5	51.7	54.4	57.7	70
	B4_H46	52.7	54.8	57.4	60.2	70
	B4_H47	51.3	53.6	56.7	60.6	70
	B4_H48	50.9	53.3	56.4	60.5	70
	B4_H49	50.3	52.8	56.0	60.3	70
	B4_H50	49.7	52.2	55.5	60.0	70
	B4_H51	49.1	51.4	54.7	59.3	70
	B4_H52	48.2	50.4	53.3	57.7	70
	B4_H53	48.0	50.1	53.0	57.2	70
	B4_H54	48.2	50.2	53.0	57.4	70
	B4_H55	48.3	50.4	53.2	57.5	70
	B4_H56	48.4	50.5	53.3	57.5	70
	B4_H57	63.6	65.2	66.7	68.6	70
	B4_H58	63.2	64.9	66.6	68.7	70
	B4_H59	62.9	64.3	66.2	68.3	70
	B4_H60	63.0	64.0	66.0	68.1	70
	B4_H61	62.9	64.0	65.2	66.8	70
	B4_H62	63.9	65.4	67.0	69.0	70
	B4_H63	64.3	65.4	66.5	68.6	70



	B4_H64	65.2	66.4	67.4	68.7	70
	B4_H65	48.9	50.9	53.6	57.8	70
	B4_H66	49.2	51.2	54.0	58.2	70
	B4_H67	55.3	57.5	60.3	63.3	70

## 6 FIXED SOURCE NOISE IMPACT EVALUATION

The predicted fixed noise level under base case scenario (without any noise mitigation measures) is presented below. There is no unacceptable fixed noise impact predicted based on conservative assumptions. The detailed noise model and contour map are shown in **Appendix D** for reference.

**Table 6-1** Predicted Fixed Source Noise Impact for Unmitigated Scenario (Night Time)

Block	House ID	Predicted Noise Level Leq,30min dBA				Noise Criteria, dBA
		G/F	1/F	2/F	3/F	
Amenity Block	AB_H01		32.3	32.3	34.1	55
	AB_H02		32.1	32.1	34.0	55
	AB_H03		32.3	32.3	34.2	55
	AB_H04		32.5	32.5	34.4	55
	AB_H05		32.8	32.9	34.7	55
	AB_H06		33.3	33.3	35.1	55
	AB_H07		33.7	33.8	35.6	55
	AB_H08		34.3	34.3	36.1	55
	AB_H09		35.1	35.1	36.8	55
	AB_H10		36.1	36.1	37.7	55
	AB_H11		37.6	37.6	39.1	55
	AB_H12		40.2	40.4	41.6	55
	AB_H13		46.5	46.7	47.0	55
Block 1	B1_H01	43.0	29.1	29.1	31.7	60
	B1_H02	42.9	28.2	28.2	31.2	60
	B1_H03	27.9	27.8	27.9	31.1	60
	B1_H04	27.7	27.7	27.7	31.0	60
	B1_H05	27.7	27.7	27.7	30.9	60
	B1_H06	26.6	26.6	26.6	29.4	60
	B1_H07	26.5	26.5	26.5	29.3	60
	B1_H08	26.4	26.4	26.5	29.4	60
	B1_H09	26.5	31.6	33.5	36.2	60
	B1_H10	26.5	33.4	35.4	38.1	60
	B1_H11	26.6	26.6	26.6	29.5	60
	B1_H12	26.6	26.6	26.6	29.3	60



	B1_H13	26.0	32.9	35.1	38.0	60
	B1_H14	25.9	32.8	35.1	38.0	60
	B1_H15	25.8	32.8	35.0	38.0	60
	B1_H16	25.7	32.7	34.9	38.0	60
	B1_H17	25.6	32.6	34.9	37.9	60
	B1_H18	25.4	32.7	34.8	37.3	55
	B1_H19	25.4	25.4	27.5	29.7	55
	B1_H20	25.5	25.5	27.6	29.8	55
	B1_H21	25.6	25.6	27.4	29.8	55
	B1_H22	25.6	25.6	27.4	29.8	55
	B1_H23	25.7	25.7	27.5	30.0	55
	B1_H24	25.8	25.8	26.8	30.0	55
	B1_H25	27.2	28.4	41.7	41.9	55
	B1_H26	47.1	48.4	50.6	49.9	55
	B1_H27	47.8	49.0	51.0	50.0	55
	B1_H28	46.9	47.6	48.5	45.9	55
	B1_H29	47.9	48.5	49.1	45.8	55
	B1_H30	47.4	47.6	47.9	48.7	55
	B1_H31	45.8	46.0	46.4	47.4	55
	B1_H32	43.5	43.8	44.4	45.6	55
	B1_H33	41.3	41.7	42.5	44.2	55
	B1_H34	39.4	40.0	41.1	43.1	55
	B1_H35	37.9	38.6	39.9	42.3	55
	B1_H36	30.9	30.9	30.9	32.1	55
	B1_H37	28.5	28.5	28.5	30.4	55
	B1_H38	28.2	28.2	28.2	30.2	55
	B1_H39	28.0	28.0	28.0	30.1	55
	B1_H40	27.8	27.8	27.8	30.0	55
	B1_H41	27.6	27.6	27.6	29.8	55
	B1_H42	27.5	27.4	27.4	29.7	55
	B1_H43	27.3	27.3	27.3	29.0	55
	B1_H44	27.1	27.1	27.1	29.2	55
	B1_H45	27.0	26.9	26.9	29.2	55
	B1_H46	28.8	29.4	31.3	35.5	55

	B1_H47	29.0	29.6	31.5	35.6	55
	B1_H48	29.3	29.8	31.7	35.7	55
	B1_H49	29.6	30.1	31.8	35.8	55
	B1_H50	29.9	30.3	32.1	36.0	55
	B1_H51	30.3	30.7	32.3	36.1	55
	B1_H52	30.7	31.0	32.6	36.3	55
	B1_H53	31.1	31.5	32.9	36.5	55
	B1_H54	32.6	33.8	35.9	40.1	55
	B1_H55	32.9	33.9	35.9	40.0	55
	B1_H56	35.1	36.0	37.3	40.7	55
	B1_H57	35.4	36.3	37.4	41.0	55
	B1_H58	36.0	36.5	37.7	41.1	55
	B1_H59	37.3	37.6	38.5	41.4	55
	B1_H60	39.2	39.5	40.1	42.4	55
	B1_H61	42.2	42.4	42.8	44.5	55
	B1_H62	48.8	49.7	50.8	51.0	55
	B1_H63	28.6	29.8	32.2	36.9	55
	B1_H64		28.6	28.9	32.3	55
	B1_H65		28.7	30.1	33.7	55
	B1_H66		32.9	33.0	35.5	55
Block 2	B2_H01		30.9	32.9	37.1	55
	B2_H02		33.8	34.8	38.9	55
	B2_H03		34.8	40.1	50.4	55
	B2_H04	48.8	48.9	49.6	52.5	55
	B2_H05	50.2	50.4	51.1	52.9	55
	B2_H06	51.7	51.8	52.0	52.7	55
	B2_H07	49.7	49.9	50.6	51.5	55
	B2_H08	47.0	47.2	47.6	48.8	55
	B2_H09	46.5	46.7	47.1	48.3	55
	B2_H10	46.0	46.2	46.7	47.9	55
	B2_H11	45.6	45.8	46.3	47.6	55
	B2_H12	45.1	45.4	46.0	47.3	55
	B2_H13	44.7	45.0	45.6	47.0	55



	B2_H14	44.4	44.7	45.3	46.8	55
	B2_H15	43.7	44.0	44.8	46.3	55
	B2_H16	43.3	43.7	44.5	46.1	55
	B2_H17	43.0	43.5	44.3	45.9	55
	B2_H18	42.8	43.2	44.1	45.7	55
	B2_H19	42.5	43.0	43.9	45.5	55
	B2_H20	42.3	42.8	43.7	45.4	55
	B2_H21	42.0	42.6	43.5	45.2	55
	B2_H22	41.8	42.4	43.4	45.0	55
	B2_H23	41.6	42.2	43.2	44.9	55
	B2_H24	41.4	42.0	43.1	44.8	55
	B2_H25	41.0	41.7	42.8	44.6	55
	B2_H26	40.9	41.6	42.7	44.5	55
	B2_H27	40.7	41.5	42.7	44.4	55
	B2_H28	40.6	41.4	42.6	44.3	55
	B2_H29	40.5	41.3	42.5	44.2	55
	B2_H30	26.2	26.1	27.0	31.3	55
	B2_H31	26.2	26.2	27.1	31.4	55
	B2_H32	26.3	26.3	27.1	31.4	55
	B2_H33	26.4	26.4	27.2	31.5	55
	B2_H34	26.5	26.5	27.2	31.6	55
	B2_H35	26.6	26.6	26.7	30.8	55
	B2_H36	26.7	26.6	26.6	28.1	55
	B2_H37	26.7	26.6	26.6	28.2	55
	B2_H38	26.8	26.7	26.7	28.2	55
	B2_H39	26.9	26.8	26.8	28.2	55
	B2_H40	28.8	30.7	33.6	38.2	55
	B2_H41	27.5	28.9	31.7	36.5	55
	B2_H42	27.5	27.5	28.0	32.1	55
	B2_H43	27.6	27.5	28.1	32.2	55
	B2_H44	27.6	27.6	28.1	32.2	55
	B2_H45	27.8	27.8	28.2	32.3	55
	B2_H46	27.9	27.9	28.4	32.4	55
	B2_H47	28.1	28.1	28.5	32.5	55

	B2_H48	28.3	28.3	28.6	32.7	55
	B2_H49	28.4	28.4	28.7	32.7	55
	B2_H50	28.6	28.6	28.9	32.9	55
	B2_H51	28.7	28.7	29.0	33.0	55
	B2_H52	28.9	28.9	29.2	33.1	55
	B2_H53	30.0	31.2	33.3	37.8	55
	B2_H54	30.6	32.6	35.4	40.1	55
Block 3	B3_H01	31.7	33.8	36.8	41.8	55
	B3_H02	32.0	34.1	37.1	42.0	55
	B3_H03	32.3	34.4	37.4	42.2	55
	B3_H04	31.8	33.4	36.4	41.1	55
	B3_H05	30.1	30.6	33.6	38.8	55
	B3_H06	29.9	30.5	33.5	38.6	55
	B3_H07	29.7	30.4	33.3	38.5	55
	B3_H08	29.5	30.2	33.2	38.3	55
	B3_H09	29.3	30.1	33.1	38.2	55
	B3_H10	30.0	32.1	35.2	40.0	55
	B3_H11	33.5	35.6	38.5	42.6	55
	B3_H12	33.5	35.6	38.4	42.5	55
	B3_H13	33.5	35.6	38.4	42.5	55
	B3_H14	33.5	35.6	38.4	42.5	55
	B3_H15	33.5	35.5	38.4	42.5	55
	B3_H16	33.3	35.4	38.2	42.4	55
	B3_H17	32.9	35.0	37.9	42.3	55
	B3_H18	32.4	34.4	37.4	42.1	55
	B3_H19		34.5	37.3	41.8	55
	B3_H20		34.2	36.9	41.6	55
	B3_H21		33.8	36.6	41.3	55
	B3_H22	31.6	33.7	36.7	41.6	55
	B3_H23	30.1	30.2	30.5	35.0	55
	B3_H24	30.0	30.2	30.6	35.2	55
	B3_H25	29.9	30.1	30.6	35.2	55
	B3_H26	29.8	29.9	30.4	35.1	55



	B3_H27	29.6	29.8	30.2	35.0	55
	B3_H28	29.5	29.7	30.3	35.1	55
	B3_H29	29.4	29.7	30.5	35.4	55
	B3_H30	29.3	29.8	30.7	35.6	55
	B3_H31	28.9	29.3	32.0	37.1	55
	B3_H32	28.9	29.1	30.1	34.8	55
	B3_H33	28.6	28.8	29.6	34.4	55
	B3_H34	28.6	28.8	29.7	34.4	55
	B3_H35	28.6	28.9	29.9	34.6	55
	B3_H36	28.7	29.1	30.2	34.9	55
	B3_H37	30.3	30.3	31.3	35.4	55
	B3_H38	31.4	31.3	32.4	36.1	55
	B3_H39	32.6	32.6	33.7	36.9	55
	B3_H40	32.9	33.8	34.8	37.4	55
	B3_H41	31.6	35.1	36.0	38.0	55
	B3_H42	31.1	36.1	36.8	38.4	55
	B3_H43	28.0	29.7	32.5	37.3	55
	B3_H44	28.0	29.2	32.0	36.9	55
	B3_H45	28.0	28.7	31.4	36.3	55
	B3_H46	28.1	28.1	30.6	35.5	55
	B3_H47	28.2	28.2	29.7	34.5	55
	B3_H48	28.3	28.3	28.6	32.9	55
	B3_H49	28.5	28.5	28.5	30.4	55
	B3_H50	28.5	28.5	28.5	30.5	55
	B3_H51	28.6	28.6	28.5	30.6	55
	B3_H52	28.6	28.6	28.5	30.6	55
	B3_H53	28.6	28.6	28.5	30.6	55
	B3_H54	28.6	28.6	28.5	30.6	55
	B3_H55	28.6	28.5	28.5	31.6	55
	B3_H56	28.4	28.3	29.2	34.1	55
	B3_H57	28.3	28.3	30.5	35.6	55
	B3_H58	28.1	28.4	31.4	36.5	55
	B3_H59	28.0	29.0	32.0	37.1	55
	B3_H60	28.0	29.3	32.3	37.3	55

	B3_H61	27.9	29.3	32.3	37.3	55
	B3_H62	27.7	29.2	32.2	37.2	55
	B3_H63	27.7	29.3	32.3	37.2	55
	B3_H64	34.5	34.9	36.0	38.8	55
	B3_H65	34.6	35.1	36.2	38.9	55
	B3_H66	34.9	35.4	36.5	39.3	55
	B3_H67	35.0	35.5	36.6	39.4	55
	B3_H68	35.1	35.5	36.6	39.4	55
	B3_H69	35.3	35.9	37.0	39.8	55
	B3_H70	35.5	35.9	37.0	39.8	55
	B3_H71	35.6	36.0	37.1	39.8	55
	B3_H72	35.7	36.1	37.1	39.8	55
	B3_H73	35.9	36.3	37.2	39.9	55
	B3_H74	36.1	36.4	37.4	40.0	55
	B3_H75	36.8	37.1	38.0	40.6	55
	B3_H76	36.9	37.3	38.2	40.7	55
	B3_H77	37.1	37.5	38.4	41.1	55
	B3_H78	37.6	38.1	39.3	42.1	55
	B3_H79	37.8	38.2	39.3	42.1	55
	B3_H80	37.9	38.3	39.4	42.2	55
	B3_H81	38.2	38.9	40.2	43.3	55
	B3_H82	38.2	38.8	40.0	43.0	55
	B3_H83	38.1	38.6	39.8	42.7	55
Block 4	B4_H01	41.2	41.2	41.2	41.8	55
	B4_H02		36.0	36.0	37.6	55
	B4_H03		34.6	34.6	36.8	55
	B4_H04		34.0	34.0	36.4	55
	B4_H05	33.6	33.6	33.6	36.2	55
	B4_H06	33.2	33.2	33.2	36.0	55
	B4_H07	32.9	32.9	32.9	35.8	55
	B4_H08	32.7	32.7	32.7	35.7	55
	B4_H09	32.6	32.6	32.6	35.3	55
	B4_H10	32.5	32.6	32.5	35.2	55



	B4_H11	32.4	32.5	32.4	35.1	55
	B4_H12	32.3	32.4	32.3	35.1	55
	B4_H13	32.2	32.3	32.3	35.0	55
	B4_H14	32.1	32.1	32.2	34.9	55
	B4_H15	31.9	31.9	31.9	34.7	55
	B4_H16	31.8	31.8	31.8	34.6	55
	B4_H17	31.7	31.7	31.7	34.5	55
	B4_H18	32.2	32.2	32.2	34.8	55
	B4_H19	32.0	32.1	33.2	37.4	55
	B4_H20	31.2	31.5	33.9	38.8	55
	B4_H21	31.1	32.8	35.6	40.5	55
	B4_H22	31.5	33.3	36.2	41.0	55
	B4_H23	31.6	33.6	36.5	41.4	55
	B4_H24	29.7	29.7	29.6	31.7	55
	B4_H25	29.6	29.6	29.5	31.7	55
	B4_H26	29.6	29.6	29.5	31.6	55
	B4_H27	29.5	29.5	29.4	31.6	55
	B4_H28	29.6	29.6	29.5	31.6	55
	B4_H29	29.5	29.5	29.4	31.6	55
	B4_H30	29.5	29.5	29.4	31.5	55
	B4_H31	29.4	29.3	29.8	34.2	55
	B4_H32	29.2	29.2	30.9	35.8	55
	B4_H33	29.1	29.3	31.8	36.8	55
	B4_H34	29.1	29.5	32.2	37.4	55
	B4_H35	29.1	29.6	32.5	37.7	55
	B4_H36	29.2	29.7	32.6	37.9	55
	B4_H37	29.2	29.9	32.7	38.0	55
	B4_H38	33.4	35.5	38.4	42.6	55
	B4_H39	28.7	28.7	28.6	30.5	55
	B4_H40	28.8	28.7	28.6	30.5	55
	B4_H41	28.8	28.8	28.6	30.5	55
	B4_H42	28.9	28.8	28.7	30.6	55
	B4_H43	29.0	28.9	28.8	30.7	55
	B4_H44	29.1	29.0	28.9	30.8	55

	B4_H45	29.4	29.3	29.2	30.9	55
	B4_H46	31.8	31.6	31.5	32.6	55
	B4_H47	30.2	30.5	31.5	35.0	55
	B4_H48	29.3	29.7	30.8	34.7	55
	B4_H49	29.3	29.6	30.7	34.6	55
	B4_H50	29.3	29.4	30.4	34.4	55
	B4_H51	29.4	29.4	29.9	33.7	55
	B4_H52	29.5	29.4	29.5	32.7	55
	B4_H53	29.5	29.5	29.5	31.9	55
	B4_H54	29.5	29.4	29.4	31.9	55
	B4_H55	29.5	29.4	29.4	31.8	55
	B4_H56	29.1	29.1	29.1	31.6	55
	B4_H57	46.0	46.9	47.0	47.1	60
	B4_H58	46.2	47.1	47.2	47.3	60
	B4_H59	46.4	47.3	47.4	47.5	60
	B4_H60	46.7	47.5	47.6	47.7	60
	B4_H61	47.0	47.7	47.8	47.9	60
	B4_H62	47.7	48.2	48.3	48.4	60
	B4_H63	48.2	48.6	48.7	48.8	60
	B4_H64	49.8	50.2	50.2	50.4	60
	B4_H65	36.6	36.5	36.5	37.7	60
	B4_H66	38.6	38.5	38.5	39.3	60
	B4_H67	40.5	41.2	42.1	42.4	60



## 7 FIXED SOURCE NOISE IMPACT TO SURROUNDINGS

### 7.1 NOISE SOURCE GENERATED BY THE PROJECT

Planned fixed noise sources within the Proposed Development are identified including the onsite STP and E&M equipment. All major noise sources will be located at the enclosed E&M block which will be designed in future by the design and build contractor.

Neither air-cooled chiller nor water cooling tower will be used in the Proposed Development. Only small power rating split type air conditioning systems will be installed for individual room. However, the noise impact of those small power rating outdoor units shall be minimal, and the contribution is hence not considered in the noise impact assessment.

During operational phase, noise will be generated through the louvre opening of fresh, flush and cleansing water pump room as shown in **Appendix E** of the STP and E&M block. The noise may potentially affect the Mai Po San Tsuen, as well as future noise sensitive uses nearest to the proposed STP and E&M facilities of the Proposed Development.

### 7.2 FIXED PLANT NOISE ASSESSMENT RESULTS

At this stage the STP and E&M equipment for the project had not been confirmed as which shall be designed in future by the design and build contractor. As such the maximum allowable sound power level will be determined by back calculation from the separation distance between the noise source representative nearest noise sensitive receivers are given in table below. Detailed calculation is given in below.

**Table 7-1** Maximum Allowable Sound Power Level at the Louvre Openings

Max. Allowable SWL, dB(A), L <sub>eq</sub> (30 min)		Directivity Factor (Q)	No. of Plant	% on-time within 30min	Distance to NSR, d (m)	Correction for, dB(A)						Noise impact at NSR, dB(A)	
Daytime & Evening Time (0700-2300)	Nighttime (2300-0700)												
95.0	84.0	2	1	100%	32	-38.1	0	0.0	0	0	3	59.9	48.9
<b>Note:</b>											<b>Total</b>	<b>60</b>	<b>49</b>

Time Period	Noise Criteria	Maximum Allowable Sound Power Level, dB(A)
Day and Evening Time	60	95
Nighttime	49.7	84

As such, the fixed plant noise generation at the louver shall not exceed 95 dB(A) during daytime and evening time and 84dB(A) during nighttime period. These sound power level requirements will be stipulated in the project contract specification governing the equipment selection by the design and build contractor.

## 8 CONCLUSIONS

Quantitative noise model has been conducted for the transitional housing development site located at various lots in D.D. 105 and adjoining government land in Nagu Tam Mei, Yuen Long, based on the latest set of layout plan and future traffic forecasts in the worst-case year in 2027.

Practicable noise mitigation noise measures have been incorporated in the building layout design, in accordance with *Practice Note on Application of Innovative Noise Mitigation Designs in Planning Private Residential Developments against Road Traffic Noise Impact*, including:

- At the western side of Block 1, a vertical architectural fin is provided for house 1. The fin shall extend 1.7m to the southern side to block road noise towards House 1 to 4.
- At the eastern side of Block 4, two vertical architectural fin is provided. The fin shall extend 2.0m to the eastern side to block road noise.
- Acoustic window insulation with air conditioning system is adopted for B1-H01 to abate residual noise. The window type will be openable well-gasketed window with minimum 6mm glass pane.

The assessment is based on conservation assumption of hard reflecting ground surface over the entire Study Area and maximum noise reduction for architectural fin capped at 3dB(A). With the above mitigation in place, the residual road traffic noise impact is considered to be satisfactory.

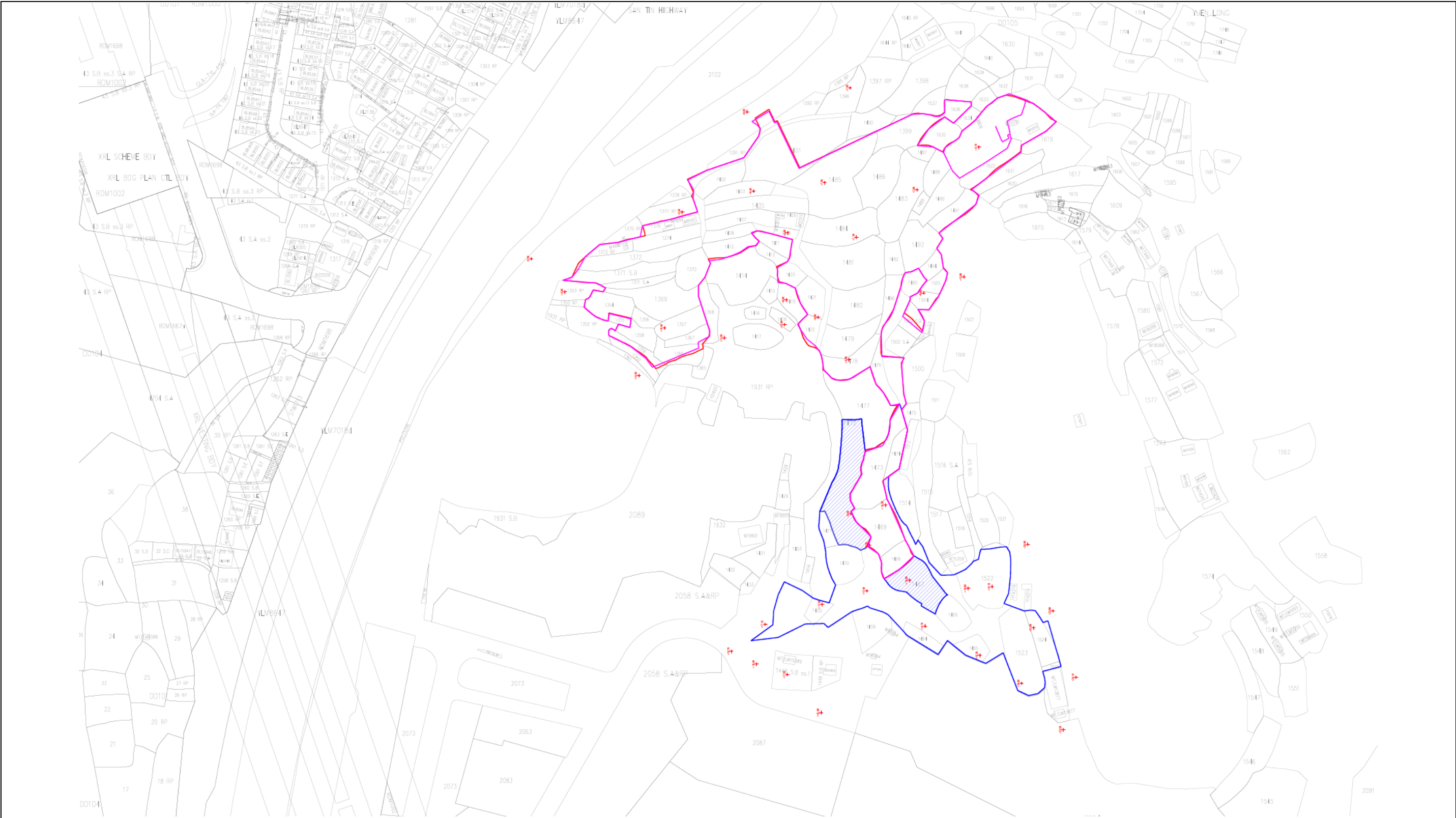
For industrial/fixed noise, all NSRs of the proposed development would be within the standard stipulated under HKPSG without noise mitigation measure. No adverse fixed noise impact is anticipated.




The development will be designed so that potentially noisy facilities onsite, namely the STP and E&M Plants, will need to meet the standard stipulated in the HKPSG. No unacceptable fixed noise impact on the surrounding and the Proposed Development is anticipated.



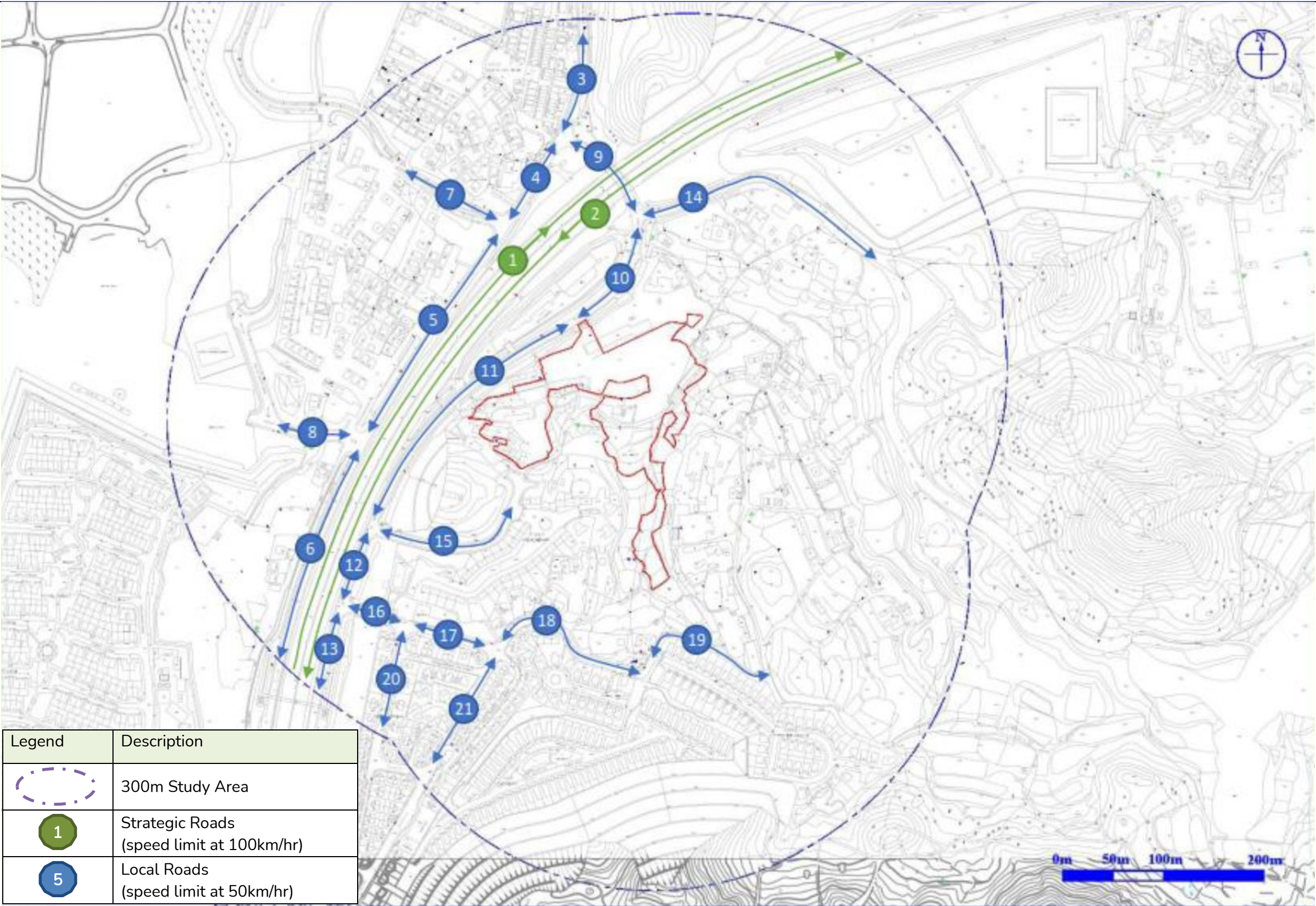
# **Appendix A**




## **SITE LAYOUT PLAN & NEABY NOISE SOURCES**



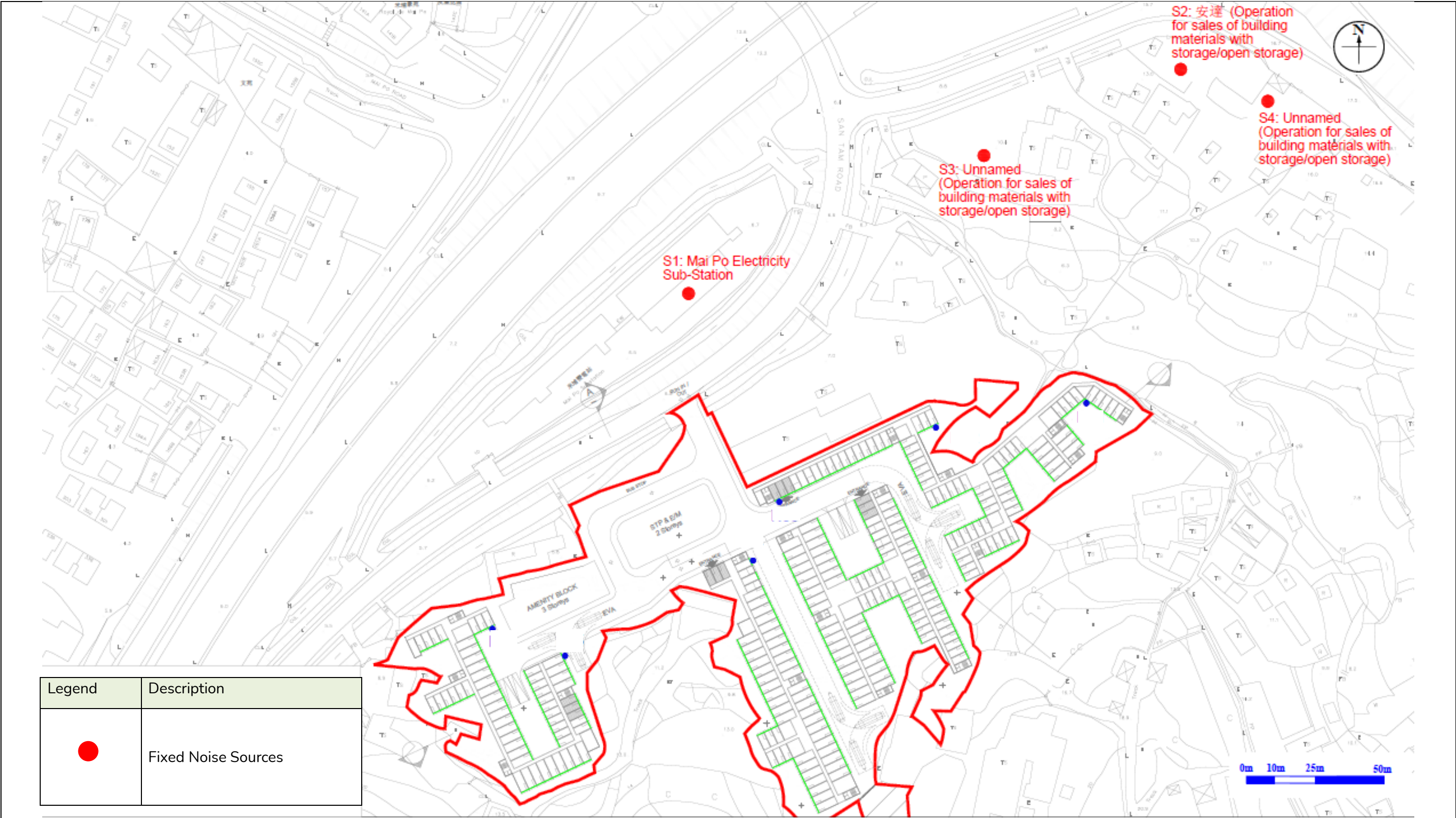
PROJECT: TRANSITIONAL HOUSING PROJECT AT VARIOUS LOTS IN D.D. 105 AND ADJOINING GOVERNMENT LAND, NGAU TAM MEI	DRAWING No.: C220326W-01      Figure A.1		<div>PROJECT OWNER:  基督教香港信義會 The Evangelical Lutheran Church of Hong Kong</div> <div>LEAD ARCHITECT:  WCWP a Deloitte business</div> <div>PLANNING DISCHARGE CONSULTANT: </div>	PREPARED BY	Phoenix Lee
				CHECKED BY	Eddy Ng
				APPROVED BY	Banting Wong
DRAWING TITLE: SITE LAYOUT PLAN AND SURROUNDING ENVIRONMENT	SCALE: N.T.S.	REV: A			








PROJECT: TRANSITIONAL HOUSING PROJECT AT VARIOUS LOTS IN D.D. 105 AND ADJOINING GOVERNMENT LAND, NGAU TAM MEI	DRAWING No.: C220326W-01      Figure A.2		<div>PROJECT OWNER:  基督教香港信義會 The Evangelical Lutheran Church of Hong Kong</div> <div>LEAD ARCHITECT:  WCWP a Deloitte business</div> <div>PLANNING DISCHARGE CONSULTANT: </div>	PREPARED BY	Phoenix Lee	
	DRAWING TITLE: LOCATION OF ADJACENT ROADS	SCALE: N.T.S.		REV: A	CHECKED BY	Eddy Ng
					APPROVED BY	Banting Wong

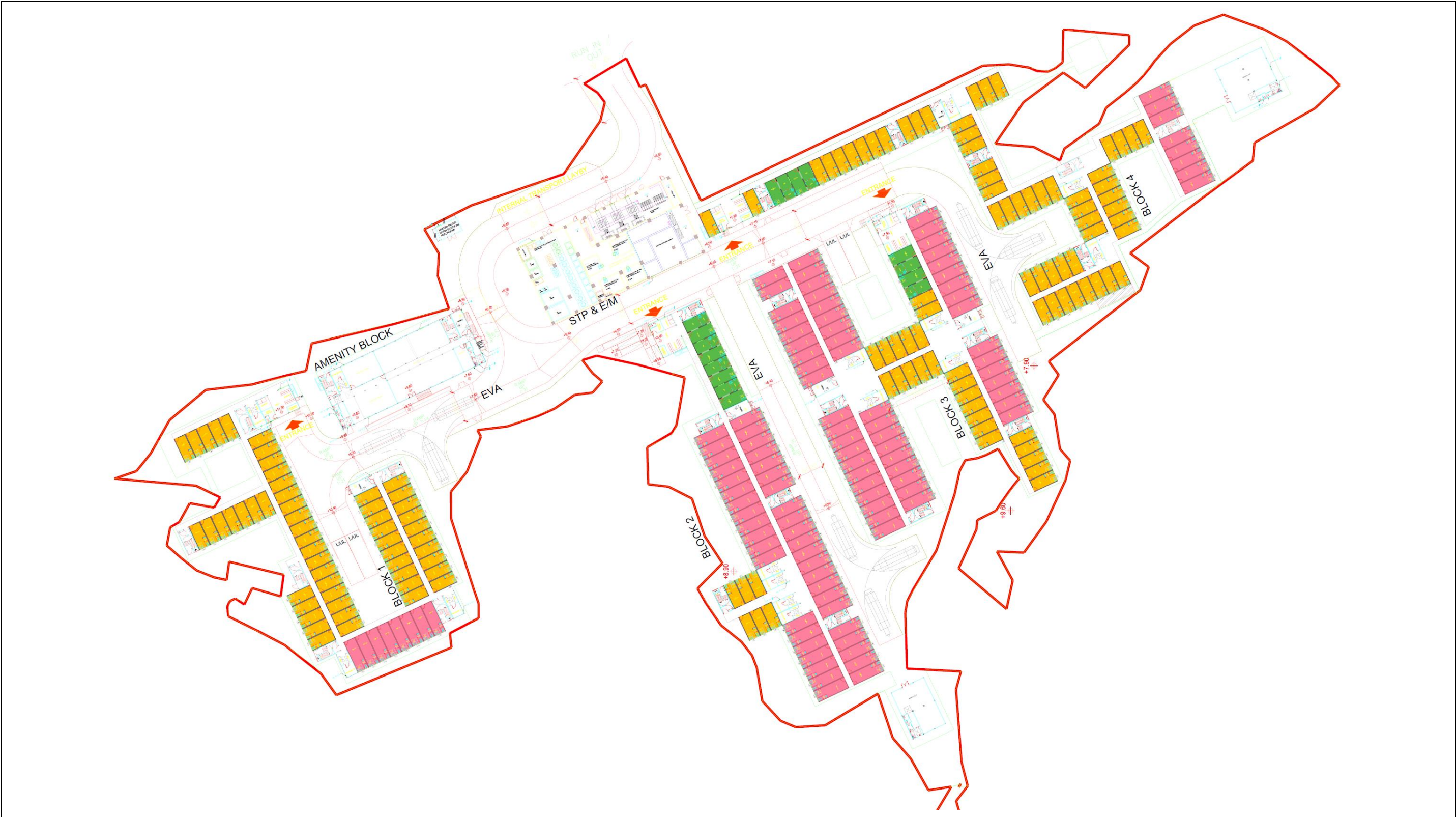







PROJECT: TRANSITIONAL HOUSING PROJECT AT VARIOUS LOTS IN D.D. 105 AND ADJOINING GOVERNMENT LAND, NGAU TAM MEI	DRAWING No.: C220326W-01      Figure A.3		<div>PROJECT OWNER:</div> <div><div>基督教香港信義會 The Evangelical Lutheran Church of Hong Kong</div></div> <div>LEAD ARCHITECT:</div> <div> WCWP a Deloitte business</div> <div>PLANNING DISCHARGE CONSULTANT:</div> <div></div>	PREPARED BY	Phoenix Lee	
	DRAWING TITLE: LOCATION OF IDENTIFIED NEARBY FIXED NOISE SOURCES	SCALE: N.T.S.		REV: A	CHECKED BY	Eddy Ng
					APPROVED BY	Banting Wong






## **APPENDIX B   LATEST DEVELOPMENT PLAN**



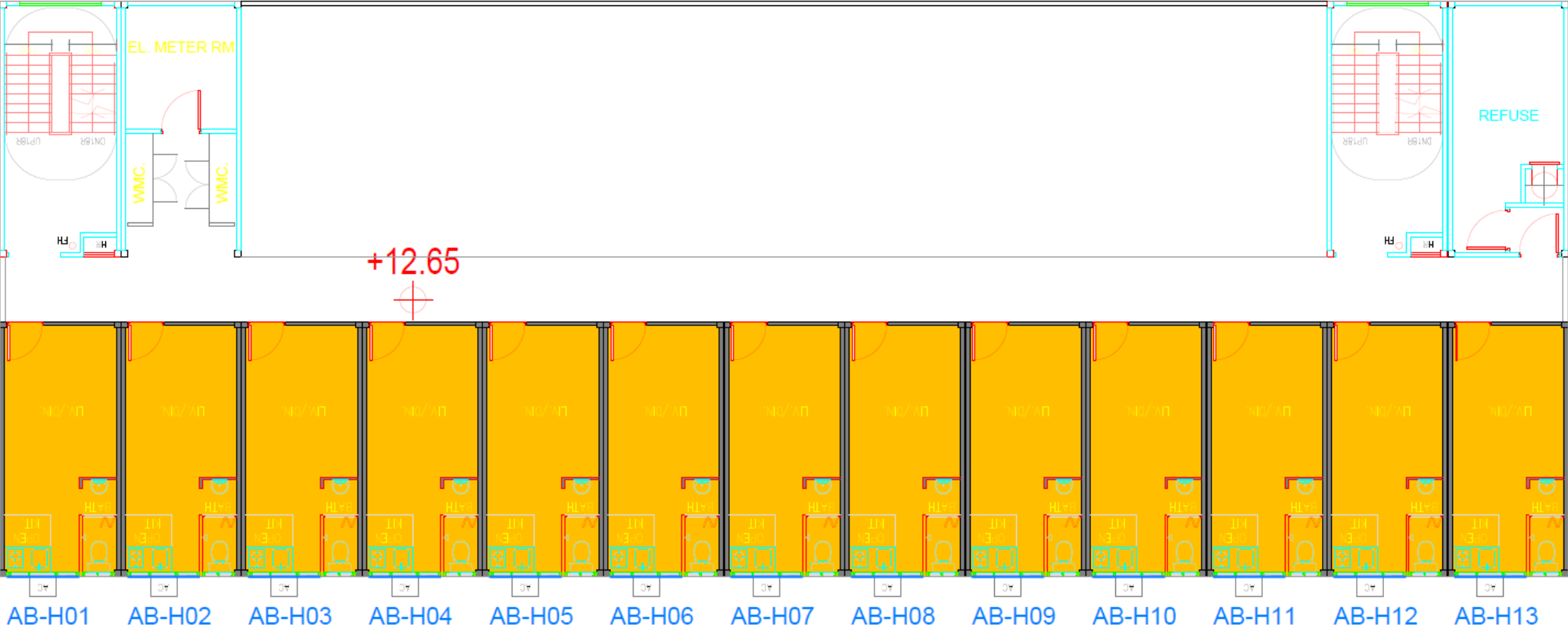
PROJECT: TRANSITIONAL HOUSING PROJECT AT VARIOUS LOTS IN D.D. 105 AND ADJOINING GOVERNMENT LAND, NGAU TAM MEI	DRAWING No.: C220326W-01      Figure B.1		<div>PROJECT OWNER:  基督教香港信義會 The Evangelical Lutheran Church of Hong Kong</div> <div>LEAD ARCHITECT:  WCWP a Deloitte business</div> <div>PLANNING DISCHARGE CONSULTANT: </div>	PREPARED BY	Phoenix Lee
	SCALE: N.T.S.			CHECKED BY	Eddy Ng
	REV: A			APPROVED BY	Banting Wong








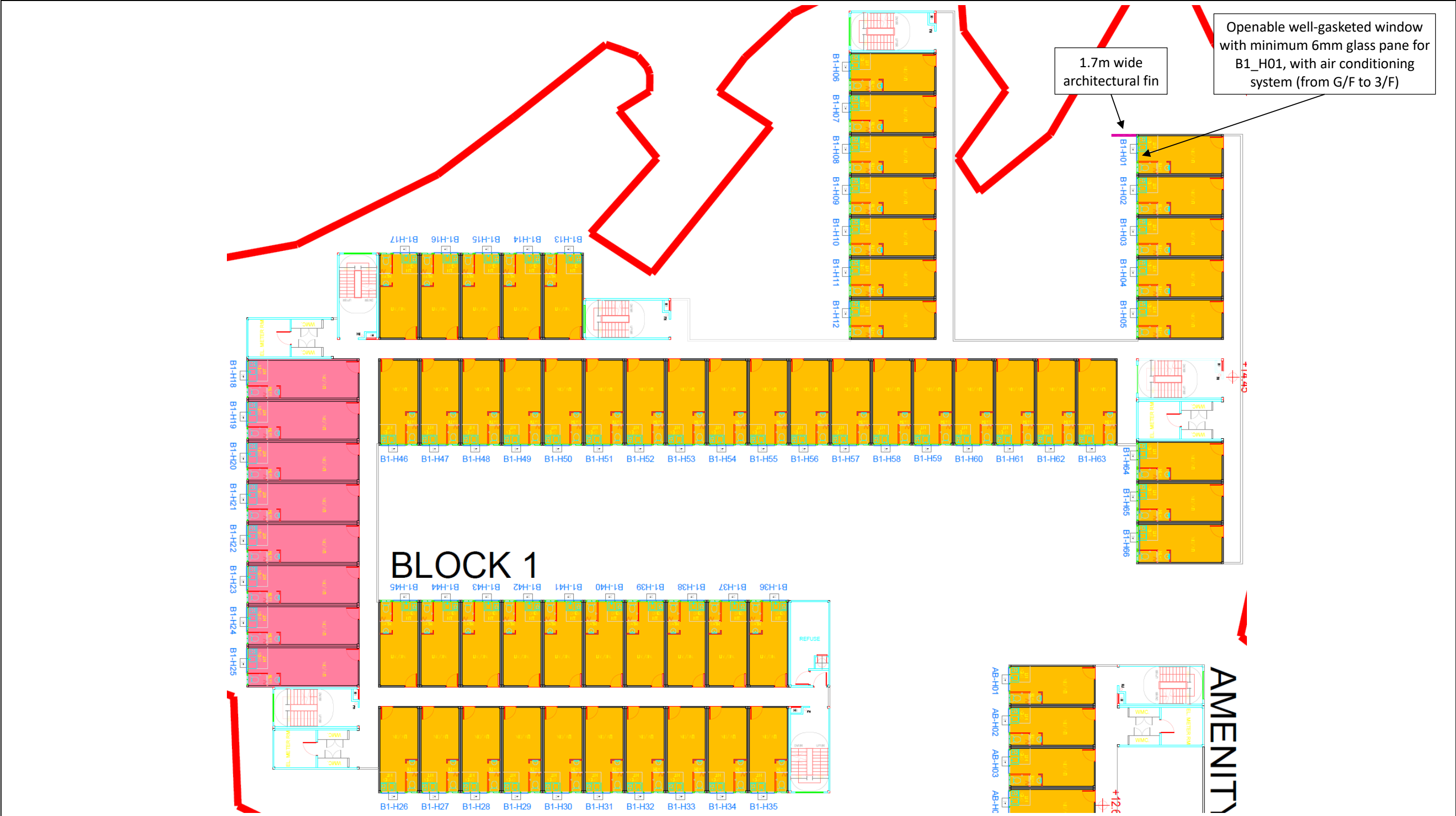
PROJECT: TRANSITIONAL HOUSING PROJECT AT VARIOUS LOTS IN D.D. 105 AND ADJOINING GOVERNMENT LAND, NGAU TAM MEI	DRAWING No.: C220326W-01      Figure B.2		<div>PROJECT OWNER:  基督教香港信義會 The Evangelical Lutheran Church of Hong Kong</div> <div>LEAD ARCHITECT:  WCWP a Deloitte business</div> <div>PLANNING DISCHARGE CONSULTANT: </div>	PREPARED BY	Phoenix Lee	
	DRAWING TITLE: MASTER LAYOUT PLAN (1/F TO 4/F)	SCALE: N.T.S.		REV: A	CHECKED BY	Eddy Ng
					APPROVED BY	Banting Wong




# AMENITY BLOCK

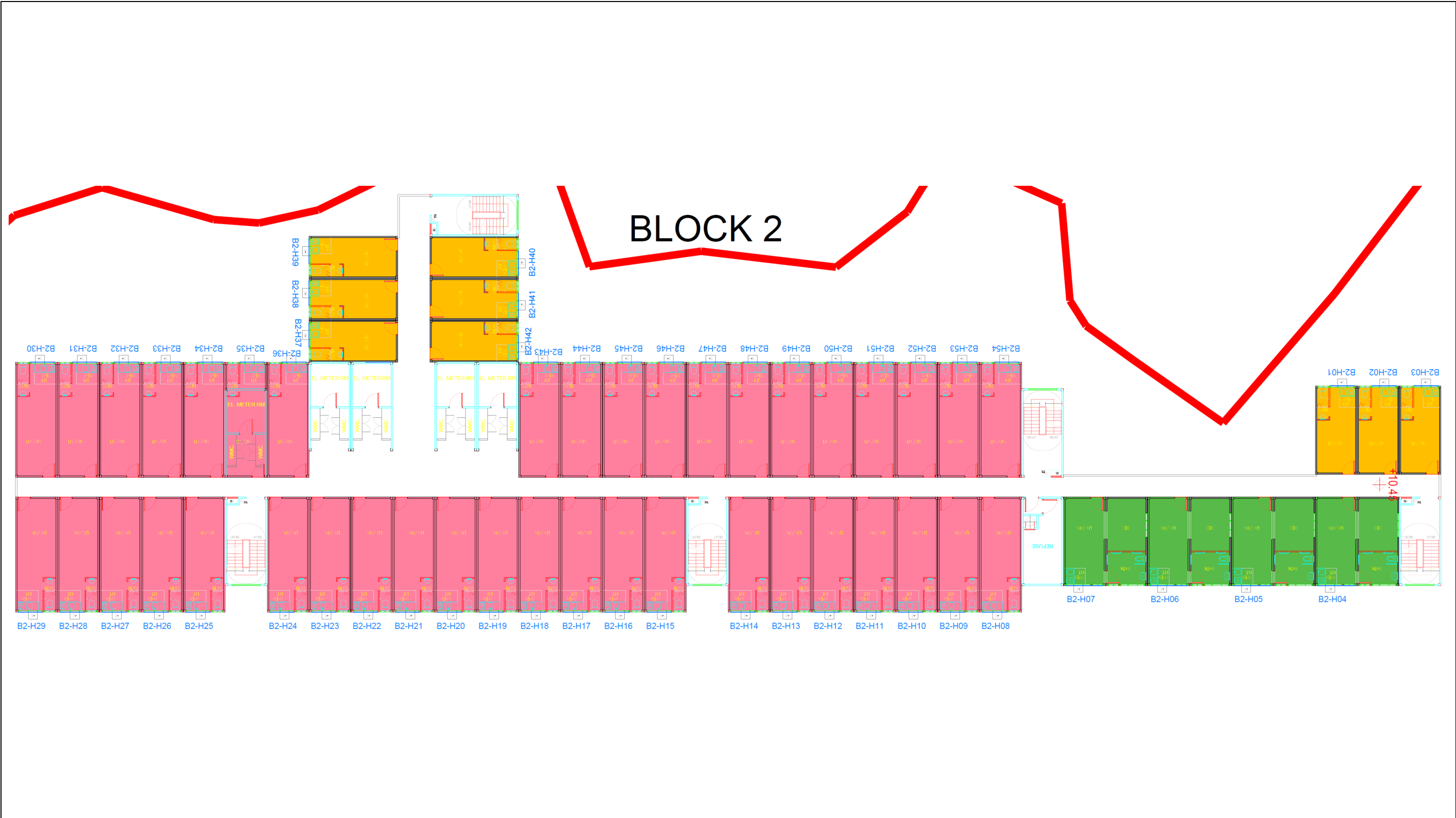





PROJECT: TRANSITIONAL HOUSING PROJECT AT VARIOUS LOTS IN D.D. 105 AND ADJOINING GOVERNMENT LAND, NGAU TAM MEI	DRAWING No.: C220326W-01      Figure B.3		<div>PROJECT OWNER:  基督教香港信義會 The Evangelical Lutheran Church of Hong Kong</div> <div>LEAD ARCHITECT:  WCWP a Deloitte business</div> <div>PLANNING DISCHARGE CONSULTANT: </div>	PREPARED BY	Phoenix Lee	
	DRAWING TITLE: LOCATION OF SELECTED REPRESENTATIVE NOISE SENSITIVE RECEIVERS FOR ROAD TRAFFIC NOISE IMPACT ASSESSMENT (AMENITY BLOCK)	SCALE: N.T.S.		REV: A	CHECKED BY	Eddy Ng
					APPROVED BY	Banting Wong



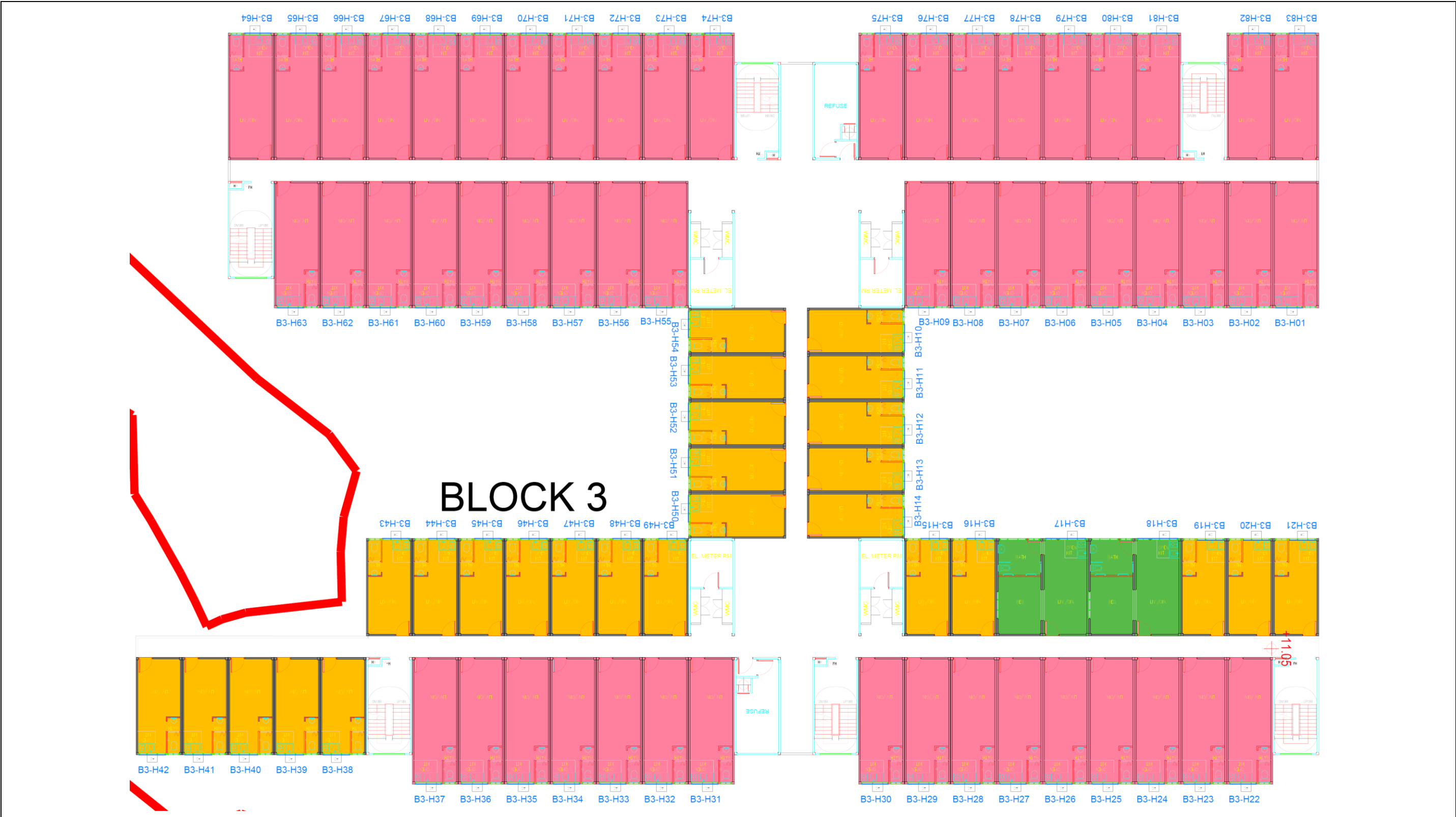





PROJECT: TRANSITIONAL HOUSING PROJECT AT VARIOUS LOTS IN D.D. 105 AND ADJOINING GOVERNMENT LAND, NGAU TAM MEI	DRAWING No.: C220326W-01      Figure B.4		<div>PROJECT OWNER:  基督教香港信義會 The Evangelical Lutheran Church of Hong Kong</div> <div>LEAD ARCHITECT:  WCWP a Deloitte business</div> <div>PLANNING DISCHARGE CONSULTANT: </div>	PREPARED BY	Phoenix Lee	
	SCALE: N.T.S.			REV: A	CHECKED BY	Eddy Ng
				APPROVED BY	Banting Wong	
DRAWING TITLE: LOCATION OF SELECTED REPRESENTATIVE NOISE SENSITIVE RECEIVERS FOR ROAD TRAFFIC NOISE IMPACT ASSESSMENT (BLOCK 1)						






PROJECT: TRANSITIONAL HOUSING PROJECT AT VARIOUS LOTS IN D.D. 105 AND ADJOINING GOVERNMENT LAND, NGAU TAM MEI	DRAWING No.: C220326W-01      Figure B.5		<div>PROJECT OWNER:  基督教香港信義會 The Evangelical Lutheran Church of Hong Kong</div> <div>LEAD ARCHITECT:  WCWP a Deloitte business</div> <div>PLANNING DISCHARGE CONSULTANT: </div>	PREPARED BY	Phoenix Lee	
	SCALE: N.T.S.			REV: A	CHECKED BY	Eddy Ng
	DRAWING TITLE: LOCATION OF SELECTED REPRESENTATIVE NOISE SENSITIVE RECEIVERS FOR ROAD TRAFFIC NOISE IMPACT ASSESSMENT (BLOCK 2)				APPROVED BY	Banting Wong





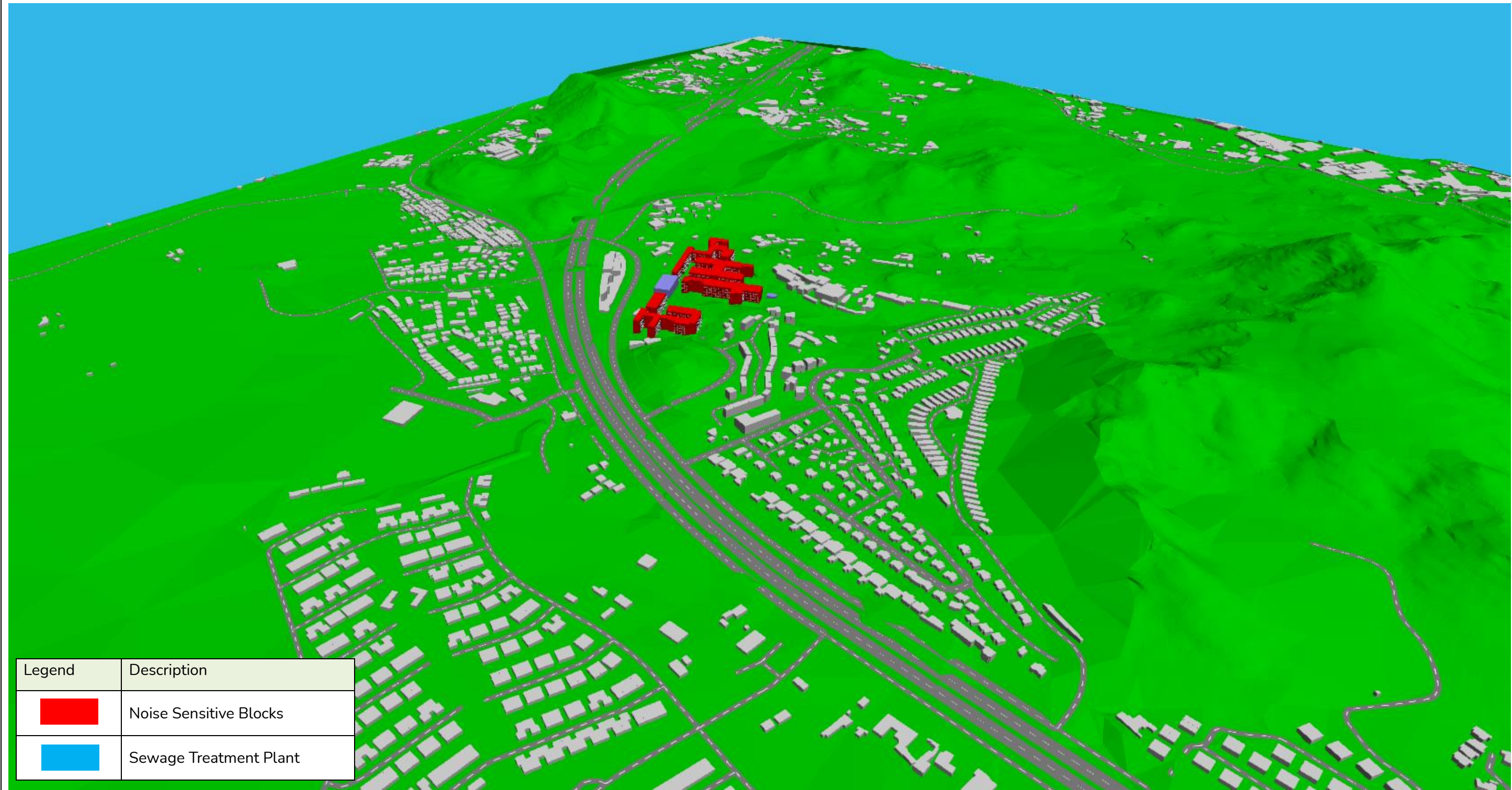
PROJECT: TRANSITIONAL HOUSING PROJECT AT VARIOUS LOTS IN D.D. 105 AND ADJOINING GOVERNMENT LAND, NGAU TAM MEI	DRAWING No.: C220326W-01      Figure B.6		<div>PROJECT OWNER:  基督教香港信義會 The Evangelical Lutheran Church of Hong Kong</div> <div>LEAD ARCHITECT:  WCWP a Deloitte business</div> <div>PLANNING DISCHARGE CONSULTANT:  Novox</div>	PREPARED BY	Phoenix Lee	
	DRAWING TITLE: LOCATION OF SELECTED REPRESENTATIVE NOISE SENSITIVE RECEIVERS FOR ROAD TRAFFIC NOISE IMPACT ASSESSMENT (BLOCK 3)	SCALE: N.T.S.		REV: A	CHECKED BY	Eddy Ng
				APPROVED BY	Banting Wong	



PROJECT: TRANSITIONAL HOUSING PROJECT AT VARIOUS LOTS IN D.D. 105 AND ADJOINING GOVERNMENT LAND, NGAU TAM MEI	DRAWING No.: C220326W-01      Figure B.7		<div>PROJECT OWNER:  基督教香港信義會 The Evangelical Lutheran Church of Hong Kong</div> <div>LEAD ARCHITECT:  WCWP a Deloitte business</div> <div>PLANNING DISCHARGE CONSULTANT:  Novox</div>	PREPARED BY	Phoenix Lee	
	SCALE: N.T.S.			REV: A	CHECKED BY	Eddy Ng
					APPROVED BY	Banting Wong
DRAWING TITLE: LOCATION OF SELECTED REPRESENTATIVE NOISE SENSITIVE RECEIVERS FOR ROAD TRAFFIC NOISE IMPACT ASSESSMENT (BLOCK 4)						



## **Appendix C   NOISE ASSESSMENT RESULTS (ROAD TRAFFIC)**



PROJECT:  
TRANSITIONAL HOUSING PROJECT AT VARIOUS LOTS IN D.D. 105  
AND ADJOINING GOVERNMENT LAND, NGAU TAM MEI

DRAWING TITLE:  
3D VIEW OF NOISE MODEL, NOISE SOURCES AND REPRESENTATIVE NSRS

DRAWING NO.:  
C220326W-01      Figure C.1

SCALE:  
N.T.S.

REV:  
A

PROJECT OWNER:



基督教香港信義會  
The Evangelical Lutheran Church of Hong Kong

LEAD ARCHITECT:



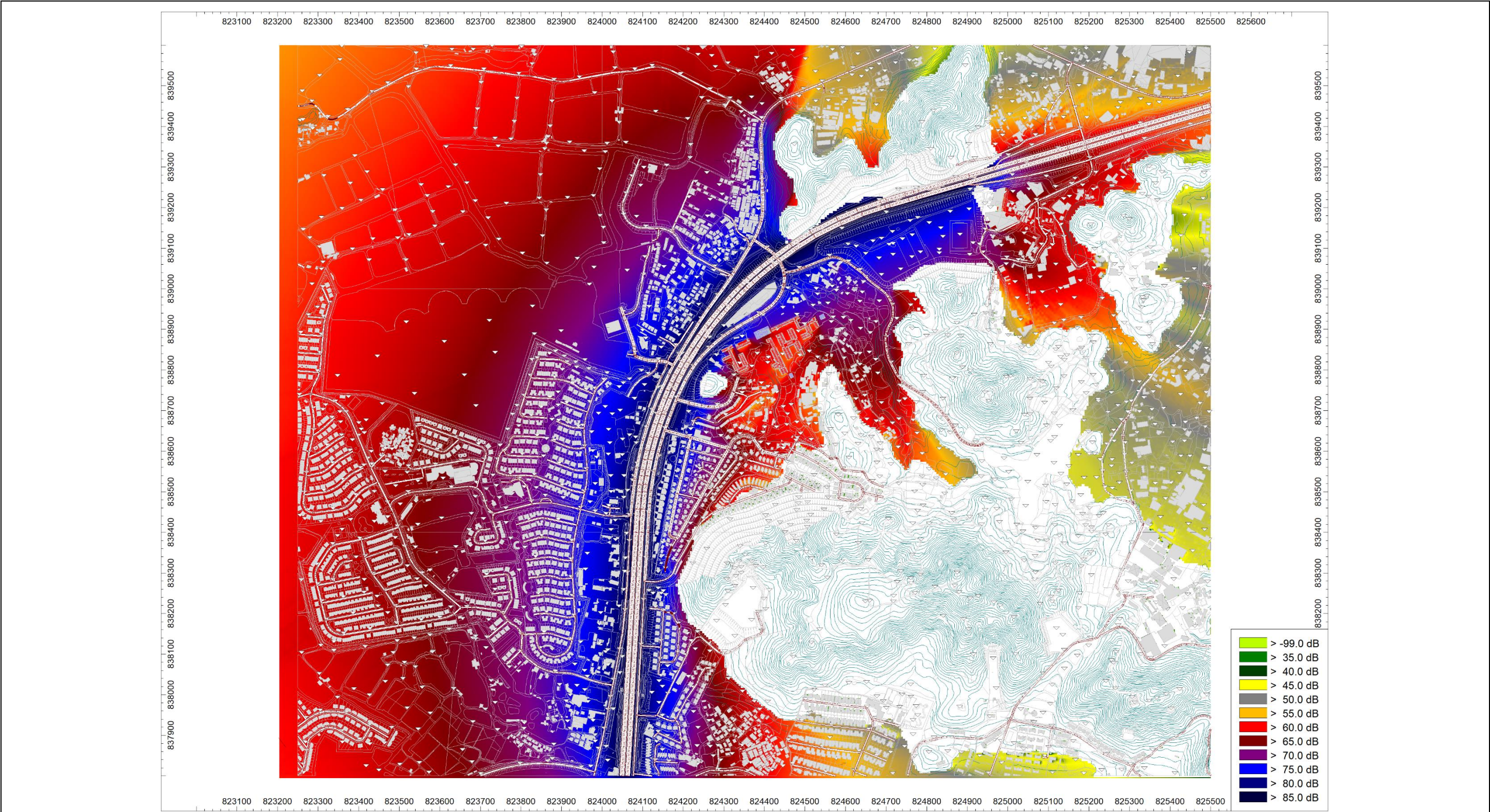
WCWP  
a Deloitte business




PLANNING DISCHARGE CONSULTANT:



PREPARED BY	Phoenix Lee
CHECKED BY	Eddy Ng
APPROVED BY	Banting Wong





PROJECT: TRANSITIONAL HOUSING PROJECT AT VARIOUS LOTS IN D.D. 105 AND ADJOINING GOVERNMENT LAND, NGAU TAM MEI	DRAWING No.: C220326W-01     Figure C.2		<div>PROJECT OWNER:  基督教香港信義會 The Evangelical Lutheran Church of Hong Kong</div> <div>LEAD ARCHITECT:  <b>WCWP</b> a Deloitte business</div> <div>PLANNING DISCHARGE CONSULTANT: </div>	PREPARED BY	Phoenix Lee	
	DRAWING TITLE: NOISE CONTOUR OF ROAD TRAFFIC NOISE IMPACT (MITIGATED)	SCALE: N.T.S.		CHECKED BY	Eddy Ng	
				APPROVED BY	Banting Wong	

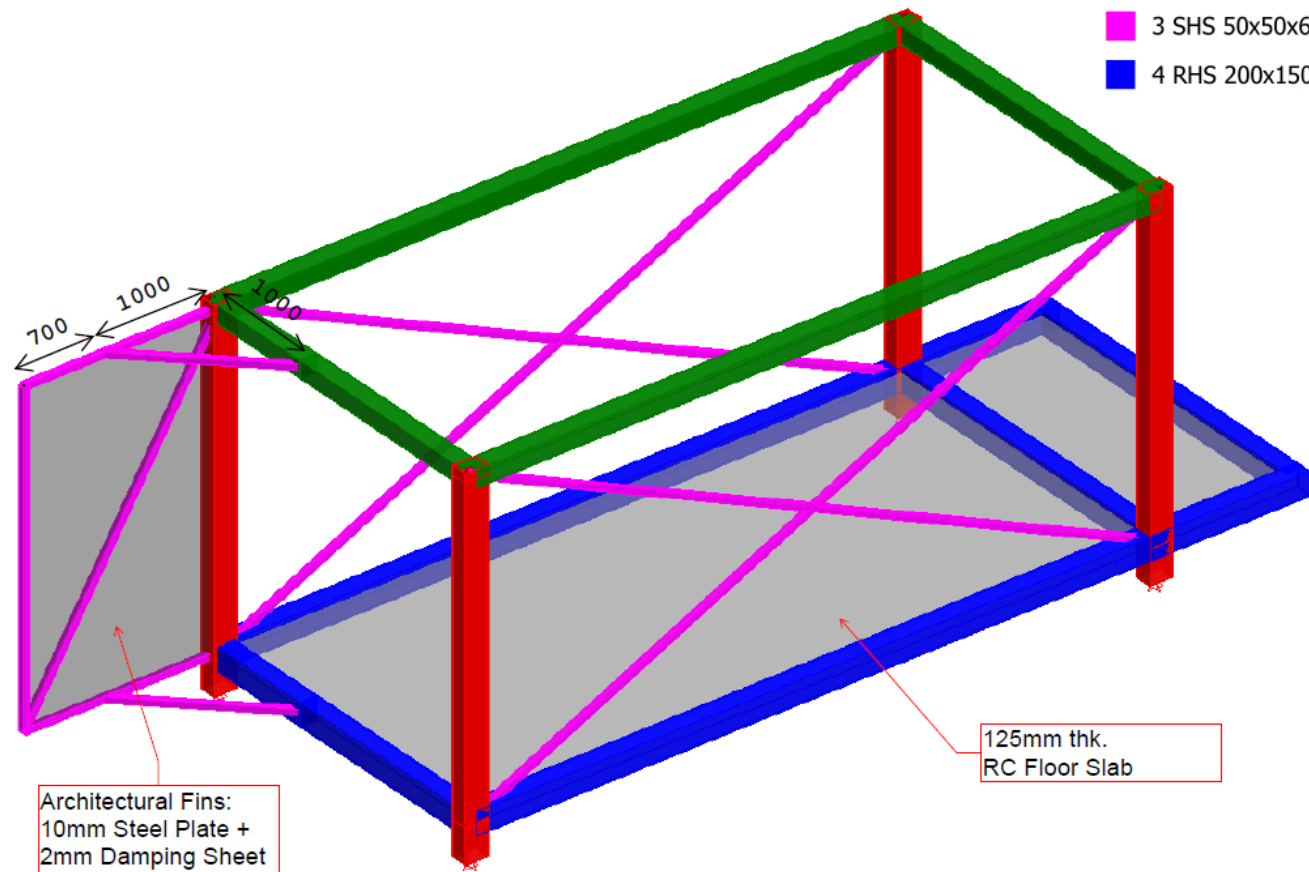


NIDA Version 10

Project: MiC Transitional Housing Project at Ngau Tam Mei

SECTIONS:

- 1 SHS 150x150x6.3 - B2
- 2 RHS 200x150x8.0 - C1
- 3 SHS 50x50x6.3 - BR1
- 4 RHS 200x150x8.0 - B1



File: MiC with Fins

Unit: kN, m

17:25, June 27, 2022

Sound Insulation Prediction (v9.0.23)

Program copyright Marshall Day Acoustics 2017  
Margin of error is generally within STC ±3 dB  
- Key No. 3359  
Job Name:  
Job No.:  
Date:27/6/2022  
File Name:

Initials:Novox



Notes:

STC 41  
OITC 39



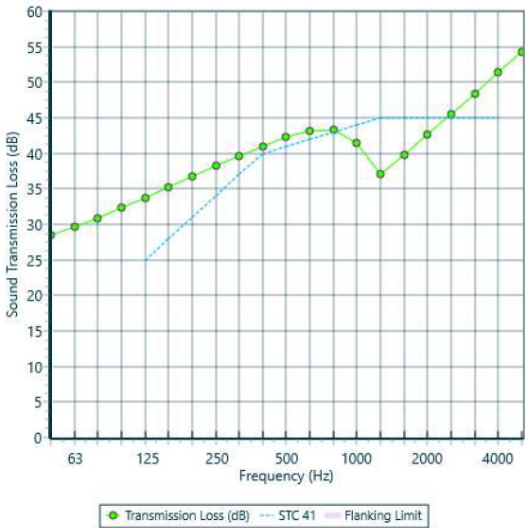
Panel Size = 2.7 m x 4.0 m  
Partition surface mass = 79.8 kg/m²

System description

Panel 1 : 1 x 10 mm Steel

+ 1 x 2 mm Rubber

freq.(Hz)	TL(dB)	TL(dB)
50	28	
63	30	30
80	31	
100	32	
125	34	34
160	35	
200	37	
250	38	38
315	40	
400	41	
500	42	42
630	43	
800	43	
1000	42	40
1250	37	
1600	40	
2000	43	42
2500	46	
3150	48	
4000	51	51
5000	54	



PROJECT:  
TRANSITIONAL HOUSING PROJECT AT VARIOUS LOTS IN D.D. 105  
AND ADJOINING GOVERNMENT LAND, NGAU TAM MEI

DRAWING No.:  
C220326W-01 Figure C.3

DRAWING TITLE:  
ILLUSTRATION OF ARCHITECTURAL FINS & SOUND TRANSMISSION LOSS

SCALE:  
N.T.S.

REV:  
A

PROJECT OWNER:



基督教香港信義會  
The Evangelical Lutheran Church of Hong Kong

LEAD ARCHITECT:



WCWP  
a Deloitte business

PLANNING DISCHARGE CONSULTANT:



PREPARED BY

Phoenix Lee

CHECKED BY

Eddy Ng

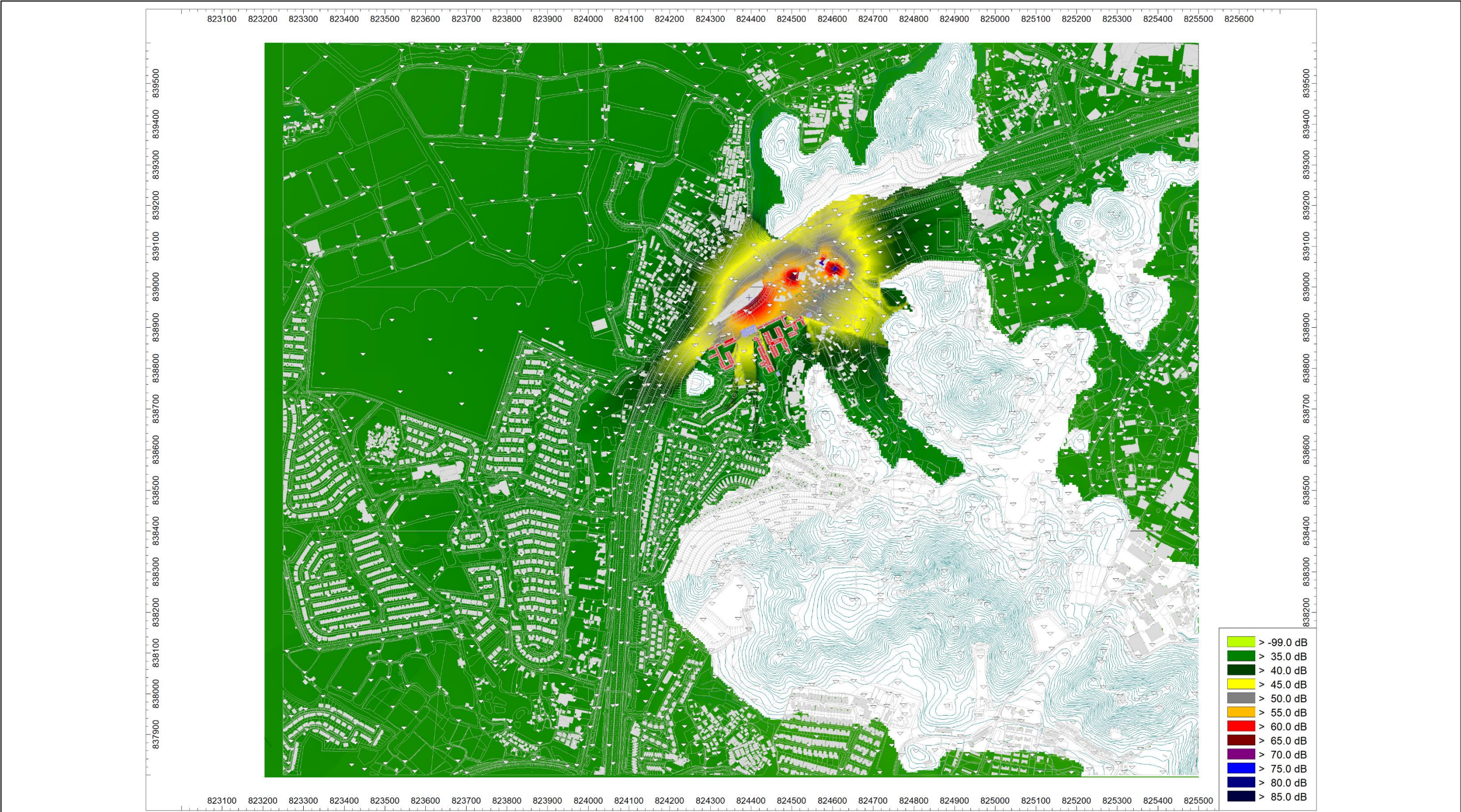
APPROVED BY



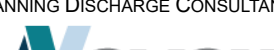
Banting Wong



## **Appendix D   NOISE ASSESSMENT RESULTS (FIXED SOURCE)**

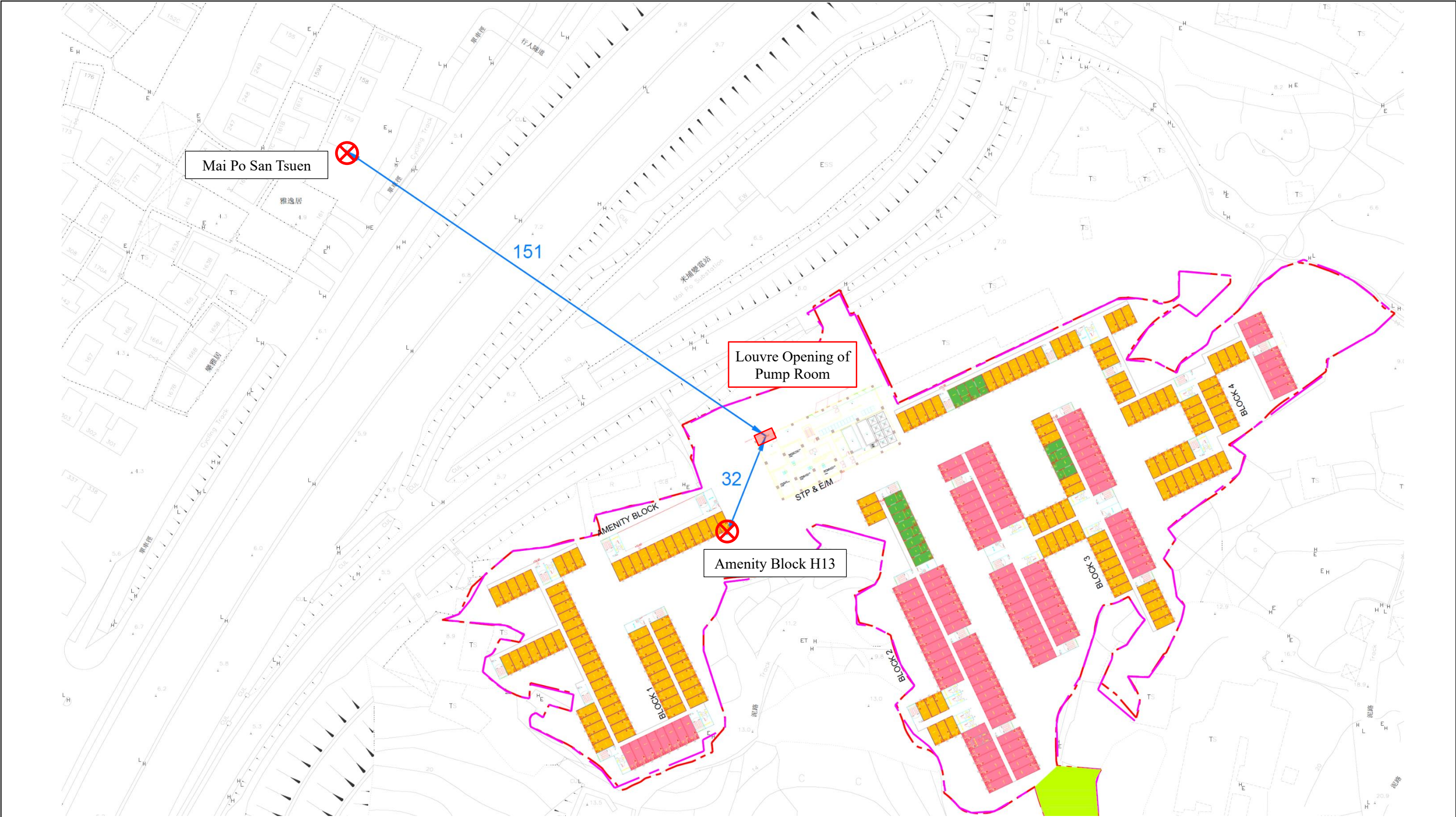







PROJECT: TRANSITIONAL HOUSING PROJECT AT VARIOUS LOTS IN D.D. 105 AND ADJOINING GOVERNMENT LAND, NGAU TAM MEI	DRAWING No.: C220326W-01      Figure D.1		PROJECT OWNER: <div><div>基督教香港信義會 The Evangelical Lutheran Church of Hong Kong</div></div>	PREPARED BY	Phoenix Lee	
	DRAWING TITLE: NOISE CONTOUR OF FIXED SOURCE NOISE IMPACT	SCALE: N.T.S.	REV: A	LEAD ARCHITECT: <div>WCWP a Deloitte business</div>	CHECKED BY	Eddy Ng
				PLANNING DISCHARGE CONSULTANT: <div></div>	APPROVED BY	Banting Wong






## **Appendix E    FIXED PLANT NOISE IMPACT TO SURROUNDING**



PROJECT: TRANSITIONAL HOUSING PROJECT AT VARIOUS LOTS IN D.D. 105 AND ADJOINING GOVERNMENT LAND, NGAU TAM MEI	DRAWING No.: C220326W-01      Figure E.1		<div>PROJECT OWNER:  基督教香港信義會 The Evangelical Lutheran Church of Hong Kong</div> <div>LEAD ARCHITECT:  WCWP a Deloitte business</div> <div>PLANNING DISCHARGE CONSULTANT: </div>	PREPARED BY	Phoenix Lee	
	DRAWING TITLE: MARKUP OF FIXED NOISE SOURCE WITHIN DEVELOPMENT & DISTANCE TO THE NEAREST NSR	SCALE: N.T.S.		REV: A	CHECKED BY	Eddy Ng
				APPROVED BY	Banting Wong	





PROJECT: TRANSITIONAL HOUSING PROJECT AT VARIOUS LOTS IN D.D. 105 AND ADJOINING GOVERNMENT LAND, NGAU TAM MEI	DRAWING No.: C220326W-01    Figure E.2		PROJECT OWNER:  基督教香港信義會 The Evangelical Lutheran Church of Hong Kong	PREPARED BY	Phoenix Lee
	DRAWING TITLE: LOCATION AND PHOTOS OF BACKGROUND NOISE MEASUREMENT		LEAD ARCHITECT:  WCWP a Deloitte business	CHECKED BY	Eddy Ng
	SCALE: N.T.S.	REV: A	PLANNING DISCHARGE CONSULTANT: 	APPROVED BY	Banting Wong



Calibration Certificates for Background Noise Measurement:

The sound level analyzers utilized were in compliance with the International Electrotechnical Commission (IEC) Publications 60651 (Type 1) and 60804 (Type 1). Field calibrations by means of Svantek SV30A calibrator were conducted before and after measurement. This is to confirm that there would be no significant shift on the sensitivity of the sound level analyzers at the calibration level and frequency. The sound level analyzers and the calibrator were maintained with regular laboratory calibration (IEC 1260 and IEC 60942) and the calibrations were conducted at least once a year for calibrator and at least every two years for the SLM according to ISO 1996-2 “Acoustics — Description, measurement and assessment of environmental noise – Part 2: Determination of environmental noise levels”.

11

## Chapitre 2.

### CERTIFICAT D'ETALONNAGE

### CALIBRATION CERTIFICATE

CE-DTE-L-22-PVE-81453

DELIVRE PAR :  
ISSUED BY :

ACOEM  
Service Métrologie

69760 LIMONEST  
France

INSTRUMENT ETALONNE  
CALIBRATED INSTRUMENT

Désignation :  
Designation :

Sonomètre Intégrateur-Moyenueur  
Integrating-Averaging Sound Level Meter

Constructeur :  
Manufacturer :

01dB

Type :  
Type :

FUSION

N° de serie :  
Serial number :

12042

N° d'identification :  
Identification number

Date d'émission :  
Date of issue :

27/03/2022

Ce certificat comprend 10 Pages  
This certificate includes Pages

LE RESPONSABLE METROLOGIQUE  
DU LABORATOIRE  
HEAD OF THE METROLOGY LAB  
François MAGAND

DTE-L-22-PVE-81453

LA REPRODUCTION DE CE CERTIFICAT N'EST AUTORISEE QUE  
SOUS LA FORME DE FAC-SIMILE PHOTOGRAPHIQUE INTEGRAL.  
THIS CERTIFICATE MAY NOT BE REPRODUCED OTHER THAN IN FULL  
BY PHOTOGRAPHIC PROCESS

CE CERTIFICAT EST CONFORME AU FASCICULE DE  
DOCUMENTATION FD X 07-012.  
THIS CERTIFICATE IS COMPLIANT WITH THE FD X 07-012  
STANDARD DOCUMENTATION

ACOEM

Brand of ACOEM

12

CE-DTE-L-22-PVE-81453

IDENTIFICATION :  
IDENTIFICATION:

	Sonomètre Sound level meter	Préamplificateur Preamplifier	Microphone Microphone
Constructeur : Manufacturer	01dB		GRAS
Type : Type	FUSION	Interne - Internal	40CD
Numéro de série : Serial number	12042		367367

PROGRAMME D'ETALONNAGE :

CALIBRATION PROGRAM:

Ce Sonomètre a été étalonné sur les caractéristiques suivantes :

- Réponse en fréquence du sonomètre en champ libre
- Linéarité
- Pondérations fréquentielles A-B-C-Z

The Sound level meter has been calibrated on the following characteristics:

- Free field frequency response of the sound level meter
- Linearity
- A-B-C-Z frequency weightings

METHODE D'ETALONNAGE :

CALIBRATION METHOD:

L'appareil est étalonné dans une salle climatisée. Les caractéristiques sont étalonnées avec un multimètre et un générateur étalonnés en amplitude et en fréquence. Des corrections constructeurs sont appliquées pour prendre en compte les effets des accessoires et du boîtier selon la norme IEC 61672-3

The instrument is calibrated in an air conditioned room.. The other characteristics are verified with multimeter and generator calibrated in amplitude and in frequency. Some manufacturer's corrections have been applied to account the acoustical effect from the case of the sound level meter and his accessories (IEC 61672-3).

CONDITIONS D'ETALONNAGE :

CALIBRATION CONDITIONS:

Date de l'étalonnage :  
Date of Calibration (trunc format)

.27 - 3 - 2022.

Nom de l'opérateur :  
Operator Name

Mathis Mazallon

Instruction d'étalonnage :  
Calibration instruction

P118-NOT-01

Pression atmosphérique :  
Static pressure

97,95 kPa

Température :  
Temperature

24,5 °C

Taux d'humidité relative :  
Relative humidity

46,5 %HR

ACOEM

Brand of ACOEM



CE-DTEL-22-PVE-S1453

13

**MOYENS DE MESURES UTILISES POUR L'ETALONNAGE :**  
*INSTRUMENTS USED FOR CALIBRATION:*

Désignation	Constructeur	Type	N° de série	N° d'identification
Designation	Manufacturer	Type	Serial number	Identification number
Générateur BF / Waveform generator	Helwet-Packard	33120A	US36028745	APM 1163
Calibreur acoustique / Calibrator	01dB-Metavib	CAL31	84095	APM 5957
Boîte à décades / Decade box	01dB-Metavib	OUT1694	1605202	APM 5541

Tous les moyens de mesure utilisés sont raccordés aux étalons de référence de la société ACOEM. Les étalons de référence de la société ACOEM sont raccordés aux étalons nationaux par un étalonnage COFRAC. La liste de ces étalons est disponible sur simple demande auprès du responsable métrologique du laboratoire.  
*All the measuring instruments are calibrated using the ACOEM reference standards. ACOEM reference standards are calibrated to national standard with COFRAC certificate of calibration. The reference standards list is available on simple request to the head of the Metrology lab.*

**RESULTATS :**  
*RESULTS:*

Les incertitudes élargies mentionnées sont celles correspondant à deux incertitudes types ( $k=2$ ). Les incertitudes types sont calculées en tenant compte des différentes composantes d'incertitudes, étalons de référence, moyens d'étalonnage, conditions d'environnement, contribution de l'instrument étalonné, répétabilité ...  
*Mentioned expanded uncertainties correspond to two standard uncertainty types ( $k=2$ ). Standard uncertainties are calculated including different uncertainty components, reference standards, instruments used, environmental conditions, calibrated instrument contribution, repeatability...*



Brand of ACOEM

CE-DTEL-22-PVE-S1453

14

**Pondération fréquentielle**  
*Frequency Weighting*

Pondération fréquentielle (voie interne) - Frequency weighting (primary)					
0° Short windscreen	Z	A	B	C	Incertitude uncertainty (dB)
63 Hz	-0,7	-27,0	-10,1	-1,5	0,45
125 Hz	-0,6	-16,8	-4,8	-0,8	0,45
250 Hz	-0,6	-9,3	-2,0	-0,6	0,29
500 Hz	-0,4	-3,6	-0,6	-0,3	0,29
1000 Hz	-0,3	-0,3	-0,3	-0,3	0,29
2000 Hz	0,1	1,3	0,0	-0,1	0,29
4000 Hz	-0,6	0,3	-1,4	-1,5	0,39
8000 Hz	-1,3	-2,9	-4,7	-4,8	0,61
16000 Hz	-1,0	-12,9	-14,7	-14,8	0,61



Brand of ACOEM



CE-DTE-L-22-PVE-81453

15

Linéarité  
Linearity

Linéarité (voie principale) <i>Linearity (Primary channel)</i>	Valeur nominale Nominal value ( dB )	Valeur affichée Displayed value ( dB )	Incertitudes Uncertainty ( dB )
Leq 35 dBZ / 8000 Hz	35,0	34,9	0,23
Leq 40 dBZ / 8000 Hz	40,0	40,0	0,23
Leq 50 dBZ / 8000 Hz	50,0	50,0	0,20
Leq 60 dBZ / 8000 Hz	60,0	60,0	0,20
Leq 70 dBZ / 8000 Hz	70,0	70,0	0,20
Leq 80 dBZ / 8000 Hz	80,0	80,0	0,20
Leq 90 dBZ / 8000 Hz	90,0	90,0	0,20
Leq 100 dBZ / 8000 Hz	100,0	100,0	0,20
Leq 110 dBZ / 8000 Hz	110,0	109,9	0,20
Leq 120 dBZ / 8000 Hz	120,0	119,8	0,20
Leq 130 dBZ / 8000 Hz	130,0	129,8	0,20
Leq 134 dBZ / 8000 Hz	134,0	133,8	0,20
Leq 134 dBA / 8000 Hz	134,0	133,7	0,20
Leq 130 dBA / 8000 Hz	130,0	129,7	0,20
Leq 120 dBA / 8000 Hz	120,0	119,8	0,20
Leq 110 dBA / 8000 Hz	110,0	109,9	0,20
Leq 100 dBA / 8000 Hz	100,0	100,0	0,20
Leq 90 dBA / 8000 Hz	90,0	90,0	0,20
Leq 80 dBA / 8000 Hz	80,0	80,0	0,20
Leq 70 dBA / 8000 Hz	70,0	70,0	0,20
Leq 60 dBA / 8000 Hz	60,0	60,0	0,20
Leq 50 dBA / 8000 Hz	50,0	50,0	0,20
Leq 40 dBA / 8000 Hz	40,0	40,0	0,23
Leq 30 dBA / 8000 Hz	30,0	30,0	0,23
Leq 26 dBA / 8000 Hz	26,0	26,0	0,23



Brand of **NOVOX**

CE-DTE-L-22-PVE-81453

16

Filtre  
Filter

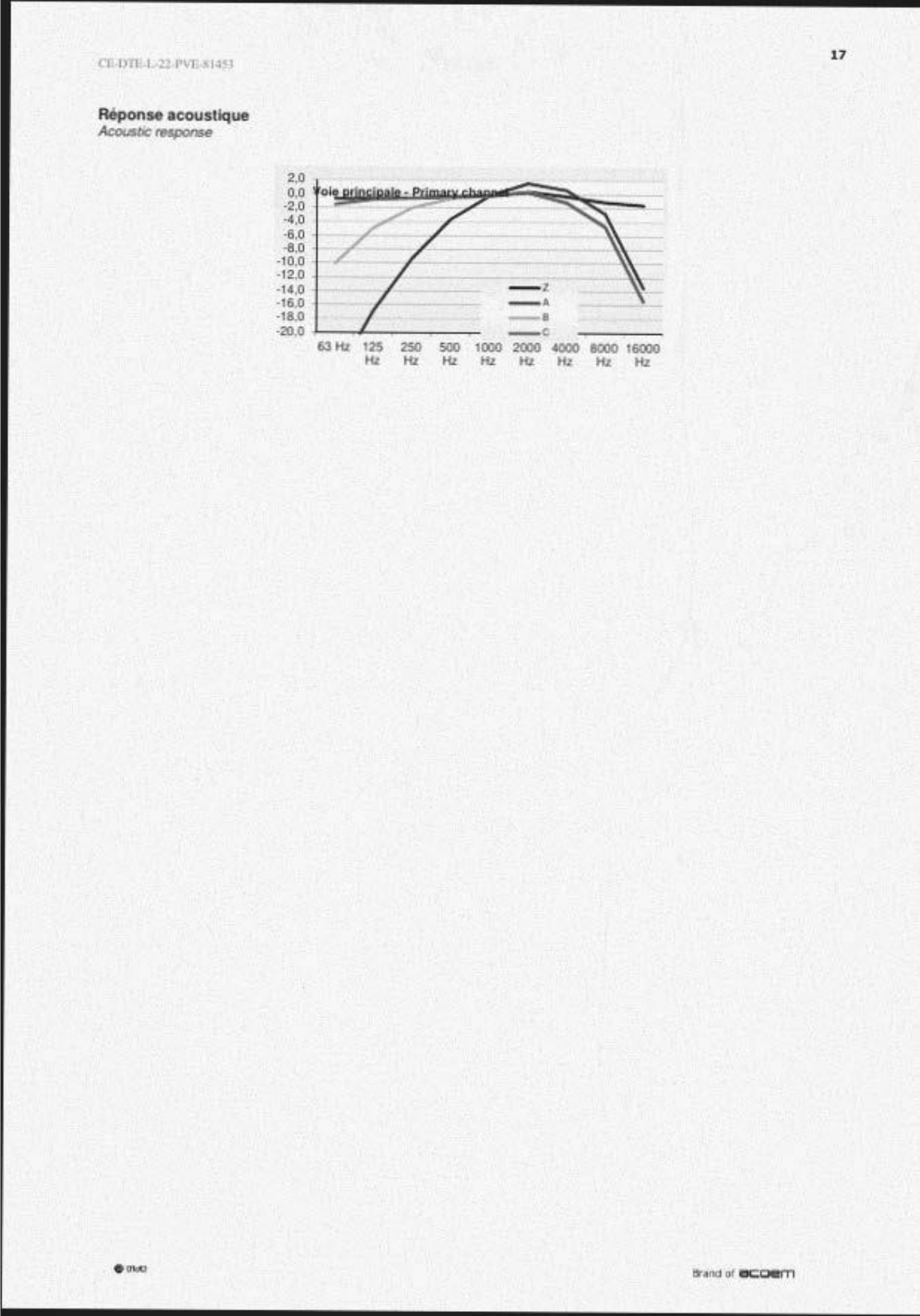
Filtre par bande d'octave (Voie principale) <i>Octave filter (primary channel)</i>	Valeur nominale Nominal value ( dB )	Valeur affichée Displayed value ( dB )	Incertitudes Uncertainty ( dB )
Leq 110 dB / 1/1 Octave / 31,5 Hz	110,0	109,9	0,5
Leq 110 dB / 1/1 Octave / 63 Hz	110,0	109,9	0,5
Leq 110 dB / 1/1 Octave / 125 Hz	110,0	110,0	0,5
Leq 110 dB / 1/1 Octave / 250 Hz	110,0	110,0	0,3
Leq 110 dB / 1/1 Octave / 500 Hz	110,0	110,0	0,3
Leq 110 dB / 1/1 Octave / 1000 Hz	110,0	110,0	0,3
Leq 110 dB / 1/1 Octave / 2000 Hz	110,0	110,0	0,4
Leq 110 dB / 1/1 Octave / 4000 Hz	110,0	110,0	0,4
Leq 110 dB / 1/1 Octave / 8000 Hz	110,0	109,9	0,4

Filtre tiers d'octave (Voie principale) <i>Third octave filter (Primary channel)</i>	Valeur nominale Nominal value ( dB )	Valeur affichée Displayed value ( dB )	Incertitudes Uncertainty ( dB )
Leq 110 dB / 1/3 Octave / 25 Hz	110,0	109,9	0,5
Leq 110 dB / 1/3 Octave / 31,5 Hz	110,0	109,9	0,5
Leq 110 dB / 1/3 Octave / 40 Hz	110,0	109,9	0,5
Leq 110 dB / 1/3 Octave / 50 Hz	110,0	109,9	0,5
Leq 110 dB / 1/3 Octave / 63 Hz	110,0	109,9	0,5
Leq 110 dB / 1/3 Octave / 80 Hz	110,0	109,9	0,5
Leq 110 dB / 1/3 Octave / 100 Hz	110,0	109,9	0,5
Leq 110 dB / 1/3 Octave / 125 Hz	110,0	110,0	0,5
Leq 110 dB / 1/3 Octave / 160 Hz	110,0	110,0	0,5
Leq 110 dB / 1/3 Octave / 200 Hz	110,0	110,0	0,3
Leq 110 dB / 1/3 Octave / 250 Hz	110,0	110,0	0,3
Leq 110 dB / 1/3 Octave / 315 Hz	110,0	110,0	0,3
Leq 110 dB / 1/3 Octave / 400 Hz	110,0	110,0	0,3
Leq 110 dB / 1/3 Octave / 500 Hz	110,0	110,0	0,3
Leq 110 dB / 1/3 Octave / 630 Hz	110,0	110,0	0,3
Leq 110 dB / 1/3 Octave / 800 Hz	110,0	110,0	0,3
Leq 110 dB / 1/3 Octave / 1000 Hz	110,0	110,0	0,3
Leq 110 dB / 1/3 Octave / 1250 Hz	110,0	110,0	0,4
Leq 110 dB / 1/3 Octave / 1600 Hz	110,0	110,0	0,4
Leq 110 dB / 1/3 Octave / 2000 Hz	110,0	110,0	0,4
Leq 110 dB / 1/3 Octave / 2500 Hz	110,0	110,0	0,4
Leq 110 dB / 1/3 Octave / 3150 Hz	110,0	110,0	0,4
Leq 110 dB / 1/3 Octave / 4000 Hz	110,0	110,0	0,4
Leq 110 dB / 1/3 Octave / 5000 Hz	110,0	110,0	0,4
Leq 110 dB / 1/3 Octave / 6300 Hz	110,0	110,0	0,4
Leq 110 dB / 1/3 Octave / 8000 Hz	110,0	110,0	0,4
Leq 110 dB / 1/3 Octave / 10000 Hz	110,0	109,9	0,6



Brand of **NOVOX**





CE-DTE-L-22-PVE-81453

18

OPTION DMK 01 (1/3)

Les données liées au DMK01 sont issues de la réponse en fréquence du microphone associé à l'influence typique du DMK01.  
The DMK01's results describes the association of the microphone acoustical response with the typical DMK01 influence.

Filtre par bande d'octave (DMK 01) Octave filter (with DMK01)	Valeur nominale Nominal value ( dB )	Valeur affichée Displayed value ( dB )	Incertitudes Uncertainty ( dB )
Leq 110 dB / 1/1 Octave / 31,5 Hz	110,0	109,9	0,5
Leq 110 dB / 1/1 Octave / 63 Hz	110,0	109,9	0,5
Leq 110 dB / 1/1 Octave / 125 Hz	110,0	110,0	0,5
Leq 110 dB / 1/1 Octave / 250 Hz	110,0	110,0	0,3
Leq 110 dB / 1/1 Octave / 500 Hz	110,0	110,0	0,3
Leq 110 dB / 1/1 Octave / 1000 Hz	110,0	110,0	0,3
Leq 110 dB / 1/1 Octave / 2000 Hz	110,0	110,0	0,4
Leq 110 dB / 1/1 Octave / 4000 Hz	110,0	110,0	0,4
Leq 110 dB / 1/1 Octave / 8000 Hz	110,0	109,9	0,4

Filtre tiers d'octave (DMK 01) Third octave filter (with DMK01)	Valeur nominale Nominal value ( dB )	Valeur affichée Displayed value ( dB )	Incertitudes Uncertainty ( dB )
Leq 110 dB / 1/3 Octave / 25 Hz	110,0	109,9	0,5
Leq 110 dB / 1/3 Octave / 31,5 Hz	110,0	109,9	0,5
Leq 110 dB / 1/3 Octave / 40 Hz	110,0	109,9	0,5
Leq 110 dB / 1/3 Octave / 50 Hz	110,0	109,9	0,5
Leq 110 dB / 1/3 Octave / 63 Hz	110,0	109,9	0,5
Leq 110 dB / 1/3 Octave / 80 Hz	110,0	110,0	0,5
Leq 110 dB / 1/3 Octave / 100 Hz	110,0	110,0	0,5
Leq 110 dB / 1/3 Octave / 125 Hz	110,0	110,0	0,5
Leq 110 dB / 1/3 Octave / 160 Hz	110,0	110,0	0,5
Leq 110 dB / 1/3 Octave / 200 Hz	110,0	110,0	0,3
Leq 110 dB / 1/3 Octave / 250 Hz	110,0	110,0	0,3
Leq 110 dB / 1/3 Octave / 315 Hz	110,0	110,0	0,3
Leq 110 dB / 1/3 Octave / 400 Hz	110,0	110,0	0,3
Leq 110 dB / 1/3 Octave / 500 Hz	110,0	110,0	0,3
Leq 110 dB / 1/3 Octave / 630 Hz	110,0	110,0	0,3
Leq 110 dB / 1/3 Octave / 800 Hz	110,0	110,0	0,3
Leq 110 dB / 1/3 Octave / 1000 Hz	110,0	110,0	0,3
Leq 110 dB / 1/3 Octave / 1250 Hz	110,0	110,0	0,4
Leq 110 dB / 1/3 Octave / 1600 Hz	110,0	110,0	0,4
Leq 110 dB / 1/3 Octave / 2000 Hz	110,0	110,0	0,4
Leq 110 dB / 1/3 Octave / 2500 Hz	110,0	110,0	0,4
Leq 110 dB / 1/3 Octave / 3150 Hz	110,0	110,0	0,4
Leq 110 dB / 1/3 Octave / 4000 Hz	110,0	110,0	0,4
Leq 110 dB / 1/3 Octave / 5000 Hz	110,0	110,0	0,4
Leq 110 dB / 1/3 Octave / 6300 Hz	110,0	110,0	0,4
Leq 110 dB / 1/3 Octave / 8000 Hz	110,0	109,9	0,4
Leq 110 dB / 1/3 Octave / 10000 Hz	110,0	109,9	0,6

Brand of **ecostm**

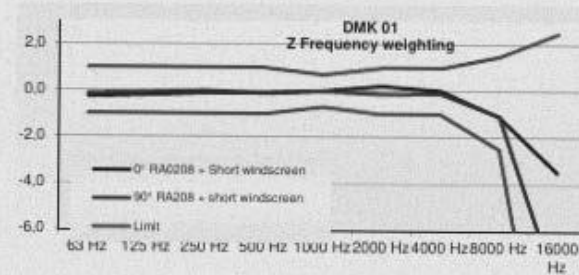


CE-DTE-L-22-PVE-81453

19

OPTION DMK 01 (2/3)

Linéarité (avec DMK01) Linearity (with DMK01)	Valeur nominale Nominal value (dB)	Valeur affichée Displayed value (dB)	Incertitudes Uncertainty (dB)
Leq 35 dBZ / 8000 Hz	35,0	34,9	0,23
Leq 40 dBZ / 8000 Hz	40,0	40,0	0,23
Leq 50 dBZ / 8000 Hz	50,0	50,0	0,20
Leq 60 dBZ / 8000 Hz	60,0	60,0	0,20
Leq 70 dBZ / 8000 Hz	70,0	70,0	0,20
Leq 80 dBZ / 8000 Hz	80,0	80,0	0,20
Leq 90 dBZ / 8000 Hz	90,0	90,0	0,20
Leq 100 dBZ / 8000 Hz	100,0	100,0	0,20
Leq 110 dBZ / 8000 Hz	110,0	109,9	0,20
Leq 120 dBZ / 8000 Hz	120,0	119,8	0,20
Leq 130 dBZ / 8000 Hz	130,0	129,8	0,20
Leq 134 dBZ / 8000 Hz	134,0	133,8	0,20
Leq 134 dBA / 8000 Hz	134,0	133,8	0,20
Leq 130 dBA / 8000 Hz	130,0	129,8	0,20
Leq 120 dBA / 8000 Hz	120,0	119,8	0,20
Leq 110 dBA / 8000 Hz	110,0	109,9	0,20
Leq 100 dBA / 8000 Hz	100,0	100,0	0,20
Leq 90 dBA / 8000 Hz	90,0	90,0	0,20
Leq 80 dBA / 8000 Hz	80,0	80,0	0,20
Leq 70 dBA / 8000 Hz	70,0	70,0	0,20
Leq 60 dBA / 8000 Hz	60,0	60,0	0,20
Leq 50 dBA / 8000 Hz	50,0	50,0	0,20
Leq 40 dBA / 8000 Hz	40,0	40,0	0,23
Leq 30 dBA / 8000 Hz	30,0	30,1	0,23
Leq 26 dBA / 8000 Hz	26,0	26,1	0,23



Brand of

Brand of

CE-DTE-L-22-PVE-81453

20

OPTION DMK 01 (3/3)

Pondération fréquentielle (avec DMK01) Frequency weighting (with DMK01)			
Z	0° RA0208 + Short windscreen	90° RA208 + short windscreen	Incertitude uncertainty
63 Hz	-0,3	-0,1	0,45
125 Hz	-0,2	-0,1	0,45
250 Hz	-0,1	0,0	0,29
500 Hz	-0,1	-0,1	0,29
1000 Hz	0,0	0,0	0,29
2000 Hz	0,0	-0,1	0,29
4000 Hz	0,0	-0,3	0,39
8000 Hz	-1,4	-0,7	0,61
16000 Hz	-6,9	-6,4	0,61
A	0° RA0208 + Short windscreen	90° RA208 + short windscreen	Incertitude uncertainty
63 Hz	-26,6	-26,4	0,45
125 Hz	-16,2	-16,3	0,45
250 Hz	-8,6	-8,7	0,29
500 Hz	-3,3	-3,3	0,29
1000 Hz	0,0	0,0	0,29
2000 Hz	1,4	1,1	0,29
4000 Hz	0,9	0,8	0,39
8000 Hz	-2,9	-2,2	0,61
16000 Hz	-19,5	-18,4	0,61
B	0° RA0208 + Short windscreen	90° RA208 + short windscreen	Incertitude uncertainty
63 Hz	-3,5	-3,5	0,45
125 Hz	-4,2	-4,3	0,45
250 Hz	-1,4	-1,4	0,29
500 Hz	-0,4	-0,4	0,29
1000 Hz	0,0	0,0	0,29
2000 Hz	0,1	-0,2	0,29
4000 Hz	-0,8	-0,9	0,39
8000 Hz	-4,5	-4,5	0,61
16000 Hz	-21,4	-20,3	0,61
C	0° RA0208 + Short windscreen	90° RA208 + short windscreen	Incertitude uncertainty
63 Hz	-0,9	-1,0	0,45
125 Hz	-0,2	-0,2	0,45
250 Hz	-0,1	0,0	0,29
500 Hz	-0,1	-0,1	0,29
1000 Hz	0,0	0,0	0,29
2000 Hz	0,0	-0,1	0,29
4000 Hz	-0,9	-1,0	0,39
8000 Hz	-4,6	-4,6	0,61
16000 Hz	-21,4	-20,2	0,61

Fin du certificat d'étalonnage End of calibration certificate

Brand of

Brand of





DeSPACE (International) Limited



Date: 27<sup>th</sup> September 2022

**BY HAND AND EMAIL**

Planning Department  
District Planning Branch  
New Territories District Planning Division  
Fanling, Sheung Shui & Yuen Long East District Planning Office  
Unit 2202, 22/F, CDW Building,  
388 Castle Peak Road, Tsuen Wan, N.T.

(ccmcheung@pland.gov.hk)  
(gtllam@pland.gov.hk)

(Attn.: Ms. CHEUNG Chi Ming, Christine (STP/YLE 1)  
Mr. LAM Tat Leung, Gary (TP/YLE 1))

Dear Sir/Madam,

**Submission of a Drainage Proposal for Compliance of Approval Condition (j)**

**Proposed Temporary Transitional Housing and Ancillary Facilities for a Period of 3 Years In  
"Residential (Group C)" Zone, Various Lots in D.D. 105 and adjoining Government Land,  
Ngau Tam Mei, Yuen Long (Application No: A/YL-NTM/431)**

Reference is made to the letter dated 19 August 2022 from District Planning Office in relation to technical comments on the submitted Drainage Proposal.

In order to address the comments above, attached please find a copy of the alternative proposal to support the original DIA report for your consideration.

Should you have any queries with this submission, please feel free to contact Mr. Mario Li at 2493-3626 or the undersigned at 3590-6333.

Yours faithfully,  
FOR AND ON BEHALF OF  
**DeSPACE (INTERNATIONAL) LIMITED**



Greg Lam

**By email and post**  
ktshek@dsd.gov.hk

19 Sep 2022

Our ref: 22014/339520  
Your ref: -

**Mr. Kenneth Shek (Ch Engr/Mainland North)**  
Drainage Services Department  
5/F, 11/F, 12/F & 13/F, Kowloon Government Offices,  
405 Nathan Road, Kowloon

Dear Sir,

**Re: Proposed Transitional Housing at Various Lots in D.D. 105 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories**  
**Alternative Proposal to Support the Original DIA Report**

As AP of the project and on behalf of our client, Evangelical Lutheran Church Social Service (ELCSS-HK); we hereby submit our alternative proposal to support the original DIA report for your acceptance.

The project is Transitional Housing situated on Ngau Tam Mei, Yuen Long consisting of 1,107 residential MiC units as a response to the Government housing policy for the short-term with the S16 planning application approved by TPB on 28 January 2022. ELCSS-HK is the operator for the Temporary Transitional housing project, with operation to last 5 to 7 years only.

As of current, the project has undergone detail design and is entering tendering stage and due for site works to commence within this year.

We appreciate your advice during the meeting on 14 September 2022 with DSD, HB, ELCSS-HK, WSP and WCWP; and accordingly we revised our proposed alternative scheme incorporating the discussed measures of below (refer appendix) as a supplement to the DIA report scheme:

- Permeable Pavers for footpaths
- Increased calculated unpaved area (green area) from 4,346sqm to 6,779sqm.

With consideration of the DIA report submitted by Binnies to DSD at the end of 2021 based on the Section 16 scheme; we are pleased to note the current scheme (GBP approved 8 September 2022) retains the same site catchment area but has ~67.857% less increment in runoff to reduce risk of flooding and to address your Department's concerns. Therefore, we consider other expansive measures such as flooding attenuation tanks as not required, nor suitable for this project of this nature.

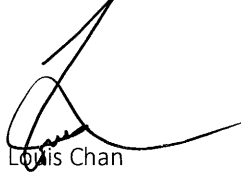
We kindly seek your favourable reply to PlanD and your approval or acceptance of our alternative proposal.



19 Sep 2022  
Our ref: 22014/339520  
Mr. Kenneth Shek (Ch Engr/Mainland North))

Page 2

Yours faithfully,



Louis Chan

Director

For and on behalf of WCWP International Limited

Encl.

cc: Drainage Services Department	– Ms. Xue Feng/ Ms. Esther Yuen/ Mr. Chi Keung Yu/ ) w/e email
	Ms. Maggie Yip/ Mr. Po Hon Wong )
Evangelical Lutheran Church of Hong Kong	– Mr. Frankie Fan/ Mr. Jacky Yim/ Mr. Hoi Nang Kwok )
Housing Bureau	– Mr. N.M. Chan/ Mr. Howard Ho/ Ms. Janet Chan )
WSP Hong Kong Ltd.	– Mr. Johnny Cheng / Mr. Hinn Ho

LC/TPK/LHK/LNF/lkw

Comparison Table for Design Parameters of Proposed Development

	S16	Proposed	Change
SITE AREA (CATCHMENT AREA)	21, 731 m <sup>2</sup>	21, 731 m <sup>2</sup>	unchanged
NOS. OF UNITS	1076	1107	↑ 2.88%
ROOFED-OVER AREA	41.908%	36.945 %	↓ 11.842%
PAVED AREA	8, 277 m <sup>2</sup>	6, 923m <sup>2</sup>	↓ 16.36%
	38.092%	31.858%	
UNPAVED AREA (GREEN AREA)	4, 346 m <sup>2</sup>	6, 779 m <sup>2</sup>	↑ 55.983% / +11.195%
	20.000%	31.195%	
SURFACE CHANNEL (for reference)	Not proposed	2, 422 m	



Comparison Table for Design Parameters of Proposed Development

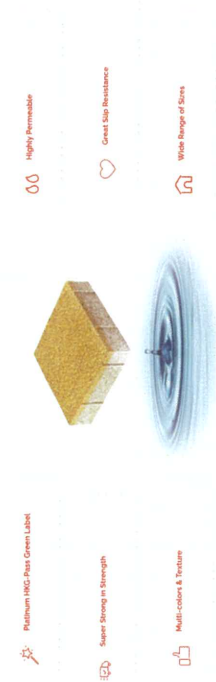
	S16	Proposed	Change
SITE AREA (CATCHMENT AREA)	21, 731 m <sup>2</sup>	21, 731 m <sup>2</sup>	unchanged
PAVED AREA + ROOFED-OVER AREA	17,385 m <sup>2</sup>	14,952 m <sup>2</sup>	↓ 13.995%
UNPAVED AREA (GREEN AREA)	4, 346 m <sup>2</sup>	6, 779 m <sup>2</sup>	↑ 55.983%
Runoff Coefficient (C <sub>average</sub> )	0.830	0.763	↓ 8.072%
Peak runoff after development	0.948 m <sup>3</sup> /s	0.871 m <sup>3</sup> /s	↓ 8.122%
Increment in Runoff (m <sup>3</sup> /s)	+0.14 m <sup>3</sup> /s	+0.045m <sup>3</sup> /s	↓ 67.857%




Remark: Same design assumption and criteria as per pervious DIA report

Proposed Compensation Measures – Sustainable Urban Drainage Systems SUDS

S16: Not specified

Proposed paver: PaveGo Permeable Paver



 <b>BS EN 14411 :2016</b> Complies with Highways Standard of Transvers Breaking Load 85kN	 <b>Slip Resistance</b> Complying with Latest AS 4586-2013 Slider 55 Class P5	 <b>60Tons Vehicle</b> Complies with the simulation of loading apply front wheel of a 60 ton fire engine.
--	--	--

Testing	Standards	Requirement	Results
Water Permeability	GB/T 25993-2010	$> 2.0 \times 10^{-2} \text{ cm/s}$	$2.1 \times 10^{-2} \text{ cm/s}$
Dimension	GB/T 25993-2010	$\pm 2\text{mm}$	$\leq \pm 2\text{mm}$
Transverse Breaking Load	GB/T 25993-2010 BS EN 1344 :2002	Mean $>4.5\text{MPa}$ PA $>3\text{KN}$ PB $>7\text{KN}$	47MPa 7KN
Skid Resistance	GB/T 25993-2010	Mean $\geq 60\text{BPN}$	79 BPN

Source: <https://www.score.com.hk/page3.html>

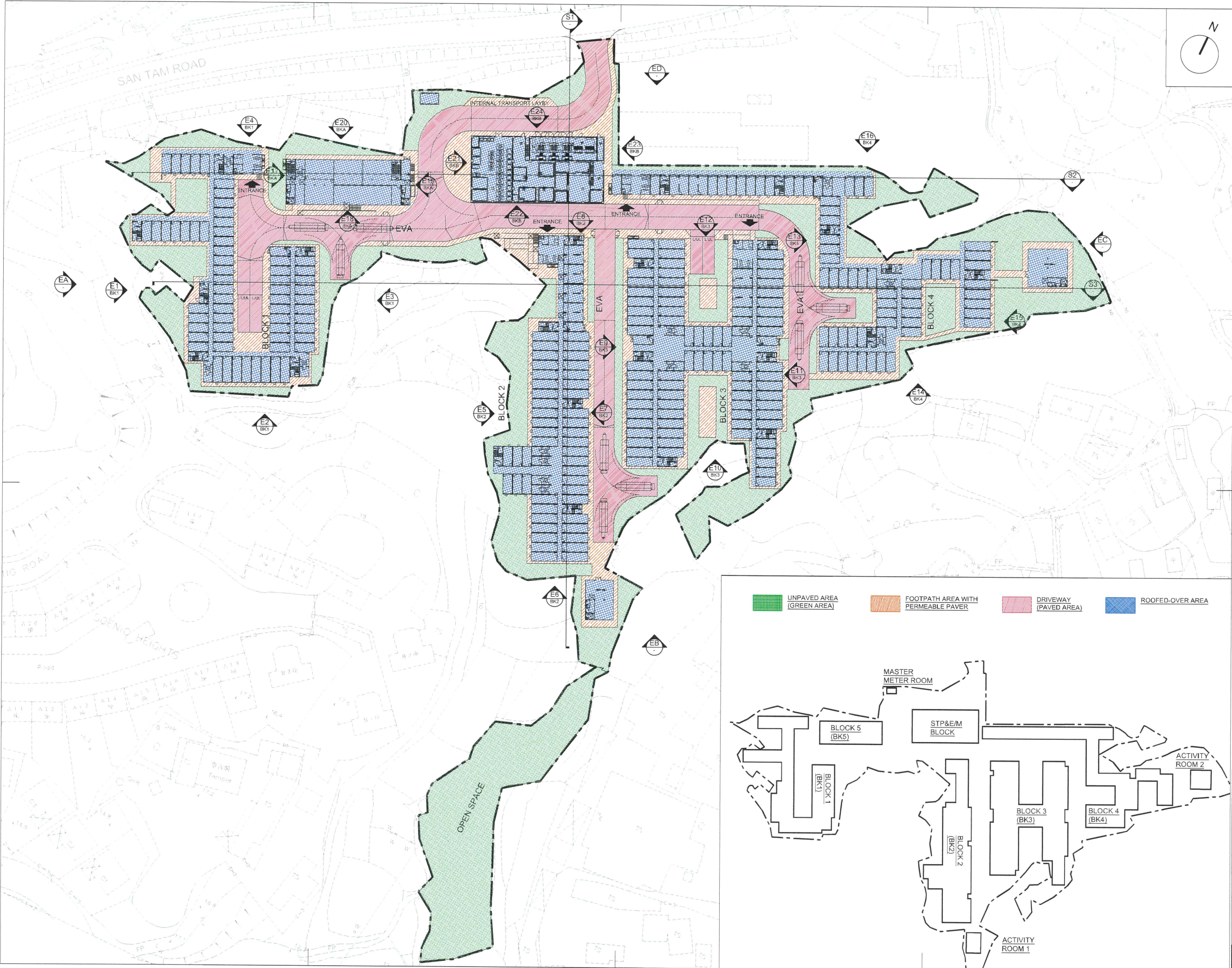


Proposed Compensation Measures – Optimum Greenery Area

S16: 4, 346 m <sup>2</sup>	Proposed: 6, 779 m <sup>2</sup>
----------------------------	---------------------------------











Date: 27<sup>th</sup> September 2022

**BY HAND AND EMAIL**

Planning Department  
District Planning Branch  
New Territories District Planning Division  
Fanling, Sheung Shui & Yuen Long East District Planning Office  
Unit 2202, 22/F, CDW Building,  
388 Castle Peak Road, Tsuen Wan, N.T.

(ccmcheung@pland.gov.hk)  
(gtllam@pland.gov.hk)

(Attn.: Ms. CHEUNG Chi Ming, Christine (STP/YLE 1)  
Mr. LAM Tat Leung, Gary (TP/YLE 1)

Dear Sir/Madam,

**Submission of a Fire Service Installations Proposal for Compliance of Approval Condition (h)**

**Proposed Temporary Transitional Housing and Ancillary Facilities for a Period of 3 Years In  
"Residential (Group C)" Zone, Various Lots in D.D. 105 and adjoining Government Land,  
Ngau Tam Mei, Yuen Long (Application No: A/YL-NTM/431)**

DeSPACE (International) Limited (Planning Consultant) and Novox Limited (Environmental Consultant) act on behalf of the Applicant, Evangelical Lutheran Church Social Service - Hong Kong, to submit a Fire Service Installations Proposal to comply with the planning approval condition under Section 16 Planning Application No. A/YL-NTM/431.

It is understood that the planning permission granted on 14<sup>th</sup> January 2022 requires the Applicant to fulfil the approval conditions within a specified period. The approval is subject to approval conditions, including the submission of a Fire Service Installations Proposal within 9 months from the date of planning approval to the satisfaction of the Director of Drainage Services or of the TPB by 14.10.2022.

The General Building Plans have been submitted to the Building Department and received by the Fire Services Department (New Projects Division) on 12.7.2022. The proposed fire services requirements for the development have been fully incorporated on plans and accepted by the FSD. Please see the attached FSD's letter and Fire Services Certificate dated 06.9.2022 for your information.

Should you have any queries with this submission, please feel free to contact Mr. Mario Li at 2493-3626 or the undersigned at 3590-6333.

Yours faithfully,

FOR AND ON BEHALF OF  
**DeSPACE (INTERNATIONAL) LIMITED**



Greg Lam



Serial No.: **A252079**

**Fire Services Department,  
HONG KONG**

Our Ref.: **FP 8/31683 <2>**

Date: **6 September 2022**

Sir/Madam,

Address: **See attachment**

Description of Building: **See attachment**

This is to certify that the requirements of this Department have been incorporated in your plans.

One set of your plans stamped and signed by this Department on **6 September 2022** is returned together with an additional copy of this certificate

for submission to the \* **Building Authority** / ~~Director of Housing~~

Note:—Any amendments to plans after approval by this Department should be resubmitted in duplicate through the \* **Buildings** / ~~Housing~~ Department for further vetting prior to the commencement of any construction works.

CHAN Kar Chun Louis  
c/o WCWP International Limited  
11/F, Skyway House,  
3 Sham Mong Road,  
Tai Kok Tsui, Kowloon,  
Hong Kong

Yours faithfully,

**(LEE Kin-chung)**  
for Director of Fire Services

Issued in accordance with Sub-paragraph (ii) of Paragraph (b) of Subsection (1) of Section 16 of the Buildings Ordinance.

\* Delete where inappropriate




Attachment to F.S. 161 No. A252079

Our Ref.: FP 8/31683 <2>

Address : “Residential (Group C)” Zone, Various Lots in D.D. 105  
and Adjoining Government Land, Ngau Tam Mei, Yuen Long, N.T.  
– Various Lots in D.D. 105 and Adjoining Government Land

Proposal : New submission plans - A transitional housing  
development comprising four 4-storey domestic buildings (with open  
kitchen), one 4-storey composite building with G/F used as amenities  
and upper floors used as domestic (with open kitchen), two  
single-storey buildings used as amenities, one 2-storey and one  
single-storey buildings used as plant rooms



(LEE Kin-chung)  
for Director of Fire Services

消防處

消防安全總區

新建設課

香港九龍九龍灣常悅道 11 號

新明大廈 2 樓



FIRE SERVICES DEPARTMENT

FIRE SAFETY COMMAND

New Projects Division

2/F, Centre Parc,  
11 Sheung Yuet Road,  
Kowloon Bay, Kowloon,  
Hong Kong.

本處檔號 OUR REF. : FP 8/31683 <2>  
圖文傳真 FAX NO. : (852) 2722 6234  
電話 TEL. NO. : (852) 3971 4612  
電子郵件 E-mail : ado\_np\_11@hkfsd.gov.hk

6 September 2022

CHAN Kar Chun Louis  
c/o WCWP International Limited  
11/F, Skyway House,  
3 Sham Mong Road,  
Tai Kok Tsui, Kowloon,  
Hong Kong



Dear Sir/Madam,

“Residential (Group C)” Zone, Various Lots in D.D. 105 and  
Adjoining Government Land, Ngau Tam Mei, Yuen Long, N.T. –  
Address : Various Lots in D.D. 105 and Adjoining Government Land  
New submission plans - A transitional housing development  
comprising four 4-storey domestic buildings (with open kitchen),  
one 4-storey composite building with G/F used as amenities and  
upper floors used as domestic (with open kitchen), two single-storey  
buildings used as amenities, one 2-storey and one single-storey  
Proposal : buildings used as plant rooms

I refer to your submitted building plans through the Buildings Department  
which were received by this Department on 12.7.2022.

As the necessary Fire Services requirements in accordance with Para. 4.16,  
4.22, 4.24, 4.31, 4.36 and 4.37 of the *Code of Practice for Minimum Fire Service  
Installations and Equipment* for this project have been fully incorporated on plans, the set of  
plans is endorsed and a Fire Services Certificate (F.S. 161) will be issued to you direct.  
Please also note that this approval is subject to compliance with the following requirements:

- (1) 4 x 36,000 and 1 x 27,000 litres water tanks for five fire hydrant/ hose  
reel installations shall be provided.
- (2) 2 x 2,000 litres water tanks for modified hose reel installations shall be  
provided.
- (3) 1 x 37,000 litres water tank for automatic sprinkler installation and four  
improvised sprinkler installations with water supply fed from town  
main shall be provided. Improvised sprinkler system shall conform to  
Part II of FSD Circular Letter No. 4/96.
- (4) Sprinkler annunciator panels shall be provided to indicate the  
floor/zone upon which sprinklers are operating.




.../2



- (5) Emergency lighting, exit sign, fire alarm system, fire detection system, portable hand-operated approved appliance, ventilation/air conditioning control system and visual fire alarm system shall be provided.

Please also be reminded that EVA provision shall comply with the Code of Practice for Fire Safety in Buildings 2011 and PNAP 136 – Building (Planning) Regulation 41D Emergency Vehicular Access.

Please refer to the following link(s) for respective requirements / advices which shall be observed whenever and wherever they are applicable:

- Standard Requirements for Emergency Electrical Generator (NP/105)  
[https://www.hkfsd.gov.hk/storage/FSD\\_NP/NP105.pdf](https://www.hkfsd.gov.hk/storage/FSD_NP/NP105.pdf) 
- Recommendations for Fire Safety (NP/108)  
[https://www.hkfsd.gov.hk/storage/FSD\\_NP/NP108.pdf](https://www.hkfsd.gov.hk/storage/FSD_NP/NP108.pdf) 
- Points to Note for Submission of Form FSI/314 for Ventilation / Air Conditioning Control System (NP/112)  
[https://www.hkfsd.gov.hk/storage/FSD\\_NP/NP112.pdf](https://www.hkfsd.gov.hk/storage/FSD_NP/NP112.pdf) 

The issue of the Fire Services Certificate (F.S.161) is made in accordance with section 16(1)(b) of the Buildings Ordinance which relates to fire service installations for the building. You are reminded that further requirements in respect of Licensing / Registration may be made by relevant authority under relevant legislation.

One set of the plans is retained for record. The other set is duly endorsed and ready for your collection at the **North Wing**, Fire Services Headquarters Building, 7<sup>th</sup> floor, No. 1, Hong Chong Road, Tsim Sha Tsui East, Kowloon during the following hours:-

Monday to Friday (except public holidays) **9:00a.m. – 12:30p.m. and 2:00p.m. – 4:30p.m.**

Please **bring along the original copy of this letter and the payment receipt / electronic payment record** with you when collecting the building plan(s). Your attention is invited to paragraph 4 of Appendix B of PNAP ADM-2 (Rev. 5/2011) in that if you do not collect the building plan(s) within 3 months from the date of this letter, the uncollected plan(s) will be deemed to be no longer required by you and will be disposed of without further notification.

Should you have any enquiries, please contact the case officer, Mr. WU Chun-hang at tel. no. 3971 4656. If necessary, you may also contact his supervisor, Mr. NG Sum-shing at tel. no. 3971 4612.

Yours faithfully,

  
(LEE Kin-chung)  
for Director of Fire Services

c.c. BD (Ref.: (3) in BD 2/9059/22(TH))



Date: 17<sup>th</sup> January 2023

Planning Department

District Planning Branch

New Territories District Planning Division

Fanling, Sheung Shui & Yuen Long East District Planning Office

Unit 2202, 22/F, CDW Building,

388 Castle Peak Road, Tsuen Wan, N.T.

(Attn.: Ms. CHEUNG Chi Ming, Christine (STP/YLE 1)

Mr. LAM Tat Leung, Gary (TP/YLE 1)

**BY HAND AND EMAIL**

(ccmcheung@pland.gov.hk)

(gtllam@pland.gov.hk)

Dear Sir/Madam,

**Implementation of Appropriate Land Decontamination Works for Compliance of Approval Condition (c)**

**Proposed Temporary Transitional Housing and Ancillary Facilities for a Period of 3 Years In "Residential**

**(Group C)" Zone, Various Lots in D.D. 105 and adjoining Government Land,**

**Ngau Tam Mei, Yuen Long (Application No.: A/YL-NTM/431)**

DeSPACE (International) Limited and Novox Limited act on behalf of the Applicant, Evangelical Lutheran Church Social Service – Hong Kong, to submit a documentary proof to comply with the planning approval condition (c) under Section 16 Planning Application No. A/YL-NTM/431.

The Land Contamination Review Report (LCRR) was submitted on 28<sup>th</sup> February 2022 for compliance with approval condition (b) of the captioned approved application. The said LCRR demonstrated that no land contamination issue is posed from the past and current landuse within the subject site. The Environmental Protection Department had no comments on the said LCRR and considered the approval condition (c) has been satisfactorily complied with **(Please see attached email correspondences)**.

As it is agreed that the subject site would not have any land contamination impact, no further site investigation and decontamination works are required. The approval condition (c) should be satisfactorily complied with.

Should you have any queries with this submission, please feel free to contact Mr. Mario Li at 2493-3626 or the undersigned at 3590-6333.

Yours faithfully,

FOR AND ON BEHALF OF

DeSPACE (INTERNATIONAL) LIMITED

Greg Lam





**Re: Proposed Temporary Transitional Housing and Ancillary Facilities for a Period of 3 Years in "Residential (Group C)" Zone, Various Lots in D.D. 105 and adjoining Government Land, Ngau Tam Mei, Yuen Long**

JolittaLMCHAN@epd.gov.hk <JolittaLMCHAN@epd.gov.hk>

週四 10/3/2022 12:20

收件者: cchyuen@pland.gov.hk <cchyuen@pland.gov.hk>

副本: Zoe Chan <zchan@ramboll.com>

You don't often get email from jolittalmchan@epd.gov.hk. [Learn why this is important](#)

Dear Cherry,

We refer to the email from the consultant dated 28.2.2022 attaching the Land Contamination Review Report (LCRR) for compliance with approval condition (b) of the captioned approved application (No. A/YL-NTM/432).

"The submission of a documentary justification to substantiate whether there is any land contamination issue for the site within 9 months from the date of planning approval to the satisfaction of the Director of Environmental Protection or of the TPB by 14.10.2022".

Please be advised that we have no comment on the attached LCRR and we consider the approval condition (b) has been satisfactorily complied with.

Jolitta

EPD

11/3

From: Zoe Chan <zchan@ramboll.com>

To: "ccmcheung@pland.gov.hk" <ccmcheung@pland.gov.hk>

Cc: "jochan@epd.gov.hk" <jochan@epd.gov.hk>, "nmchan@thb.gov.hk" <nmchan@thb.gov.hk>, "janetpc.chan@hd.gov.hk" <janetpc.chan@hd.gov.hk>, Connie Yiu Wai Ha <connieyiu@nwd.com.hk>, Eva Tang Yee Wah <evatang@nwd.com.hk>, Kevin Kwong Ka Ho <kevinkhkwong@nwd.com.hk>, "martinlam@nwd.com.hk" <martinlam@nwd.com.hk>, "kwku@nwd.com.hk" <kwku@nwd.com.hk>, "sllee@nwd.com.hk" <sllee@nwd.com.hk>, Minny Kong <MKONG@ramboll.com>

Date: 28/02/2022 10:41

Subject: Proposed Temporary Transitional Housing and Ancillary Facilities for a Period of 3 Years in "Residential (Group C)" Zone, Various Lots in D.D. 105 and adjoining Government Land, Ngau Tam Mei, Yuen Long

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**Proposed Temporary Transitional Housing and Ancillary Facilities for a Period of 3 Years in "Residential (Group C)" Zone, Various Lots in D.D. 105 and adjoining Government Land, Ngau Tam Mei, Yuen Long (Application No. A/YL-NTM/431)**  
**Submission of Land Contamination Review Report (LCRR) for Compliance of Approval Condition (b)**

Dear Ms. Christine Cheung,

On behalf of the Project Proponent, Melody Gain Limited & Clanville Developments Limited, we, Ramboll Hong Kong Limited, refer to the captioned Section 16 application approved on 14 January 2022 to comply with the approval condition (b) on:-

"The submission of a documentary justification to substantiate whether there is any land contamination issue for the site within 9 months from the date of planning approval to the satisfaction of the Director of

Environmental Protection or of the TPB by 14.10.2022”.

We would like to submit herewith the soft copy of the LCRR (R8354\_v1.0a dated 25 February 2022) for the captioned project for your agreement. Due to large file size. Please kindly click the link below to download the report.

 [R8354\\_v1.0a\\_All.pdf](#)

(link will expire on 29 May 2022)

Two hard copies of the same report have been delivered to your office on 25 Feb 2022. One copy of the same report has also been delivered to EPD on 25 Feb 2022 for their agreement. Cover letter is attached for your advance information.

Should you have any query, please do not hesitate to contact the undersigned at 34652883 or Ms. Minny Kong at 34652823. Thank you for your attention.

Kind regards

**Zoe Chan**

Principal Consultant

D 34652883

[zchan@ramboll.com](mailto:zchan@ramboll.com)

---

Ramboll

21st Floor  
BEA Harbour View Centre



2022/5/18 上午10:35

郵件 - 樊文韜 FAN Man Tao, Frankie (DEV-IC) - Outlook

56 Gloucester Road

Wan Chai

Hong Kong

<https://ramboll.com>

Ramboll Hong Kong Limited

[attachment "NWDNTMTHEI00\_0\_0020L.22.pdf" deleted by Jolitta LM CHAN/EPD/HKSARG]



粉嶺、上水及元朗東規劃處  
新界荃灣青山公路 388 號  
中染大廈 22 樓 2202 室

Fanling, Sheung Shui & Yuen Long East  
District Planning Office  
Unit 2202, 22/F, CDW Building,  
388 Castle Peak Road, Tsuen Wan, N.T.

來函檔號 Your Reference :  
本署檔號 Our Reference : TPB/A/YL-NTM/431  
電話號碼 Tel. No. : 3168 4072  
傳真機號碼 Fax No. : 3168 4074 / 3168 4075

**By Post & Fax (2329 8422)**

PlanPlus Consultancy Ltd.  
Room 403, Block A, Chung Mei Centre  
15 Hing Yip Street  
Kwun Tong, Kowloon  
(Attn: Mr. Kenneth CHAN)

16 March 2022

Dear Sir,

**Submission for Compliance with Approval Condition (b)**

- the submission of a documentary justification to substantiate whether there is any land contamination issue for the site

**Proposed Temporary Transitional Housing and Ancillary Facilities  
for a Period of 3 Years in “Residential (Group C)” Zone, Various Lots in D.D. 105  
and adjoining Government Land, Ngau Tam Mei, Yuen Long**  
**(Application No. A/YL-NTM/431)**

I refer to your submission dated 28.2.2022 for compliance with the captioned approval condition. Your submission is considered:

- ☒ Acceptable. The captioned condition **has been complied with.**
- ☐ Acceptable. Since the captioned condition requires both the submission and implementation of the proposal, it **has not been fully complied with.** Please proceed to implement the accepted proposal for full compliance with the approval condition.
- ☐ Not acceptable. The captioned condition **has not been complied with.** Please find detailed departmental comment(s) in **Appendix.**

Should you have any queries, please contact Ms. Jolitta CHAN (Tel: 2835 1112) of the Environmental Protection Department directly.

Yours faithfully,

(Anthony LUK)

District Planning Officer/  
Fanling, Sheung Shui & Yuen Long East  
Planning Department



C.C.

DEP

Ramboll Hong Kong Ltd.

(Attn.: Ms. Jolitta CHAN)

(Attn: Ms. Zoe CHAN)

(Fax: 2591 0558)

(Fax: 3465 2899)

AL/CY/cl

規 劃 署

粉嶺、上水及元朗東規劃處  
新界荃灣青山公路 388 號  
中染大廈 22 樓 2202 室



Planning Department

Fanling, Sheung Shui &  
Yuen Long East  
District Planning Office  
Unit 2202, 22/F, CDW Building, 388  
Castle Peak Road, Tsuen Wan, N.T.

By Post & Fax (3590 6233)

本函檔號 Your Reference  
本署檔號 Our Reference in TPB/A/YL-NTM/431  
電話號碼 Tel. No.: 3168 4072  
傳真機號碼 Fax No.: 3168 4074 / 3168 4045

9 September 2022

DeSPACE (International) Limited  
Suite 1601, 16/F, Tower II  
Lippo Centre,  
Admiralty, Hong Kong  
(Attn.: Mr. Greg LAM)

Dear Sir,

**Compliance with Approval Condition (d)  
The submission of a Noise Impact Assessment (NIA)**

**Proposed Temporary Transitional Housing and Ancillary Facilities  
for a Period of 3 Years in "Residential (Group C)" Zone,  
Various Lots in D.D. 105 and adjoining Government Land, Ngau Tam Mei, Yuen Long  
(Planning Application No. A/YL-NTM/431)**

I refer to your submissions dated 10.8.2022 and 6.9.2022 regarding the submission of a NIA report in an attempt to comply with the approval condition (d). Your submission is considered:

- ☒ Acceptable. The captioned condition **has been complied with**. Please find the detail comments of the Director of Environmental Protection at **Appendix**.
- ☐ Acceptable. Since the captioned condition requires both the submission and implementation of the proposal, it **has not been fully complied with**. Please proceed to implement the accepted proposal for full compliance with the approval condition.
- ☐ Not acceptable. The captioned condition **has not been complied with**.

Should you have any queries, please contact Ms. Jolitta CHAN (Tel: 2835 1112) of Environmental Protection Department direct.



Yours faithfully,



( Anthony LUK )

District Planning Officer/  
Fanling, Sheung Shui and Yuen Long East  
Planning Department

C.C.

DEP

CTP/TPB(2)

(Attn.: Ms. Jolitta CHAN)

AL/GL/kt

**Appendix**

**Detailed comments of DEP**

1. The applicant should be reminded to ensure full implementation of the noise mitigation measures recommended in the NIA submission.

## 規 劃 署

粉嶺、上水及元朗東規劃處  
新界荃灣青山公路 388 號  
中染大廈 22 樓 2202 室



## Planning Department

Fanling, Sheung Shui &  
Yuen Long East  
District Planning Office  
Unit 2202, 22/F, CDW Building, 388  
Castle Peak Road, Tsuen Wan, N.T.

By Post & Fax (3590 6233)

本函檔號 Your Reference  
本署檔號 Our Reference in TPB/A/YL-NTM/431  
電話號碼 Tel. No. : 3168 4072  
傳真機號碼 Fax No. : 3168 4074 / 3168 4075

21 June 2023

DeSPACE (International) Limited  
Suite 1601, 16/F, Tower II  
Lippo Centre,  
Admiralty, Hong Kong  
(Attn.: Mr. Greg LAM)

Dear Sir,

**Compliance with Approval Condition (c)  
The Implementation of Appropriate Land Decontamination Works, where appropriate,  
Prior to the Commencement of Construction Works or Development of the site**

**Proposed Temporary Transitional Housing and Ancillary Facilities  
for a Period of 3 Years in "Residential (Group C)" Zone,  
Various Lots in D.D. 105 and adjoining Government Land, Ngau Tam Mei, Yuen Long**  
**(Planning Application No. A/YL-NTM/431)**

I refer to your submissions dated 17.1.2023 in an attempt to comply with the approval condition (c). Your submission is considered:

- ☒ Acceptable. The captioned condition **has been complied with.**
- ☐ Acceptable. Since the captioned condition requires both the submission and implementation of the proposal, it **has not been fully complied with.**
- ☐ Not acceptable. The captioned condition **has not been complied with.**

Should you have any queries, please contact Ms. Jolitta CHAN (Tel: 2835 1112) of Environmental Protection Department direct.

Yours faithfully,

(Anthony LUK)  
District Planning Officer/  
Fanling, Sheung Shui and Yuen Long East  
Planning Department



C.C.  
DEP  
CTP/TPB(2)

(Attn.: Ms. Jolitta CHAN)

AL/GL/wm

## 規 劃 署

粉嶺、上水及元朗東規劃處  
新界荃灣青山公路 388 號  
中環大廈 22 樓 2202 室



## Planning Department

Fanling, Sheung Shui &  
Yuen Long East  
District Planning Office  
Unit 2202, 22/F, CDW Building, 388  
Castle Peak Road, Tsuen Wan, N.T.

By Post & Fax (3590 6233)

本函檔號 Your Reference

本署檔號 Our Reference ( ) in TPB/A/YL-NTM/431

電話號碼 Tel. No.: 3168 4072

傳真機號碼 Fax No.: 3168 4074 / 3168 4075

6 October 2022

DeSPACE (International) Limited  
Suite 1601, 16/F, Tower II  
Lippo Centre,  
Admiralty, Hong Kong  
(Attn.: Mr. Greg LAM)

Dear Sir,

**Compliance with Approval Condition (h)**  
**Submission of a Fire Service Installations Proposal**  
**Proposed Temporary Transitional Housing and Ancillary Facilities for a Period of 3**  
**Years in "Residential (Group C)" Zone, Various Lots in D.D. 105 and**  
**Adjoining Government Land, Ngau Tam Mei, Yuen Long**  
**(Section 16 Application No. A/YL-NTM/431)**

I refer to your submission dated 27.9.2022 for compliance with the captioned approval condition. Relevant department has been consulted on your submission. Your submission is considered:

- ☒ Acceptable. The captioned condition **has been complied with.**
- ☐ Acceptable. Since the captioned condition require both the submission and implementation of the proposal, it **has not been fully complied with.** Please proceed to implement the accepted proposal for full compliance with the approval condition.
- ☐ Not acceptable. The captioned condition **has not been complied with.**

Should you have any queries, please contact Mr. WONG Ho-yin (Tel: 2733 7737) of the Fire Services Department directly.

Yours faithfully,

(Anthony LUK)

District Planning Officer/  
Fanling, Sheung Shui and Yuen Long East  
Planning Department



C.C.

D of FS

(Attn.: Mr. WONG Ho-yin)

(Fax: 2739 8775)

AL/GL/kt

## 規 劃 署

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## Planning Department

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District Planning Office  
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本函檔號 Your Reference

本署檔號 Our Reference ( ) in TPB/A/YL-NTM/431

電話號碼 Tel. No. : 3168 4072

傳真機號碼 Fax No. : 3168 4074 / 3168 4075

3 October 2022

DeSPACE (International) Limited  
Suite 1601, 16/F, Tower II  
Lippo Centre,  
Admiralty, Hong Kong  
(Attn.: Mr. Greg LAM)

Dear Sir,

### Compliance with Approval Condition (j)

#### Submission of a Drainage Proposal

**Proposed Temporary Transitional Housing and Ancillary Facilities for a Period of 3  
Years in "Residential (Group C)" Zone, Various Lots in D.D. 105 and  
Adjoining Government Land, Ngau Tam Mei, Yuen Long**  
**(Section 16 Application No. A/YL-NTM/431)**

I refer to your submission dated 27.9.2022 for compliance with the captioned approval condition. Relevant department has been consulted on your submission. Your submission is considered:

- ☒ Acceptable. The captioned condition **has been complied with.**
- ☐ Acceptable. Since the captioned condition require both the submission and implementation of the proposal, it **has not been fully complied with.** Please proceed to implement the accepted proposal for full compliance with the approval condition.
- ☐ Not acceptable. The captioned condition **has not been complied with.**

Should you have any queries, please contact Ms. Stephanie FENG (Tel: 2300 1254) of the Drainage Services Department directly.

Yours faithfully,

(Anthony LUK)

District Planning Officer/

Fanling, Sheung Shui and Yuen Long East  
Planning Department



C.C.  
CE/MN of DSD

(Attn.: Ms. Stephanie FENG)

(Fax: 2770 4761)

AL/GL/kt

☐Urgent   ☐Return receipt   ☐Expand Group   ☐Restricted   ☐Prevent Copy   ☐Confidential

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**From:** TM Kong [REDACTED]  
**Sent:** 2024-03-27 星期三 15:17:22  
**To:** tpbpd/PLAND <tpbpd@pland.gov.hk>  
**Cc:** Karen Kei Yee CHAN/PLAND <kkychan2@pland.gov.hk>  
**Subject:** A/YL-NTM/471 - FI  
**Attachment:** NTM\_471\_Planning Statement\_Submission\_20240327.pdf;  
NTM\_471\_Plans and Drawings\_FI\_20240327.pdf; Form No. S.16-  
III\_NTM\_471\_FI.pdf; RtoC table.pdf; 20230821 DLO Approval  
Letter.pdf

Dear Sir/Madam,

This submission is to supersede the FIs submitted on 22.3.2024 and 26.3.2024.

Please also see attachments for:

1. replacement pages to the application form, drawings and planning statement with additional justifications and clarifications on the development parameters, and
2. response to comment table.

Should you have any query, please feel free to contact TM Kong at [REDACTED]  
Thank you for your kind attention.

Regards,  
TM Kong





# Planning Statement

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**Section 16 Application for Renewal of  
Temporary Transitional Housing with Ancillary  
Facilities for a Period of 3 Years at various lots  
in D.D. 105, Ngau Tam Mei, New Territories**

**MARCH 27, 2024**

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**STEPS CONSULTANTS LIMITED**

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# EXECUTIVE SUMMARY

This application is submitted to the Town Planning Board (“the Board”) under Section 16 of the Town Planning Ordinance (“the Ordinance”) for a renewal of planning approval for the temporary transitional housing development & ancillary uses for a period of 3 years (“the Development”) at Ngau Tam Mei, New Territories (“the Site”). The Board approved the planning application no. A/YL-NTM/431 with conditions on 14 January 2022.

The Site falls within an area designated as “Government, Institution or Community” (“G/IC”), “Residential (Group A)1” (“R(A)1”) and area shown as “Road” on the draft San Tin Technopole Outline Zoning Plan No. S/STT/1 (“the OZP”). According to the Notes of the OZP, ‘Residential Institution’ is a column 2 that may be permitted with or without conditions on application to the Board in “G/IC”, while it is a column 1 use that is always permitted in “R(A)1”. In any area shown as ‘Road’, all uses or developments require permission from the Board.

In response to the Chief Executive’s 2018 Policy Address in increasing the supply of transitional housing, planning approval was granted to the Applicant to utilise the Site for a temporary transitional housing purpose to ease the immediate pressure of housing need. The Proposed Development is already coordinating by the Task Force on Transitional Housing under the Transport and Housing Bureau and operated by the Applicant. The construction works will be completed by April 2024 and the applicant intends to operate till 2029. The applicant now seeks to renew the planning approval.

The development is with a site area of 21,593m<sup>2</sup>, a plot ratio of less than 1.53, site coverage of not more than 60%, the total gross floor area is about 30,021m<sup>2</sup>, and a maximum building height of not more than 17m (+25mPD) and 4-storey blocks. The development includes 5 domestic blocks (one of the blocks might be mixed use, subject to final design) and 3 ancillary blocks. A total of about 1,080 transitional housing units will be provided.

Technical assessments have been conducted in the previous application to ascertain technical feasibility and compatibility of the development. No adverse impact will be anticipated from the development.

To ease the pressure on housing demand and awaiting families on the public rental housing waiting list, we look forward to hearing from the Board for a positive decision in the planning application.



# 內容摘要

本申請根據《城市規劃條例》（下稱“條例”）第 16 條向城市規劃委員會（下稱“城規會”）提交，就位於新界元朗牛潭尾（“申請地點”）的臨時過渡性房屋申請規劃許可續期（為期 3 年）（“發展”）。城規會於 2022 年 1 月 14 日在有條件下批給臨時性質的許可（規劃申請編號：A/YL-NTM/431）。

申請地點位於《新田科技城分區計劃大綱草圖 S/STT/1》（下稱“大綱圖”）上被劃為「政府、機構或社區」、「住宅(甲類)1」及「道路」的地帶內。根據大綱圖的註釋，分層住宅為第二欄用途，須先向城市規劃委員會申請，可能在有附帶條件或無附帶條件下獲准。而在「住宅(甲類)1」的地帶內，分層住宅則是經常准許的用途。圖上顯示為「道路」的地方，所有其他用途或發展必須向城市規劃委員會申請許可。

以回應行政長官在 2018 年發表的施政報告內要增加過渡性房屋的政策措施，擬議發展旨在短期內幫助不適切居所的租戶和家庭。自上一次申請獲得批准，過渡性房屋專責小組已經在統籌發展，並交由申請人營運。本發展預計將會在 2024 年四月竣工，初步計劃營運至 2029 年。因此，申請人希望藉此機會獲得許可續期。

該發展佔地約 21,593 平方米、地積比率為不多於 1.53、總樓面面積約 30,021 平方米、以及建築物高度不多於 17 米（主水平基準上 25 米）和 4 層建築。該發展包括 5 座住宅房舍（其中一座可為綜合使用，基於最終設計而定）連 3 座配套設施，可共提供 1,080 個單位。

各方面的技術評估已在上一次申請進行，已確定該發展的技術可行性及與周邊環境兼容。本發展項目不會產生負面影響。

基於解決短期房屋需求，並紓緩長期等候公屋家庭的壓力，我們期待城規會給予考慮並批准是次規劃申請。

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## Table of Contents

<b>EXECUTIVE SUMMARY .....</b>	<b>2</b>
<b>內容擇要 .....</b>	<b>3</b>
<b>1. INTRODUCTION .....</b>	<b>7</b>
1.1 The Application .....	7
1.2 Development of 'Residential Institution' .....	8
1.3 The Planning Statement .....	9
<b>2. SITE CONTEXT .....</b>	<b>10</b>
2.1 The Application Site .....	10
2.2 Surrounding Context .....	11
2.3 Existing Condition .....	11
<b>3. LAND STATUS .....</b>	<b>12</b>
3.1 Land Ownership .....	12
<b>4. PLANNING CONTEXT .....</b>	<b>13</b>
4.1 Statutory Planning Context .....	13
4.2 Explanatory Notes of the OZP .....	15
4.3 Policy on Transitional Housing .....	15
<b>5. PREVIOUS APPLICATION .....</b>	<b>17</b>
<b>6. DEVELOPMENT PROPOSAL .....</b>	<b>18</b>
6.1 Development Parameters .....	18
6.2 Traffic .....	19
6.3 Sewerage and Drainage .....	19
6.4 Environmental .....	20
6.5 Landscape and Visual .....	20
6.6 Waste Management .....	20
<b>7. JUSTIFICATIONS .....</b>	<b>21</b>



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7.1	The Development is in line with Government’s Policy for Providing Short-term Housing .....	21
7.2	Aligning with the Planning Intention .....	21
7.3	Interface of Future Development .....	21
7.4	Inadequate Time for Construction .....	22
7.5	Compliance of Approval Conditions .....	22
8.	CONCLUSION.....	24

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## List of Diagrams

Diagram 1 Location of the Site (extracted from Geoinfo Map) .....	10
Diagram 2 Lot Index Plan .....	12
Diagram 3 Lot Extract of OZP .....	13

## List of Tables

Table 1 Previous Applications .....	18
Table 2 Current and Previous Development Parameter .....	18

## List of Plans

Plan 1 Location Plan  
Plan 2 Lot Index Plan  
Plan 3 Extract of Outline Zoning Plan

## List of Drawings

LP-01 Location Plan and Calculation  
LP-02 Master Layout Plan  
LP-03 Domestic Unit Floor Plan  
LP-04a Section Plan  
LP-04b Section Plan  
LP-05 Block Plan  
LP-06 Landscape Master Plan  
LP-07 Open Space Provision  
LP-08 Fence Wall Demarcation Plan  
LP-09 Comparison Diagrams with Previous Submission



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# 1.INTRODUCTION

## 1.1 The Application

- 1.1.1 As appointed by Evangelical Lutheran Church Social Service – Hong Kong (“the Applicant”), we prepare and submit on its behalf this planning application for a renewal of planning approval for the temporary transitional housing development and ancillary uses for a period of 3 years (“the Development”) at Ngau Tam Mei, New Territories (“the Site”) to the Town Planning Board (“the Board”) under Section 16 of the Town Planning Ordinance (“the Ordinance”). The Board approved the planning application no. A/YL-NTM/431 with conditions on 14 January 2022.
- 1.1.2 The Site falls within an area designated as “Government, Institution or Community” (“G/IC”), “Residential (Group A)1” (“R(A)1”) and area shown as “Road” on the draft San Tin Technopole Outline Zoning Plan No. S/STT/1 (“the OZP”). According to the Notes of the OZP, ‘Residential Institution’ is a column 2 that may be permitted with or without conditions on application to the Board in “G/IC”, while it is a column 1 use that is always permitted in “R(A)1”. In any area shown as ‘Road’, all uses or developments require permission from the Board.
- 1.1.3 A task force under the Transport and Housing Bureau (“THB”) was introduced in mid-2018 to facilitate a short-term housing initiative and increase the supply of transitional housing by actively supporting non-governmental organisations (“NGOs”) and social enterprises to explore the feasibility of building transitional housing on idle sites. The objective is to offer flexible relieves by optimising the use of community resources on top of the Government’s long-term housing programmes.

- 
- 1.1.4 Supporting measures have also been announced, in different phases, by the Government to increase the number of transitional housing projects to provide a total target of 20,000 units, including a non-recurrent total commitment of \$11.6 billion for a funding scheme to support NGOs and social enterprises in constructing/providing transitional housing. These units can be built on government land, public facilities, and land lent by private developers.
- 1.1.5 The provision of 1,080 transitional housing units for an estimated population of 2,824 in 4-storey compounds along with amenity facilities at the Application Site by the Applicant can help relieve alleviating the hardship imminently faced by families awaiting PRH and other inadequately housed households/individuals. As the development is temporary in nature, the adoption of Modular Integrated Construction (“MiC”) method can reduce the lead time for completion while allowing modular housing units to be reused in the future.

## **1.2 Development of ‘Residential Institution’**

- 1.2.1 According to the *Definition of Terms*, ‘Residential Institution’ means:

“any institution established within a building which is wholly owned and managed or operated by a body or organization and which provides residential accommodation for persons who meet the eligibility criteria as prescribed by the body or organization.

It normally refers to residential facilities in a wholly owned development managed or operated by an institution, society, college, religious/voluntary/charitable body or other organizations. It includes hostel, dormitory, and elderly housing provided not as a form of social welfare facility but excludes hotel and guesthouse regulated under the Hotel and Guesthouse Accommodation Ordinance (Cap. 349), and other residential facilities provided as a form of social welfare facility such as boys'/girls' homes, residential care home for the elderly, drug treatment centre, etc.”



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1.2.2 The Development falls within the category of 'Residential Institution' as a residential facilities in a wholly owned development managed or operated by religious/voluntary/charitable body. The development proposal and detailed design will be presented at Chapter 7.

## **1.3 The Planning Statement**

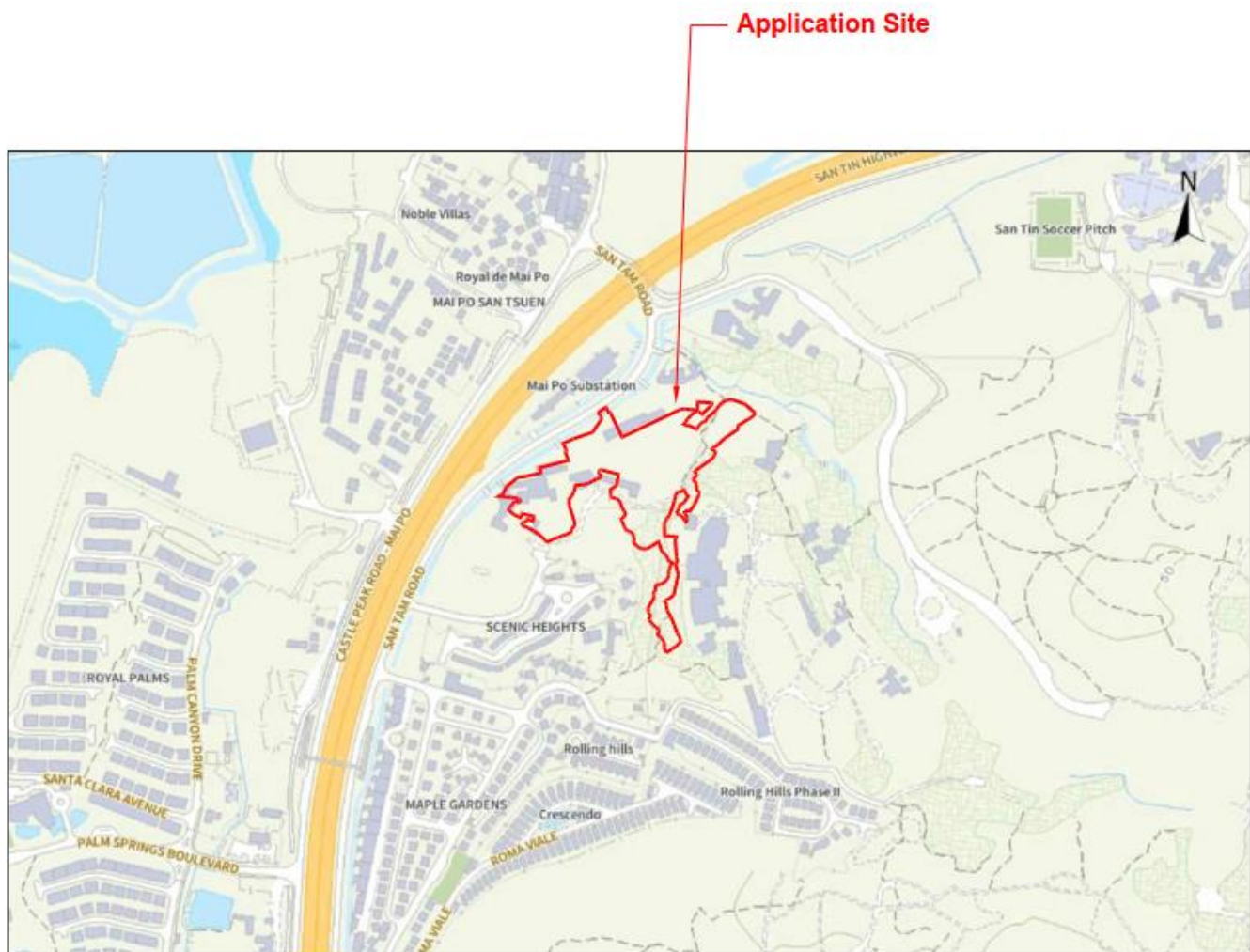
1.3.1 The planning statement consists of 8 Chapters in order to provide assistance for the consideration of the Board members.

## 2.SITE CONTEXT

### 2.1 The Application Site

2.1.1 The Site covers an area of about 21,593m<sup>2</sup>, locating at Ngau Tam Mei, Yuen Long, New Territories (**Diagram 1 and Plan 1**). The Site is currently under construction and expected to be completed within April 2024. The buildings comprise of 4-storey (summary at **Table 2**). The existing Ingress and egress of the Site are on Sam Tam Road.

*Diagram 1 Location of the Site (extracted from Geoinfo Map)*





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## 2.2 Surrounding Context

2.2.1 The Site is situated at the south of San Tin Highway at the “OU(B)” zone, which is an area mostly occupied by temporary structures and associated uses.

2.2.2 The Site is surrounded by mixed use of agricultural uses, low-rise residential buildings and temporary structures. To the immediate south across some uncultivated land are Residential developments of Scenic Heights, Rolling Hills and Maple Garden. To the immediate east of the Site are farmland and temporary structures. To the North, Northeast and West is Sam Tam Road and San Tin Highway, while Mai Po San Tsuen is located at the Northeast across the Highway. Diagram 1 shows the location of the Site and its surroundings.

## 2.3 Existing Condition

2.3.1 The construction is estimated to be completed within April 2024.

*Figure 1 Aerial Photo of existing condition*

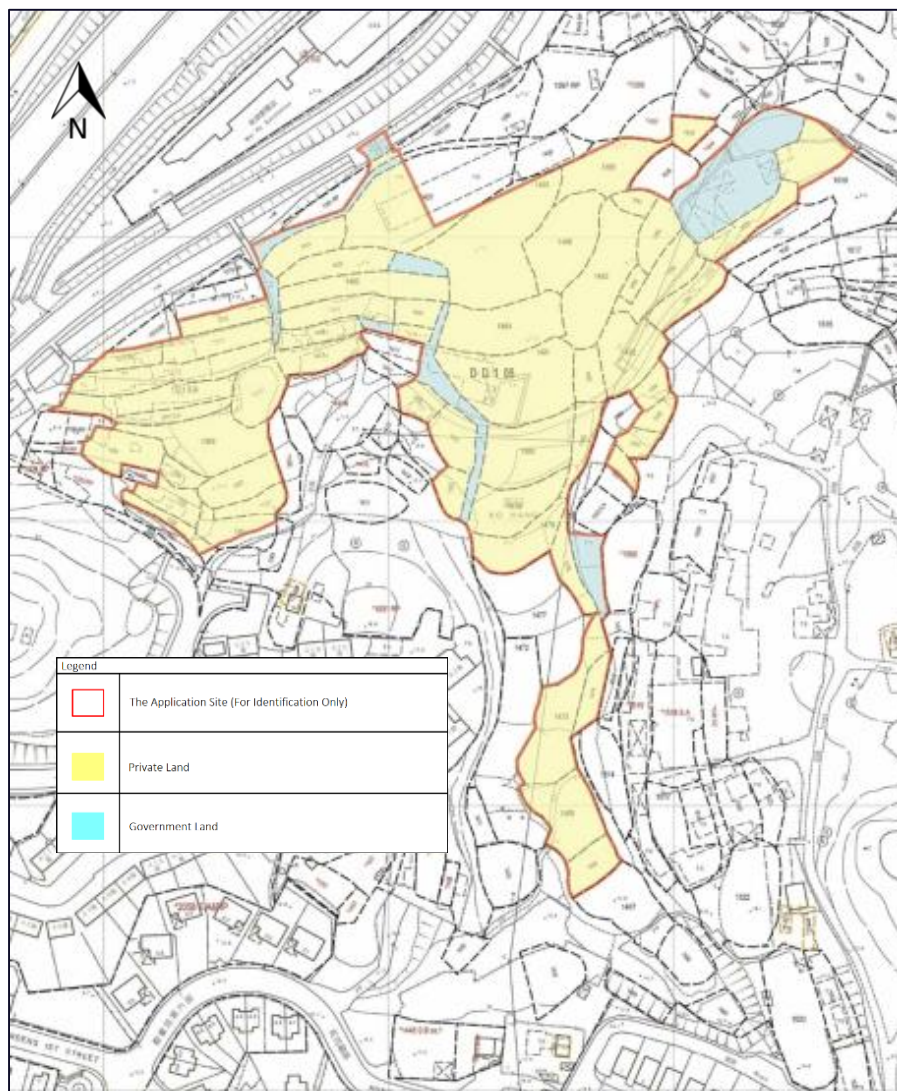


# 3.LAND STATUS

## 3.1 Land Ownership

3.1.1 The Site falls within the boundary of Lots Nos. 1354, 1356, 1357, 1358, 1359 (Part), 1366 (Part), 1367, 1369, 1370, 1371 S.A, 1371 S.B, 1372, 1373 RP, 1374, 1376, 1392 RP (Part), 1399 (Part), 1401 (Part), 1402, 1403, 1405, 1406, 1407, 1408, 1410, 1413, 1420, 1421, 1422, 1468, 1469, 1473, 1474, 1476, 1478, 1479, 1480, 1481, 1482, 1483, 1484, 1485 (Part), 1486, 1487, 1488, 1489, 1490, 1491, 1492, 1494, 1496, 1502 S.B (Part), 1504, 1505, 1619 (Part), 1622 and 1636 in D.D. 105 (19,471m<sup>2</sup>) and Adjoining Government Land (2,131m<sup>2</sup>) (**Diagram 2** and **Plan 2**).

*Diagram 2 Lot Index Plan*



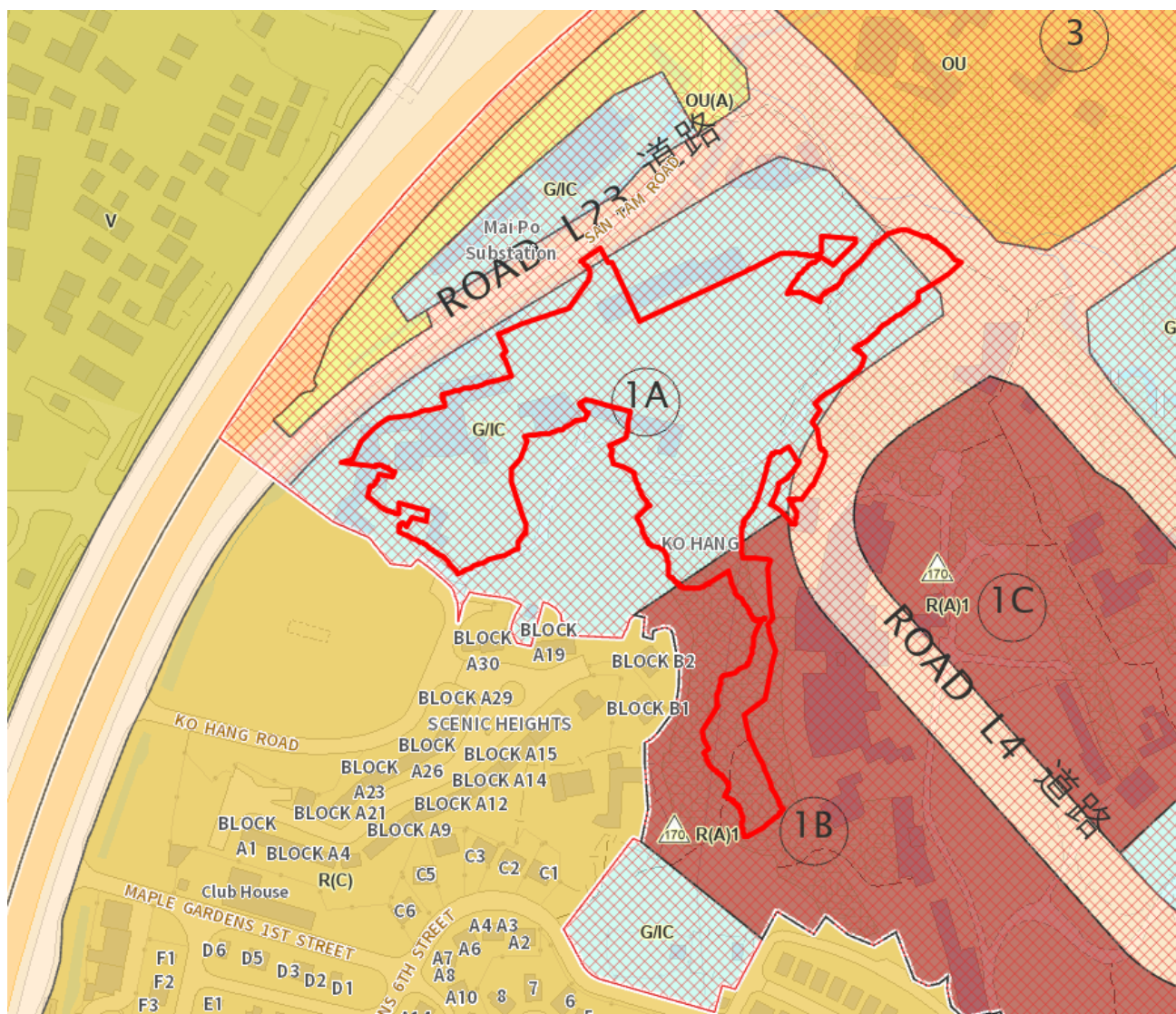


## 4. PLANNING CONTEXT

### 4.1 Statutory Planning Context

4.1.1 The Site falls within an area designated as “Government, Institution or Community” (“G/IC”), “Residential (Group A)1” (“R(A)1”) and area shown as “Road” on the the OZP (**Diagram 3** and **Plan 3**). According to the Notes of the OZP, ‘Residential Institution’ is a column 2 that may be permitted with or without conditions on application to the Board in “G/IC”, while it is a column 1 use that is always permitted in “R(A)1”. In any area shown as ‘Road’, all uses or developments require permission from the Board.

*Diagram 3 Extract of OZP*



- 
- 4.1.2 According to the Notes of the OZP, the remarks of “G/IC” have indicated that the zone is intended primarily for the provision of Government, institution or community facilities serving the needs of the local residents and/or a wider district, region or the territory. It is also intended to provide land for uses directly related to or in support of the work of the Government, organizations providing social services to meet community needs, and other institutional establishments. Residential Institution’ is a column 2 that may be permitted with or without conditions on application to the Board in “G/IC”.
- 4.1.3 The remarks of “R(A)1” have indicated that the zone is intended primarily for high-density residential developments. Commercial uses are always permitted on the lowest three floors of a building or in the purpose-designed non-residential portion of an existing building. However, the remarks also indicates that no new development, or addition, alteration and/or modification to or redevelopment of an existing building shall result in a total development and/or redevelopment in excess of a maximum plot ratio of 6.8, or the plot ratio of the existing building, whichever is the greater. This part of the Site is subject to a building height restriction of 170 mPD as stipulated on the OZP. Residential Institution’ is a column 1 use that is always permitted in “R(A)1”.
- 4.1.4 Meanwhile, the Notes of the OZP indicates that in any area shown as ‘Road’, all uses or developments require permission from the Board. The applicant is aware of the interface issue with future development in the area shown as ‘Road’. The transitional housing development will be operated till 2029 and no building structure will be remained the concerned area afterwards.
- 4.1.5 As Referring to the Town Planning Board Guidelines for Development/Redevelopment within “Government, Institution or Community” zone for uses other than Government, Institution or Community Uses (TPB PG-No. 16), the proposed development is temporary and hence would not adversely affect the provision of GIC facilities in the district on a long-term basis.



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## 4.2 Explanatory Notes of the OZP

4.2.1 The Site falls on the “G/IC” zone in Area 1A, future GIC facilities including indoor sports centre, a workshop and related facilities of the Fire Services Department, Mai Po ESS and government reserve purpose are being indicated in the Explanatory Notes. However, the transitional housing development will cease operation in 2029, and the future developments will not be affected.

## 4.3 Policy on Transitional Housing

4.3.1 The Government has been actively promoting and facilitating the provision of transitional housing to support short-term housing relief to relieve the hardship faced by non-Public Rental Housing (“PRH”) families and those living in undesirable living conditions. The 2018 PA announced to increase the transitional housing provision by establishing a task force under THB to deliver one-stop, coordinated support to facilitate the implementation of community initiatives for transitional housing projects and support NGOs and social enterprise to investigate the feasibility of developing transitional housing on idle private and government lands.

4.3.2 In January 2019, the Legislative Council’s (“LegCo”) Finance Committee (“FC”) approved the Government’s proposal to set up a \$1 billion fund to support NGOs in facilitating the gainful use of vacant government sites for non-profit-making purposes (including transitional housing project). To further increase the funding support, the Financial Secretary announced in the 2019/20 Budget that the provision set aside to support NGOs in constructing transitional housing would be increased to \$2 billion. On 16 October 2019, the CE further announced that to substantially increase transitional housing supply to provide a total of 10,000 units in the next three years (2020/21 - 2022/23) and to facilitate NGOs to take forward transitional housing projects, the provision set aside by the Government will increase from \$2 billion to \$5 billion. In view of the pressing demand from the society, the CE announced on 14 January 2020 that the Government would further increase transitional housing by raising the three-year target to 15,000 units.

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4.3.3 The Applicant will operate the proposed transitional housing project within the Application Site till 2029, subject to approval of the renewal applications by TPB for every 3 years. Details of the development parameters are provided in the section 6.



## 5. PREVIOUS APPLICATION

5.1.1 There are seven previous application at the Site. Mostly for temporary shop and services or eating place. Applications about logistics use and container vehicle park use had been rejected.

*Table 1 Previous Applications*

No.	Application No.	Proposed Uses	Decesion Date
1	A/YL-NTM/175	Temporary Logistics Use and Container Vehicle Park for a Period of 3 Years	Rejected/Not agreed on 17.12.2004
2	A/YL-NTM/227	Proposed Temporary 'Sales Centre for New Private Vehicles and Lorries (include Medium Goods Vehicles and Container Tractors)' for a Period of 3 Years	Rejected/Not agreed on 5.9.2008
3	A/YL-NTM/369	Proposed Temporary Shop and Services (Sales of Building Materials) for a Period of 3 Years	Approved with condition(s) on a temporary basis on 6.7.2018
4	A/YL-NTM/381	Proposed Temporary Shop and Services (Sales of Building Materials) for a Period of 3 Years	Approved with condition(s) on a temporary basis on 17.5.2019
5	A/YL-NTM/407	Proposed Temporary Eating Place (Restaurant)for a Period of 3 Years	Approved with condition(s) on a temporary basis on 21.8.2020
6	A/YL-NTM/419	Temporary Shop and Services (Sales of Gardening and Building Materials) for a Period of 3 Years	Approved with condition(s) on a temporary basis on 14.5.2020
7	A/YL-NTM/431	Proposed Temporary Transitional Housing Development and Ancillary Facilities for a Period of 3 Years	Approved with condition(s) on a temporary basis on 14.1.2022

# 6.DEVELOPMENT PROPOSAL

## 6.1 Development Parameters

6.1.1 The development parameters are largely the same compared with the last approved application and are summarized as follows:

*Table 2 Current and Previous Development Parameters*

	Previous Application (No. A/YL-NTM/431) (A)	Current Application (No. A/YL-NTM/471) (B)	Changes (B) – (A)
<b>Site Area</b>	About 21,731 m <sup>2</sup> (including about 2,131 m <sup>2</sup> of GL)	About 21,593 m <sup>2</sup> (including about 2,131 m <sup>2</sup> of GL)	-138 m <sup>2</sup> [-0.64%]
<b>Total Plot Ratio (PR)</b>	Not more than 1.53	Not more than 1.53	Same
<b>Total GFA</b>	33,042 m <sup>2</sup>	About 30,021 m <sup>2</sup>	-3,021 m <sup>2</sup> [-9.14%]
<b>Domestic GFA</b>	30,004 m <sup>2</sup>	29,322 m <sup>2</sup>	-682 m <sup>2</sup> [-2.27%]
<b>Non-domestic GFA</b>	3,038 m <sup>2</sup>	700 m <sup>2</sup>	-2,338.369 m <sup>2</sup> [-77.0%]
<b>Total Site Coverage</b>	Not more than 60%	Not more than 60%	Same
<b>No. of Blocks</b>	4 residential blocks 2 ancillary blocks	5 residential blocks 3 ancillary blocks	+2 [+33%]
<b>No. of Storeys/ Building Height (BH)</b>	Residential Blocks: 4 storeys (not more than 17m (25mPD))  Amenity Blocks: 3 storeys (not more than 16m (23mPD))  STP/E&M Building: 2 storeys (not more than 14m (21mPD))	4 storeys (not more than 17m (25mPD))  Amenity block with residential use: 4 storeys (not more than 16m (23mPD))  STP/E&M Building/Master Metre Room/Multi-function Room: 1 to 2 storeys (not more than 14m (21mPD))	Same  +1 [+33%]  Same
<b>No. of Units</b>	1,076	1,080	+4 [+0.37%]
<b>Estimated Population</b>	2,676	2,824	+148 [+5.53%]
<b>Communal Open Space</b>	Not less than 2,676 m <sup>2</sup>	5474 m <sup>2</sup>	+2798 [+104.6%]
<b>Green Coverage</b>	About 20%	About 25.3%	+5.3%
<b>Loading/Unloading Bay</b>	4 HGV	4 HGV	Same



- 
- 6.1.2 The Site has a slight reduction of 138 m<sup>2</sup> in site area, which is due to the further detail surveying and adjustments made after liaising with Lands Department. The applicant has decided to decrease the number of 4-person units, while increasing the number of 2-person units. Hence, this results to the increase in number of units and the decrease in domestic GFA, and Block 4 is now smaller after adjustments. For non-domestic GFA, the significant reduction was due to the interface with future government developments and an increase in open space. Meanwhile, the applicant is concerned about the living quality of the residents, and has decided to add a multifunction room in the south and a master meter room in the north.
- 6.1.3 The mixed use amenity block will include facilities management/project offices, a small market/store, laundry and facilities for social services (e.g. career development services for youth, after-school care/education programmes for facilities and vocational training) serving the future residents and neighbourhood.
- 6.1.4 For the 1,080 units with self-contained open kitchen and toilet facilities, there will be 700 2-person units, 348 4-person units and 38 units for disabled person. The unit size ranges from 16.63 m<sup>2</sup> to 33.35 m<sup>2</sup>.
- 6.1.4 The design layout plans of the Development are attached in the **Drawings**. The summary of the development parameters of the development are listed in **Table 2**.

## 6.2 Traffic

- 6.2.1 The development would be providing a total of 4 Heavy Goods Vehicle Parking/loading unloading spaces. TIA had been done in previous application and there is no significant changes in this renewal application.

## 6.3 Sewerage and Drainage

- 6.3.1 SIA and DIA had been done in previous application and there is no significant changes in this renewal application.

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## **6.4 Environmental**

- 6.4.1 EA had been done in previous application and there is no significant changes in this renewal application. The increase in blocks are to provide residents an extra multifunction room and there's a need in having a master meter room. Both blocks would just be 1 storey.

## **6.5 Landscape and Visual**

- 6.5.1 A 25.3% of greenery coverage is suggested in the development to comply with the Sustainable Building Design Guidelines. The greenery area will be easily accessible by the residents. The greenery coverage have lowered the visual impacts in terms of the pedestrians' point of view. The development doesn't require a relaxation of Building Height Restriction of the OZP, in which there will be no visual impact to the surroundings.

## **6.6 Waste Management**

- 6.7.1 All the waste generated from the development will be handled and disposed according to the Waste Disposal Ordinance and all related policies.



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## **7.JUSTIFICATIONS**

### **7.1 The Development is in line with Government's Policy for Providing Short-term Housing**

- 7.1.1 The application is in line with the policy intention to ease the housing pressure through providing short-term housing. In response to the Chief Executive's 2018 Policy Address in increasing the supply of transitional housing, planning approval was granted to the Applicant to utilise the Site for a temporary transitional housing purpose. The Proposed Development is being coordinated by the Task Force on Transitional Housing under the Transport and Housing Bureau and operated by the Applicant. This transitional housing development is providing a total of about 1,080 transitional housing units and would likely be completed within April 2024 and the applicant intends to operate till 2029. Therefore, the applicant now seeks to renew the planning approval.

### **7.2 Aligning with the Planning Intention**

- 7.2.1 Part of the Site falls within an area designated as "R(A)1" zone, which the residential use is in line with the zone's planning intention. According to the Notes of the OZP, the zone is intended primarily for high-density residential developments. Meanwhile, the nature of temporary use will not jeopardise the long term development of the "G/IC" and "Road" zone.

### **7.3 Interface of Future Development**

- 7.3.1 While there is interface issue with the development of the San Tin Technopole, the applicant intends to operate the transitional housing development until 2029 and will closely liaise with relevant parties, including the Housing Bureau and CEDD for any project interface issue(s). The Transitional Housing Project is temporary in nature. When the long-term use of the land is activated, the concern portion of the TH project would be modified or demolished to suit the long-term development with a reasonable notification of time.

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## **7.4 Inadequate Time for Construction**

- 7.4.1 The Site is involved in land matters and there are minor changes in Building design. Since the latest General Building Plan (GBP) for minor amendments was approved in 24.1.2024 and a final submission was done on 15.3.2024, the construction work is delayed; nevertheless, MIC method has been adopted to speed up the proposed transitional housing, and the construction is expected to be completed within April 2024. Upon completion of the Development, there will be only a few months left before expiry of planning permission.
- 7.4.2 The applicant, which is a non-profit making organisation, will be responsible for implementation and operation of the proposed transitional housing for five years after completion (i.e. tentatively until 2029). Hence, early approval of application renewal is required to facilitate the implementation of the transitional housing and plan ahead of tenancy agreement.

## **7.5 Compliance of Approval Conditions**

- 7.5.1 Genuine efforts have been taken to discharge approval conditions of the previous application (TPB/A/YL-NTM/431). 6 out of 11 approval conditions (i.e. approval conditions (b), (c), (d), (f), (h) and (j)) relating to the submission of documentary justifications on land contamination issue and implementation of appropriate land decontamination works; and the submissions of noise impact assessment (NIA), fire service installations (FSI) proposal, drainage proposal and run-in/out proposal have already been complied with. Approval conditions (a), (e), (g), (i) and (k) are yet to be discharged.
- 7.5.2 For approval condition (a), the applicant has been actively liaising with the Antiquities and Monuments Office (AMO). Certain excavation works for the Archaeological Watching Brief (AWB) were being conducted in 2023 which also caused the delay of construction works. The AWB draft was submitted to AMO in December 2023 and awaiting for further comments.



- 
- 7.5.3 Meanwhile, condition (e), (g), (i), (k), which includes the implementation of NIA mitigation measures, run-in/out proposal, FSI proposal, drainage proposal, couldn't be discharged upon completion of the proposed development. The applicant is committed to implement these proposals once the construction works are completed.
- 7.5.4 The building layouts of the transitional housing units used for noise impact assessment in the latest approved NIA submission will be the same as the building plan under the current renewal planning application.

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## 8.CONCLUSION

- 9.1.1 The continuance of the Development is in line with the Government policy on providing transitional housing units. This Development consisted of 1,080 units that potentially affecting 2,824 future residents.
- 9.1.2 The Development mainly falls within “G/IC” and “R(A)1” zone. The planning intention of “G/IC” zone is primarily for the provision of Government, institution or community facilities serving the needs of the local residents and/or a wider district, region or the territory. It is also intended to provide land for uses directly related to or in support of the work of the Government, organizations providing social services to meet community needs, and other institutional establishments. The Development is a product of organizations providing transitional housing to meet society needs, and the intention is to support the work of the Government. Meanwhile, the planning intention of the “R(A)1” is primarily for residential development, which is considered in line.
- 9.1.3 Regarding to the above background and justifications, it is recommended that the Board may favourably consider the planning application of the renewal of planning approval for the temporary transitional housing development & ancillary uses for a period of 3 years.

**March 2024**

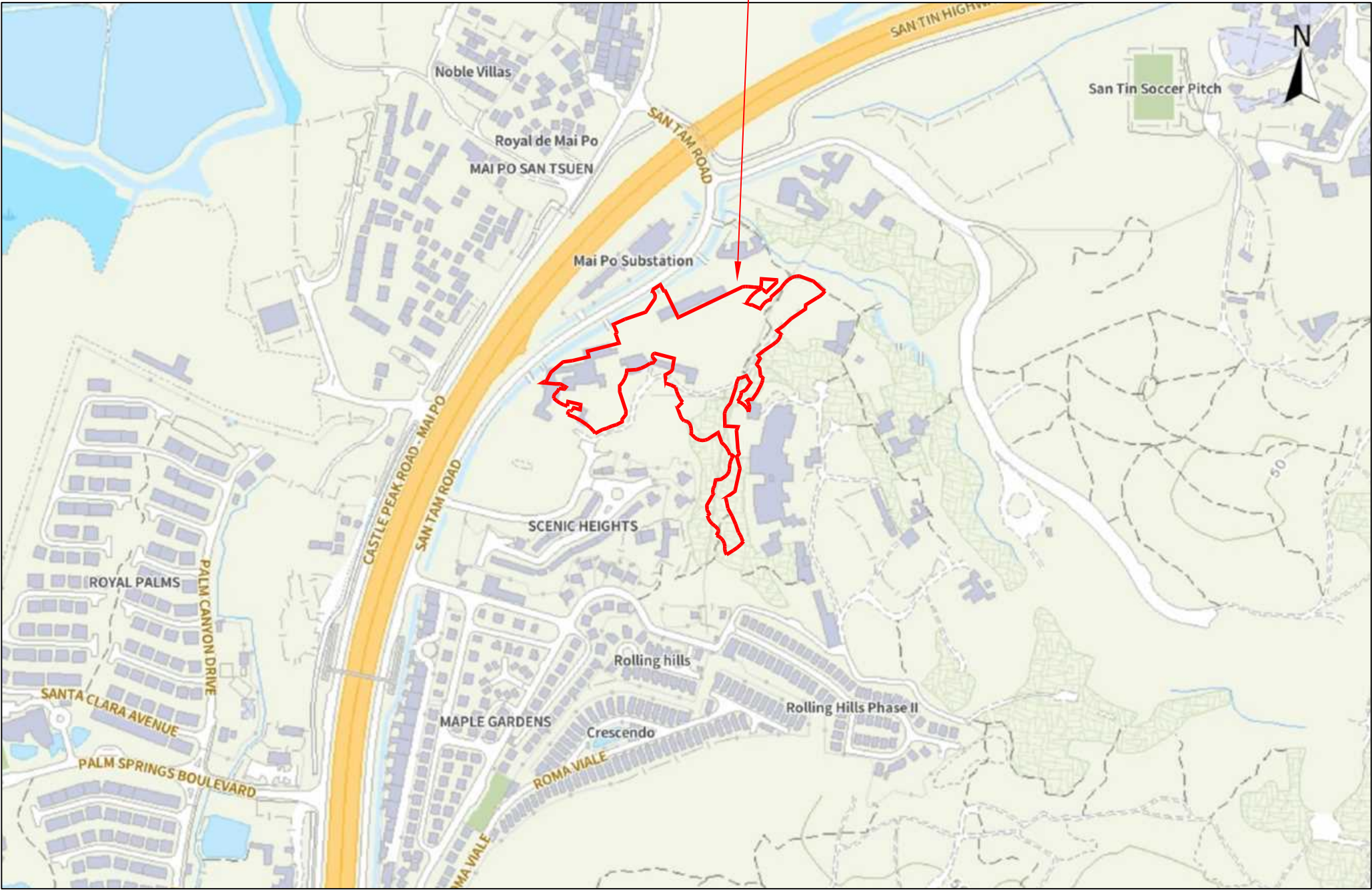
**STEPS CONSULTANTS LIMITED**

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# **Plans and Drawings**



Application Site



Legend	
<div></div>	The Application Site (For Identification Only)

STEPS Consultants Ltd.

Project :  
Transitional Housing in Ngau Tam Mei,  
Yuen Long, New Territories

Date :  
Feb 2024

Drawing No. :  
Plan 1

Scale :  
Not to Scale

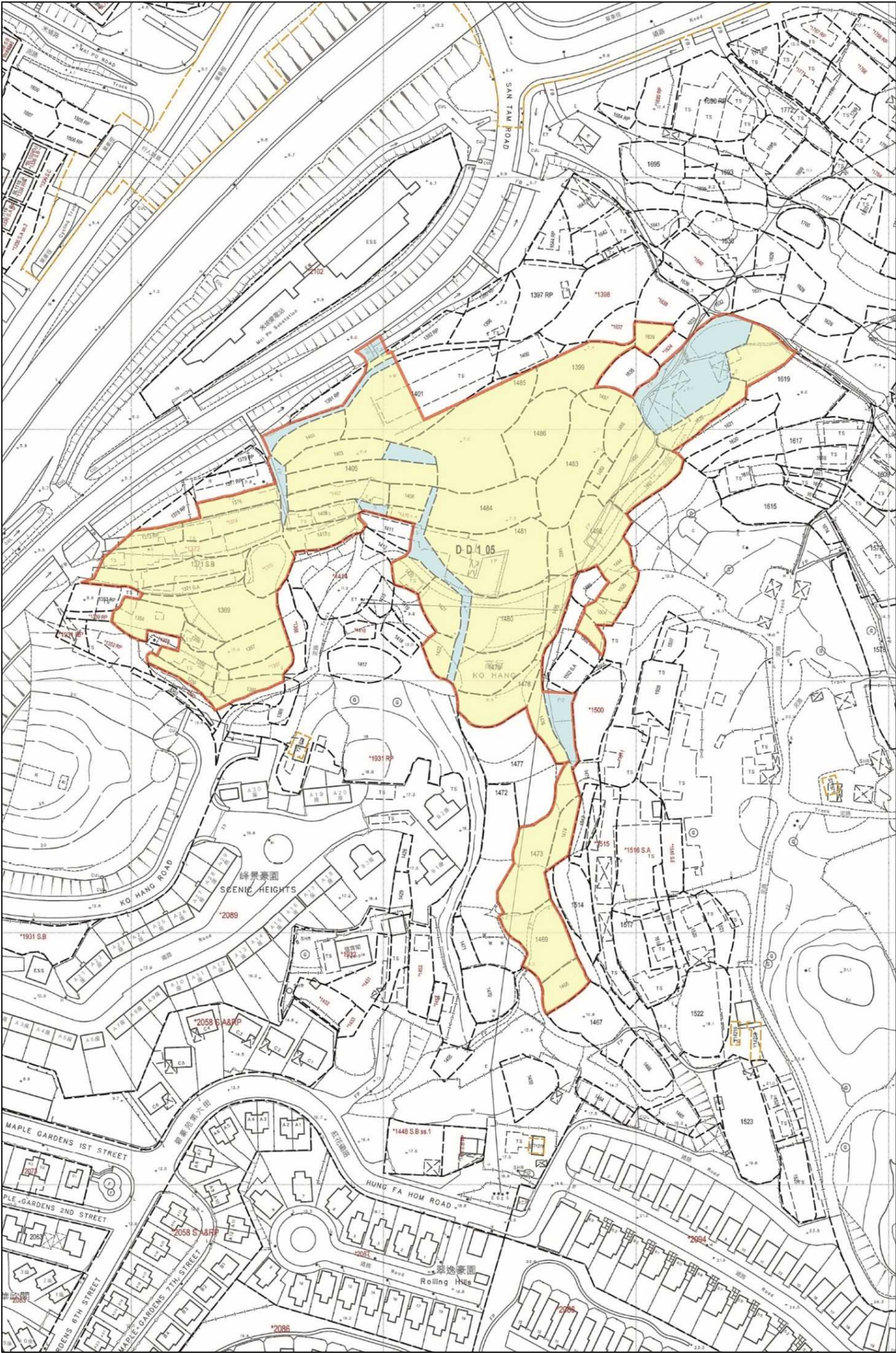
Drawing Title :  
Location Plan

Remarks :  
Subject Lot - Lot No.  
1354, 1356, 1357, 1358, 1359 (Part), 1366 (Part), 1367, 1369, 1370, 1371  
S.A, 1371 S.B, 1372, 1373 RP, 1374, 1376, 1392 RP (Part), 1399 (Part), 1401  
(Part), 1402, 1403, 1405, 1406, 1407, 1408, 1410, 1413, 1420, 1421, 1422,  
1468, 1469, 1473, 1474, 1476, 1478, 1479, 1480, 1481, 1482, 1483, 1484,  
1485 (Part), 1486, 1487, 1488, 1489, 1490, 1491, 1492, 1494, 1496, 1502 S.B  
(Part), 1504, 1505, 1619 (Part), 1622 and 1636 in D.D. 105 and adjoining  
Government Land in Ngau Tam Mei, Yuen Long, New Territories

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Legend	
<div></div>	The Application Site (For Identification Only)
<div></div>	Private Land
<div></div>	Government Land

STEPS Consultants Ltd.

Project :  
Transitional Housing in Ngau Tam Mei,  
Yuen Long, New Territories

Date :  
Feb 2024

Drawing No. :  
Plan 2

Scale :  
Not to Scale

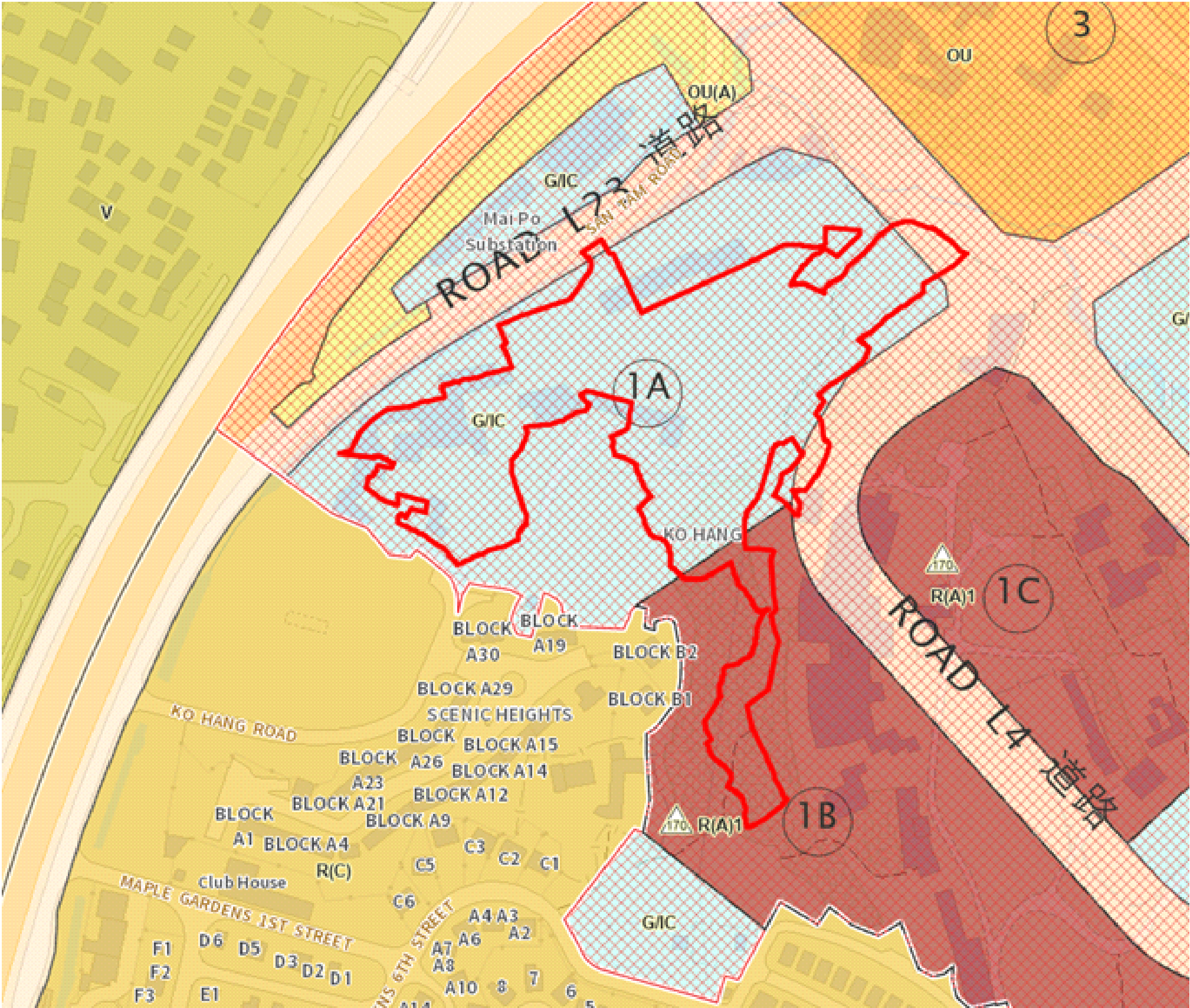
Drawing Title :  
Lot Index Plan

Remarks :  
Subject Lot - Lot No.  
1354, 1356, 1357, 1358, 1359 (Part), 1366 (Part), 1367, 1369, 1370, 1371  
S.A, 1371 S.B, 1372, 1373 RP, 1374, 1376, 1392 RP (Part), 1399 (Part), 1401  
(Part), 1402, 1403, 1405, 1406, 1407, 1408, 1410, 1413, 1420, 1421, 1422,  
1468, 1469, 1473, 1474, 1476, 1478, 1479, 1480, 1481, 1482, 1483, 1484,  
1485 (Part), 1486, 1487, 1488, 1489, 1490, 1491, 1492, 1494, 1496, 1502 S.B  
(Part), 1504, 1505, 1619 (Part), 1622 and 1636 in D.D. 105 and adjoining  
Government Land in Ngau Tam Mei, Yuen Long, New Territories

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Legend	
<div></div>	The Application Site (For Identification Only)

STEPS Consultants Ltd.

Project :  
Transitional Housing in Ngau Tam Mei,  
Yuen Long, New Territories

Date :  
Feb 2024

Drawing No. :  
Plan 3

Scale :  
Not to Scale

Drawing Title :  
Extract of the draft  
San Tin Technopole  
Outline Zoning Plan  
No. S/STT/1

Remarks :  
Subject Lot - Lot No.  
1354, 1356, 1357, 1358, 1359 (Part), 1366 (Part), 1367, 1369, 1370, 1371  
S.A, 1371 S.B, 1372, 1373 RP, 1374, 1376, 1392 RP (Part), 1399 (Part), 1401  
(Part), 1402, 1403, 1405, 1406, 1407, 1408, 1410, 1413, 1420, 1421, 1422,  
1468, 1469, 1473, 1474, 1476, 1478, 1479, 1480, 1481, 1482, 1483, 1484,  
1485 (Part), 1486, 1487, 1488, 1489, 1490, 1491, 1492, 1494, 1496, 1502 S.B  
(Part), 1504, 1505, 1619 (Part), 1622 and 1636 in D.D. 105 and adjoining  
Government Land in Ngau Tam Mei, Yuen Long, New Territories

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GENERAL NOTES

1. ALL SITE FORMATION, FOUNDATION, STRUCTURAL DETAILS (INCLUDING DESIGNED IMPOSED LOADS) AND CALCULATIONS SHALL BE SUBMITTED SEPARATELY.
2. DRAINAGE PLANS AND DETAILS SHALL BE SUBMITTED SEPARATELY. ALL CLADDING DETAILS AND CALCULATIONS SHALL BE SUBMITTED SEPARATELY.
4. ALL PARAPETS AND RAILINGS SHALL BE 1100MM HIGH MIN. ABOVE FINISHED FLOOR LEVEL.
5. FOR HABITABLE ROOMS, CLEAR HEIGHT BETWEEN FINISHED FLOOR LEVEL TO THE UNDERSIDE OF BEAMS SHALL BE 2300MM MIN.
6. FOR HABITABLE ROOMS, CLEAR HEIGHT BETWEEN FINISHED FLOOR LEVEL TO THE CEILING SHALL BE 2500MM MIN.
7. CLEAR HEIGHT BETWEEN FINISHED FLOOR LEVEL TO THE UNDERSIDE OF BEAM IN STAIRCASES AND EXIT ROUTES SHALL BE 2000MM MIN.
8. THE INTERNAL SURFACE OF EVERY KITCHEN TO 1200MM HIGH MIN. SHALL BE FACED WITH TILES OR RENDERED IN CEMENT MORTAR OR OTHER NON-ABSORBENT MATERIAL. ALL TOILETS, REFUSE ROOMS TO HAVE TILED FLOORS AND FULL HEIGHT GLAZED TILED WALL.
9. ALL STAIRCASES OF 1050MM WIDE OR MORE SHALL BE PROVIDED WITH HANDRAILS ON BOTH SIDES.
10. ALL RISERS OF STAIRCASES SHALL NOT BE MORE THAN 175MM AND TREADS NOT LESS THAN 225MM.
11. ALL LEVELS ARE STRUCTURAL UNLESS OTHERWISE NOTED AND ARE SHOWN IN METERS ABOVE P.D.
12. BUILDING (REFUSE STORAGE AND MATERIAL RECOVERY CHAMBERS AND REFUSE CHUTES) REGULATIONS TO BE COMPLIED WITH.
13. ALL COMPARTMENT R.C. WALLS FOR EXIT ROUTES AND STAIRS AT GROUND STOREY OR ABOVE TO BE F.R.R. OF NOT LESS THAN –/60/60.
14. MECHANICAL VENTILATION SHALL BE CAPABLE OF SUPPLYING FRESH AIR TO ALL PARTS OF AREAS REQUIRING IT AT A RATE OF NOT LESS THAN 5 CHANGES OF AIR PER HOUR.
15. ALL PROVISIONS FOR DISABLED PERSONS ARE TO COMPLY WITH BUILDING ORDINANCE (CAP. 123), BUILDING (PLANNING) REGULATIONS 72 AND DESIGN MANUAL BARRIER FREE ACCESS 2008.
16. ALL PARTS OF EXIT ROUTES SHOULD BE PROVIDED WITH ARTIFICIAL LIGHTING PROVIDING A HORIZONTAL ILLUMINANCE AT FLOOR LEVEL OF NOT LESS THAN 30 LUX AND BACKED UP BY AN EMERGENCY LIGHTING SYSTEM PROVIDING A HORIZONTAL ILLUMINANCE AT FLOOR LEVEL OF NOT LESS THAN 2 LUX THE DESIGN OF THE EMERGENCY LIGHTING SYSTEM SHOULD COMPLY WITH THE CODE OF PRACTICE FOR MIN. FIRE SERVICES INSTALLATIONS AND EQUIPMENT.
17. DOORS, EITHER WITH OR WITHOUT F.R.R., AT PROTECTED LOBBIES TO BE PROVIDED WITH SMOKE SEAL.
18. ALL PLANTS AND EQUIPMENTS INDICATED TO BE INSTALLED AND PROVED TO FUNCTION BEFORE OP APPLICATION.
19. IN ACCORDANCE WITH PNAP APP-98, FOR DOMESTIC BATHROOM AND LAVATORIES WHICH MECHANICAL LIGHTING AND VENTILATION IS PROVIDED, PERMANENT VENTILATION PROVIDED IN THE FORM OF A APERTURE IN DOOR, WHICH IS SUITABLY LOCATED AND PERMANENTLY OPEN OR PROTECTED WITH LOUVERS HAVING MINIMUM AREA OF 1/20 OF THE FLOOR AREA OF THE ROOM.
20. (–/60/60) FRR ENCLOSURE TO BE PROVIDED FOR ALL PROTECTED LOBBY FOR PIPE WORKS EXCEPT FIRE SERVICES, THE HEIGHT SHOULD NOT LESS THAN 2000MM ABOVE FLOOR LEVEL.
21. THE MATERIAL INCLUDING THE EMBEDDED FILLERS OR INSULATIONS IN THE PROPOSED EXTERNAL METAL CLADDING SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS IN COMPLIANCE WITH BUILDING (CONSTRUCTION) REGULATION 39 AND RELEVANT CLAUSES OF CODE OF PRACTICE FOR FIRE SAFETY IN BUILDINGS 2011 (OCTOBER 2015 VERSION) PART E PARTICULARLY E10.1 – NON-COMBUSTIBILITY.
22. BEFORE APPLYING FOR THE CONSENT TO COMMENCE THE SUPERSTRUCTURE WORKS, THE PROVISIONS FOR M&R ACCESS REQUIRED UNDER THE CODE OF PRACTICE ON DESIGN FOR SAFETY – EXTERNAL MAINTENANCE WILL BE SUBMITTED TO AND APPROVED BY BD.
23. ALL SERVICE DUCTS TO BE SEALED AT EACH FLOOR LEVEL.
24. METAL RAILING ON ROOF TO COMPLY WITH CODE OF PRACTICE ON ACCESS OF EXTERNAL MAINTENANCE 2021.

MODULAR INTEGRATED CONSTRUCTION (MIC) NOTES:

25.
- a.) MODULAR INTEGRATED CONSTRUCTION (MIC) IS ADOPTED IN THIS DEVELOPMENT PROJECT. THE TYPES OF MIC MODULES TO BE FABRICATED OFF-SITE AND THE CORRESPONDING MIC FLOOR AREA ARE SHOWN ON DRAWING NO. GP04.
- b.) CORRESPONDING SUPERSTRUCTURE AND DRAINAGE PLANS SHALL BE SUBMITTED SEPARATELY AND THE APPROVAL OF SUCH BY THE BUILDING AUTHORITY (BA) SHALL BE OBTAINED BEFORE COMMENCEMENT OF THE MODULAR UNIT PRODUCTION WORK IN THE PREFABRICATION FACTORY.
- c.) ESSENTIAL INFORMATION OF THE MIC SYSTEM AS LISTED IN PNAP ADV-36 SHALL BE SUBMITTED SEPARATELY AND THE ACCEPTANCE OF SUCH BY THE BA SHALL BE OBTAINED BEFORE THE COMMENCEMENT OF THE MODULAR UNIT PRODUCTION WORK IN THE PREFABRICATION FACTORY. (FOR MIC WITHOUT IPA)
- d.) A QUALITY ASSURANCE SCHEME AND A MIC SUPERVISION PLAN SHALL BE PREPARED IN ACCORDANCE WITH PNAP ADV-36 AND SUBMITTED AT LEAST 14 DAYS BEFORE THE COMMENCEMENT OF THE MODULAR UNIT PRODUCTION WORK IN THE PREFABRICATION FACTORY.
- e.) ANY FUTURE ALTERATIONS AND ADDITIONS (A&A) WORKS AFTER ISSUANCE OF OCCUPATION PERMIT SHALL REQUIRE PRIOR APPROVAL AND CONSENT FROM THE BA UNLESS THE A&A WORKS FALL WITHIN THE MINOR WORKS ITEMS WHICH MAY BE CARRIED OUT THROUGH THE SIMPLIFIED REQUIREMENTS UNDER THE MINOR WORKS CONTROL SYSTEM.
- f.) ALL BUILDING SERVICES/CONDUITS ARE EXPOSED AND SHALL NOT BE EMBEDDED WITHIN THE FIRE PROTECTION BOARD WALL/CEILING SYSTEM.

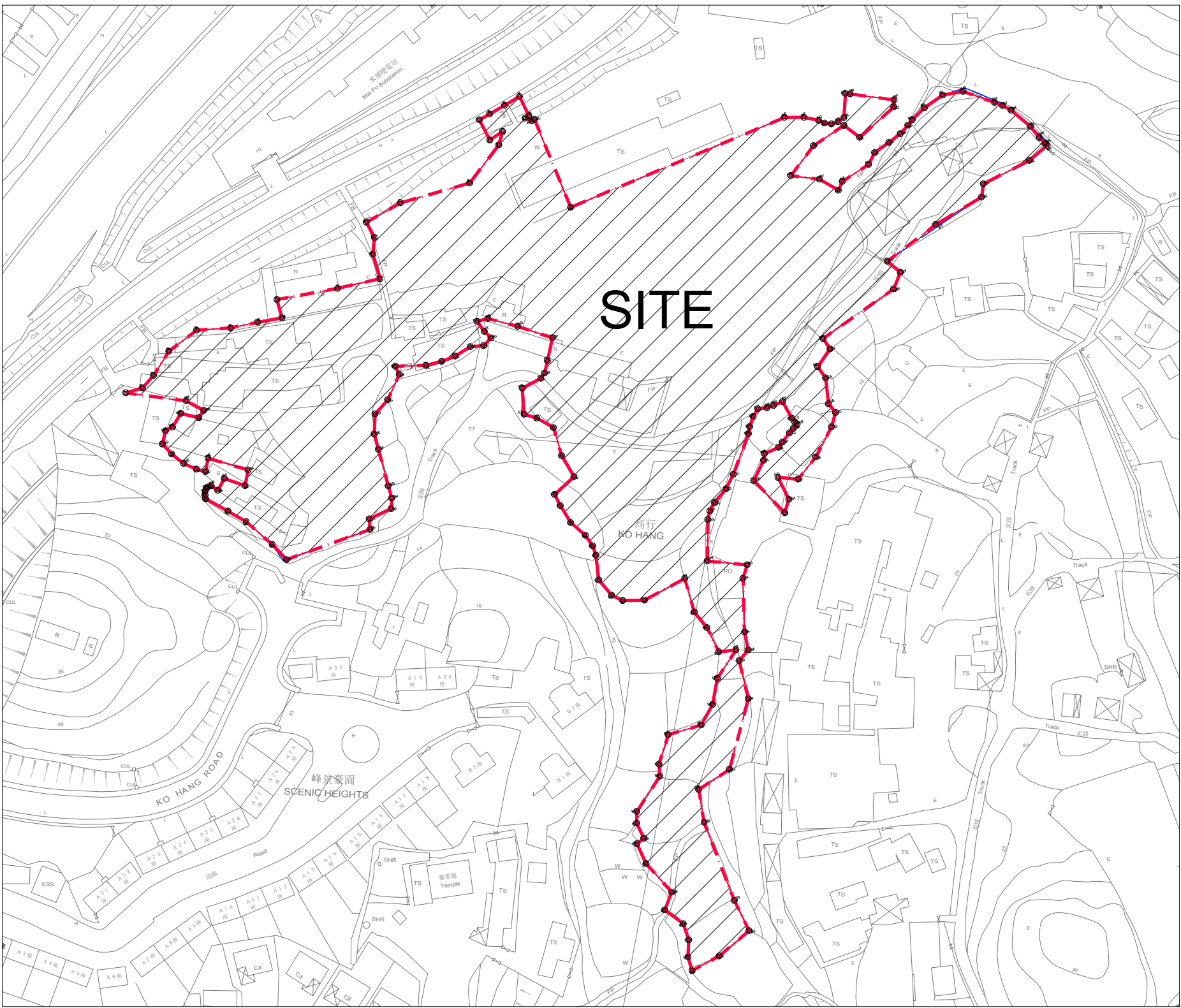
DEVELOPMENT SCHEDULE

UNDER BUILDING (PLANNING) REGULATION		
LOT NO.	VARIOUS LOTS IN D.D. 105 AND ADJOINING GOVERNMENT LAND	
SITE AREA (FROM LAND SURVEY PLAN)	21,593 SQ.M	
CLASS OF SITE	A	
HEIGHT OF BUILDING (FROM MEAN STREET LEVEL = 6.4mPD)	23.20mPD – 6.4mPD = 16.8m	
REMAINING DOMESTIC PLOT RATIO FOR COMPOSITE BUILDING	(5.8 – 0.03)/5.8 x 3.6 = 3.58	
PERMITTED GROSS FLOOR AREA (DOMESTIC)	21,593 SQ.M x 3.58 =77302.94 SQ.M	
PROPOSED GROSS FLOOR AREA (DOMESTIC)	29321.447 SQ.M	
PROPOSED DOMESTIC PLOT RATIO	29321.447 SQ.M / 21593 = 1.36 < 3.58	
PERMITTED PLOT RATIO (NON-DOMESTIC)	5.8	
PERMITTED GFA (NON-DOMESTIC)	21,593 SQ.M x 5.8 =125239.40 SQ.M	
PROPOSED GFA (NON-DOMESTIC)	699.631 SQ.M	
PROPOSED NON-DOMESTIC PLOT RATIO	699.631 SQ.M / 21593 = 0.03 < 5.8	
PERMITTED DOMESTIC SITE COVERAGE	60%	
PROPOSED SITE COVERAGE AREA (DOMESTIC)	7852.955 SQ.M	
PERCENTAGE OF PROPOSED SITE COVERAGE (DOMESTIC)	7852.955 SQ.M / 21593 x 100% = 36.37% < 60%	
PERMITTED NON-DOMESTIC SITE COVERAGE (OVER 15m BUT NOT EXCEEDING 18m)	97.5%	
PROPOSED SITE COVERAGE AREA (NON-DOMESTIC)	1091.314 SQ.M	
PERCENTAGE OF PROPOSED SITE COVERAGE (NON-DOMESTIC)	1091.314 SQ.M / 21593 x 100% = 5.054% < 97.5%	

Drawing List

Drawing No.	Drawing Title	Scale
GP01-1	General Notes, Location and Block Plan	N.T.S.
GP01-2	General Notes, Location and Block Plan (2)	N.T.S.
GP02	Master Layout Plan	1:500
GP03-1	E.V.A. Calculation Diagram	1:500
GP03-2	Open Area Calculation Diagram	N.T.S.
GP03-3	Greenery Area Calculation Diagram	N.T.S.
GP04	Module Demarcation Diagram	N.T.S.
GP05-1	Ground Floor Plan Block 1 and Amenity Block (Block 5)	1:200
GP05-2	Ground Floor Plan Block 2 and STP & E/M and Multi function room 1	1:200
GP05-3	Ground Floor Plan Block 3 and Block 4	1:200
GP05-4	First Floor Plan Block 1 and Amenity Block (Block 5)	1:200
GP05-5	First Floor Plan Block 2 and STP & E/M	1:200
GP05-6	First Floor Plan Block 3 & Block 4	1:200
GP05-7	2/F-3/F Typical Floor Plan Block 1 and Amenity Block (Block 5))	1:200
GP05-8	2/F – 3/F TYPICAL FLOOR PLAN BLOCK 2 AND 1/F STP & E/M	1:200
GP05-9	2/F-3/F Typical Floor Plan Block 3 and Block 4	1:200
GP05-10	Roof floor plan Block 1 and Amenity Block (Block 5)	1:200
GP05-11	Roof floor plan Block 2 and STP & E/M	1:200
GP05-12	Roof Plan Block 3 & Block 4	1:200
GP06-1	Overall Site Elevation (1)	1:200
GP06-2	Overall Site Elevation (2)	1:200
GP06-3	Elevations of Block 1	1:200
GP06-3A	Elevations of Block 2	1:200
GP06-4	Elevations of Block 3	1:200
GP06-4A	Elevations of Block 4	1:200
GP06-5	Elevations of Amenity Block (Block 5)	1:200
GP06-5A	Elevations of STP & E/M BLOCK	1:200
GP07-1	Overall Site Section (1)	1:200
GP07-2	Overall Site Section (2)	1:200
GP08	Typical MIC Type (DOMESTIC)	1:50
GP08-1	Module type A & AR (Mirrored)	1:50
GP08-2	Module type B & BR (Mirrored)	1:50
GP08-3	Module type C1 & C2 and type C1R & C2R (Mirrored)	1:50
GP08-4	Module type D1, D2, D3, D4 & D5 and type D1R, D2R & D3R	1:50
GP08-5	Module type E1 & E2 and type E1R & E2R (Mirrored)	1:50
GP08-5a	Module type E3 & E4	1:50
GP08-6	Module type F1 & F2	1:50
GP08-7	Module type F5, F6 & F7	1:50
GP08-8	Module type G1, G2 & G3 and G1R, G2R, G3R (Mirrored) and Module type G4, G5 & G6 and Type G4R, G5R & G6R (Mirrored)	1:50
GP08-9	Module type G7, G8 & G9 and type G10, G11 & G12 and type g10, G13 & G10R	1:50
GP08-10	Module type H1, H2, H3, H4,	1:50
GP08-10a	Module type H5, H6, H7, H8, H9	1:50
GP08-11	Module type J	1:50
GP08-11a	Module type J1 & J2	1:50
GP08-12	Module type K AND KR	1:50
GP08-12a	Module type K1 AND K2	1:50
GP08-13	Module type L1, L2 & L1R	1:50
GP08-13a	Module type L3, L4 & L5	1:50
GP08-14	Module type M1 & M2	1:50
GP08-15	Module type S1, S1A & S1B	1:50
GP08-15a	Module type S2, S2A & S2B	1:50
GP08-15b	Module type S3, S3A & S3B	1:50
GP09	Domestic Unit Floor Plans and U.F.A Calculations	N.T.S.
GP10	Non-Domestic Unit Floor Plans and U.F.A Calculations	N.T.S.
GP11-1	Calculations (1)	N.T.S.
GP11-2	Calculations (2)	N.T.S.
GP11-3	Calculations (3)	N.T.S.
GP12	Diagram For Prescribed Windows	N.T.S.
GP13	M & R Plan	N.T.S.

DOOR MARK	FRR	VISION PANEL	CLOSER	SMOKE SEAL	ELECTRICAL LOCKING DEVICE TO BE RELEASED AUTOMATICALLY TO COMPLY WITH FS CODE B13.2
TIMBER DOOR					
D1	(–/30/30)	YES	YES	YES	
D2	(–/30/30)		YES	YES	
D3	(–/30/30)	YES	YES		
D4	(–/30/30)		YES		
D5	(–/60/60)		YES	YES	
D6	(–/60/60)	YES	YES	YES	
D7	(–/60/60)	YES	YES		
D8	(–/60/60)		YES		
AP	(–/60/60)				
METAL DOOR					
M2	(–/60/60)		YES	YES	
M1	NIL				
M3	(–/120/120)				
GLASS DOOR					
G1	NIL				



LOCATION PLAN

1 : 1500

GP14-1	Details 01	N.T.S.
GP14-2	Details 02	1:10
GP14-3	Details 03	1:10
GP14-4	Details 04	1:10
GP14-5	Typical details 1	1:10

COMPLIANCE WITH PLANNING APPROVAL  
(APPROVAL OF SECTION 16 BY TPB ON 28/1/2022)

	PLANNING APPROVAL	PROPOSED
SITE COVERAGE	NOT MORE THAN 60%	36.166% (DOMESTIC) 4.414% (NON-DOMESTIC)
NUMBER OF BLOCKS	6 (4 RESIDENTIAL, 2 ANCILLARY)	6 (4 RESIDENTIAL, 2 ANCILLARY)
PLOT RATIO	1.53	1.39
DOMESTIC GROSS FLOOR AREA	30,004 sqm	29321.447 sqm
NON-DOMESTIC GROSS FLOOR AREA	3.038 sqm	699.631 sqm
TOTAL GROSS FLOOR AREA	33,042 sqm	30021.078 sqm
BUILDING HEIGHT	RESIDENTIAL BLOCKS (BLOCK 1-4)	4 STOREYS 17m / +25mPD
	ANCILLARY BLOCK (BLOCK 5)	4 STOREYS 11.265m / +19.39mPD
	STP/E&M BUILDING	2 STOREYS 14m / +21mPD
		2 STOREYS 11.4m / +18.1mPD
NOS. OF UNITS	1076	1080
OPEN SPACE	NOT LESS THAN 2676 sqm	5473.616 sqm
LOADING/UNLOADING BAY	4 HGV	4 HGV
BICYCLE PARKING	NOT REQUIRED	0
CARPARK	NOT REQUIRED	0

LEGEND OF COLOURING OF PLAN

	BRICK
	CONCRETE SLAB
	R.C. WORKS
	BRICK WORKS
	-8080 FRR PARTITION/CEILING
	PLASTER / CEMENT RENDERING
	TILES/ NON-ABSORBENT MATERIAL
	GLASS WORKS
	TIMBER WORKS
	METAL WORK / STEEL WORKS
	INSITU WORKS
	SANITARY FITTINGS
	GREENERY AREA

LEGEND

	STRUCTURAL FLOOR LEVEL	F.E.	4.5KG CO2 FIRE EXTINGUISHER
	FINISHING FLOOR LEVEL	F.E.1	9 LITERS WATER CO2 F.E.
ST-1	STAIR NUMBER	HR	HOSE REEL
P.D.	PIPE DUCT	F.H.	FIRE HYDRANT
F.A.I.	FRESH AIR INTAKE	F.S.I.	FIRE NILET
	METAL LOUVER	S.F.H.	STREET FIRE HYDRANT
E.A.D.	EXHAUST AIR INTAKE		PIPE WELL
	EXIT SIGN		EXISTING TREE
	DIRECTIONAL SIGN (RIGHT)		225MM (W) STEEL COVERED SURFACE CHANNEL WITH 2 NOS. DRAINAGE OUTLET
	DIRECTIONAL SIGN (LEFT)		INSPECTION HATCH PANEL
	MECHANICAL VENTILATION & ARTIFICIAL LIGHTING		
	ARTIFICIAL LIGHTING		
C.L.	CAT LADDER		
	1500mm x 1500mm		
	BOUNDARY LINE		

ABBREVIATIONS

BED	BEDROOM
Dis.	DISABLED TOILET
DIN.	DINING ROOM
EMR	ELECTRICAL METER ROOM
F	FEMALE TOILET
KIT.	KITCHEN
LAV.	LAVATORY
L.V.	LIVING ROOM
M	MALE TOILET
MA	MAINTENANCE ACCESS
PL	PLANTER
RSMRC	REFUSE STORAGE AND MATERIAL RECOVERY CHAMBER
RSMRR	REFUSE STORAGE AND MATERIAL RECOVERY ROOM
S.C.	SURFACE CHANNEL
S.D.	SLIDING DOOR
WMC	WATER METER CABINET
CMC	CHECK METER CABINET
SCV	SPRINKLER CONTROL VALVE SET AND SPRINKLER INLET

FSD Ref No: FP 8/31683 <2>			
BD Ref No: BD 2/9059/22(TH)			
Revisions and Submissions:			
No.	Date:	Details:	Chkd:
–	07/2022	1ST SUBMISSION	
A	10/2022	1ST AMENDMENT	
B	28 FEB 2023	GENERAL REVISION	
C	07 JUNE 2023	GENERAL REVISION	
D	08 SEPT 2023	GENERAL REVISION	
E	12 DEC 2023	GENERAL REVISION	
F	08 MAR 2024	GENERAL REVISION	

Client/Employer



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MIC Designer



MIC Supplier and Manufacturer



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Project:

PROPOSED TRANSITIONAL HOUSING  
AT VARIOUS LOTS IN D.D. 105 AND  
ADJOINING GOVERNMENT LAND,  
NGAU TAM MEI, YUEN LONG, N.T.

Drawing title:

GENERAL NOTES, LOCATION  
AND BLOCK PLAN (1)

Drawn by: KP Date: 08 MAR 2024

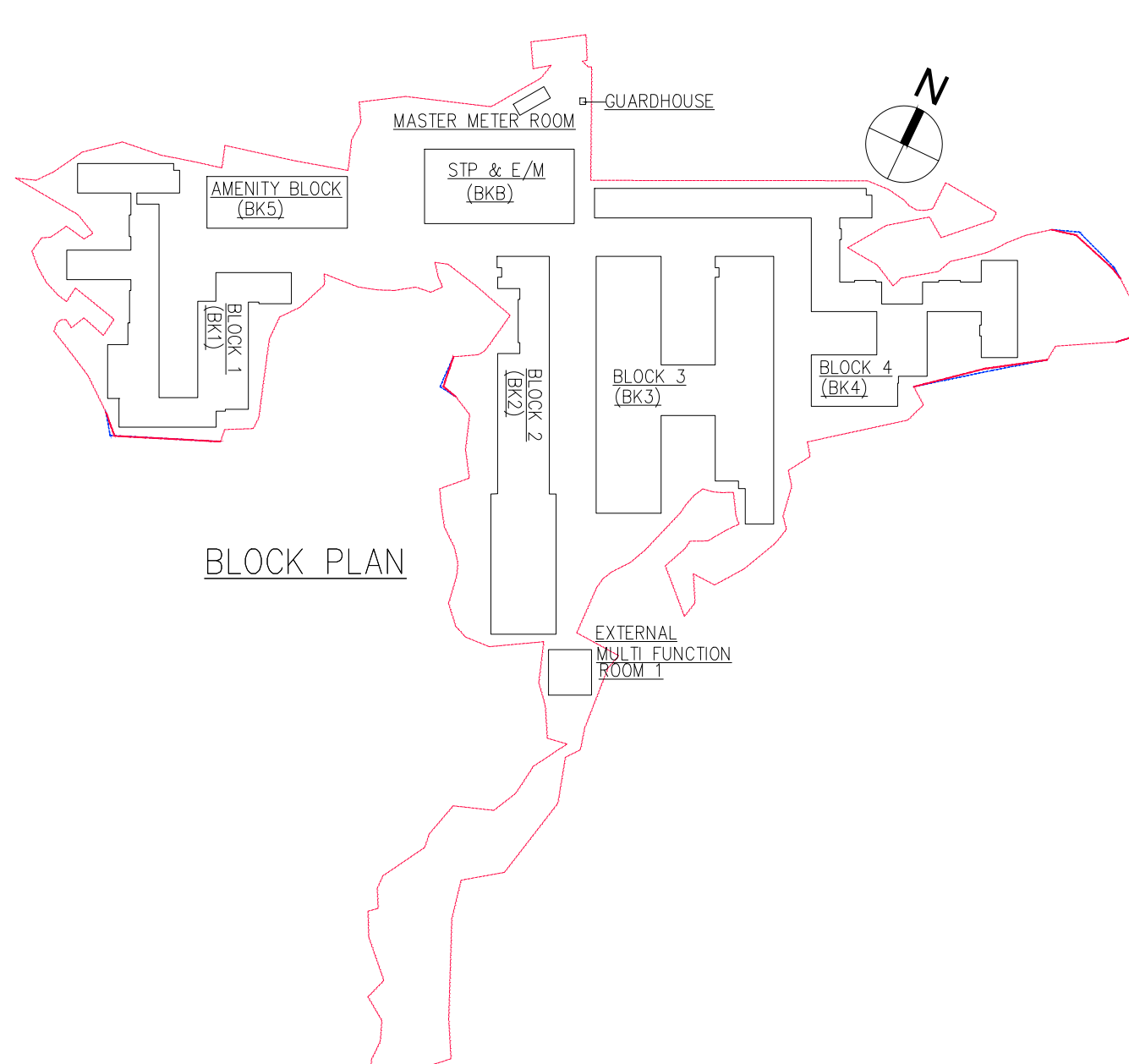
Checked for correctness by: BF Date: 08 MAR 2024

Approved for issue by: BF Date: 08 MAR 2024


Scale: A.S. Print Date: 08 MAR 2024

Project: A-2301 Drawing: LP-01 Revision: F





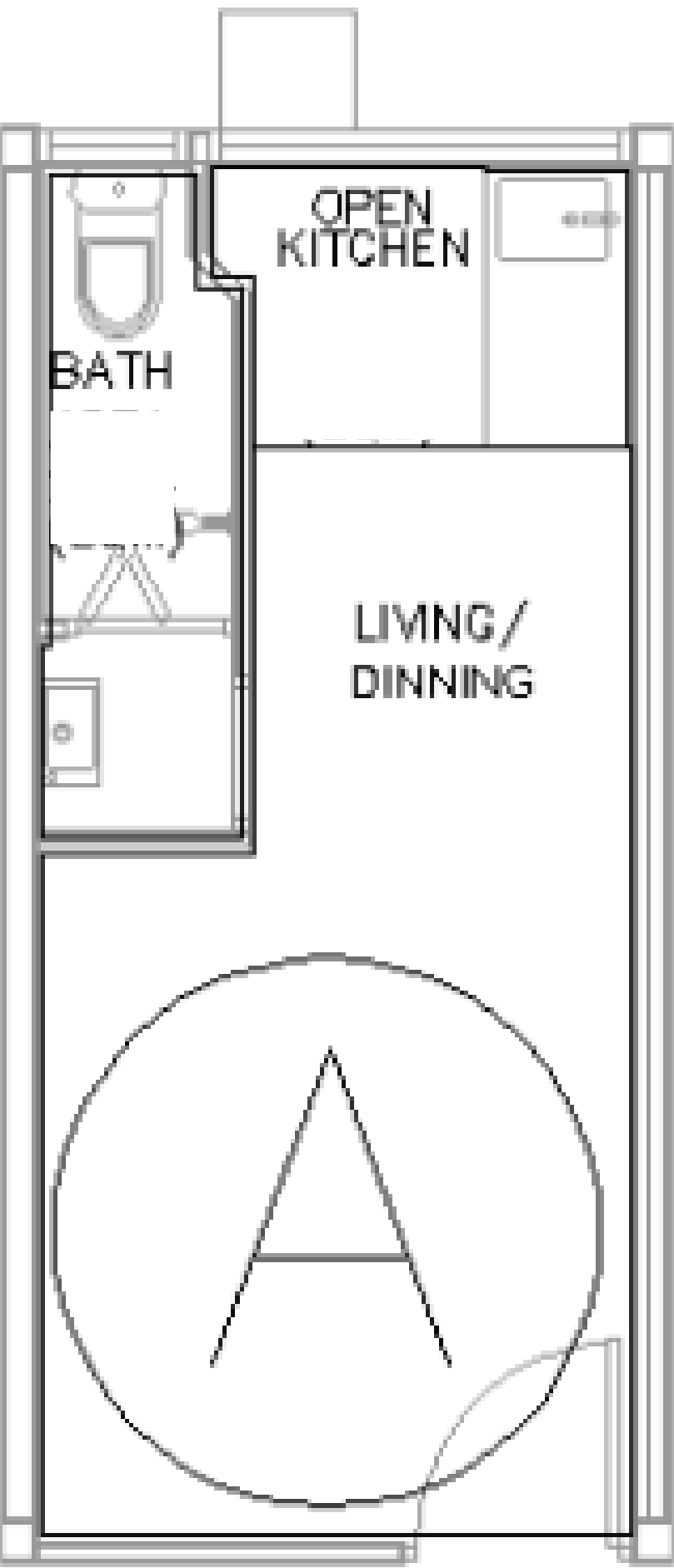
MIC Supplier and Manufacturer

The logo for E Hans features a stylized 'E' composed of green and blue geometric shapes, followed by the text 'Hans' in a blue sans-serif font.

- |                                   |                            |
|-----------------------------------|----------------------------|
| Drawn by:<br>KP                   | Date:<br>08 MAR 2024       |
| Checked for correctness by:<br>BF | Date:<br>08 MAR 2024       |
| Approved for issue by:<br>BF      | Date:<br>08 MAR 2024       |
| Scale:<br>1:500@A1                | Print Date:<br>08 MAR 2024 |
| Project:<br>A-2301                | Drawing:<br>LP-02          |
|                                   | Revision:<br>F             |



FLAT LAYOUT AND DOMESTIC UFA/UFS DIAGRAM (1:100)



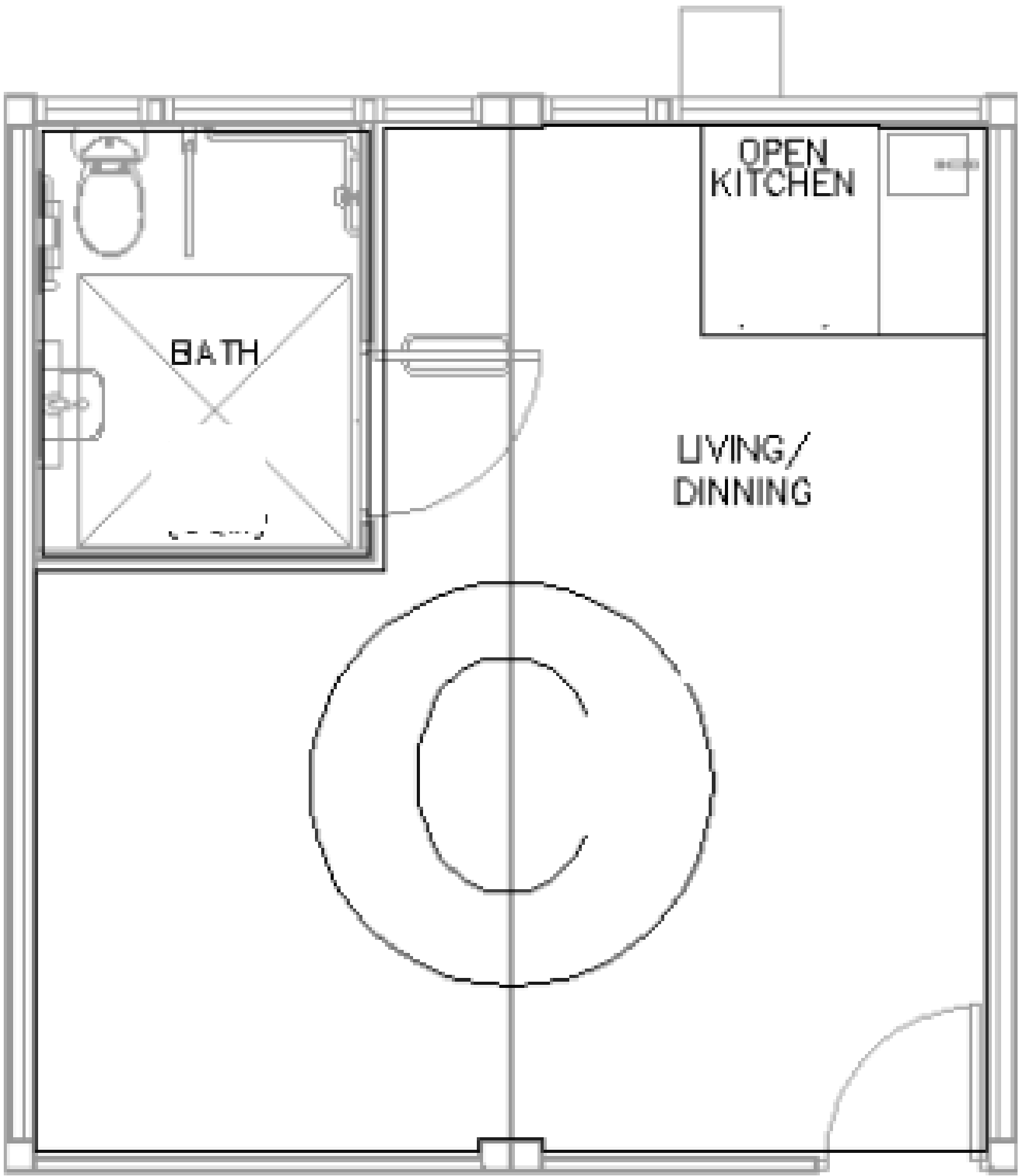
LAYOUT FOR UNIT A

GFA: 16.632 sqm



LAYOUT FOR UNIT B

GFA: 21.616 sqm



LAYOUT FOR UNIT C

GFA: 33.353 sqm

FSD Ref No: FP 8/31683 <2>  
BD Ref No: BD 2/9059/22(TH)

Revisions and Submissions:

No.	Date	Details	Check
1	07/2022	1ST SUBMISSION	
A	16/2022	1ST AMENDMENT	
B	28 FEB 2023	GENERAL REVISION	
C	07 JUN 2023	GENERAL REVISION	
D	12 DEC 2023	GENERAL REVISION	

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Design and Building Contractor



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Architectural Designer / Authorized Person



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Structural Designer / R.S.S.



hewson consulting

M/C Designer



Astute Building Construction Company Limited

M/C Supplier and Manufacturer



E Hans

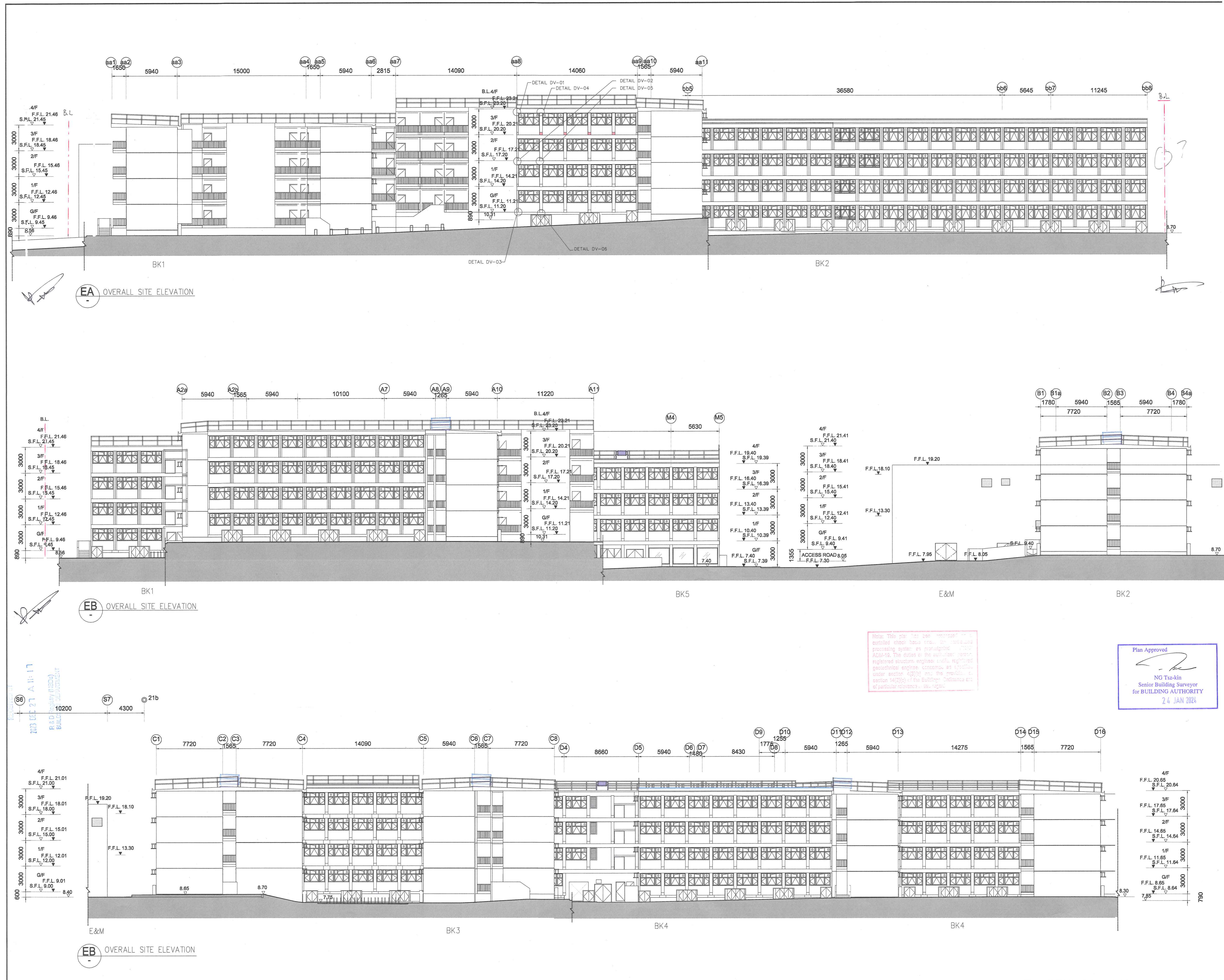
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Project:  
PROPOSED TRANSITIONAL HOUSING  
AT VARIOUS LOTS IN D.D. 105 AND  
ADJOINING GOVERNMENT LAND,  
NGAU TAM MEI, YUEN LONG, N.T.

Drawing title:  
DOMESTIC UNIT FLOOR PLANS

Drawn by:	Date:	
KP	12 DEC 2023	
Checked for correctness by:	Date:	
BF	12 DEC 2023	
Approved for issue by:	Date:	
BF	12 DEC 2023	
Scale:	Print Date:	
AS SHOWN	12 DEC 2023	
Project:	Drawing:	Revision:
A-2301	LP-03	D






FSD Ref No: FP 8/1683 <2>  
BD Ref No: BD 2/9059/22(H)

Revisions and Submissions:

No.	Date	Details	Chkd.
1	02 SEP 2022	1ST APPROVAL	
2	28 FEB 2023	GENERAL REVISION	
3	07 JUN 2023	GENERAL REVISION	
4	12 DEC 2023	GENERAL REVISION	

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Authorized Person

  
FUNG BRIAN PAK YAN  
Authorized Person-Architect

Structural Designer / R.S.E.

**hewson**  
consulting

MIC Designer

**Astute**  
Building Construction  
Company Limited

MIC Supplier and Manufacturer

**E Hans**

NOTES:

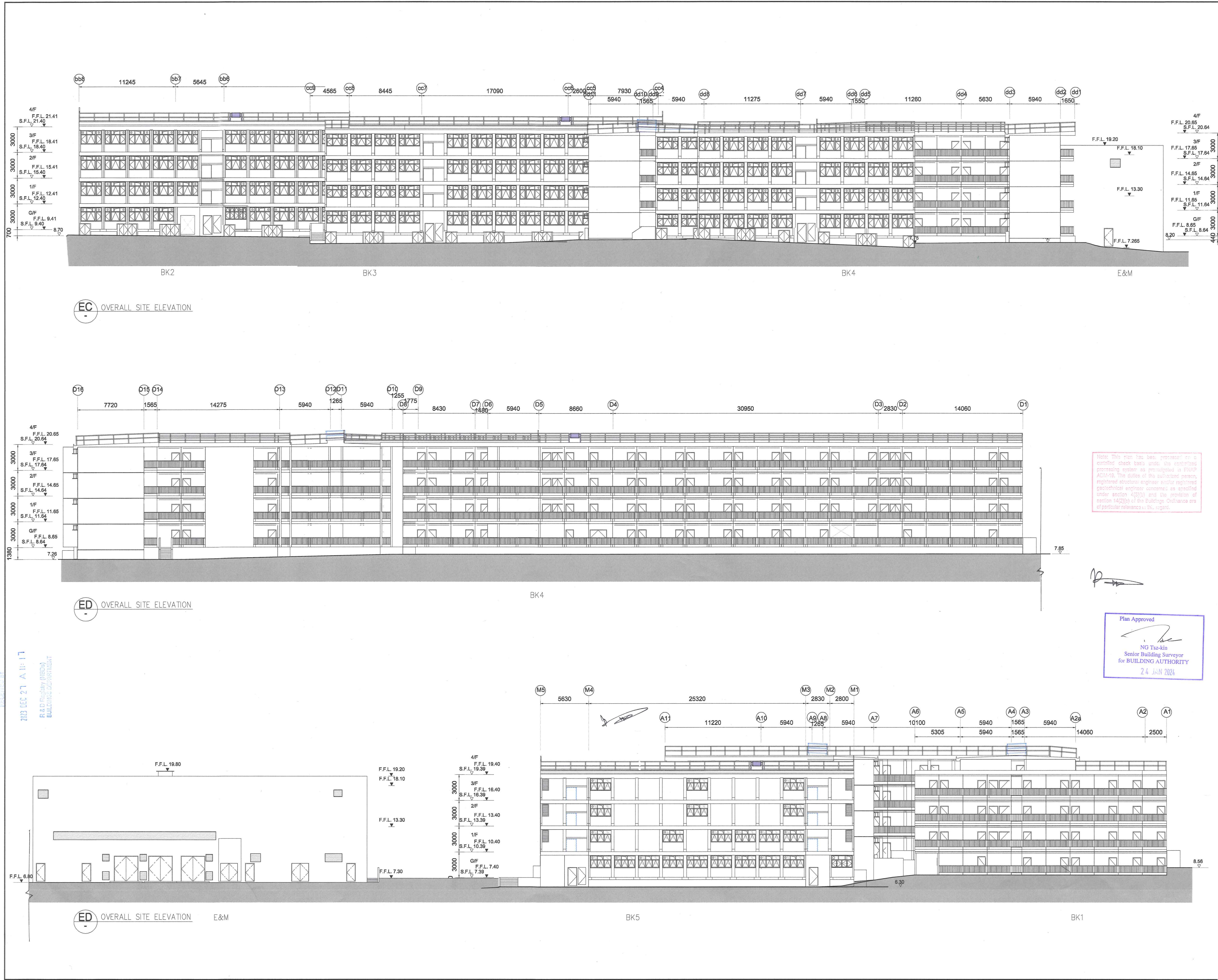
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Project:  
PROPOSED TRANSITIONAL HOUSING  
AT VARIOUS LOTS IN D.D. 105 AND  
ADJOINING GOVERNMENT LAND,  
NGAU TAM MEI, YUEN LONG, N.T.

Drawing title:  
OVERALL SITE ELEVATION (1)

Drawn by:	Date:
KP	12 DEC 2023
Checked for correctness by:	Date:
BF	12 DEC 2023
Approved for issue by:	Date:
BF	12 DEC 2023
Scale:	Print Date:
1:200@A1	12 DEC 2023
Project:	Drawing:
A-2301	LP-04a
	Revision:
	C





FSD Ref No: FP 8/31683 <2>  
BD Ref No: BD 2/9059/22(TH)  
Revisions and Submissions:  
No. Date Details Chkd.  
- 02 SEP 2022 1ST APPROVAL  
A 08 FEB 2023 GENERAL REVISION  
B 07 JUN 2023 GENERAL REVISION  
C 12 DEC 2023 GENERAL REVISION

Client/Employer  
  
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Authorized Person-Architect

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hewson consulting

MIC Designer  
  
Astute Building Construction Company Limited

MIC Supplier and Manufacturer  
  
E Hans

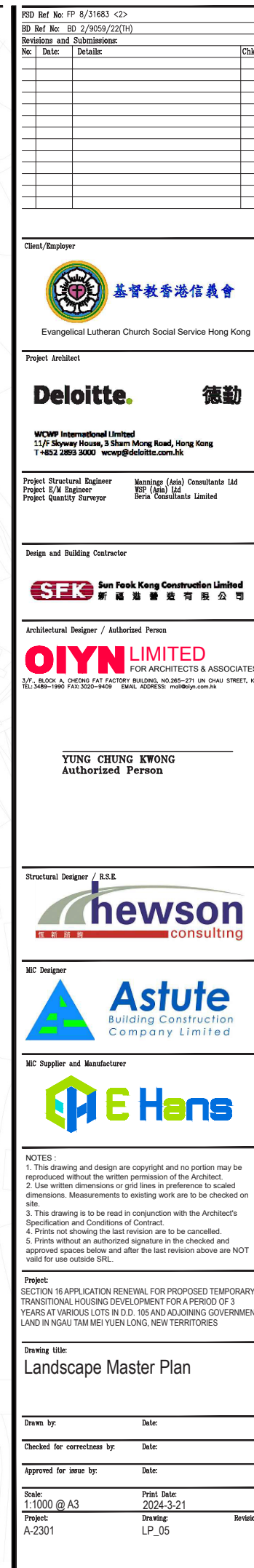
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Project:  
PROPOSED TRANSITIONAL HOUSING AT VARIOUS LOTS IN D.D. 105 AND ADJOINING GOVERNMENT LAND, NGAU TAM MEI, YUEN LONG, N.T.

Drawing title:  
OVERALL SITE ELEVATION (2)

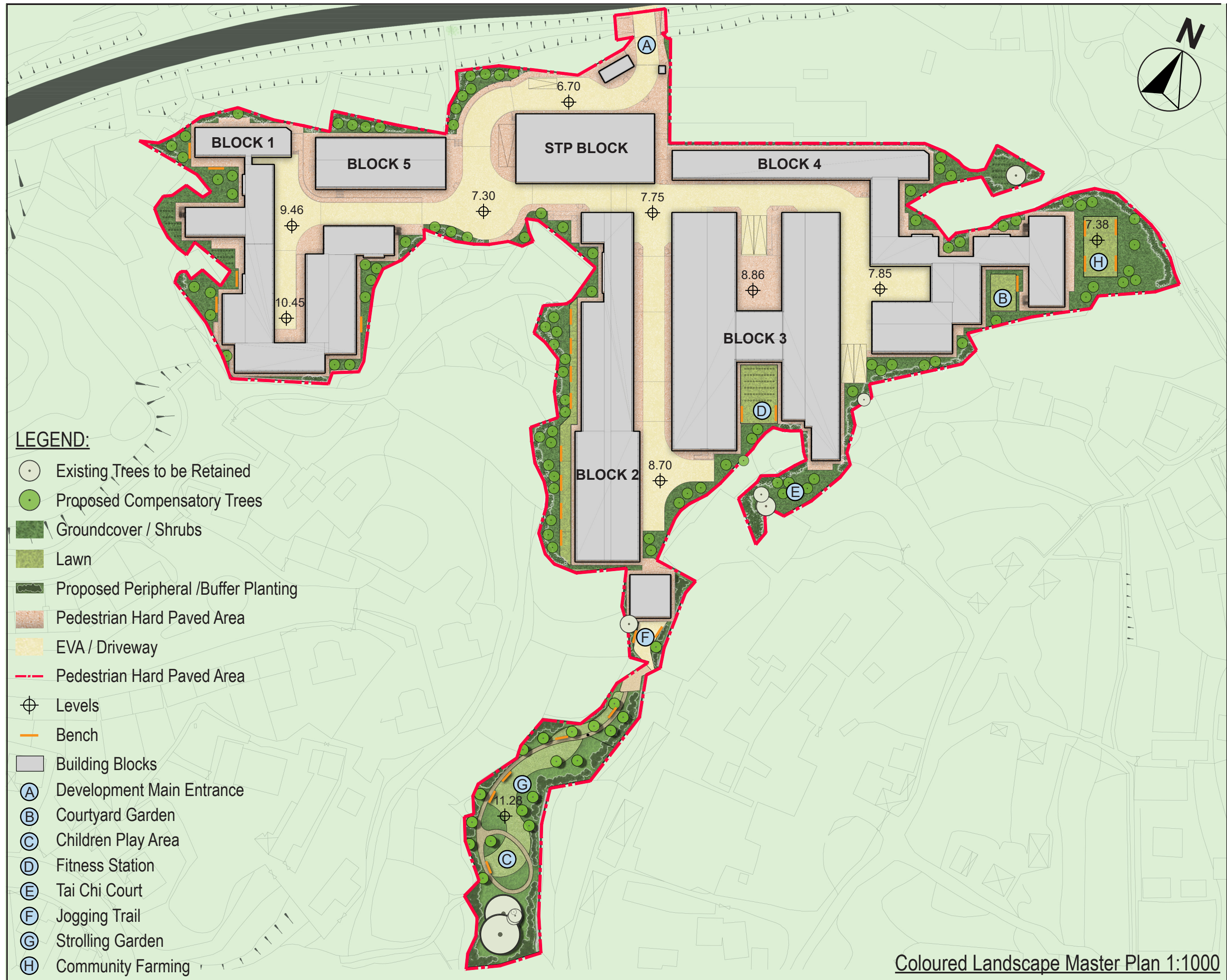
Drawn by: KP Date: 12 DEC 2023  
Checked for correctness by: BF Date: 12 DEC 2023  
Approved for issue by: BF Date: 12 DEC 2023  
Scale: 1:200@A1 Print Date: 12 DEC 2023  
Project: A-2301 Drawing: LP-04b Revision: C





A-2301 LP\_05





PSD Ref No: FP 8/31683 <2>  
BD Ref No: BD 2/9059/22(TH)  
Revisions and Submissions:  
No: Date: Details: Chkd:

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Project Quantity Surveyor: WSP (Asia) Ltd

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**E Hens**

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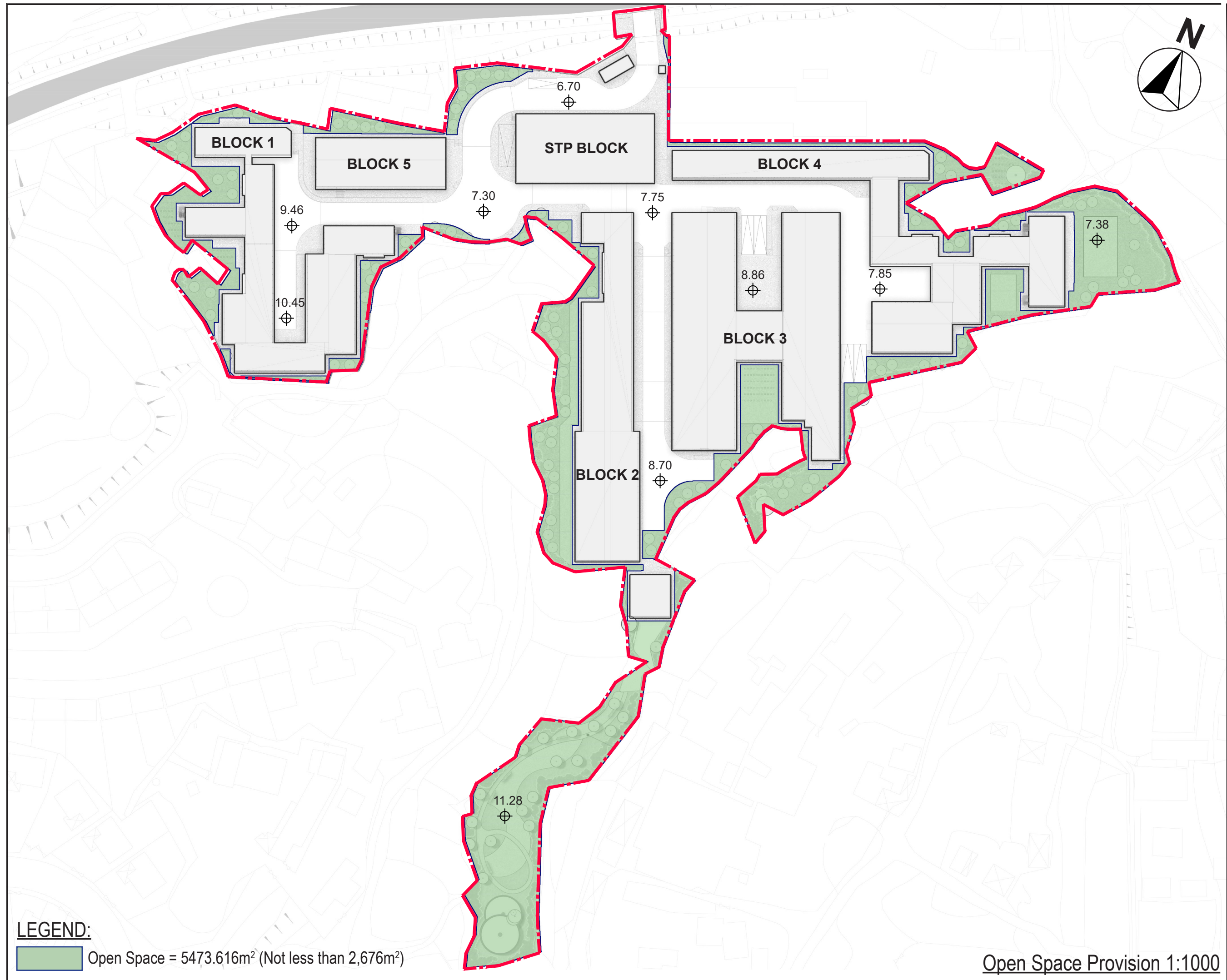
Project:  
SECTION 16 APPLICATION RENEWAL FOR PROPOSED TEMPORARY TRANSITIONAL HOUSING DEVELOPMENT FOR A PERIOD OF 3 YEARS AT VARIOUS LOTS IN D.D. 105 AND ADJOINING GOVERNMENT LAND IN NGAU TAM MEI YUEN LONG, NEW TERRITORIES

Drawing title:  
**Coloured Landscape Master Plan**

Drawn by: Date:  
Checked for correctness by: Date:  
Approved for issue by: Date:


Scale: 1:1000 @ A3  
Print Date: 2024-3-21  
Project: A-2301  
Drawing: LP\_06  
Revision:





FSD Ref No: FP 8/31683 <2>  
BD Ref No: BD 2/9059/22(TH)  
Revisions and Submissions:  
No: Date: Details: Chkd:

Client/Employer



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Project:

SECTION 16 APPLICATION RENEWAL FOR PROPOSED TEMPORARY TRANSITIONAL HOUSING DEVELOPMENT FOR A PERIOD OF 3 YEARS AT VARIOUS LOTS IN D.D. 105 AND ADJOINING GOVERNMENT LAND IN NGAU TAM MEI YUEN LONG, NEW TERRITORIES

Drawing title:

Open Space Provision

Drawn by:

Date:

Checked for correctness by:

Date:

Approved for issue by:

Date:

Scale:

1:1000 @ A3

Print Date:

2024-3-21

Project:

A-2301

Drawing:

LP\_07

Revision:

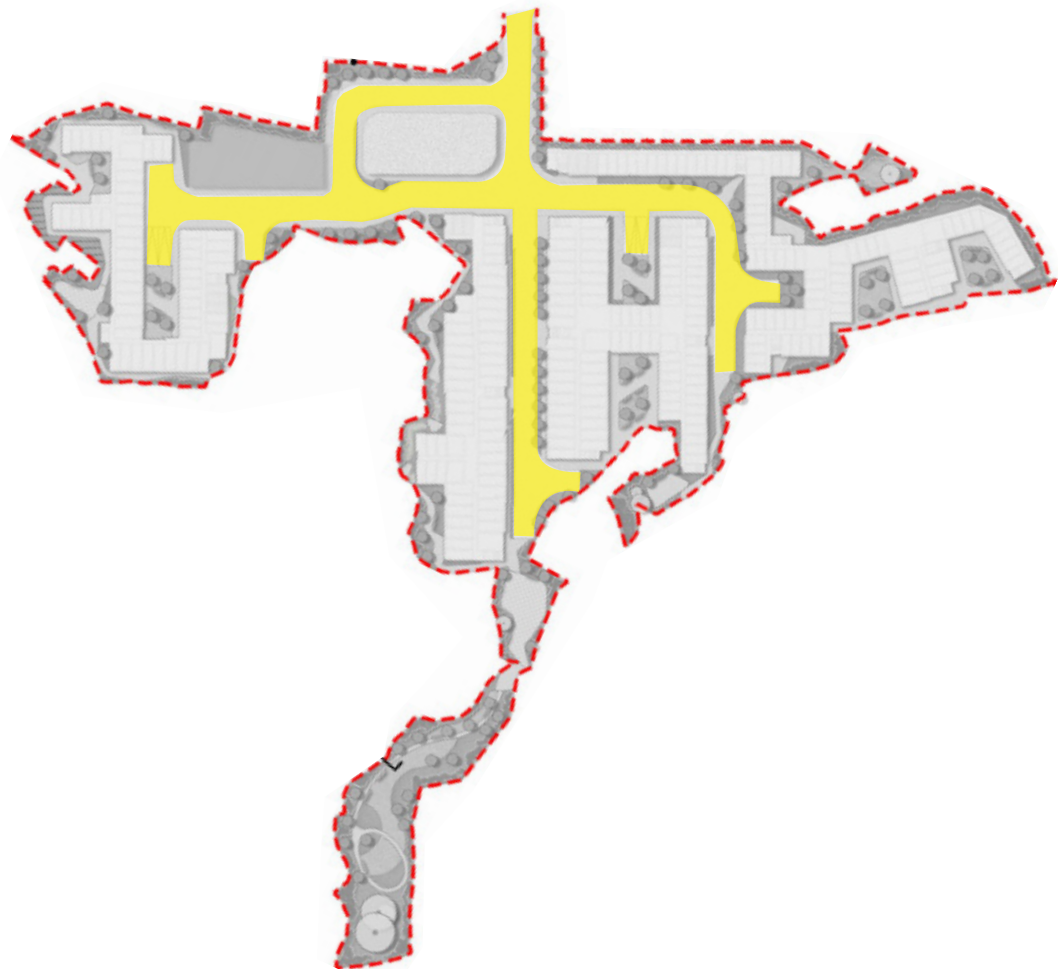
Open Space Provision 1:1000







Previous Submission  
Vehicular Circulation



Previous Submission  
Open Space Provision

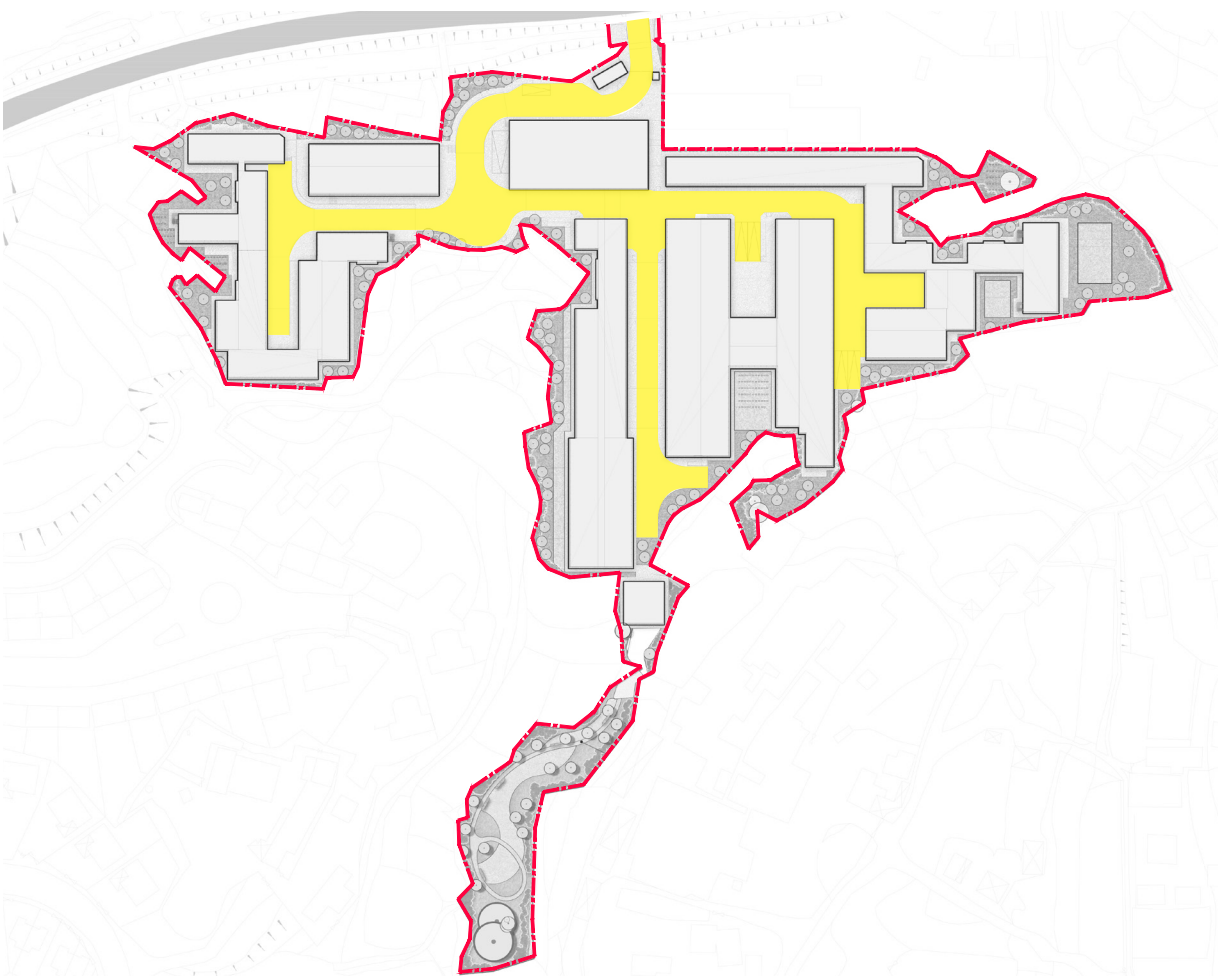


Open Space

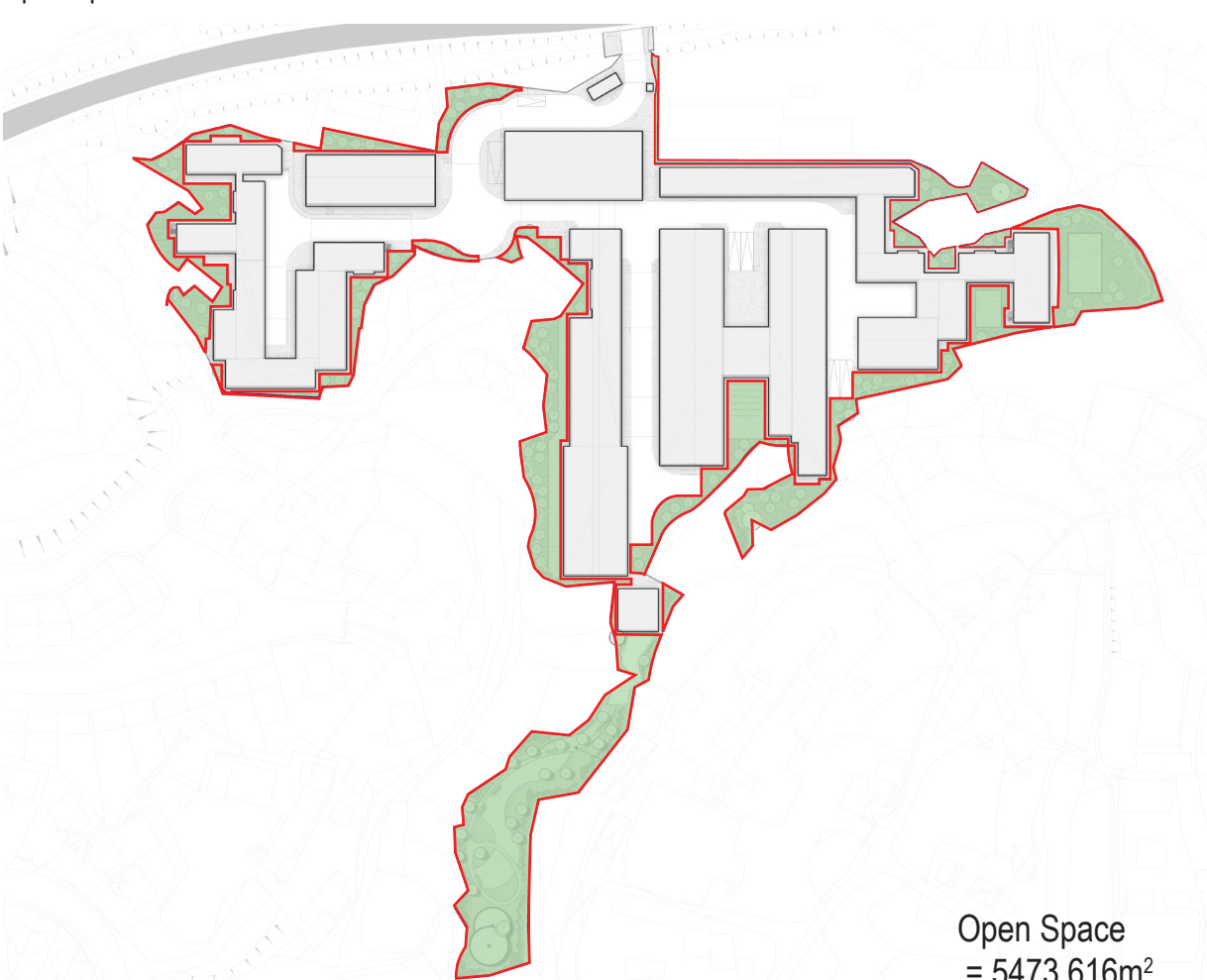
2024-3-21

= ABOUT 2825m<sup>2</sup>

This Submission  
Vehicular Circulation



This Submission  
Open Space Provision



Open Space  
= 5473.616m<sup>2</sup>

FSD Ref No: FP 8/31683 <2>			
BD Ref No: BD 2/9059/22(TH)			
Revisions and Submissions:			
No:	Date:	Details:	Chkd:

Client/Employer

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Project:  
SECTION 16 APPLICATION RENEWAL FOR PROPOSED TEMPORARY TRANSITIONAL HOUSING DEVELOPMENT FOR A PERIOD OF 3 YEARS AT VARIOUS LOTS IN D.D. 105 AND ADJOINING GOVERNMENT LAND IN NGAU TAM MEI YUEN LONG, NEW TERRITORIES

Drawing title:  
Comparison Diagrams with Previous Submission

Drawn by:	Date:
Checked for correctness by:	Date:
Approved for issue by:	Date:
Scale: N.T.S @ A3	Print Date:
Project: A-2301	Drawing: LP_09
Revision:	

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	Date Received 收到日期	

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).  
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.  
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

### 1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☒ Organisation 機構)

Evangelical Lutheran Church Social Service - Hong Kong

### 2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Steps Consultants Limited

### 3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lots Nos. 1354, 1356, 1357, 1358, 1359 (Part), 1366 (Part), 1367, 1369, 1370, 1371 S.A, 1371 S.B, 1372, 1373 RP, 1374, 1376, 1392 RP (Part), 1399 (Part), 1401 (Part), 1402, 1403, 1405, 1406, 1407, 1408, 1410, 1413, 1420, 1421, 1422, 1468, 1469, 1473, 1474, 1476, 1478, 1479, 1480, 1481, 1482, 1483, 1484, 1485 (Part), 1486, 1487, 1488, 1489, 1490, 1491, 1492, 1494, 1496, 1502 S.B (Part), 1504, 1505, 1619 (Part), 1622 and 1636 in D.D. 105 and Adjoining Government Land in Ngau Tam Mei, Yuen Long, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 21,593 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 30,021 sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	2,131 sq.m 平方米 <input checked="" type="checkbox"/> About 約

## Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information. )

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置／地址	Lots Nos. 1354, 1356, 1357, 1358, 1359 (Part), 1366 (Part), 1367, 1369, 1370, 1371 S.A, 1371 S.B, 1372, 1373 RP, 1374, 1376, 1392 RP (Part), 1399 (Part), 1401 (Part), 1402, 1403, 1405, 1406, 1407, 1408, 1410, 1413, 1420, 1421, 1422, 1468, 1469, 1473, 1474, 1476, 1478, 1479, 1480, 1481, 1482, 1483, 1484, 1485 (Part), 1486, 1487, 1488, 1489, 1490, 1491, 1492, 1494, 1496, 1502 S.B (Part), 1504, 1505, 1619 (Part), 1622 and 1636 in D.D. 105 and Adjoining Government Land in Ngau Tam Mei, Yuen Long, New Territories
Site area 地盤面積	21,593 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 2,131 sq. m 平方米 <input checked="" type="checkbox"/> About 約)
Plan 圖則	Approved Ngau Tam Mei Outline Zoning Plan No. S/YL-NTM/12
Zoning 地帶	"Residential (Group C)"
Type of Application 申請類別	<input type="checkbox"/> Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____ <input checked="" type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 <input checked="" type="checkbox"/> Year(s) 年 <u>3</u> <input type="checkbox"/> Month(s) 月 _____
Applied use/ development 申請用途/發展	Temporary Transitional Housing and Ancillary Facilities for a Period of 3 Years



(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	29322 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	1.36 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	700 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.03 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	5	
	Non-domestic 非住用	3	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	17 m 米 <input checked="" type="checkbox"/> (Not more than 不多於)	
		4 Storeys(s) 層 <input checked="" type="checkbox"/> (Not more than 不多於)	
	Non-domestic 非住用	16 m 米 <input checked="" type="checkbox"/> (Not more than 不多於)	
		4 Storeys(s) 層 <input checked="" type="checkbox"/> (Not more than 不多於)	
(iv) Site coverage 上蓋面積	60 % <input checked="" type="checkbox"/> About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數  Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____		
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數  Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____ _____		4

### S.16 Application – A/YL-NTM/471 R-to-C

Comments from UD&L - PlanD (Responsible Person: Mr. Henry NG, 3565 3950)		
Comments on the Landscape Master Plan		
	<b>Comment</b>	<b>Response</b>
1	The landscape provisions should be updated in line with the revised development layout.	Noted and Updated.
2	A summary table for proposed trees treatment as approved by relevant authority (e.g. LandsD) should be provided to illustrate any amendment to the approved scheme.	Please note that the proposed tree treatment and compensatory tree planting is deemed approved by LandsD on 21.8.2023. Letter from LandsD and TPRP deemed approval submission is attached.
3	A planting schedule of proposed new trees should be included.	The planting schedule of proposed new trees would be the same as the one under the previous approved s16 application – A/YL-NTM/431.
4	The applicant is advised to provide the approval of tree preservation and removal proposal for reference.	Noted.

### S.16 Application – A/YL-NTM/471 R-to-C

Comments from North Development Office, CEDD		
(Responsible Person: Mr. Louis WONG, 3154 9327)		
Comments on the Drawings and potential Interface		
	Comment	Response
1	<p>Re. Drawing No. GP02, the structure marked in blue dotted line (northeast to Block 4) will encroach into the proposed footpath, cycle track and carriageway of Road D1 of San Tin Technopole. Please be noted that the Road D1 is planned to be completed by 2031 to support the first population intake of San Tin Technopole in the same year. The project proponent should advise whether the concerned structure will be removed in advance to allow sufficient time for this office to complete the roadworks or review on the layout of the concerned structure and site boundary is required</p> <p>Re. Drawing No. GP02, the southeast leg of Block 3 will encroach into the proposed footpath and cycle track of Road L4 of San Tin Technopole. Please be noted that the Road L4 is planned to be completed by 2031 to support the first population intake of San Tin Technopole in the same year. Close liaison with this office during the detailed design and construction stage is required</p> <p>It is anticipated that there will be other interface issues related to the subject transitional housing development and the development of San Tin Technopole project during the detailed design and construction stages. Close liaison amongst projects is required.</p>	<p>Noed. The Transitional Housing Project is temporary in nature. When the long-term use of the land is activated, the concern portion of the TH project would be modified or demolished to suit the long-term development with a reasonable notification of time. Close liaison with CEDD would be carried out.</p>



### S.16 Application – A/YL-NTM/471 R-to-C

Comments from EPD (Responsible Person: Ms. Jolitta CHAN, 2835 1112)		
Comments on the NIA		
	<b>Comment</b>	<b>Response</b>
1	We understand that under the previous approved application (No. A/YL-NTM/431), the approval condition (d) on "the submission of a NIA" has been satisfactorily complied with. Please clarify if the building layouts of the transitional housing units used for noise impact assessment in the approved NIA submission will be the same as the building plan under the current renewal planning application.	The building layouts of the transitional housing units used for noise impact assessment in the approved NIA submission is the same as the building plan under the current renewal planning application.



地政總署  
元朗地政處  
DISTRICT LANDS OFFICE, YUEN LONG  
LANDS DEPARTMENT

電話 Tel : 2443 3300  
圖文傳真 Fax : 2473 3134  
電郵地址 Email : sosyle@landsd.gov.hk  
本處檔號 Our Ref. : (18) in DLOYL L/M(4) to 291/YAT/2021  
來函檔號 Your Ref. : 23222/0323/22 & 23222/0206/23

我們矢志努力不懈，提供盡善盡美的土地行政服務。  
We strive to achieve excellence in land administration.

新界元朗橋邊街二號元朗政府合署七樓至十一樓  
7/F - 11/F, YUEN LONG GOVERNMENT OFFICES  
2 KIU LOK SQUARE, YUEN LONG, N.T.

網址 Website : www.landsd.gov.hk

來函請註明本署檔號

Please quote our reference in your reply

Ringo, Chun Hing LEE  
c/o Earthasia Ltd.  
11/F COFCO Tower,  
262 Gloucester Road,  
Causeway Bay, Hong Kong

PK	VC
Date 21 AUG 2023	
Ref No. (1731231F)	
Project No. 23222	

By Fax (2559 9841) & By Post  
21 August 2023

Dear Sir/Madam,

**Deemed Approval Streamlined Submission Procedure  
for Tree Works under Lands Administration Office Practice Note No. 6/2023**

**Short Term Tenancy No. STTYL0126 ("the STT") at  
Government Land in D.D. 105, Ngau Tam Mei ("the captioned premises"),  
Yuen Long, New Territories  
(Planning Application No. A/YL-NTM/431)**

I hereby acknowledge receipt of the tree preservation and removal application ("the Application") submitted by you vide letter dated 26 October 2022 under Ref. 23222/0323/22 enclosing (i) the tree preservation and removal proposal (drawing nos. TSP-01 (Rev. -), TSP-02 (Rev. -), TSP-03 (Rev. -), CTP-01 (Rev. -), CTP-02 (Rev. -), CTP-03 (Rev. -)) as part and parcel of the landscape master plan in support of the Planning Application No. A/YL-NTM/431 ("the Planning Application") approved by the Town Planning Board ("TPB"), (ii) TPB's approval letter dated 28 January 2022 for the Planning Application and (iii) a copy of the landscape master plan in support of the Planning Application, the supplementary information submitted vide Earthasia Ltd.'s email dated 9 November 2022 and the Form 1 submitted vide Earthasia Ltd.'s letter dated 9 August 2023 under Ref. 23222/0206/23. Please note that this acknowledgement signifies the giving of deemed approval for the tree works within the captioned premises in accordance with Paragraph 4 of the Lands Department ("LandsD") Lands

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-2-

Administration Office Practice Note No. 6/2023, subject to implementation of the tree preservation and compensatory planting proposal within the captioned premises contained in the Application or such other proposal as may subsequently be approved by the Government in all respects to my satisfaction before completion of the development of the captioned premises. In view of the certification given by you in the Application, the contents of the Application have not been checked or verified by LandsD. For the avoidance of doubt, the deemed approval given by this letter is limited to the tree preservation provision under the tenancy agreement ("TA") of the STT insofar as the tree works within the captioned premises is concerned and should not be construed as an acknowledgement that anything indicated in the Application is in all respects in compliance with the TA. Such deemed approval will not in any way prejudice the Government's right to reject building plans or any other plans or submissions which are consistent with the Application but inconsistent with other terms and conditions of the TA. The STT is subject to the terms and conditions of the Policy Support Agreement dated 12 November 2021 made between the Government (as represented by the Secretary for Housing) and The Evangelical Lutheran Church of Hong Kong (including any and all subsequent variations, amendments or supplements thereto), you should therefore also seek comment from the Housing Bureau for the Application.

Yours faithfully,



(Ms. Amii KO)

for District Lands Officer, Yuen Long

c.c. (by fax)

CES/DC (LAT), LandsD

(Fax : 2412 4488)

DPO/FS&YLE, PlanD

(Fax : 3168 4074)

Housing Bureau

(Fax : 3579 5775)

The Evangelical Lutheran Church of Hong Kong

(Fax : 3692 5262)

Internal

L/M (82) to DLOYL 37/DE/87

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**Relevant Extracts of Town Planning Board Guidelines on  
on Renewal of Planning Approval and Extension of Time for Compliance  
with Planning Conditions for Temporary Use or Development  
(TPB PG-No. 34D)**

1. The criteria for assessing applications for renewal of planning approval include:
  - (a) whether there has been any material change in planning circumstances since the previous temporary approval was granted (such as a change in the planning policy/land-use zoning for the area) or a change in the land uses of the surrounding areas;
  - (b) whether there are any adverse planning implications arising from the renewal of the planning approval (such as pre-emption of planned permanent development);
  - (c) whether the planning conditions under previous approval have been complied with to the satisfaction of relevant Government departments within the specified time limits;
  - (d) whether the approval period sought is reasonable; and
  - (e) any other relevant considerations.
2. Under normal circumstances, the approval period for renewal should not be longer than the original validity period of the temporary approval. In general, the Board is unlikely to grant an approval period exceeding three years unless there are strong justifications and the period is allowed for under the relevant statutory plans. Depending on the circumstances of each case, the Board could determine the appropriate approval period, which may be shorter than the time under request.

**Previous s.16 Applications covering the Application Site**

Approved Applications

No.	Application No.	Use(s)/Development(s)	Date of Consideration (RNTPC/TPB)
1.	A/YL-NTM/369*	Temporary Shop and Services (Sales of Building Materials) for a Period of 3 Years	6.7.2018 Approved by RNTPC [revoked on 6.12.2020]
2.	A/YL-NTM/381*	Proposed Temporary Shop and Services (Sales of Building Materials) for a Period of 3 Years	17.5.2019 Approved by RNTPC [revoked on 17.6.2021]
3.	A/YL-NTM/407*	Proposed Temporary Eating Place (Restaurant) for a Period of 3 Years	21.8.2020 Approved by RNTPC [revoked on 21.8.2021]
4.	A/YL-NTM/419*	Temporary Shop and Services (Sales of Gardening and Building Materials) for a Period of 3 Years	14.5.2021 Approved by RNTPC [revoked on 14.5.2022]
5.	A/YL-NTM/431	Proposed Temporary Transitional Housing and Ancillary Facilities for a Period of 3 Years	14.1.2022 Approved by RNTPC

\* denotes permission revoked

Rejected Applications

No.	Application No.	Use(s)/Development(s)	Date of Consideration (RNTPC/TPB)	Rejection Reason(s)
1.	A/YL-NTM/175	Temporary Logistics Use and Container Vehicle Park for a Period of 3 Years	17.12.2004 Rejected by RNTPC	(1), (2), (3), (4)
2.	A/YL-NTM/227	Proposed Temporary Sales Centre for New Private Vehicles and Lorries (include Medium Goods Vehicles and Container Tractors) for a Period of 3 Years	5.9.2008 Rejected by RNTPC	(1), (2), (3), (4)

Rejection Reasons:

- (1) Not in line with the planning intention of the “Residential (Group C)” zone.
- (2) Incompatible with the surrounding land uses.
- (3) Did not comply with the Town Planning Board Guidelines No. 13C/13D for Application for Open Storage and Port Back-up Uses
- (4) Setting an undesirable precedent.

**Similar s.16 Application in the vicinity of the Site in the Past Five Years**

Approved Application

<b>No.</b>	<b>Application No.</b>	<b>Use(s)/Development(s)</b>	<b>Date of Consideration (RNTPC/TPB)</b>
1.	A/YL-NTM/432	Proposed Temporary Transitional Housing with Ancillary Facilities for a Period of 3 Years with Filling of Pond and Excavation of Land	14.1.2022 Approved by RNTPC



**Government Departments' General Comments**

**1. Land Administration**

Comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD):

- no objection on the planning application;
- the application site (the Site) comprises 57 private lots and adjoining government land in D.D. 105. The Site is subject to Short Term Tenancy No. STTYL0126 by direct grant to the Evangelical Lutheran Church of Hong Kong and Short Term Waiver No. 5359 for the purposes of temporary transitional housing development; and
- advisory comments as detailed in **Appendix V**.

**2. Traffic**

Comments of the Commissioner for Transport (C for T):

- no objection in-principle to the planning application;
- noted that this is a renewal planning application of the previous planning application No. A/YL-NTM/431 for temporary transitional housing. It is also observed that the layout plan in the current submission is different from the layout plan in the approved planning application, we will reserve our right to comment on the layout plan in the general building plan submission; and
- advisory comments as detailed in **Appendix V**.

**3. Environment**

Comments of the Director of Environmental Protection (DEP):

- no objection to the application and suggest to retain the approval condition as previously imposed under the application No. A/YL-NTM/431 (i.e. the implementation of the mitigation measures identified in the noise impact assessment (NIA));
- the Site is the subject of a previous application (No. A/YL-NTM/431) for the same use for a period of 3 years which was approved with conditions by the Rural and New Town Planning Committee on 14.1.2022. The development parameters are largely the same when compared with the last approved application;
- based on the further information provided by the applicant, it was confirmed that the building layouts of the transitional housing units used for NIA in the NIA submission approved under the previous application (No. A/YL-NTM/431) were the same as the building plan under the current renewal planning application. Therefore the assessment results and recommendations in the approved NIA under the previous application (No. A/YL-NTM/431) are still valid;

- according to the conclusions and recommendations of the NIA, practicable noise mitigation measures have been incorporated in the building layout design to mitigate traffic noise including vertical architecture fins for house 1 at the western side of Block 1, and Block 4 and acoustic window insulation with air conditioning system for B1-H01 and the window type will be openable well-gasketed window with minimum 6mm glass pane. For industrial/fixed noise, all noise sensitive receivers would comply with the relevant noise criteria for the fixed noise impact assessment; and
- according to the record, three substantiated complaints relating to the Site on asbestos control and construction dust were received in the past 3 years. Asbestos Abatement Notices were issued and abatement works were completed, and verbal advice was given.

#### **4. Landscape**

Comments of the Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD):

- no objection to the application from landscape planning perspective;
- with reference to the aerial photos of February 2023 and January 2021, the Site is situated in an area of comprehensive residential development landscape character comprising of low-rise residential developments, temporary structures, farmlands and scatter tree groups. Site formation works is in progress after the approval of the previous application No. A/YL-NTM/431 on 14.1.2022. There is no significant change in the landscape character of the surrounding environment;
- with reference to Table 2 under para 6.1.1 of the Planning Statement (PS), both the proposed areas of communal open space and greenery coverage are increased (i.e. 104.6% (2798 m<sup>2</sup>) and 5.3% (calculated to be approx. 1116.8 m<sup>2</sup>) respectively). The revised landscape provisions and the changes to the previous approved scheme have been shown on the landscape drawings (Drawing Nos. LP\_06 to LMP\_09). With reference to the response-to-comment, the proposed tree treatment and compensatory tree planting (i.e. in support of the previous approved planning application No. A/YL-NTM/431) has been deemed approved by LandsD and the planting schedule of proposed new trees would be the same as the previous approved scheme. Further significant adverse landscape impact arising from the proposed development is not envisaged; and
- advisory comments as detailed in **Appendix V**.

#### **5. Others**

Comments of the Executive Secretary (Antiquities & Monuments), Antiquities and Monuments Office, Development Bureau (ES(A&M), AMO, DEVB):

- the Site is situated within the Mai Po Site of Archaeological Interest; and
- AMO has no objection in principle to the planning application from both the archaeological and built heritage conservation perspectives and that approval condition (a) of the last approved application No. A/YL-NTM/431 i.e. the submission of



Archaeological Watching Brief for the construction works within the Mai Po Site of Archaeological Interest with recommendation and implementation of the appropriate mitigation measures to the satisfaction of the AMO or of the TPB remains valid for application No. A/YL-NTM/471.

## **6. Other Departments**

The following government departments have no objection to/no adverse comment on the application and their advisory comments, if any, are in **Appendix V**:

- (a) Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD);
- (b) Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD);
- (c) Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD);
- (d) Chief Engineer/Railway Development 2-2, Railway Development Office, Highways Department (CE/RD 2-2, RDO, HyD);
- (e) Chief Engineer/Construction, Water Supplies Department (CE/C, WSD);
- (f) Project Manager (West), Civil Engineering and Development Department, Civil Engineering and Development Department (PM(W), CEDD);
- (g) Head of the Geotechnical Engineering Office, Civil Engineering and Development Department (H(GEO), CEDD);
- (h) Director of Agriculture, Fisheries and Conservation (DAFC);
- (i) Director of Electrical and Mechanical Services (DEMS);
- (j) Director of Fire Services (D of FS);
- (k) Commissioner of Police (C of P); and
- (l) District Officer (Yuen Long) (DO(YL)).

**Recommended Advisory Clauses**

- (a) The application site (the Site) falls within the boundary of San Tin Technopole (the Technopole). The Site may be resumed by the Government and that the proposed operation at the Site may be terminated at any time during the planning approval period for implementation of government projects;
- (b) to note the comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD) that the applicant should ensure the temporary transitional housing development will comply with all conditions of the Short Term Tenancy No. STTYL0126 (the STT) and the Short Term Waiver No. 5359 (the STW). Failure to comply with any tenancy/waiver conditions may result in enforcement action being taken and the STT/STW being terminated by Government;
- (c) to note the comments of the Commissioner for Transport (C for T) that:
  - (i) the applicant shall submit timely application for introducing the residential shuttle service and to keep the Transport Department (TD) informed of the latest population intake programme for planning of public transport services;
  - (ii) the applicant shall ensure vehicles would not encroach the opposite lane when turning to San Tam Road from the development via the vehicular access, and vice versa; and
  - (iii) no vehicle is allowed to queue back to or reverse onto/from public road at any time during the planning approval period;
- (d) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD) that:
  - (i) the applicant is advised to observe HyD's comments given on the previous application (i.e. A/YL-NTM/431);
  - (ii) the proposed run in/out at San Tam Road should be implemented according to the run-in/out proposal approved by the TD under the previous application and in accordance with the latest version of Highways Standard Drawing No. H1113 and H1114, or H5133, H5134 and H5135, whichever set is appropriate to match with the existing adjacent pavement;
  - (iii) the applicant shall be responsible for any modification of the existing street furniture and road drainage for the proposed run-in/out. The proposed modification works should be submitted to TD/HyD for comments before commencement of the modification works; and
  - (iv) adequate drainage measures should be provided to prevent surface water running from the application site to the nearby public roads and drains. An interception channel should be provided at the entrance to prevent surface water flowing from the lot onto the public road/ footpath via the run-in/out;



- (e) to note the comments of Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD) that approval of the planning application does not imply approval of tree preservation/removal scheme under the Lease. The applicant should seek comments and approval from the relevant authority on the proposed tree works and compensatory planting proposal, where appropriate;
- (f) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD) that:
  - (i) the applicant shall ascertain that all existing flow paths would be properly intercepted and maintained without increasing the flooding risk of the adjacent areas;
  - (ii) the proposed drainage proposal/ works as well as the site boundary should not cause encroachment upon areas outside his jurisdiction;
  - (iii) no public sewerage maintained by CE/MN, DSD is currently available for connection. For sewage disposal and treatment, agreement from the Director of Environmental Protection shall be obtained;
  - (iv) the applicant should consult DLO/YL regarding all the proposed drainage works outside the lot boundary in order to ensure unobstructed discharge from the Site in future; and
  - (v) all the proposed drainage facilities should be constructed and maintained by the applicant at his own cost. The applicant should ensure and keep all drainage facilities on the Site under proper maintenance at all times;
- (g) to note the comments of the Project Manager (North), Civil Engineering and Development Department (PM(N), CEDD) that site handover to CEDD by 2029 would be required to allow sufficient construction time for the development of the Technopole. Further liaison between CEDD and the applicant will be required for the interface issues related to the transitional housing development and the development of the Technopole;
- (h) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:
  - (i) before any new building works (including containers / open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on application site, prior approval and consent of the Building Authority (BA) should be obtained, otherwise they are unauthorized building works (UBW). An Authorized Person should be appointed as the co-ordinator for the proposed building works in accordance with the Buildings Ordinance (BO);
  - (ii) for UBW erected on leased land, enforcement action may be taken by BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the application site under the BO;

- (iii) the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations respectively;
  - (iv) the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at building plan submission stage;
  - (v) for features applied to be excluded from the calculation of the total gross floor area, it shall be subject to compliance with the requirements laid down in the relevant Joint Practice Notes and Practice Notes for Authorized Persons, Registered Structural Engineers and Registered Geotechnical Engineers (PNAP). For example, the requirements of building set back, building separation and site coverage of greenery as stipulated in PNAP APP-152; and
  - (vi) detailed checking under the BO will be carried out at building plan submission stage; and
- (i) to note the comments of the Director of Electrical and Mechanical Services (DEMS) that in the interests of public safety and ensuring the continuity of electricity supply, the parties concerned with planning, designing, organizing and supervising any activity near the underground cable or overhead line under the mentioned document should approach the electricity supplier (i.e. CLP Power) for the requisition of cable plans (and overhead line alignment drawings, where applicable) to find out whether there is any underground cable and/or overhead line within and/or in the vicinity of the Site. The applicant should also be reminded to observe the Electricity Supply Lines (Protection) Regulation and the “Code of Practice on Working near Electricity Supply Lines” established under the Regulation when carrying out works in the vicinity of the electricity supply lines.



## 就規劃申請/覆核提出意見 Making Comment on Planning Application / Review

## 參考編號

Reference Number:

240313-113148-82026

## 提交限期

Deadline for submission:

22/03/2024

## 提交日期及時間

Date and time of submission:

13/03/2024 11:31:48

## 有關的規劃申請編號

The application no. to which the comment relates:

A/YL-NTM/471

## 「提意見人」姓名/名稱

Name of person making this comment:

加州豪園A期業主委員會

## 意見詳情

Details of the Comment :

本會為新界元朗和生圍加州豪園A期業主委員會，就有關A/YL-NTM/471之申請提出強烈反對，謹請 貴會細閱我方下列反對意見：

1)興建大量過渡性房屋及附屬設施會加重附近一帶交通負荷。  
增加大型過渡性房屋會大大增加本區居民人口，對附近交通造成嚴重負擔，在沒有大型基建及良善公共運輸交通網絡下，鄰近居民則大多數駕駛私家車，引致道路負載量超出負荷，尤其現時錦繡花園迴旋處已經經常擠塞，引致倒灌，會導致高速公路塞車情況。

請 貴會不要盲目批准有關申請，而影響周邊的環境及鄰近居民的生活作息

☐ Urgent ☐ Return Receipt Requested ☐ Sign ☐ Encrypt ☐ Mark Subject Restricted ☐ Expand personal&publi



就有關AYL-NTM/471申請提出意見  
20/03/2024 09:31

From:

To: "tpbpd@pland.gov.hk" <tpbpd@pland.gov.hk>

Sent by: tpbpd@pland.gov.hk

File Ref:

1 attachment



RH2反對AYL-NTM471 20-3-2024.pdf

Dear Sir/madam,

Please see the attachment.

Thank you.

Regards,

Hope Yoe

物業主任Property Officer

(PMP Licence [REDACTED])

高樂服務有限公司 Kolot Property Services Limited  
(PMC Licence)



致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

By e-mail : tpbpd@pland.gov.hk

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有關的規劃申請編號 The application no. to which the comment relates

A/YL-NTM/471


意見詳情 (如有需要，請另頁說明)

Details of the Comment (use separate sheet if necessary)

請參閱附件。

「提意見人」姓名/名稱 Name of person/company making this comment 游希望

簽署 Signature



日期 Date 20/3/2024

就有關 A/YL – NTM/471 的申請，本苑申請反對意見如下：

本苑反對申請臨時過渡性房屋發展連附屬設施的規劃許可續期（為期 3 年）。

現時新潭路接駁到青山公路之新田村迴旋處出口，已經常性擠塞。

加上北環線新田站於 2025 年動工，計劃 2034 年開通，屆時將有大量大型工程車輛使用以上道路設施。如再有大型運輸車輛使用該道路，實不勝負荷。

因此要求政府否決上述申請，考慮對周邊所有住宅、環境及道路使用之影響。

謝謝。



☐ Urgent ☐ Return Receipt Requested ☐ Sign ☐ Encrypt ☐ Mark Subject Restricted ☐ Expand personal&publi



**A/YL-NTM/471 DD 105 Ngau Tam Mei Transitional Housing New World**  
21/03/2024 22:54

From:

To: "tpbpd" <tpbpd@pland.gov.hk>

Sent by: tpbpd@pland.gov.hk

File Ref:

A/YL-NTM/471 New World

Various Lots in D.D. 105 and adjoining Government Land, Ngau Tam Mei, Yuen Long

Site area : About 21,602sq.m Includes Government Land of about 2,131sq.m

Zoning : "Res (Group C)"

Applied development : Transitional Housing / 5 Blocks / 1,080 Units / 3 Blocks  
Ancillary Facilities / 4 Vehicle Parking

Dear TPB Members,

Approval was granted in Jan 2022 but conditions have not been fulfilled.

It is unacceptable that housing projects funded by the taxpayer are not fully compliant with government regulations.

Members have a duty to look into this matter. What conditions, Fire and Drainage could have a significant impact on both the safety and good health of vulnerable families.

Rubber stamping is not acceptable when it comes to issues like this.

Mary Mulvihill

**From:**

**To:** tpbpd <tpbpd@pland.gov.hk>

**Date:** Thursday, 16 December 2021 2:24 AM HKT

**Subject:** A/YL-NTM/431 DD 105 Ngau Tam Mei Transitional Housing New World

A/YL-NTM/431 New World

Various Lots in D.D. 105 and adjoining Government Land, Ngau Tam Mei, Yuen Long

Site area : About 21,731sq.m Includes Government Land of about 2,131sq.m

Zoning : "Res (Group C)"

Applied development : Transitional Housing / 4 Blocks / 1,076 Units / 2 Blocks  
Ancillary Facilities / 4 Vehicle Parking

Dear TPB Members,

Another temporary housing project that artificially reduces the numbers on the PH waiting list, provides revenue stream for the NGO and allows the developer to demonstrate commitment to Common Prosperity while paving the way some years down the line for justification of its planned private residential development of multiple times the PR, 35 storeys and 1,980 Units.

The long suffering tax payer will cover the cost of installing sewerage, drainage and other utilities. In addition we cover all the costs of construction, management, etc. for short term housing with construction costs per unit 50% of that of a permanent home that would last for 50 years or more.

The tenants will still have to be housed when their allotted staycation time is up.

So we have to suck it up as there is now no accountability and no legislators who will challenge the authorities self-serving and short term policies.

Mary Mulvihill