

2024年 8月 1 2日

Appendix I of RNTPC Paper No.

A/YL-NTM/476B

此文件在 收到。城市規劃委員會
只會在收到所有必要的資料及文件後才正式確認收到
申請的日期。

The document is received on 12 AUG 2024.
The Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-I
表格第 S16-I 號

APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP. 131)

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

Applicable to proposals not involving or not only involving:
適用於建議不涉及或不祇涉及:

- (i) **Construction of "New Territories Exempted House(s)";**
興建「新界豁免管制屋宇」;
- (ii) **Temporary use/development of land and/or building not exceeding 3 years in rural areas or Regulated Areas; and**
位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展;及
- (iii) **Renewal of permission for temporary use or development in rural areas or Regulated Areas**
位於鄉郊地區或受規管地區的臨時用途或發展的許可續期

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知,以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟,請瀏覽以下網址有關在指定的報章刊登通知:
https://www.tpb.gov.hk/tc/plan_application/apply.html

General Note and Annotation for the Form
填寫表格的一般指引及註解

"Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期,其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足,請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2401920

6/8

By hand

Form No. S16-I 表格第 S16-I 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/M-L-N-T-M/476
	Date Received 收到日期	12 AUG 2024

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件（倘有），送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會（下稱「委員會」）秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張，然後填寫此表格。該份文件可從委員會的網頁下載（網址：<http://www.tpb.gov.hk/>），亦可向委員會秘書處（香港北角渣華道 333 號北角政府合署 15 樓 - 電話：2231 4810 或 2231 4835）及規劃署的規劃資料查詢處（熱線：2231 5000）（香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓）索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載，亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全，委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

East Star International Holdings Limited
Golden Swallow Holdings Limited
Sino Plastic Enterprise Limited

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱（如適用）

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Aikon Development Consultancy Limited

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼（如適用）	Lots 2572 RP, 2573 and 2578 in D.D.104 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 1,978 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 473.3 sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積（倘有）	580 sq.m 平方米 <input checked="" type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Draft Ngau Tam Mei Outline Zoning Plan No. S/YL-NTM/13
(e) Land use zone(s) involved 涉及的土地用途地帶	"Residential (Group D)"
(f) Current use(s) 現時用途	Vacant (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☒ is the sole "current land owner" (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」(請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners" (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」(請夾附業權證明文件)。
- ☐ is not a "current land owner".
並不是「現行土地擁有人」。
- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上(請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)".
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」。

(b) The applicant 申請人 –

- ☐ has obtained consent(s) of "current land owner(s)".
已取得 名「現行土地擁有人」的同意。

Details of consent of "current land owner(s)" obtained 取得「現行土地擁有人」同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified "current land owner(s)"#
已通知 名「現行土地擁有人」#。

Details of the "current land owner(s)"# notified 已獲通知「現行土地擁有人」#的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on _____ (DD/MM/YYYY)#&
於_____ (日/月/年)向每一名「現行土地擁有人」#郵遞要求同意書&

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on _____ (DD/MM/YYYY)&
於_____ (日/月/年)在指定報章就申請刊登一次通知&
- ☐ posted notice in a prominent position on or near application site/premises on _____ (DD/MM/YYYY)&
於_____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知&
- ☐ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on _____ (DD/MM/YYYY)&
於_____ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會&

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別

- ☐ Type (i) Change of use within existing building or part thereof
第(i)類 更改現有建築物或其部分內的用途
- ☒ Type (ii) Diversion of stream / excavation of land / filling of land / filling of pond as required under Notes of Statutory Plan(s)
第(ii)類 根據法定圖則《註釋》內所要求的河道改道／挖土／填土／填塘工程
- ☐ Type (iii) Public utility installation / Utility installation for private project
第(iii)類 公用事業設施裝置/私人發展計劃的公用設施裝置
- ☒ Type (iv) Minor relaxation of stated development restriction(s) as provided under Notes of Statutory Plan(s)
第(iv)類 略為放寬於法定圖則《註釋》內列明的發展限制
- ☒ Type (v) Use / development other than (i) to (iii) above
第(v)類 上述的(i)至(iii)項以外的用途／發展

Note 1: May insert more than one 「✓」.

註 1：可在多於一個方格內加上「✓」號

Note 2: For Development involving columbarium use, please complete the table in the Appendix.

註 2：如發展涉及靈灰安置所用途，請填妥於附件的表格。

(i) For Type (i) application 供第(i)類申請

(a) Total floor area involved 涉及的總樓面面積	sq.m 平方米		
(b) Proposed use(s)/development 擬議用途/發展	(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)		
(c) Number of storeys involved 涉及層數		Number of units involved 涉及單位數目	
(d) Proposed floor area 擬議樓面面積	Domestic part 住用部分		sq.m 平方米 <input type="checkbox"/> About 約
	Non-domestic part 非住用部分		sq.m 平方米 <input type="checkbox"/> About 約
	Total 總計		sq.m 平方米 <input type="checkbox"/> About 約
(e) Proposed uses of different floors (if applicable) 不同樓層的擬議用途(如適用) (Please use separate sheets if the space provided is insufficient) (如所提供的空間不足，請另頁說明)	Floor(s) 樓層	Current use(s) 現時用途	Proposed use(s) 擬議用途

(ii) For Type (ii) application 供第(ii)類申請

(a) Operation involved 涉及工程	<input type="checkbox"/> Diversion of stream 河道改道		
	<input checked="" type="checkbox"/> Filling of pond 填塘		
	Area of filling 填塘面積	56 sq.m 平方米	<input checked="" type="checkbox"/> About 約
	Depth of filling 填塘深度	1.8 m 米	<input checked="" type="checkbox"/> About 約
	<input type="checkbox"/> Filling of land 填土		
	Area of filling 填土面積	sq.m 平方米	<input type="checkbox"/> About 約
	Depth of filling 填土厚度	m 米	<input type="checkbox"/> About 約
	<input checked="" type="checkbox"/> Excavation of land 挖土		
	Area of excavation 挖土面積	580 sq.m 平方米	<input checked="" type="checkbox"/> About 約
	Depth of excavation 挖土深度	2.1 m 米	<input checked="" type="checkbox"/> About 約
<p>* The area and depth of filling of pond and excavation of land will be confirmed in the detailed design stage (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用圖則顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍))</p>			
(b) Intended use/development 有意進行的用途/發展	Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Filling of Pond and Excavation of Land		

(iii) For Type (iii) application 供第(iii)類申請

(a) Nature and scale 性質及規模	<input type="checkbox"/> Public utility installation 公用事業設施裝置 <input type="checkbox"/> Utility installation for private project 私人發展計劃的公用設施裝置 Please specify the type and number of utility to be provided as well as the dimensions of each building/structure, where appropriate 請註明有關裝置的性質及數量, 包括每座建築物/構築物(倘有)的長度、高度和闊度		
	Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米)(長 x 闊 x 高)
(Please illustrate on plan the layout of the installation 請用圖則顯示裝置的布局)			

(iv) For Type (iv) application 供第(iv)類申請

- (a) Please specify the proposed minor relaxation of stated development restriction(s) and **also fill in the proposed use/development and development particulars in part (v) below** –
請列明擬議略為放寬的發展限制並填妥於第(v)部分的擬議用途/發展及發展細節 –

- ☒ Plot ratio restriction From 由 **0.2** to 至 **0.24**
地積比率限制
- ☐ Gross floor area restriction From 由sq. m 平方米 to 至sq. m 平方米
總樓面面積限制
- ☐ Site coverage restriction From 由% to 至 %
上蓋面積限制
- ☒ Building height restriction From 由 **6**m 米 to 至 **10.65** m 米
建築物高度限制
including 1 storey of basement carpark (3.65m)
From 由 mPD 米 (主水平基準上) to 至mPD 米 (主水平基準上)
From 由 **2** storeys 層 to 至 **3** storeys 層
including 1 storey of basement carpark
- ☐ Non-building area restriction From 由m to 至 m
非建築用地限制
- ☐ Others (please specify)
其他 (請註明)

(v) For Type (v) application 供第(v)類申請

(a) Proposed use(s)/development
擬議用途/發展

Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Filling of Pond and Excavation of Land

(Please illustrate the details of the proposal on a layout plan 請用平面圖說明建議詳情)

(b) Development Schedule 發展細節表

- Proposed gross floor area (GFA) 擬議總樓面面積 **473.3** sq.m 平方米 ☒ About 約
- Proposed plot ratio 擬議地積比率 **0.24** ☒ About 約
- Proposed site coverage 擬議上蓋面積 **18.27** % ☒ About 約
- Proposed no. of blocks 擬議座數 **1**
Proposed no. of storeys of each block 每座建築物的擬議層數 **3** storeys 層
- ☒ include 包括 **1** storeys of basements 層地庫
☐ exclude 不包括 storeys of basements 層地庫
- Proposed building height of each block 每座建築物的擬議高度 **13.05** mPD 米(主水平基準上) ☒ About 約
..... **10.65** m 米 ☒ About 約

☒ Domestic part 住用部分

GFA 總樓面面積

473.3

sq. m 平方米

☒ About 約

number of Units 單位數目

5

average unit size 單位平均面積

77

sq. m 平方米

☒ About 約

estimated number of residents 估計住客數目

14

☐ Non-domestic part 非住用部分

GFA 總樓面面積

☐ eating place 食肆

sq. m 平方米

☐ About 約☐ hotel 酒店

sq. m 平方米

☐ About 約

(please specify the number of rooms

請註明房間數目)

☐ office 辦公室

sq. m 平方米

☐ About 約☐ shop and services 商店及服務行業

sq. m 平方米

☐ About 約☐ Government, institution or community facilities

(please specify the use(s) and concerned land

政府、機構或社區設施

area(s)/GFA(s) 請註明用途及有關的地面面積/總

樓面面積)

☐ other(s) 其他

(please specify the use(s) and concerned land

area(s)/GFA(s) 請註明用途及有關的地面面積/總

樓面面積)

☒ Open space 休憩用地

(please specify land area(s) 請註明地面面積)

☒ private open space 私人休憩用地

968

sq. m 平方米

☐ Not less than 不少於☐ public open space 公眾休憩用地

sq. m 平方米

☐ Not less than 不少於

(c) Use(s) of different floors (if applicable) 各樓層的用途 (如適用)

[Block number] [座數]	[Floor(s)] [層數]	[Proposed use(s)] [擬議用途]
	G/F	Private Residential Use
	1/F	Private Residential Use
	UG	Private Carpark

(d) Proposed use(s) of uncovered area (if any) 露天地方 (倘有) 的擬議用途

Loading and unloading bay, Footpath, Internal Driveway, Landscaping Area, and Swimming Pools.

7. Anticipated Completion Time of the Development Proposal 擬議發展計劃的預計完成時間

Anticipated completion time (in month and year) of the development proposal (by phase (if any)) (e.g. June 2023)
擬議發展計劃預期完成的年份及月份 (分期 (倘有)) (例: 2023 年 6 月)
(Separate anticipated completion times (in month and year) should be provided for the proposed public open space and Government, institution or community facilities (if any))
(申請人須就擬議的公眾休憩用地及政府、機構或社區設施 (倘有) 提供個別擬議完成的年份及月份)

2027

8. Vehicular Access Arrangement of the Development Proposal 擬議發展計劃的行車通道安排

<p>Any vehicular access to the site/subject building? 是否有車路通往地盤/有關建築物?</p>	<p>Yes 是 No 否</p>	<p><input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) Chun Shin Road</p> <p><input checked="" type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示, 並註明車路的闊度) Ingress/egress with 6m in width</p> <p><input type="checkbox"/></p>																
<p>Any provision of parking space for the proposed use(s)? 是否有為擬議用途提供停車位?</p>	<p>Yes 是 No 否</p>	<p><input checked="" type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示)</p> <table border="0"> <tr> <td>Private Car Parking Spaces 私家車車位</td> <td>6</td> </tr> <tr> <td>Motorcycle Parking Spaces 電單車車位</td> <td>1</td> </tr> <tr> <td>Light Goods Vehicle Parking Spaces 輕型貨車泊車位</td> <td></td> </tr> <tr> <td>Medium Goods Vehicle Parking Spaces 中型貨車泊車位</td> <td></td> </tr> <tr> <td>Heavy Goods Vehicle Parking Spaces 重型貨車泊車位</td> <td></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td></td> </tr> <tr> <td></td> <td></td> </tr> <tr> <td></td> <td></td> </tr> </table> <p><input type="checkbox"/></p>	Private Car Parking Spaces 私家車車位	6	Motorcycle Parking Spaces 電單車車位	1	Light Goods Vehicle Parking Spaces 輕型貨車泊車位		Medium Goods Vehicle Parking Spaces 中型貨車泊車位		Heavy Goods Vehicle Parking Spaces 重型貨車泊車位		Others (Please Specify) 其他 (請列明)					
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<p>Any provision of loading/unloading space for the proposed use(s)? 是否有為擬議用途提供上落客貨車位?</p>	<p>Yes 是 No 否</p>	<p><input checked="" type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示)</p> <table border="0"> <tr> <td>Taxi Spaces 的士車位</td> <td></td> </tr> <tr> <td>Coach Spaces 旅遊巴車位</td> <td></td> </tr> <tr> <td>Light Goods Vehicle Spaces 輕型貨車車位</td> <td>1</td> </tr> <tr> <td>Medium Goods Vehicle Spaces 中型貨車車位</td> <td></td> </tr> <tr> <td>Heavy Goods Vehicle Spaces 重型貨車車位</td> <td></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td></td> </tr> <tr> <td></td> <td></td> </tr> <tr> <td></td> <td></td> </tr> </table> <p><input type="checkbox"/></p>	Taxi Spaces 的士車位		Coach Spaces 旅遊巴車位		Light Goods Vehicle Spaces 輕型貨車車位	1	Medium Goods Vehicle Spaces 中型貨車車位		Heavy Goods Vehicle Spaces 重型貨車車位		Others (Please Specify) 其他 (請列明)					
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Others (Please Specify) 其他 (請列明)																		

9. Impacts of Development Proposal 擬議發展計劃的影響

If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures.

如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。

Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?	Yes 是 No 否	<input type="checkbox"/> Please provide details 請提供詳情																													
Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程? (Note: where Type (ii) application is the subject of application, please skip this section. 註：如申請涉及第(ii)類申請，請跳至下一條問題。)	Yes 是 No 否	<input checked="" type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地/池塘界線，以及河道改道、填塘、填土及/或挖土的細節及/或範圍) <input type="checkbox"/> Diversion of stream 河道改道 <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約 <input checked="" type="checkbox"/> Filling of land 填土 Area of filling 填土面積 1,310 sq.m 平方米 <input checked="" type="checkbox"/> About 約 Depth of filling 填土厚度 1.6 m 米 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約 * The area and depth of filling of land will be confirmed in the detailed design stage																													
Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?	<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input type="checkbox"/></td> </tr> </table> Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可) N/A	On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input type="checkbox"/>
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10. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

Please refer to the Planning Statement attached.

11. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion. 本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署

☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Thomas LUK

N/A

Name in Block Letters
姓名（請以正楷填寫）

Position (if applicable)
職位（如適用）

Professional Qualification(s) ☐ Member 會員 / ☐ Fellow of 資深會員

專業資格

☐ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他



on behalf of
代表

Aikon Development Consultancy Limited

☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

05/08/2024

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

For Developments involving Columbarium Use, please also complete the following:
如發展涉及靈灰安置所用途，請另外填妥以下資料：

Ash interment capacity 骨灰安放容量@

Maximum number of sets of ashes that may be interred in the niches

在龕位內最多可安放骨灰的數量

Maximum number of sets of ashes that may be interred other than in niches

在非龕位的範圍內最多可安放骨灰的數量

Total number of niches 龕位總數

Total number of single niches

單人龕位總數

Number of single niches (sold and occupied)

單人龕位數目 (已售並佔用)

Number of single niches (sold but unoccupied)

單人龕位數目 (已售但未佔用)

Number of single niches (residual for sale)

單人龕位數目 (待售)

Total number of double niches

雙人龕位總數

Number of double niches (sold and fully occupied)

雙人龕位數目 (已售並全部佔用)

Number of double niches (sold and partially occupied)

雙人龕位數目 (已售並部分佔用)

Number of double niches (sold but unoccupied)

雙人龕位數目 (已售但未佔用)

Number of double niches (residual for sale)

雙人龕位數目 (待售)

Total no. of niches other than single or double niches (please specify type)

除單人及雙人龕位外的其他龕位總數 (請列明類別)

Number of niches (sold and fully occupied)

龕位數目 (已售並全部佔用)

Number of niches (sold and partially occupied)

龕位數目 (已售並部分佔用)

Number of niches (sold but unoccupied)

龕位數目 (已售但未佔用)

Number of niches (residual for sale)

龕位數目 (待售)

Proposed operating hours 擬議營運時間

@ Ash interment capacity in relation to a columbarium means –

就靈灰安置所而言，骨灰安放容量指：

- the maximum number of containers of ashes that may be interred in each niche in the columbarium;
每個龕位內可安放的骨灰容器的最高數目；
- the maximum number of sets of ashes that may be interred other than in niches in any area in the columbarium; and
在該靈灰安置所並非龕位的範圍內，總共最多可安放多少份骨灰；以及
- the total number of sets of ashes that may be interred in the columbarium.
在該骨灰安置所內，總共最多可安放多少份骨灰。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置／地址	Lots 2572 RP, 2573 and 2578 in D.D. 104 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories 新界元朗牛潭尾丈量約份第104約地段第2572號餘段、第2573號及第2578號和毗連政府土地		
Site area 地盤面積	1,978 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 580 sq. m 平方米 <input checked="" type="checkbox"/> About 約)		
Plan 圖則	Draft Ngau Tam Mei Outline Zoning Plan No. S/YL-NTM/13 牛潭尾分區計劃大綱草圖編號 S/YL-NTM/13		
Zoning 地帶	"Residential (Group D)" 「住宅 (丁類)」		
Applied use/ development 申請用途／發展	Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Filling of Pond and Excavation of Land 擬議略為放寬地積比率及建築物高度限制作擬議分層住宅用途及填塘及挖土工程		
(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	473.3 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.24 <input type="checkbox"/> About 約 <input checked="" type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	N/A <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	N/A <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	1	
	Non-domestic 非住用	N/A	
	Composite 綜合用途	N/A	

(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	10.65	m 米 <input checked="" type="checkbox"/> (Not more than 不多於)
		13.05	mPD 米(主水平基準上) <input checked="" type="checkbox"/> (Not more than 不多於)
		3 1 basement	Storeys(s) 層 <input checked="" type="checkbox"/> (Not more than 不多於) (<input checked="" type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input checked="" type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Non-domestic 非住用	N/A	m 米 <input type="checkbox"/> (Not more than 不多於)
		N/A	mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		N/A	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Composite 綜合用途	N/A	m 米 <input type="checkbox"/> (Not more than 不多於)
		N/A	mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		N/A	Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於) (<input type="checkbox"/> Include 包括/ <input type="checkbox"/> Exclude 不包括 <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
(iv) Site coverage 上蓋面積	18.27 % <input checked="" type="checkbox"/> About 約		
(v) No. of units 單位數目	5		
(vi) Open space 休憩用地	Private 私人	About 968	sq.m 平方米 <input type="checkbox"/> Not less than 不少於
	Public 公眾		sq.m 平方米 <input type="checkbox"/> Not less than 不少於

(vii) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數 Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____	7 6 1
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數 Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____ _____	1 1

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件

	<u>Chinese</u> 中文	<u>English</u> 英文
<u>Plans and Drawings 圖則及繪圖</u>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>
Location plan, Lot index plan, site photos, 3D illustrations		
<u>Reports 報告書</u>		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>

Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

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Section 16 Planning Application

Proposed Minor Relaxation of Plot Ratio
and Building Height Restriction for
Proposed Flat and Filling of Pond and
Excavation of Land

Lots 2572 RP, 2573 and 2578 in D.D. 104
and Adjoining Government Land, Ngau
Tam Mei, Yuen Long, New Territories

Planning Statement

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In Association with
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August 2024

EXECUTIVE SUMMARY

This Planning Statement is submitted to the Town Planning Board (hereinafter referred to as “the Board”) in support of a planning application (hereinafter referred to as “the current application”) for **Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Filling of Pond and Excavation of Land** at Lots 2572 RP, 2573 and 2578 in D.D. 104 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories (hereinafter referred to as “the application site”). The current application proposes amendments to a previously approved scheme under the previous planning application No. A/YL-NTM/377 (hereinafter referred to as “the previous application”) approved by the Rural and New Town Planning Committee (RNTPC) on 12.4.2019 for Proposed House. The application site has a total area of about 1,978m² (including Government land of about 580m²), which covers the site extent of the previous application with an additional portion of Government land. This Planning Statement serves to provide background information and planning justifications in support of the current application to facilitate consideration by the Board.

The current application seeks planning permission to amend the proposed use and the site area of the previously approved scheme under the previous application with minor relaxation of Plot Ratio (PR) and Building Height (BH) restriction. The current application is for the development of a **3-storey residential block (including 1-storey basement carpark)** comprising 5 flats with maximum PR of 0.24 and maximum BH in **3 storeys (10.65m)**. The proposed development involves excavation of land for a basement carpark (**3.65m**). The proposed area and depth of excavation are about 580m² and about 2.1m respectively.

The application site currently falls within an area zoned “Residential (Group D)” (“R(D)”) on the draft Ngau Tam Mei Outline Zoning Plan No. S/YL-NTM/13 (hereinafter referred to as “the Current OZP”) which was gazetted on 8.3.2024. According to the Notes of the Current OZP, ‘Flat’ within the “R(D)” zone, filling of pond or excavation of land require planning permission from the Board, and minor relaxation of PR and BH restriction may be considered by the Board on application under section 16 of the Ordinance. In this connection, the current application is herewith made to the Board for consideration. As detailed in the Planning Statement, the proposed development is well justified on the grounds that:

- (a) *The proposed development is fully in line with the Government’s latest policy direction to strategically increase high-quality housing supply, especially along future railway projects. The proposed development will respond to the public call for larger living spaces through complying with the latest requirement of minimum unit size promulgated by the Government;*
- (b) *The proposed use is solely for low-rise and low-density residential development and is considered to be fully in line with the planning intention of “R(D)” zone;*
- (c) *The application site is situated in an area which is predominantly rural in character with village houses, low-rise residential developments, vacant land and abandoned fishponds.*

The proposed development under the current application would remain as a low-rise and low-density residential development, which is considered compatible with the surrounding environment in terms of land use, character and scale;

- (d) The proposed development would facilitate the phasing-out of non-conforming uses to improve the overall local environment. It would also unleash development potential of scarce land resources for residential development and respond to the community demand for housing supply without causing insurmountable impact on the environment;*
- (e) The design of the proposed development carries planning and design merits in enhancing pedestrian circulation and visual permeability of the surrounding areas;*
- (f) Taking into account that the proposed development is relatively small-scale, no significant adverse traffic, landscape, visual, environmental, drainage and sewerage impacts are anticipated; and*
- (g) The proposed development will not set an undesirable precedent considering that previous and similar applications in the "R(D)" zone of the Current OZP were approved by the Board.*

In view of the above and the list of detailed planning justifications in this Planning Statement, the Board is respectfully requested to give favorable consideration to approve the current application for the proposed development.

行政摘要

(如內文與其英文版本有差異，則以英文版本為準)

此規劃報告書旨在支持一宗遞交予城市規劃委員會（以下簡稱「城規會」）的規劃申請（以下簡稱「是次申請」），擬議略為放寬地積比率及建築物高度限制作擬議分層住宅用途及填塘及挖土工程。該申請所涉及地點位於新界元朗牛潭尾丈量約份第 104 約地段第 2572 號餘段、第 2573 號及第 2578 號和毗連政府土地（以下簡稱「申請地點」）。是次申請擬議修訂鄉郊及新市鎮規劃小組委員會於 2019 年 4 月 12 日在有條件下批給許可之規劃申請編號 A/YL-NTM/377（以下簡稱「先前申請」）作擬議屋宇用途之已核准的發展計劃。申請地點的面積約為 1,978 平方米（包括約 580 平方米的政府土地）。是次申請地點的界線與先前申請大致相同，並額外將一部分政府土地納入了申請範圍。此規劃報告書將提供是次申請的背景資料及規劃理據予城規會考慮。

是次申請的目的是為了修訂先前申請下已核准的發展計劃的擬議用途及申請地點的面積，並略為放寬地積比率及建築物高度限制。擬議發展是以興建一幢樓高三層（包括一層地下停車間）的分層住宅並提供 5 個單位，最高地積比率為 0.24，而最高建築物高度則為 3 層（10.65 米）。擬議發展涉及挖土工程以興建地下停車間（3.65 米）。擬議挖掘面積及深度分別約為 580 平方米及 2.1 米。

申請地點於 2024 年 3 月 8 日刊憲公佈的牛潭尾分區計劃大綱草圖（編號：S/YL-NTM/13）（以下簡稱「現行大綱圖」）內被劃為「住宅（丁類）」地帶。考慮到擬議用途所屬之「分層住宅」屬於「住宅（丁類）」地帶的第二欄用途，而是次申請亦擬議略為放寬地積比率及建築物高度限制和進行填塘或挖土工程，因此須向城規會提出申請。此規劃報告書內詳細闡述擬建用途的規劃理據，當中包括：-

- (一) 擬議發展完全符合政府最新的政策方向，即策略性地增加優質房屋供應，尤其在未來的鐵路沿線。擬議發展將響應政府最新頒布的單位最低面積要求，以回應市民大眾對更大居所空間的期望；
- (二) 擬議用途的性質僅為低層及低密度住宅發展，因此應被視為完全符合「住宅(丁類)」地帶的規劃意向；
- (三) 申請地點位於鄉郊範圍，周遭主要為村屋、低層及低密度住宅發展、閒置土地及荒廢魚塘。擬議低層及低密度住宅發展在土地用途、性質和發展規模方面與周遭環境相互兼容；
- (四) 擬議發展有助逐步淘汰當區不符合規定的用途，改善當區環境，並能夠釋放珍貴土地資源的發展潛力作住宅用途，以回應廣大市民對房屋供應的迫切需求，而不會對環境造成不可接受的影響；
- (五) 擬議發展的設計在加強周邊地區的行人流通和視覺通透性方面具有規劃和設計優點；
- (六) 擬議發展規模較細，不會對交通、園景、視覺、環境、排水及排污方面造成不良影響；及
- (七) 考慮到在現行大綱圖的「住宅（丁類）」地帶中已有先前申請及類似申請獲批，擬議發展並不會立下不良先例。

鑑於以上及此規劃報告書所提供的詳細規劃理據，敬希城規會各委員給予考慮並批准是次規劃申請。

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1. INTRODUCTION

1.1 Purpose

- 1.1.1 Pursuant to section 16 of the Town Planning Ordinance (Cap. 131) (hereinafter referred to as “the Ordinance”), this Planning Statement is submitted to the Town Planning Board (hereinafter referred to as “the Board”) in support of a planning application (hereinafter referred to as “the current application”) for **Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Filling of Pond and Excavation of Land** at Lots 2572 RP, 2573 and 2578 in D.D. 104 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories (hereinafter referred to as “the application site”). The current application proposes amendments to a previously approved scheme under the previous planning application No. A/YL-NTM/377 (hereinafter referred to as “the previous application”) approved by the Rural and New Town Planning Committee (RNTPC) on 12.4.2019 for Proposed House. The application site has a total area of about 1,978m² (including Government land of about 580m²), which covers the site extent of the previous application with an additional portion of Government land. This Planning Statement serves to provide background information and planning justifications in support of the current application to facilitate consideration by the Board.
- 1.1.2 The current application seeks planning permission to amend the proposed use and the site area of the previously approved scheme under the previous application with minor relaxation of Plot Ratio (PR) and Building Height (BH) restriction. The current application is for development of a **3-storey residential block (including 1-storey basement carpark)** comprising 5 flats with minor relaxation of PR from 0.2 to 0.24 and BH restriction from 2 storeys (6m) to **3 storeys (10.65m)**. The proposed development involves filling of pond and excavation of land for a basement carpark. The proposed area and depth of excavation are about 580m² and about 2.1m respectively.
- 1.1.3 The application site currently falls completely within an area zoned “Residential (Group D)” (“R(D)”) on the draft Ngau Tam Mei Outline Zoning Plan No. S/YL-NTM/13 (hereinafter referred to as “the Current OZP”) which was gazetted on 8.3.2024. According to the Notes of the Current OZP, ‘Flat’ within the “R(D)” zone, filling of pond and excavation of land require planning permission from the Board, and minor relaxation of PR and BH restriction may be considered by the Board on application under section 16 of the Ordinance. In this connection, the current application is herewith made to the Board for consideration.
- 1.1.4 Prepared on behalf of the registered owner of the application site (hereinafter referred to as the “the Applicant”), Aikon Development Consultancy Limited has been commissioned to prepare and submit the current application.

1.2 Background

- 1.2.1 The application site is solely owned by the Applicant and is currently vacant. The application site is mainly covered by wild vegetations and there are no active farming activities in its close proximity.
- 1.2.2 Subject to the changes in circumstances since the approval of the previous application in April 2019, a fresh section 16 planning application is now submitted to amend the proposed use and the site area of the previously approved scheme with minor relaxation of PR and BH restriction, filling of pond and excavation of land. The current proposal involves an amendment of proposed use from 'House' to 'Flat' for the development of a 3-storey residential block (including 1-storey basement carpark). In order to essentially cater the abovementioned 'Flat' development and accommodate the increased development intensity at the application site, it is proposed to increase the site area by including an additional portion of Government land of about 580m² with minor relaxation of PR from about 0.2 to 0.24 (+20%) and BH restriction from not more than 2 storeys (6m) to 3 storeys (10.65m) (including 1-storey basement carpark) (+77.5% in actual BH) as well as the filling of pond and excavation of land for a basement carpark. The amended development scheme under the current application would optimise the development potential of scarce land resources for residential development and help to address the community demand for housing supply.

1.3 Objectives

- 1.3.1 The current application strives to achieve the following objectives:
- (a) *To materialize the policy directions reflected in the latest Policy Address, "Hong Kong 2030+ Towards a Planning Vision and Strategy Transcending 2030" in addressing the foreseeable planning challenges posed by limited land supply and increasing demand for housing;*
 - (b) *To act as an impetus to put forward the planning intention of the "R(D)" zone by completely phasing out non-conforming open storage and rural industrial uses within the "R(D)" zone and to be in full harmony with the surrounding residential area; and*
 - (c) *To introduce a low-rise and low-density residential development which has been carefully planned and designed with respect to the surrounding area, and would better utilise the land value of the application site.*

1.4 Structure of the Planning Statement

- 1.4.1 This *Planning Statement* is divided into 6 chapters. **Chapter 1** is the above introduction outlining the purpose and objectives of the current application. **Chapter 2** gives background details of the application site in terms of the current land use characteristics and the neighbouring developments. **Chapter 3** offers the planning context of the application site whilst **Chapter 4** provides details of the proposed development. A full list of planning justifications is given in **Chapter 5** whilst **Chapter**

2. 6 provides a concluding remark for the proposed development. **SITE PROFILE**

2.1 Location and Current Condition of the Application Site

- 2.1.1 The application site has an area of about 1,978m² comprising about 1,398m² (about 71%) of private land and about 580m² (about 29%) of Government land. The location of the application site is shown in **Figure 1** whilst **Figure 2** indicates the relevant private lots and Government land which the application site involves.
- 2.1.2 As shown in **Figure 1**, the application site is located in an area zoned “R(D)” on the Current OZP. The application site is located to the immediate south of Chun Shin Road but is separated from the road by fencing and an artificial slope. The site is currently accessible via an informal footpath running through Lots 1217 S.A RP, 1217 S.B RP, 1217 S.D, 2579, 2580, 2581, 2582 in D.D. 104 which connects to Chun Shin Road to the further east of the site.
- 2.1.3 The application site has an existing site level ranging from about 4.3mPD to 4.5mPD, which is about 1.1m to 1.3m lower than its access road, Chun Shin Road. It is currently vacant and covered by wild vegetation. **Illustration 1** indicates the current conditions of the application site.

2.2 Surrounding Land-use Characteristics

- 2.2.1 The application site is situated in an area which is predominantly rural in character with village houses, low-rise residential developments, vacant land and abandoned fishponds. To the immediate east, south and west of the applicant site are vacant land and abandoned fishponds. To the further east of the applicant site is the proposed temporary transitional housing development with construction works undergoing. To the immediate north of the application site across Chun Shin Road is a Nullah. To the further north of the application site is a cluster of low-rise residential dwellings along Ngau Tam Mei Road, comprising houses and New Territories Exempted Houses (NTEH) with BH ranging from 2 to 3 storeys. **Illustration 2** indicates the surrounding uses of the application site.

3. PLANNING CONTEXT

3.1 The Current OZP

- 3.1.1 The application site falls within an area zoned “R(D)” on the Current OZP (**Figure 3** refers). According to the Notes of the Current OZP, the proposed use should be regarded as ‘Flat’ which is a Column 2 use within the “R(D)” zone and requires planning permission from the Board. According to the Notes for the “R(D)” zone, minor relaxation of PR and BH restriction may be considered by the Board on application under section 16 of the Ordinance and it is also stipulated that “...Any filling of pond or excavation of land... shall not be undertaken...without the permission from the Town Planning Board...”. In this connection, the current application is herewith made to the Board for consideration.
- 3.1.2 The planning intention of the “R(D)” zone is “*primarily for improvement and upgrading of existing temporary structures within the rural areas through redevelopment of existing temporary structures into permanent buildings. It is also intended for low-rise, low-density residential developments subject to planning permission from the Board*”.
- 3.1.3 As stated in the Explanatory Statement for the “R(D)” zone, “*since the areas along San Tin Highway would be subject to traffic noise impact, any proposed development near the road should provide adequate mitigation measures to minimize such impact*”. According to the site visit on 24.5.2024, tall roadside trees and fence walls are commonly observed along residential developments in close proximity to San Tin Highway, which serve as effective noise barriers. With reference to such current practices, similar approach will also be applied to the proposed development and its eastern periphery facing San Tin Highway is proposed only for the ramp to the basement carpark and landscaping features. As such, noise issue should not be the major concern despite the application site is only about 40m away from San Tin Highway.

3.2 Previous Planning Application

- 3.2.1 Part of the application site is subject to a previous planning application (No. A/YL-NTM/377) submitted by the same Applicant as the current application for ‘House’ use. The previous application was approved by the RNTPC on 12.4.2019 mainly on the considerations that the proposed development was in line with the planning intention of the “R(D)” zone; proposed development parameters conformed to the OZP restrictions; the approval of the development could catalyse the phasing out of the non-conforming and undesirable rural industrial-related uses in the vicinity and help achieve an early implementation of the planning intention; and no insurmountable issue from traffic, ecological, environmental, landscape, geotechnical, sewerage and drainage perspectives was anticipated.

3.3 Similar Planning Applications

- 3.3.1 There is one similar application (No. A/YL-NTM/432) in the “R(D)” zone of the Current OZP. Application No. A/YL-NTM/432 for proposed temporary transitional housing development and ancillary facilities for a period of 3 years with filling of pond and excavation of land was approved with conditions on a temporary basis by the RNTPC on 14.1.2022 mainly on the considerations that the proposed development was in line with the planning intention of the “R(D)” zone; the proposed development was in line with the Government policy in increasing the supply of transitional housing for meeting the short-term needs of people waiting for public housing; the proposed development was considered not incompatible with the surrounding area; and no significant adverse traffic, environment, ecological, sewerage, drainage, water supply, visual and landscape impact was anticipated.

4. THE DEVELOPMENT PROPOSAL

4.1 Proposed Development and Major Development Parameters

- 4.1.1 The proposed development is configured as a low-rise and low-density residential development, which involves a 3-storey residential block comprising 5 flats, a basement carpark, landscaping areas, a swimming pool, a club house and a new public pedestrian access with seating area. The Master Layout Plan and perspective drawings illustrating the development scheme, floor plans and section drawings of the proposed development are shown in **Appendix I**.
- 4.1.2 The proposed development involves a site area of about 1,978m² (including Government land of about 580m²) with PR of not more than 0.24, total gross floor area (GFA) of about 473.3m² and BH and not more than 3 storeys (10.65m) (including 1-storey basement carpark). The major proposed development parameters of the proposed development are tabulated in **Table 1** below.
- 4.1.3 The current application serves to comply with the latest minimum unit size requirement of at least 26m² promulgated by the Government as from 2022 and respond to the imminent public call for larger living space. The proposed 3-storey residential block (including 1-storey basement carpark) would involve a total of 5 flats each with floor area ranging from 31m² to 120m². The floor-to-floor height of the proposed development would be 3.5m as complying with the requirements from Buildings Department Practice Note No. PNAP APP-5, Lands Department Lands Administration Office Practice Note No. 4/2014 and Joint Practice Note No. 5 in order to provide spacious living spaces and higher living quality for future occupants. The design of the residential units and internal layout are purposely designed for families with 5 special units provided at the north of the application site. The basement with a floor-to-floor height of 3.65m, created from excavation will offer 6 private car parking spaces (including 1 accessible car parking space), 1 motorcycle parking space and 1 light goods vehicle loading/unloading bay for the future occupants as well as a plant room in about 79 m² for the provision of water tank and pump room. Other ancillary facilities including transformer room and switch room are located at the northeast of the application site.
- 4.1.4 There will be about 968m² of landscaping area provided at the proposed development. Extensive planting of trees and other vegetations will be provided in the landscaping areas as well as along the boundary of the application site to provide visual amenity and for the enjoyment of future occupants. The periphery soft planted edge comprises tall roadside trees in association with a minimum 1.8m-tall fence wall for screening effect. A swimming pool will be provided in association with the club house in about 23m², serving the recreational needs of future occupants.
- 4.1.5 The proposed development will incorporate a setback along the periphery of the application site for the provision of a public footpath in not less than 1.5m in width (**Appendix I** refers). The setback area will be paved and designated as the new public pedestrian access to Chun Shin Road with a public sitting area at the north of the

application site.

- 4.1.6 The application site has an existing site level ranging from about 4.3mPD to 4.5mPD. Therefore, land filling work is proposed to be carried out at the application site of about 1.6m (**Figure 4** refers) in order to serve the proposed development in a “technically-feasible” manner. The proposed development involves excavation of land and filling of pond for a basement carpark (**Figure 5** refers). The proposed area and depth of excavation are about 580m² and about 2.1m respectively. Minor filling of pond is required at the southern part of the application site.

Table 1: Major Development Parameters of the Proposed Development

Major Development Parameters of the Proposed Development	
Total Site Area (About)	1,978m ²
Private Lots	1,398m ² (71%)
Government Land	580m ² (29%)
Total GFA (About)	473.3m ²
PR	Not more than 0.24
SC	18.27%
BH	3 storeys (10.65m) (including 3.65m basement carpark)
Number of Flats	5
Flat Size	31m ² to 120m ²
Estimated Population	14
Floor-to-Floor Height	
- G/F and 1/F	3.5m
- R/F	3m
- Basement	3.65m
Total Greenery Area (About)	968m ²
Green Ratio	48%
Height of Fence Wall	Not less than 1.8m
Excavation of Land	
Area (About)	580m ²
Depth (About)	2.1m
Filling of Pond	
Area (About)	56m ²
Depth (About)	1.8m
Parking Spaces	
- Private car	6 (including 1 accessible car parking space)
- Motorcycle	1
- Light Goods Vehicle (LGV) Loading/ Unloading Bay	1

A minimum flat size of about 31m² proposed under the current application will comply with the latest minimum unit size requirement of at least 26m² promulgated by the Government as from 2022.

4.2 Traffic Arrangement

- 4.2.1 The site adjoins Chun Shin Road to the north. The application site would be directly accessible via a newly proposed 6m-wide ingress/egress point connecting Chun Shin

Road. The proposal will also provide a basemen carpark comprising a total of 6 private car parking spaces (including 1 accessible car parking space), 1 motorcycle parking space and 1 light goods vehicle loading/unloading bay for the future occupants and visitors, which is in line with the parking requirement of the Hong Kong Planning Standards and Guidelines (HKPSG). All vehicular manoeuvring will be conducted within the site.

4.3 Landscape and Visual Considerations

- 4.3.1 Considering that the application site is surrounded by rural character with vacant land and abandoned fishponds to its immediate east, south and west; and there are similar uses including village houses and low-rise residential developments located to the north and east of the application site, the proposed low-rise and low-density residential development is deemed to be compatible with the surrounding land uses.
- 4.3.2 The proposed development constitutes a total greenery area of about 968m² and a greenery ratio of 48%, which is more than the required 20% greenery requirement set out in PNAP APP-152 – Sustainable Building Design Guidelines. In order to further integrate the proposed development with its surroundings, landscaping areas are provided within the application site in association with soft planted edge at the periphery to provide visual amenity. The periphery soft planted edge comprises tall roadside trees in association with a minimum 1.8m-tall fence wall for screening effect.

4.4 Provision of Drainage and Sewerage Facilities

- 4.4.1 Surface run-off can be collected through the existing channels adjacent to the northern boundary of the application site to the local nullah. Considering the existence of drainage facilities within the application site, significant adverse drainage impact is not anticipated. If required and considered essential, the Applicant will submit a drainage proposal and further implement additional drainage facilities to the satisfaction of Drainage Services Department or the Board by way of compliance of approval condition(s).
- 4.4.2 The proposed low-rise and low-density development involves only a 3-storey residential block (including 1-storey basement carpark) comprising 5 flats with an estimated population of 14 people. It is therefore considered to be small-scale in nature and no significant sewerage impact would be induced. If required and considered essential, the Applicant will submit a sewerage proposal and further implement additional sewerage facilities to the satisfaction of Water Supplies Department and Environmental Protection Department or the Board by way of compliance of approval condition(s).

5. PLANNING JUSTIFICATIONS

5.1 In Accordance with Policy Direction to Increase the Housing Supply

5.1.1 According to the territorial planning strategy "Hong Kong 2030+: Towards a Planning Vision and Strategy Transcending 2030" ("HK2030+"), 'enhancing liveability in a compact high-density city' is one of the building blocks in support of the strategic directions including creating development capacity to enable a decent level of living and wide housing choices for an equitable and inclusive city. In view of the focus in high-standard housing provision, the proposed development with a minimum flat size of about 31m² and floor-to-floor height of 3.5m will comply with the latest minimum unit size requirement of at least 26m² promulgated by the Government as from 2022 and respond to the imminent public call for larger living space. The proposed development strives to offer a desirable living environment for future occupants with a view to enhance the quality and quantity of housing supply.

5.1.2 The 2021 Policy Address also suggested that 'the consolidation of the Northern Metropolis and its expansion in terms of development capacity will be driven by a transportation system with railways as its backbone'. In particular, the proposed Ngau Tam Mei station along Northern Link (NOL) will be in close proximity to the Site and will be highly accessible for future occupants. Meanwhile, upon completion of the ongoing Ngau Tam Mei Land Use Review Study, the development potential in the area will be unleashed with an expected increase in number of housing sites in the future. In consideration of the above, the current application offers an opportunity to unleash the development potential of scarce land resources for residential development and contribute to the supply of high-quality housing, as well as to promote public transport usage at the future Ngau Tam Mei station. The proposed development is not only in line with the latest Government's policy direction, but it also provides a feasible scheme to integrate with the future land use planning at Ngau Tam Mei.

5.2 Fully In Line with the Planning Intentions of the "R(D)" Zone

5.2.1 The application site falls within an area zoned "R(D)" on the Current OZP of which the planning intention is primarily for improvement and upgrading of existing temporary structures within the rural areas through redevelopment of existing temporary structures into permanent buildings as well as intending for low-rise, low-density residential development. In view of the fact that the proposed use is solely for low-rise and low-density residential development, it is considered to be fully in line with the planning intention of "R(D)" zone.

5.3 Being Compatible with the Surrounding Land Uses

5.3.1 The surroundings of the Application Site are predominately rural in character, comprising village houses, low-rise residential developments, vacant land and

abandoned fishponds. Having regard that the adjoining proposed temporary transitional housing development has a total PR of 1.3 and a BH of 4 storeys while other residential uses in the vicinity have a PR ranging from 0.2 to 0.4 and a BH of 2 to 3 storeys, the proposed **3-storey houses** with a PR of 0.24 would be fully compatible with the surrounding context.

- 5.3.2 The nature of the proposed residential development remains low-rise and low-density, which is the same as the approved scheme under the previous application. The proposed increase in PR and BH restriction should be considered minor in scale and the proposed development would be compatible with the neighbourhood and unlikely to result in any adverse visual impact on the surroundings.
- 5.3.3 An area to the further southwest of the application site is hard-paved and is currently being utilized for open storage. It is subject to a previously rejected planning application and shall be regarded as Unauthorized Development under the Ordinance.

5.4 Optimizing Land Resources in Meeting Community Needs

- 5.4.1 The application site and its immediate surrounding remain vacant since the gazette of the Current OZP in 2006. Considering the proposed development is compatible with the local geographical setting, the approval of current application would improve the existing rural environment, which is now predominately occupied by temporary non-domestic structures and abandoned land, and further to unleash the development potential of the under-utilised land resources for housing supply without causing insurmountable impact on the environment.
- 5.4.2 Comparing with the previously approved scheme under the previous application, the current proposal involves an increase in development intensity at the application site for the development of a **3-storey residential block (including 1-storey basement carpark)**. The proposed increase in site area with minor relaxation of PR and BH restriction as stated in **Section 1.2.2** would allow a higher practicability to essentially cater and facilitate the intensified proposed development for the sake of unleashing development potential of scarce land resources for residential development and responding to the community demand for housing supply. In this regard, the proposed amendments being sought are justifiable and deemed acceptable.
- 5.4.3 Furthermore, the adjoining portion of Government land currently falls within the R(D) zone is not feasible for R(D) development on its own and would hardly be able to reflect the planning intention due to size and site constraints. The inclusion of the additional portion of adjoining Government land in the Application Site would achieve public benefit in reducing management and control costs for unlawful occupation on unallocated and unleased Government land as well as to deliver additional domestic GFA generated from the Government land for the maximisation of housing provision. The 580m² of Government land in the application site would generate additional domestic GFA in about 139m² (about 29% of the total GFA) for an extra 2-3 flats at the proposed development. The inclusion of additional Government land under the proposed scheme would be conducted by the way of

land exchange exercise once the application is approved.

5.5 Planning and Design Merits

- 5.5.1 The current development proposal has adopted various planning and design features for the benefits of the future users of the proposed development and the wider community.
- 5.5.2 The proposed development will incorporate a setback along the periphery of the application site for the provision of a public footpath in not less than 1.5m in width (**Appendix I** refers). The setback area will be paved and designated as the new public pedestrian access to Chun Shin Road with a public sitting area at the north of the application site. The design would enhance local connectivity and accessibility especially for lots without direct public access to the local road network (i.e. Lots 2570 RP, 2571 RP, 2574, 2576, 2577, 2579, 2580 and 4140 RP in D.D. 104) as well as to further improve pedestrian safety and walking environment at the neighbourhood. The setback area will be designed, constructed, maintained and managed by the Applicant.
- 5.5.3 The Applicant intends to undertake extensive landscaping work at the application site in order to create a verdant and natural environment for the enjoyment of future occupants and for the enhancement of visual permeability. The proposed development constitutes a total greenery area of about 968m² and a green ratio of 48%, which is more than the required 20% greenery requirement set out in PNAP APP-152 – Sustainable Building Design Guidelines.

5.6 No Adverse Traffic, Landscape, Visual, Environmental, Drainage and Sewerage Impacts

- 5.6.1 In terms of traffic considerations, taking into account the fact that the proposed development is in relatively small-scale, and appropriate internal transport facilities will be provided in accordance with the standard as stipulated in the HKPSG (**Section 4.2** refers), it is anticipated that the application site would be able to cope with the traffic generated from the proposed development and would not cause any adverse traffic impacts to the surroundings.
- 5.6.2 In terms of landscape and visual considerations, the surroundings of the application site are predominately rural in character and similar uses including village houses and low-rise residential developments are found in the vicinity of the application site. In order to further integrate the proposed development with its surroundings, extensive planting of trees and other vegetations will be provided in the landscaping areas as well as along the boundary of the application site to provide visual amenity and for the enjoyment of future occupants. The periphery soft planted edge comprises tall roadside trees in association with a minimum 1.8m-tall fence wall for screening effect. In view of this, the proposed development is deemed to be compatible with the surrounding land use, character and scale, and no significant adverse landscape and visual impact arising from the proposed use is anticipated.

5.6.3 In terms of environmental considerations, considering that the application site is in immediate proximity to vacant land and abandon ponds, and there is no approved non-conforming industrial/open storage/tolerated use within 100m of the site boundary, environmental nuisance to future occupants is not anticipated. In response to the concerns regarding the possible noise impacts from San Tin Highway, the application site is proposed to be properly fenced with peripheral planting for visual screening and noise mitigation purpose. Therefore, no significant traffic noise impact would be induced to the proposed development.

5.6.4 In terms of drainage and sewerage considerations, since the proposed development is considered to be in small scale and drainage facilities have been adequately provided within the application site, it is anticipated that no adverse drainage and sewerage impact will be generated by the proposed development on the surroundings. The drainage and sewerage services proposals and facilities could be submitted and implemented to the satisfaction of relevant Government departments including Drainage Services Department, Water Services Department and Environmental Protection Department, if required, by way of compliance of approval conditions.

5.7 Not Setting an Undesirable Precedent

5.7.1 A previous planning application (No. YL-NTM/377) submitted by the same Applicant for the 'House' use and a similar application (No. A/YL-NTM/432) covering the same "R(D)" zone of the Current OZP for proposed temporary transitional housing development and ancillary facilities for a period of 3 years with filling of pond and excavation of land were approved/ approved on a temporary basis by the RNTPC in 2019 and 2021 on the considerations as detailed in **Section 3.2.1** and **3.3.1** respectively. Since the current application carries similar nature as the previous and similar applications involving low-rise, low-density residential development only, the considerations of the RNTPC for the previous and similar applications are applicable to the current application. Approval of the current application is in line with the previous decisions of the RNTPC and would not set an undesirable precedent to other similar applications.

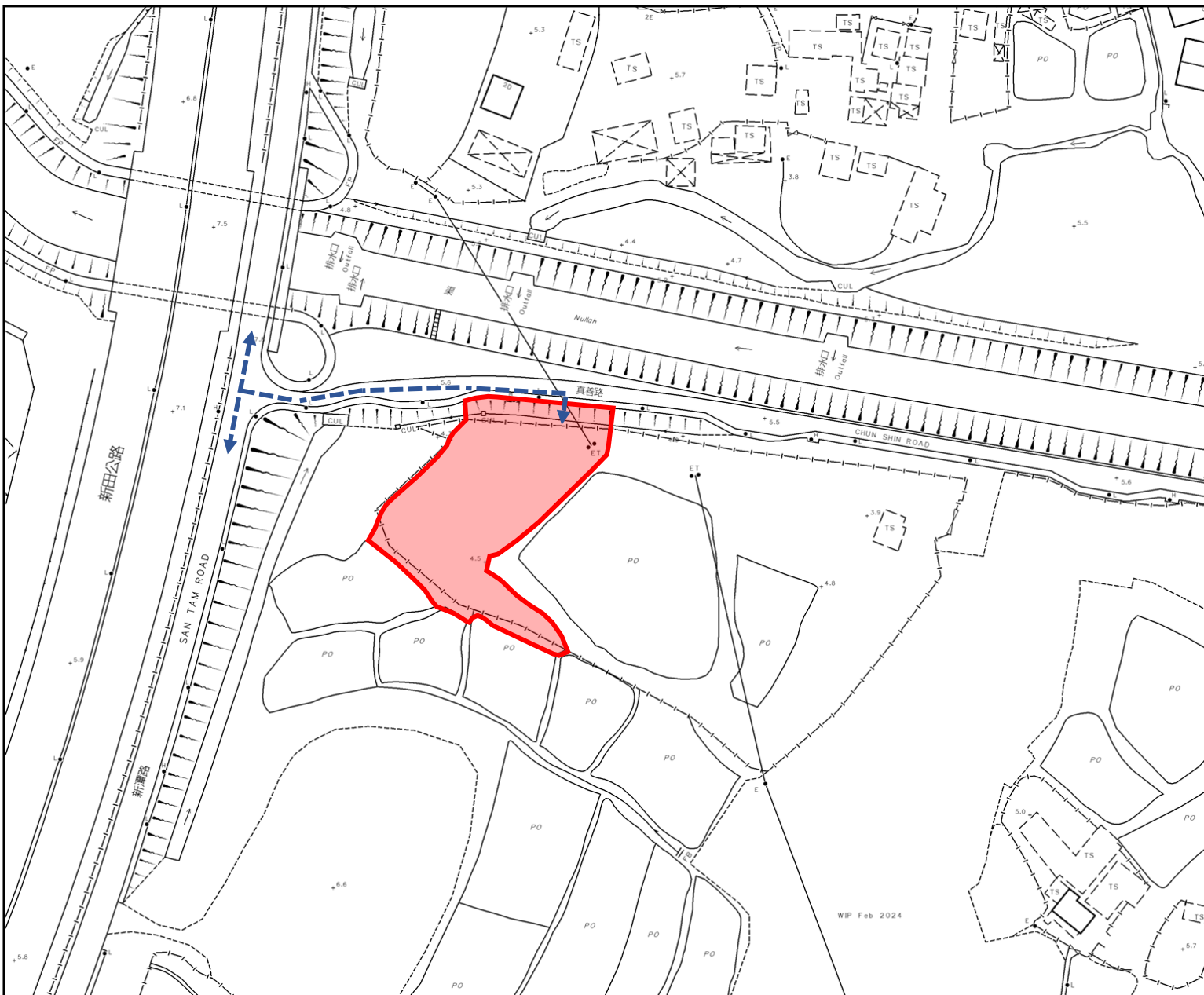
6. CONCLUSION

- 6.1.1 This Planning Statement is submitted to the Board in support of the current application to amend a previously approved scheme under planning application No. A/YL-NTM/377 approved by the RNTPC on 12.4.2019 for Proposed House at the application site. The application site has a total area of about 1,978m² (including Government land of about 580m²), which covers the site extent of the previous application with an additional portion of Government land. This Planning Statement serves to provide background information and planning justifications in support of the current application to facilitate consideration by the Board.
- 6.1.2 The current application seeks planning permission to amend the proposed use and the site area of the previously approved scheme under the previous application with minor relaxation of Plot Ratio (PR) and Building Height (BH) restriction. The current application is for the development of a 3-storey residential block (including 1-storey basement carpark) comprising 5 flats with maximum PR of 0.24 and maximum BH in 3 storeys (10.65m). The proposed development involves excavation of land for a basement carpark (3.65m). The proposed area and depth of excavation are about 580m² and about 2.1m respectively.
- 6.1.3 The application site currently falls completely within an area zoned “Residential (Group D)” (“R(D)”) on the Current OZP. According to the Notes of the Current OZP, ‘Flat’ within the “R(D)” zone, filling of pond or excavation of land require planning permission from the Board, and minor relaxation of PR and BH restriction may be considered by the Board on application under section 16 of the Ordinance. In this connection, the current application is herewith made to the Board for consideration. As detailed in the Planning Statement, the proposed development is well justified on the grounds that:
- (a) The proposed development is fully in line with the Government’s latest policy direction to strategically increase high-quality housing supply, especially along future railway projects. The proposed development will respond to the public call for larger living spaces through complying with the latest requirement of minimum unit size promulgated by the Government;
 - (b) The proposed use is solely for low-rise and low-density residential development and is considered to be fully in line with the planning intention of “R(D)” zone;
 - (c) The application site is situated in an area which is predominantly rural in character with village houses, low-rise residential developments, vacant land and abandoned fishponds. The proposed development under the current application would remain as a low-rise and low-density residential development, which is considered compatible with the surrounding environment in terms of land use, character and scale;
 - (d) The proposed development would facilitate the phasing-out of non-conforming uses to improve the overall local environment. It would also unleash development potential of scarce land resources for residential development and respond to the community demand for housing supply without causing

- insurmountable impact on the environment;
- (e) The design of the proposed development carries planning and design merits in enhancing pedestrian circulation and visual permeability of the surrounding areas;
 - (f) Taking into account that the proposed development is relatively small-scale, no significant adverse traffic, landscape, visual, environmental, drainage and sewerage impacts are anticipated; and
 - (g) The proposed development will not set an undesirable precedent considering that previous and similar applications in the “R(D)” zone of the Current OZP were approved by the Board.
- 6.1.4 In view of the above and the list of detailed planning justifications in this Planning Statement, the Board is respectfully requested to give favorable consideration to approve the current application for the proposed development.

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Figure 1	Location Plan
Figure 2	Extract of Lot Index Plan (No. ags_S00000129909_0001)
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Figure 4	Proposed Filling of Land
Figure 5	Proposed Excavation of Land and Filling of Pond



LEGEND:



The Application Site



Vehicular Access to/from the Application Site

(For Identification Only)

Project:

Section 16 Planning Application for Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Filling of Pond and Excavation of Land at Lots 2572 RP, 2573 and 2578 in D.D. 104 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories

Title:

The Location Plan

Figure:

1

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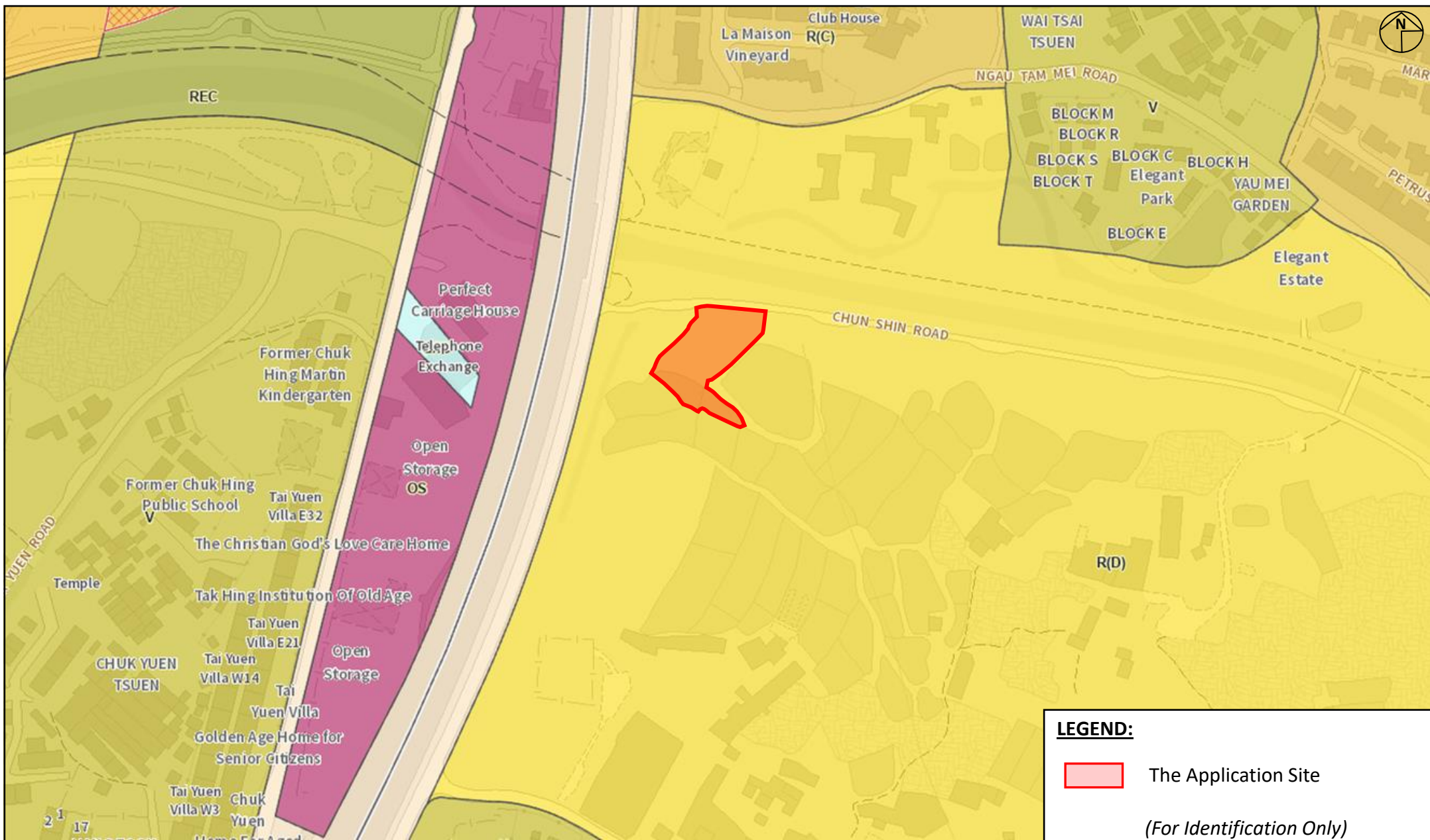
Date:

Jul 2024

Ref.: ADCL/PLG-10298/R001/F001



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Project:

Section 16 Planning Application for Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Filling of Pond and Excavation of Land at Lots 2572 RP, 2573 and 2578 in D.D. 104 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories

Title:

Extract of Draft Ngau Tam Mei Outline Zoning Plan No. S/YL-NTM/13

Ref.: ADCL/PLG-10298/R001/F003

Figure:

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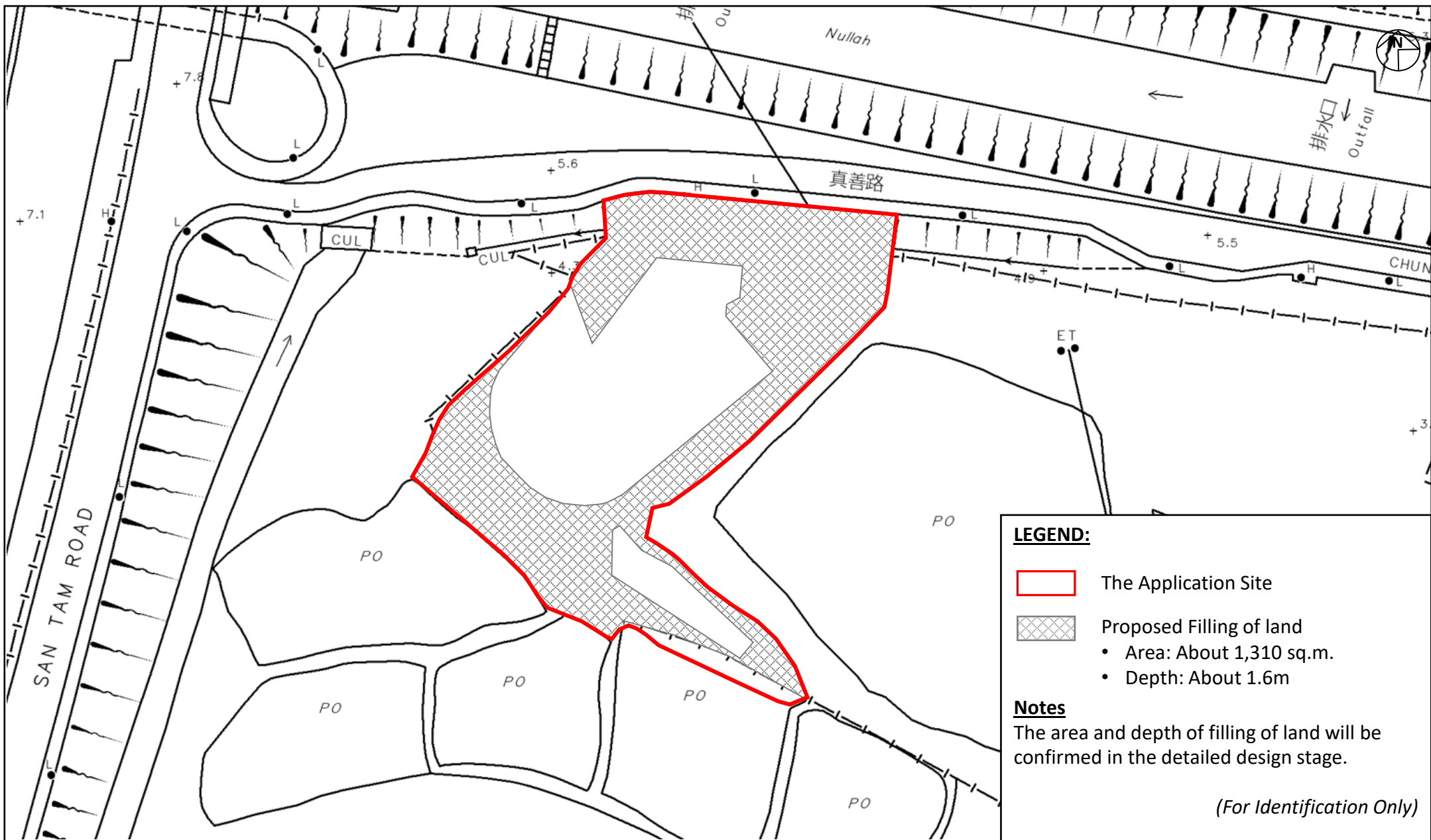
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Jul 2024



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Project:

Section 16 Planning Application for Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Filling of Pond and Excavation of Land at Lots 2572 RP, 2573 and 2578 in D.D. 104 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories

Title:

Proposed Filling of Land

Figure:

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Scale:

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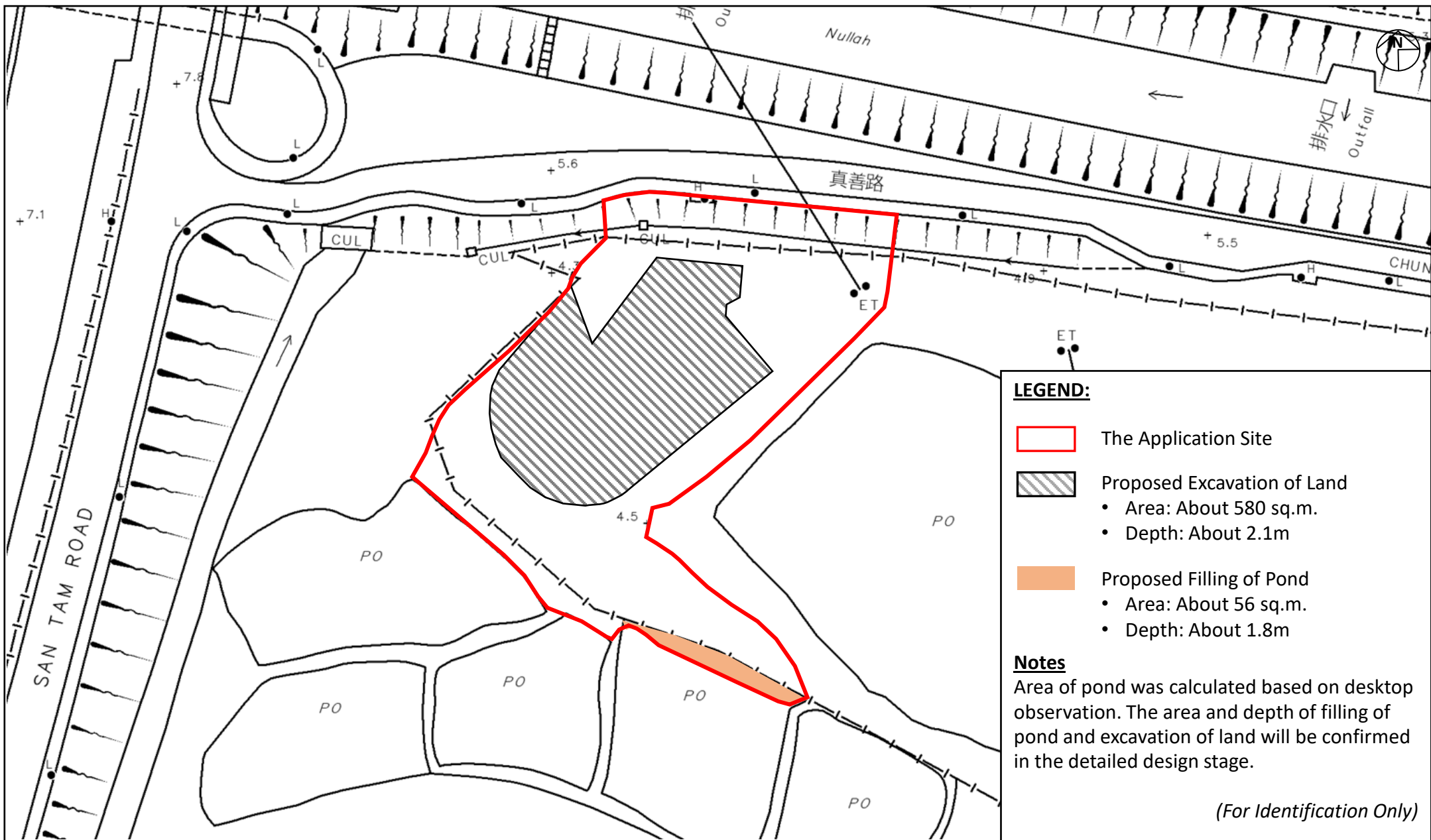
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Section 16 Planning Application for Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Filling of Pond and Excavation of Land at Lots 2572 RP, 2573 and 2578 in D.D. 104 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories

Title:

Proposed Excavation of Land and Filling of Pond

Figure:

5

Scale:

Not to Scale

Date:

July 2024

List of Illustrations

Illustration 1	Current Condition of the Application Site
Illustration 2	Surrounding Land-use Characteristics



Project:
Section 16 Planning Application for Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Filling of Pond and Excavation of Land at Lots 2572 RP, 2573 and 2578 in D.D. 104 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories

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Current Condition of Application Site

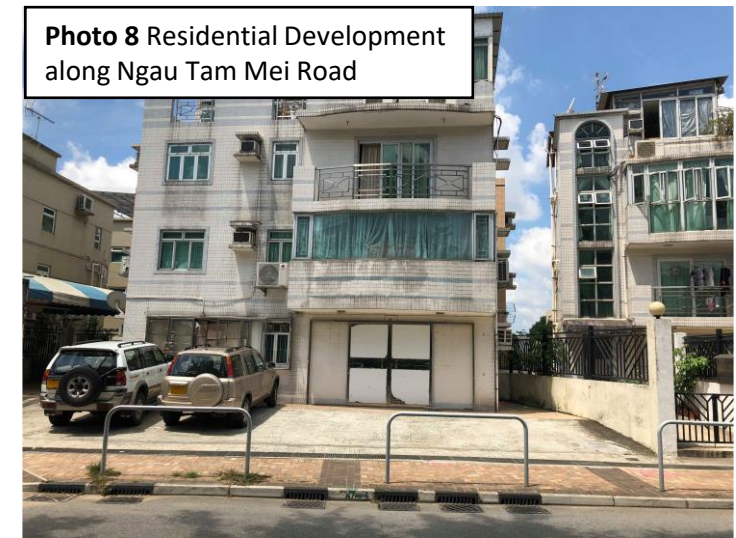
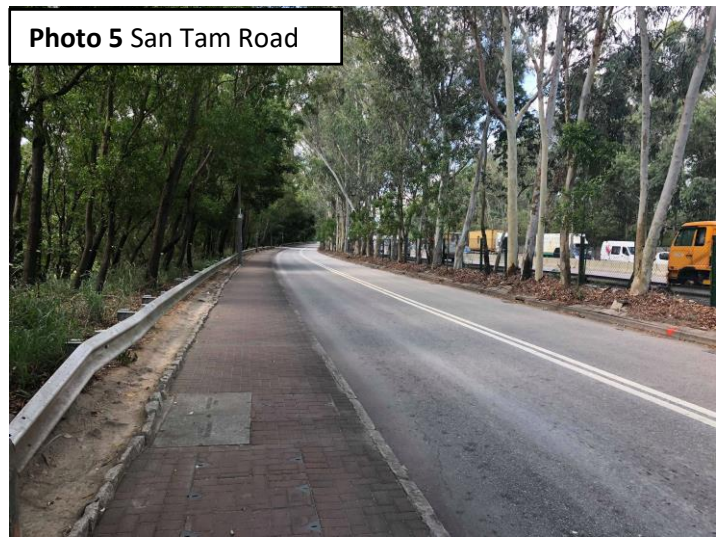
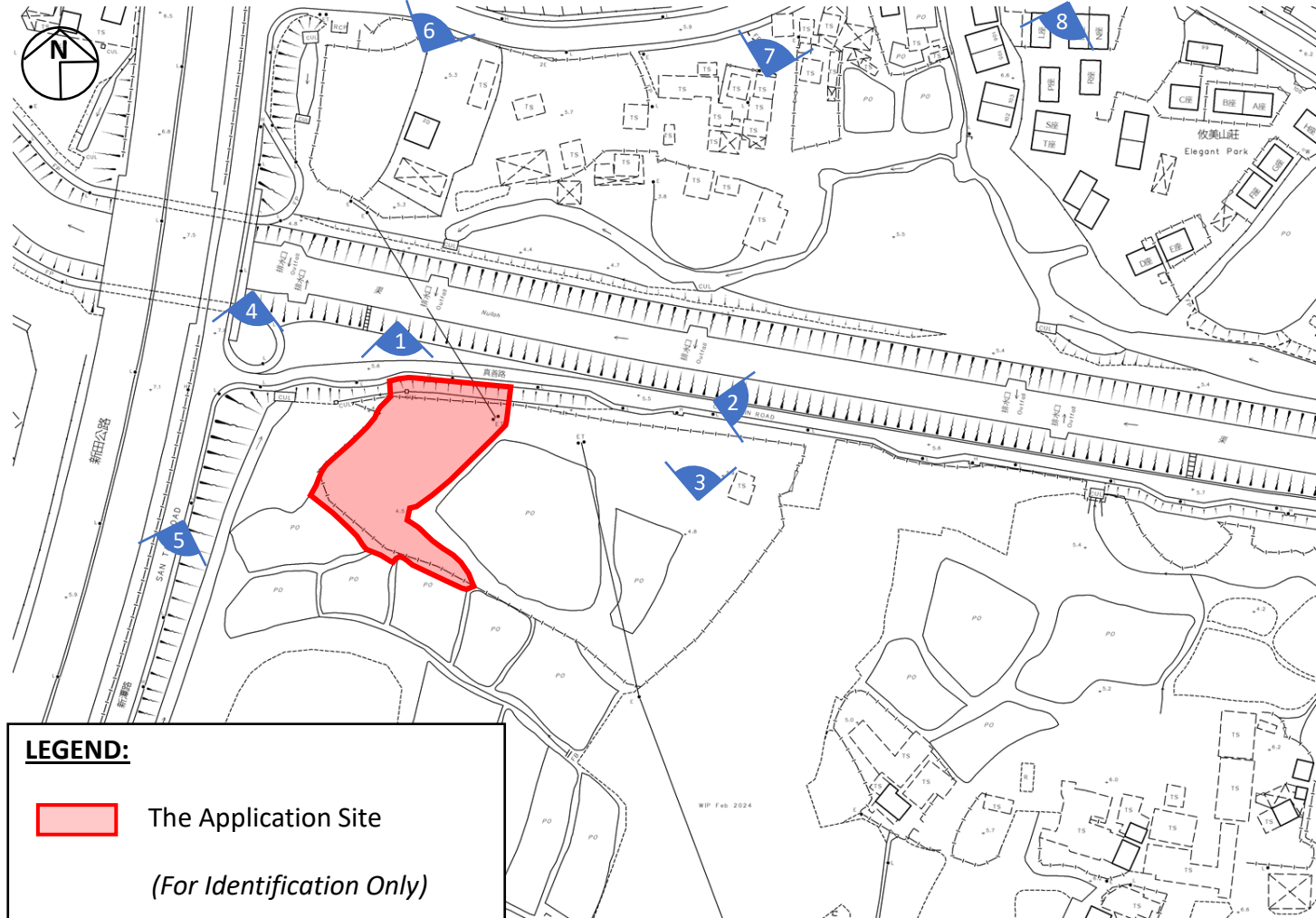
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Ref.: ADCL/PLG-10298/R001/1001





Project:
Section 16 Planning Application for Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Filling of Pond and Excavation of Land at Lots 2572 RP, 2573 and 2578 in D.D. 104 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories

Title:
Surrounding Land-use Characteristics of the Application Site

Illustration:
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Scale:
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Date:
Jul 2024

Ref.: ADCL/PLG-10298/R001/1002

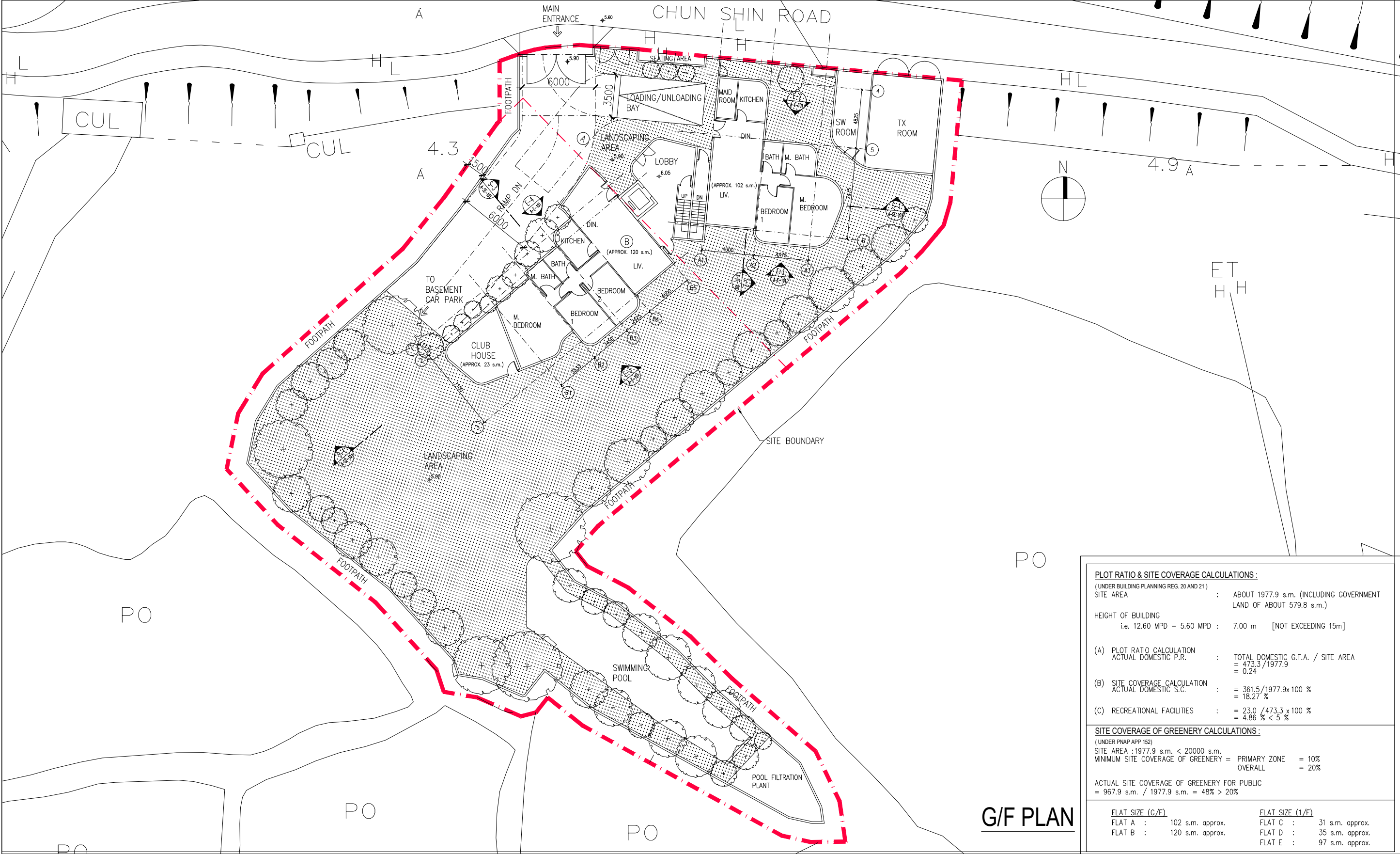


List of Appendices

Appendix I Architectural Drawings and 3D Illustrations

Appendix I

Architectural Drawings and 3D Illustrations



G/F PLAN

PLOT RATIO & SITE COVERAGE CALCULATIONS :	
(UNDER BUILDING PLANNING REG. 20 AND 21)	
SITE AREA	: ABOUT 1977.9 s.m. (INCLUDING GOVERNMENT LAND OF ABOUT 579.8 s.m.)
HEIGHT OF BUILDING	i.e. 12.60 MPD – 5.60 MPD : 7.00 m [NOT EXCEEDING 15m]
(A) PLOT RATIO CALCULATION	
ACTUAL DOMESTIC P.R.	: TOTAL DOMESTIC G.F.A. / SITE AREA = 473.3 / 1977.9 = 0.24
(B) SITE COVERAGE CALCULATION	
ACTUAL DOMESTIC S.C.	: = 361.5 / 1977.9 x 100 % = 18.27 %
(C) RECREATIONAL FACILITIES	: = 23.0 / 473.3 x 100 % = 4.86 % < 5 %
SITE COVERAGE OF GREENERY CALCULATIONS :	
(UNDER PNAP APP 152)	
SITE AREA : 1977.9 s.m. < 20000 s.m.	
MINIMUM SITE COVERAGE OF GREENERY =	PRIMARY ZONE = 10% OVERALL = 20%
ACTUAL SITE COVERAGE OF GREENERY FOR PUBLIC = 967.9 s.m. / 1977.9 s.m. = 48% > 20%	
FLAT SIZE (G/F)	FLAT SIZE (1/F)
FLAT A : 102 s.m. approx.	FLAT C : 31 s.m. approx.
FLAT B : 120 s.m. approx.	FLAT D : 35 s.m. approx.
	FLAT E : 97 s.m. approx.

Rev	Description	Drawn	Checked	Approved	Date
--	TPB SUBMISSION	NC	DY	DY	02/09/22
A	TPB SUBMISSION	RZ	DY	DY	05/10/22
B	TPB SUBMISSION	RZ	DY	DY	13/10/22
C	TPB SUBMISSION	CM	DY	DY	27/10/22
D	TPB SUBMISSION	CM	DY	DY	28/10/22
E	TPB SUBMISSION	CM	DY	DY	04/11/22

Rev	Description	Drawn	Checked	Approved	Date

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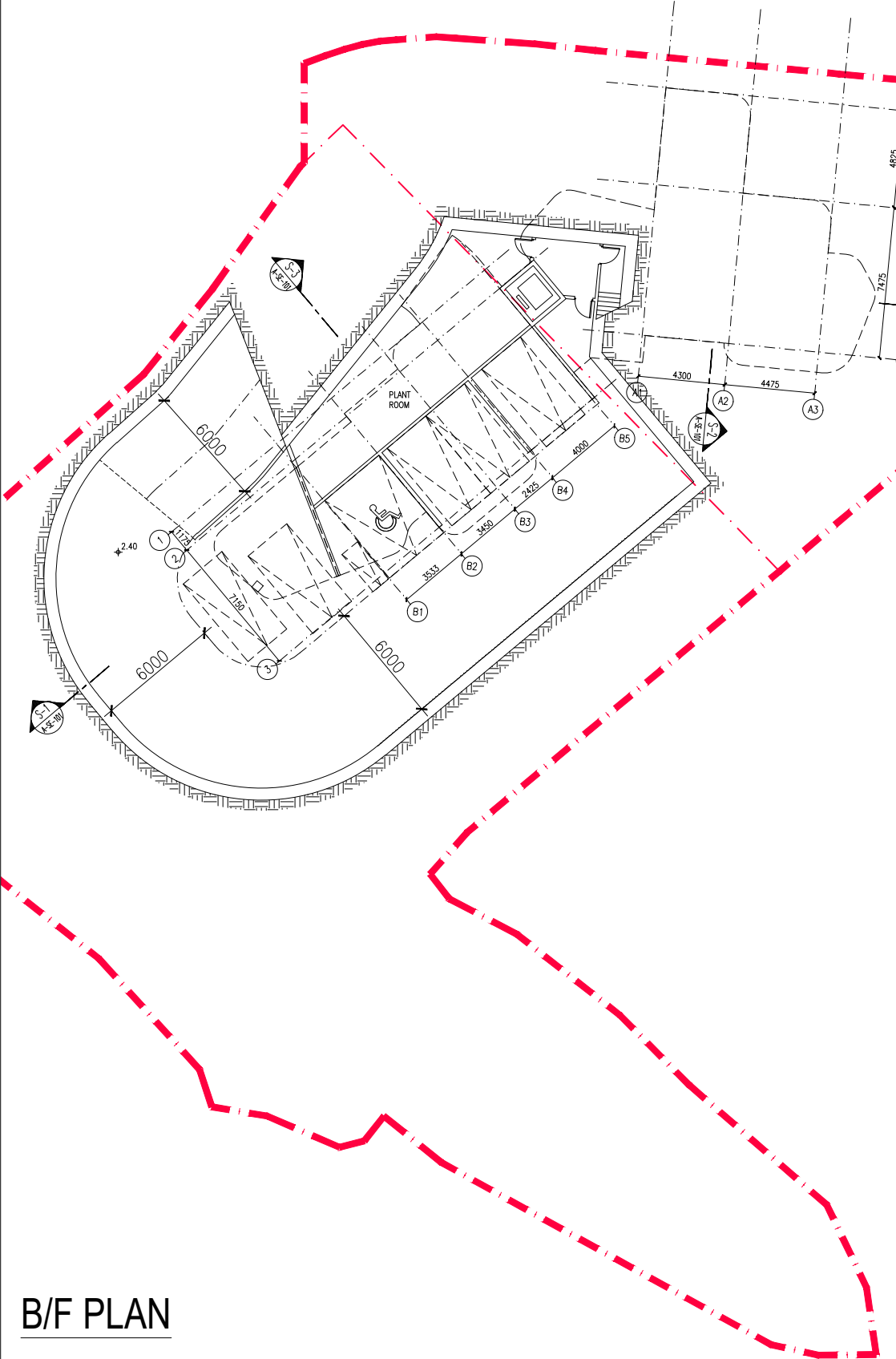
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Architecture Planning Interior
建築師設計香港有限公司
Unit 507, 5/F, MegaCube, 8 Wang Kwong Road, Kowloon Bay, Kowloon, H.K.
Telephone : (852) 22 345 647
Facsimile : (852) 22 345 648
Website : www.mgdesignhk.com

Project Title
PROPOSED FLATS/HOUSES WITH MINOR RELAXATION OF PLOT RATIO RESTRICTION IN "R(D)" ZONE IN NGAU TAM MEI, YUEN LONG

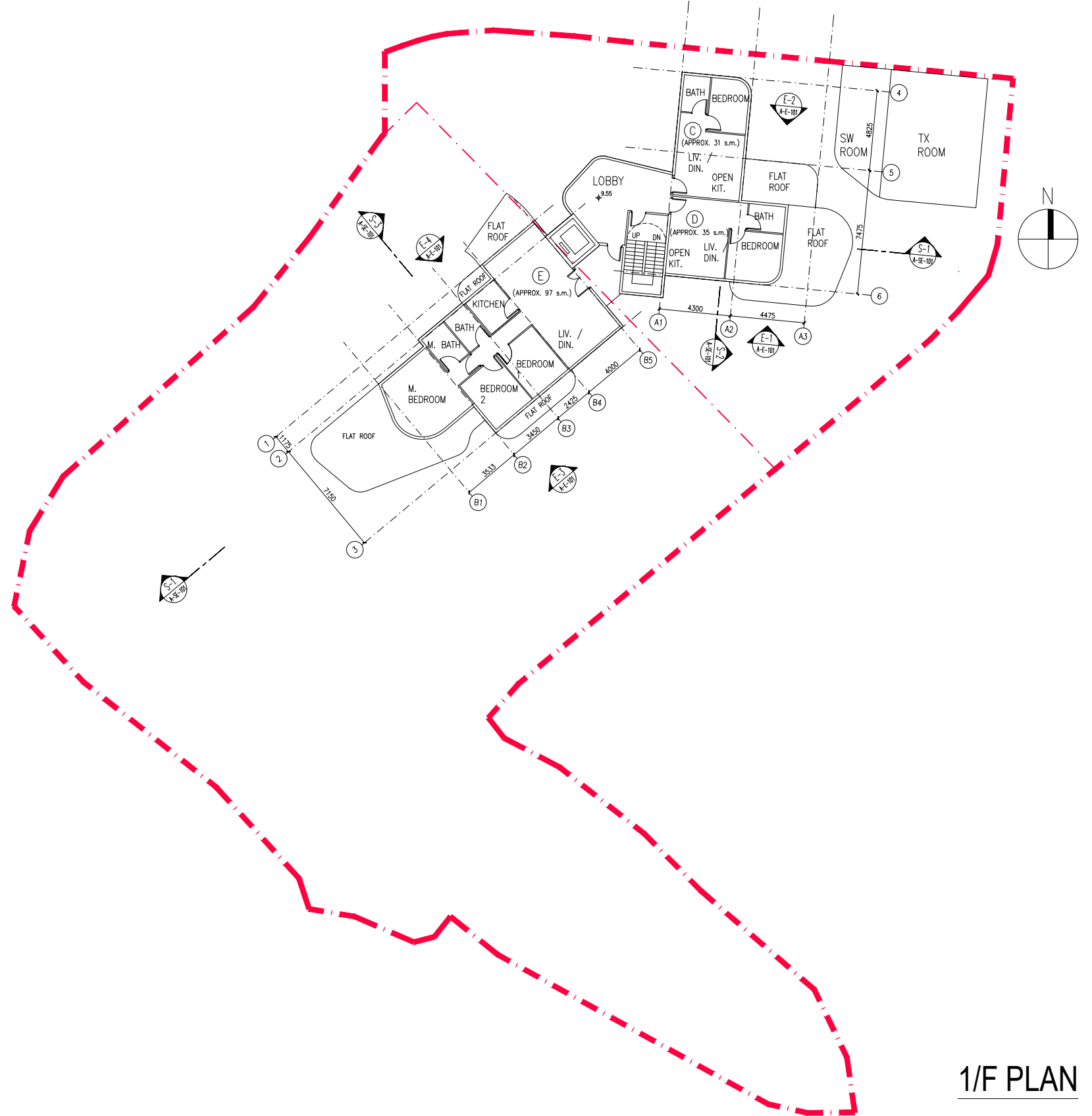
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Project No. 19/HKNTM02	Issue Date. 02/09/22
Cad File No. Layout.dwg	
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Drawing No. A-P-101 (E)	

Authority's / Client's Approval



B/F PLAN



1/F PLAN

Rev	Description	Drawn	Checked	Approved	Date
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A	TPB SUBMISSION	RZ	DY	DY	05/10/22
B	TPB SUBMISSION	RZ	DY	DY	13/10/22
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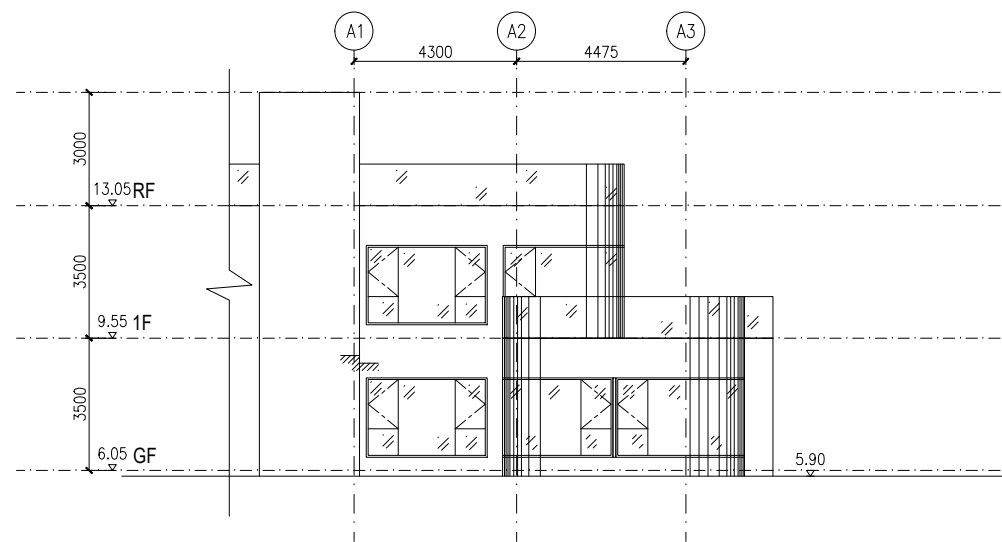
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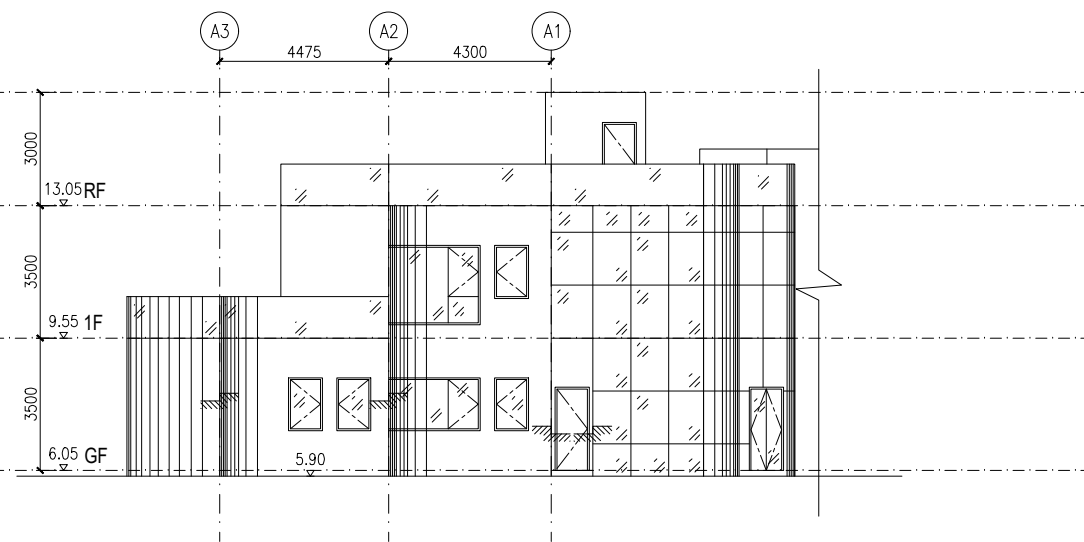
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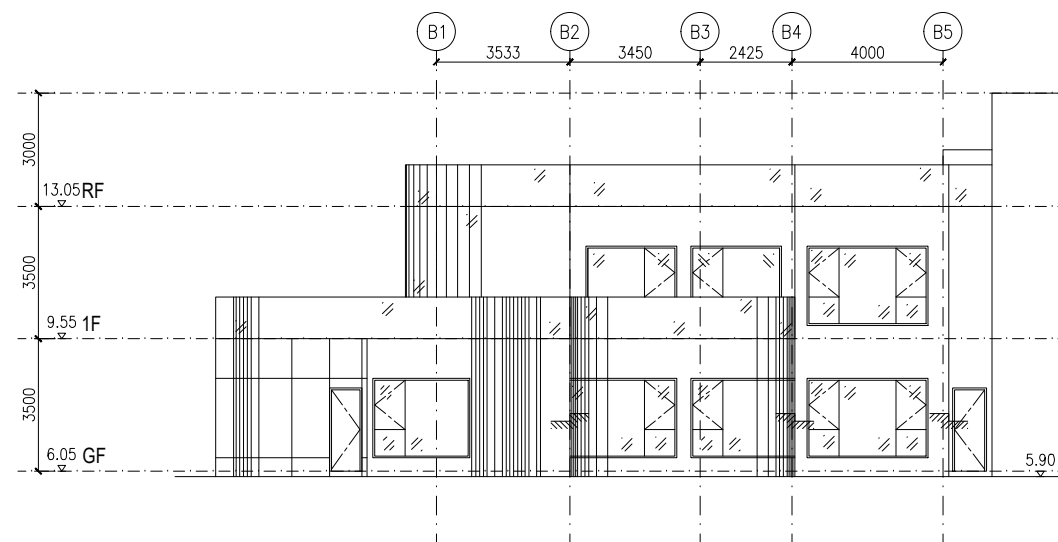
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PROPOSED FLATS/HOUSES WITH MINOR RELAXATION OF PLOT RATIO RESTRICTION IN "R(D)" ZONE IN NGAU TAM MEI, YUEN LONG	MASTER LAYOUT PLAN B/F & 1/F	Cad File No.	Layout.dwg	
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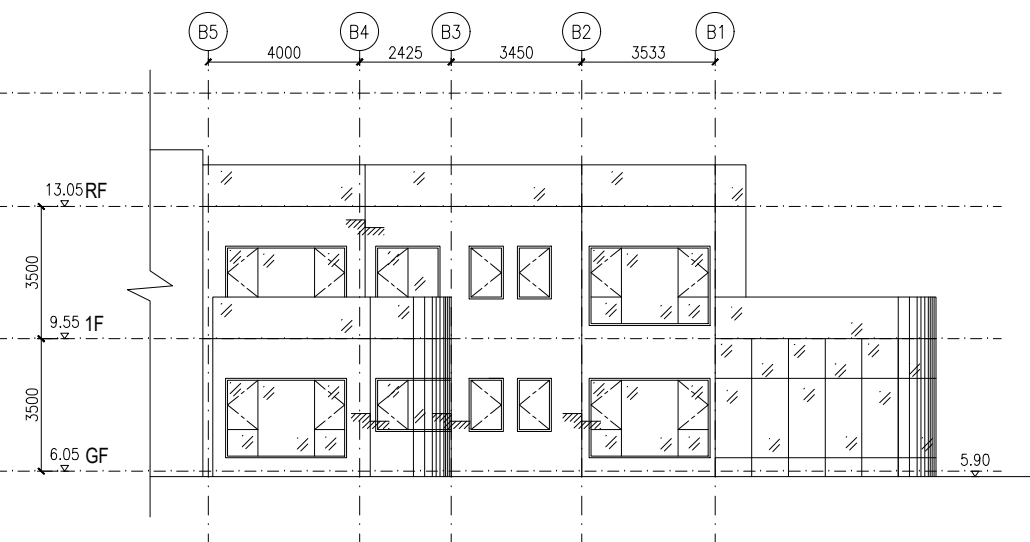
ELEVATION 1



ELEVATION 2



ELEVATION 3



ELEVATION 4

Rev	Description	Drawn	Checked	Approved	Date
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Rev	Description	Drawn	Checked	Approved	Date

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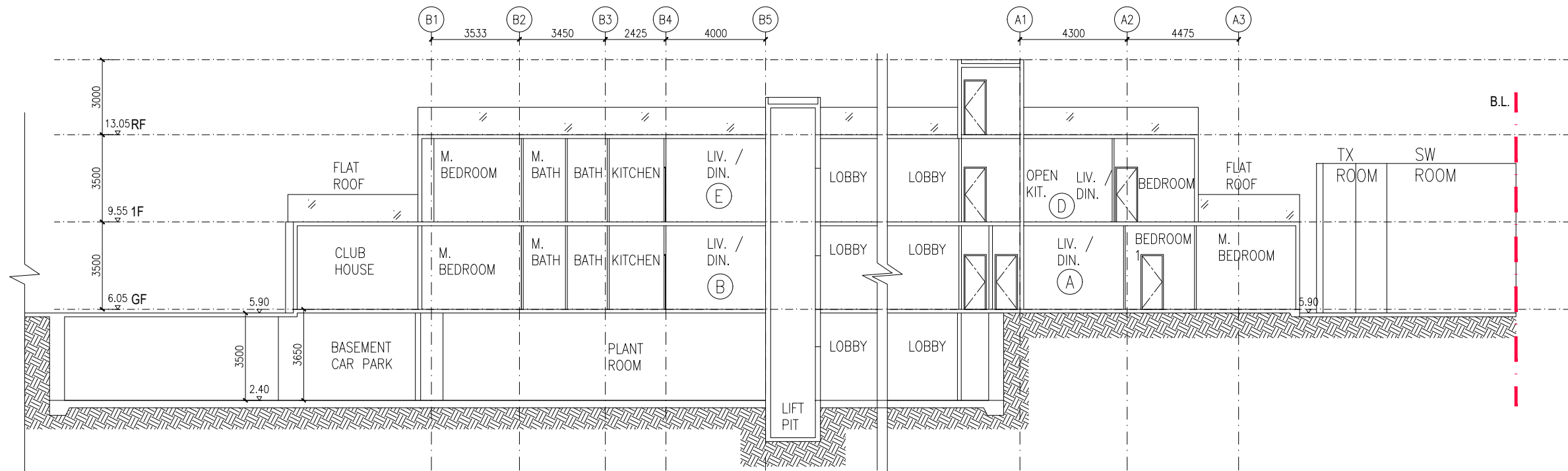
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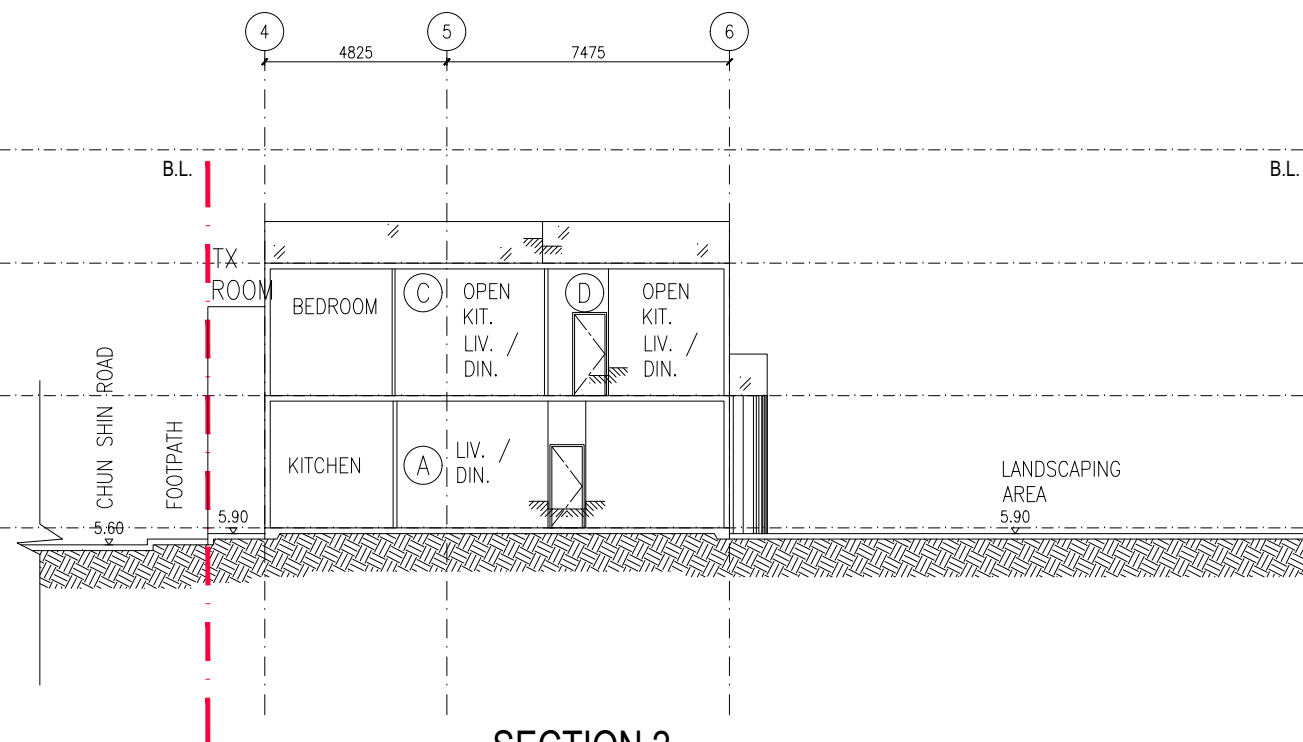


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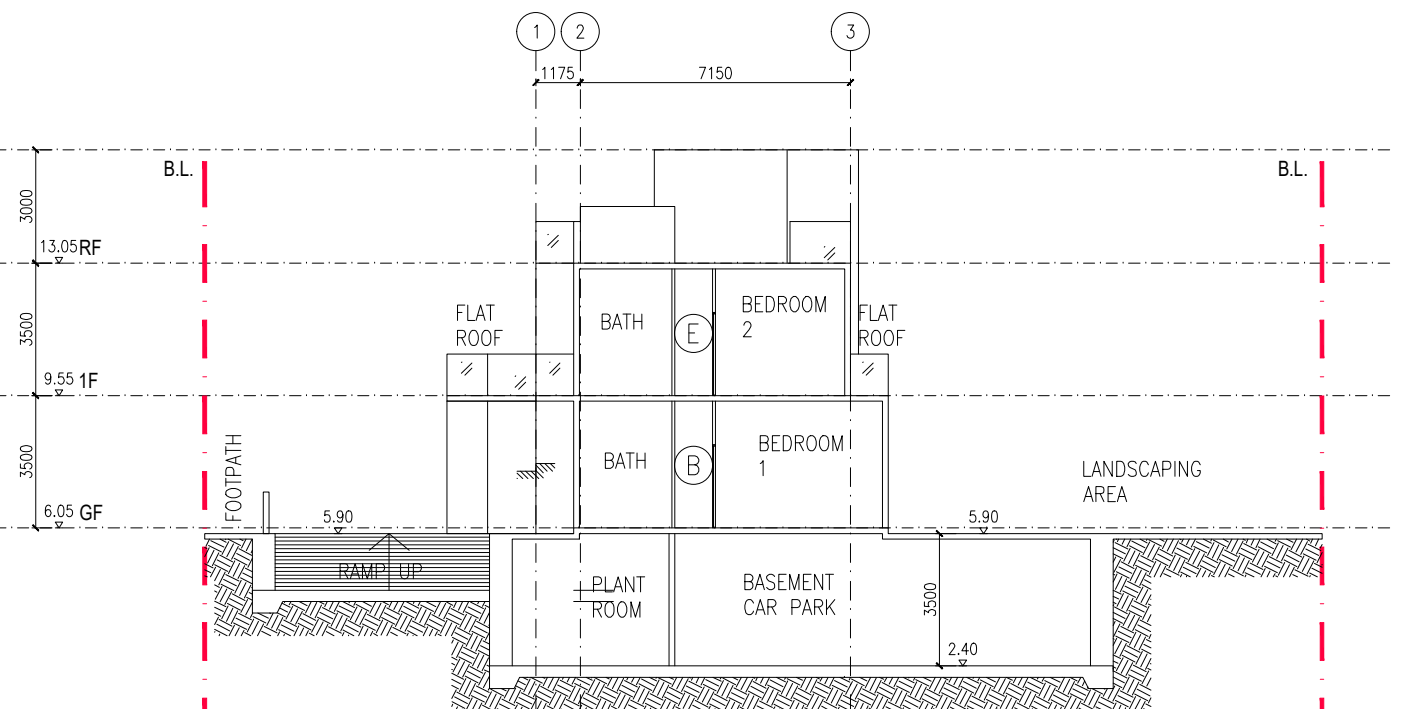
Project Title PROPOSED FLATS/HOUSES WITH MINOR RELAXATION OF PLOT RATIO RESTRICTION IN "R(D)" ZONE IN NGAU TAM MEI, YUEN LONG	Drawing Title ELEVATIONS	Project No. 19/HK/NTM02		Issue Date. 13/10/22	Authority's / Client's Approval
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		SCALE.		1 : 200 (A3)	
		Drawing No.		A-E-101 (-)	



SECTION 1



SECTION 2



SECTION 3

Rev	Description	Drawn	Checked	Approved	Date
--	TPB SUBMISSION	RZ	DY	DY	13/10/22

Rev	Description	Drawn	Checked	Approved	Date

Check all measurements on site.
Do not scale off drawings.

This drawing is to be read in
conjunction with the specification
and any discrepancies are to be
immediately reported to the Architect.

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MG 建築師設計香港有限公司
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Kowloon Bay, Kowloon, H.K.
Telephone : (852) 22 345 647
Facsimile : (852) 22 345 648
Website : www.mgdesignhk.com

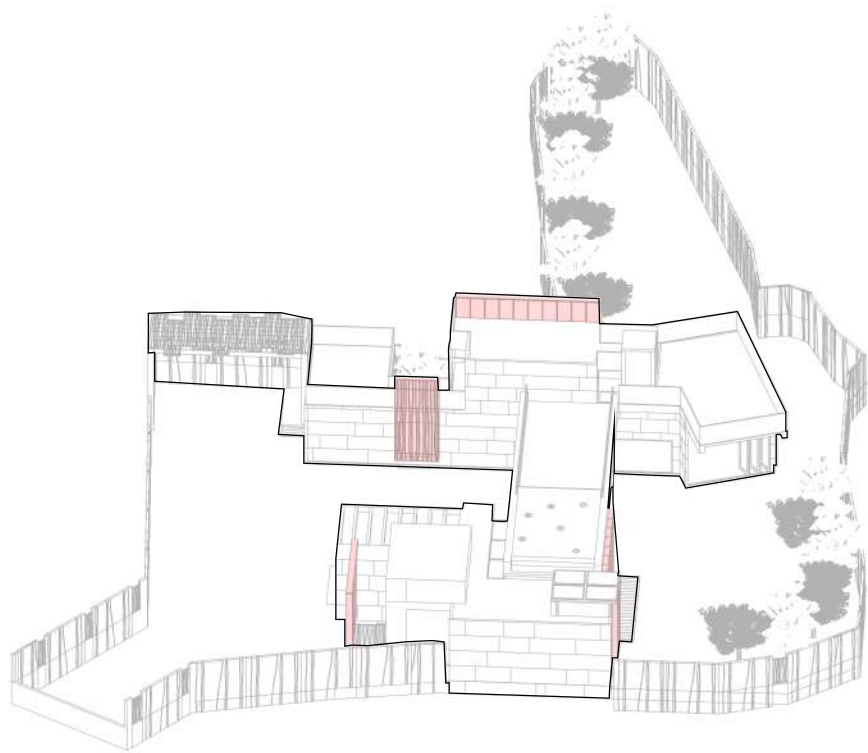
Project Title
**PROPOSED FLATS/HOUSES WITH
MINOR RELAXATION OF PLOT RATIO
RESTRICTION IN "R(D)" ZONE
IN NGAU TAM MEI, YUEN LONG**

Drawing Title
SECTIONS

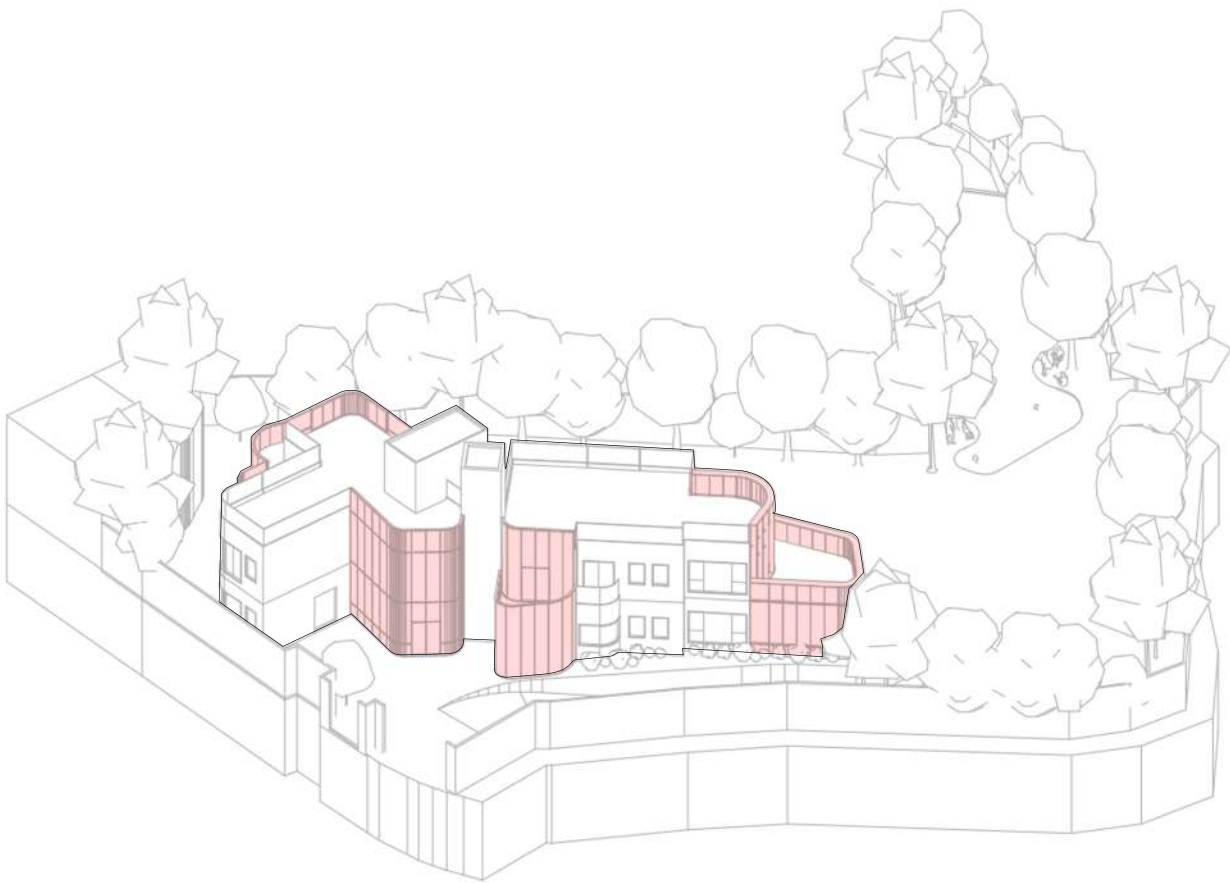
Project No. 19/HKNTM02	Issue Date. 13/10/22
Cad File No. Layout.dwg	
SCALE.	1 : 200 (A3)
Drawing No. A-SE-101 (-)	

Authority's / Client's Approval

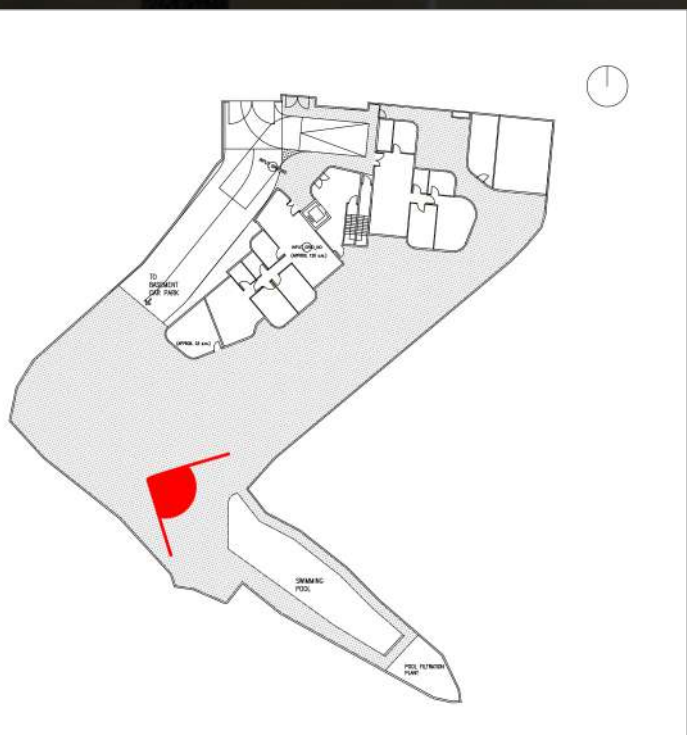
Facade language inherited from the old design to fit into the new building's curved language.



OLD DESIGN



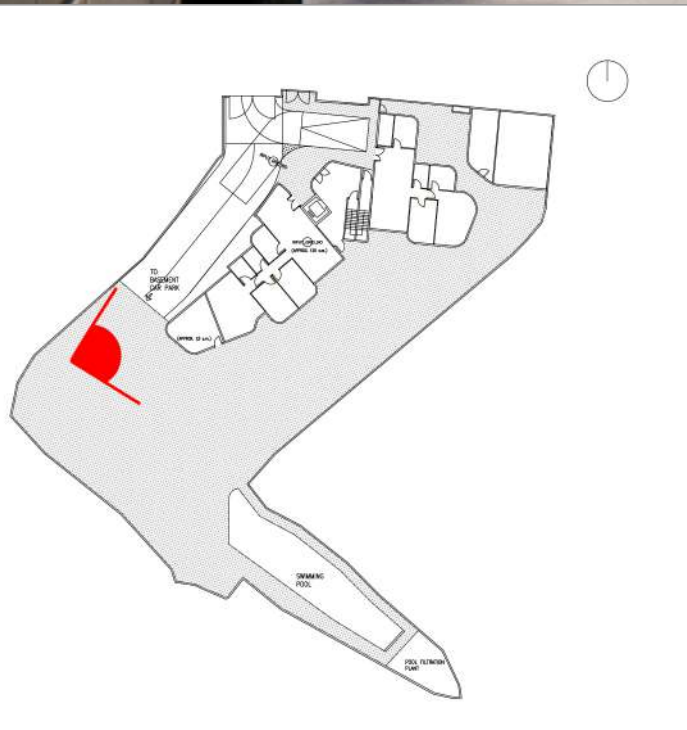
NEW DESIGN



SWIMMING POOL

NGAU TAM MEI HOUSE, LOT 2572
YUEN LONG, NEW TERRITORIES

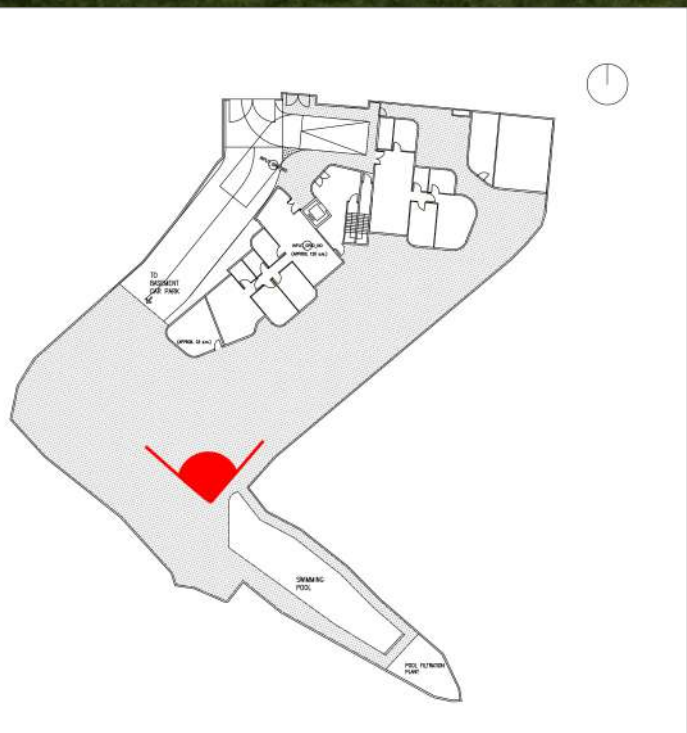




SOUTHWEST EXTERIOR PERSPECTIVE

NGAU TAM MEI HOUSE, LOT 2572
YUEN LONG, NEW TERRITORIES

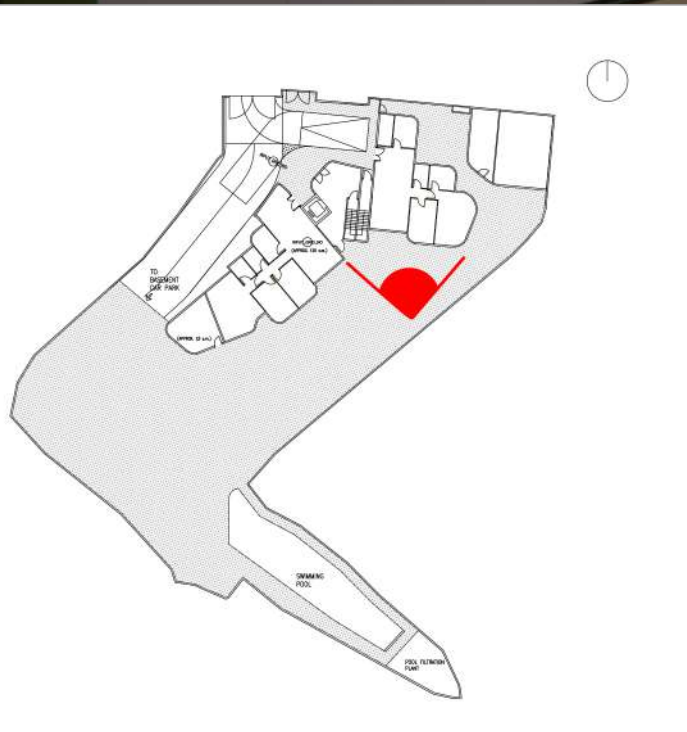




SOUTH EXTERIOR PERSPECTIVE

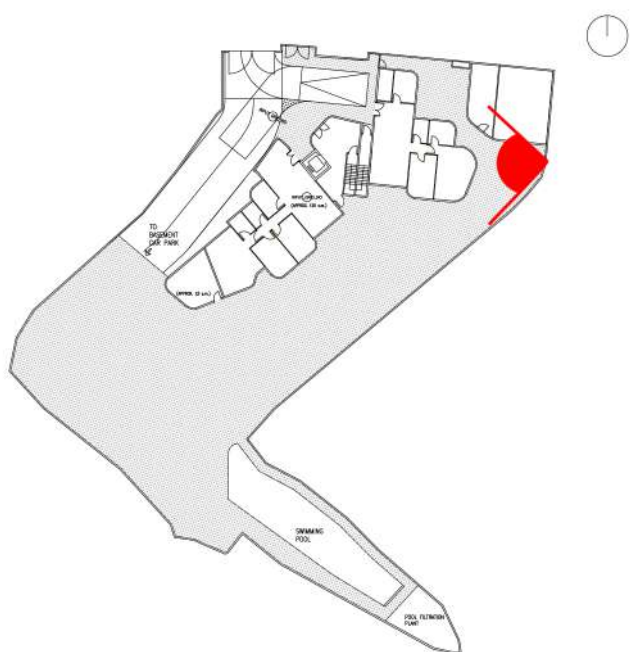
NGAU TAM MEI HOUSE, LOT 2572
YUEN LONG, NEW TERRITORIES





NGAU TAM MEI HOUSE, LOT 2572
YUEN LONG, NEW TERRITORIES





SOUTHEAST EXTERIOR PERSPECTIVE

NGAU TAM MEI HOUSE, LOT 2572
YUEN LONG, NEW TERRITORIES





NORTHWEST EXTERIOR PERSPECTIVE

NGAU TAM MEI HOUSE, LOT 2572
YUEN LONG, NEW TERRITORIES



☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent C

Jane Ching Kei LAU/PLAND

寄件者: Isa Yuen [REDACTED]
寄件日期: 2024年12月04日星期三 12:57
收件者: tpbpd/PLAND
副本: Jane Ching Kei LAU/PLAND; [REDACTED]
主旨: [PLG10298] Planning Application No. A/YL-NTM/476 - Submission of Further Information
附件: ADCL_PLG_10298_L004.pdf
類別: Internet Email

Dear Sir/Madam,

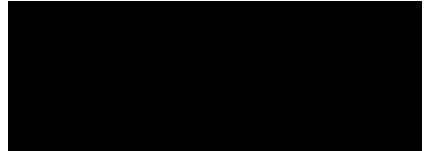
We refer to the departmental comments received from the Landscape Unit, Urban Design & Landscape Section of Planning Department, Electrical and Mechanical Services Department, Architectural Services Department, Lands Department, Environmental Protection Department and Buildings Department regarding the subject application, we would like to enclose herewith our Responses-to-Comments Table to address the abovementioned departmental comments for their consideration. Enclosed a self-explanatory letter for your onward processing please.

Should you have any queries, please do not hesitate to contact us. Thank you.

Best regards,
Isa Yuen Town Planner

毅勤發展顧問有限公司
Aikon Development Consultancy Limited

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Date : 4th December, 2024
Our Ref. : ADCL/PLG-10298/L004

The Secretary
Town Planning Board
15/F., North Point Government Offices
333 Java Road, North Point, Hong Kong

By Email

Dear Sir/Madam,

**Section 16 Planning Application for Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Filling of Pond and Excavation of Land at Lots 2572 RP, 2573 and 2578 in D.D. 104 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories
(Planning Application No. A/YL-NTM/476)**

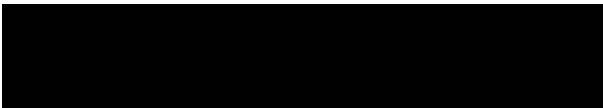
We refer to the departmental comments received from the Landscape Unit, Urban Design & Landscape Section of Planning Department, Electrical and Mechanical Services Department, Architectural Services Department, Lands Department, Environmental Protection Department and Buildings Department regarding the subject application, we would like to enclose herewith our Responses-to-Comments Table to address the abovementioned departmental comments for their consideration.

Thank you for your kind attention and should you have any queries, please do not hesitate to contact our

Yours faithfully,
For and on behalf of
Aikon Development Consultancy Limited



Encl.
c.c. DPO/ FSS&YLE (Attn.: Ms. Jane LAU) – By Email
Client



Further Information


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Table 1	Response-to-Comments table
Appendix 1	Photomontages for the Proposed Development
Appendix 2	Survey Record

Table | 1

Response-to-Comments

Section 16 Planning Application for Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Filling of Pond and Excavation of Land at Lots 2572 RP, 2573 and 2578 in D.D. 104 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories

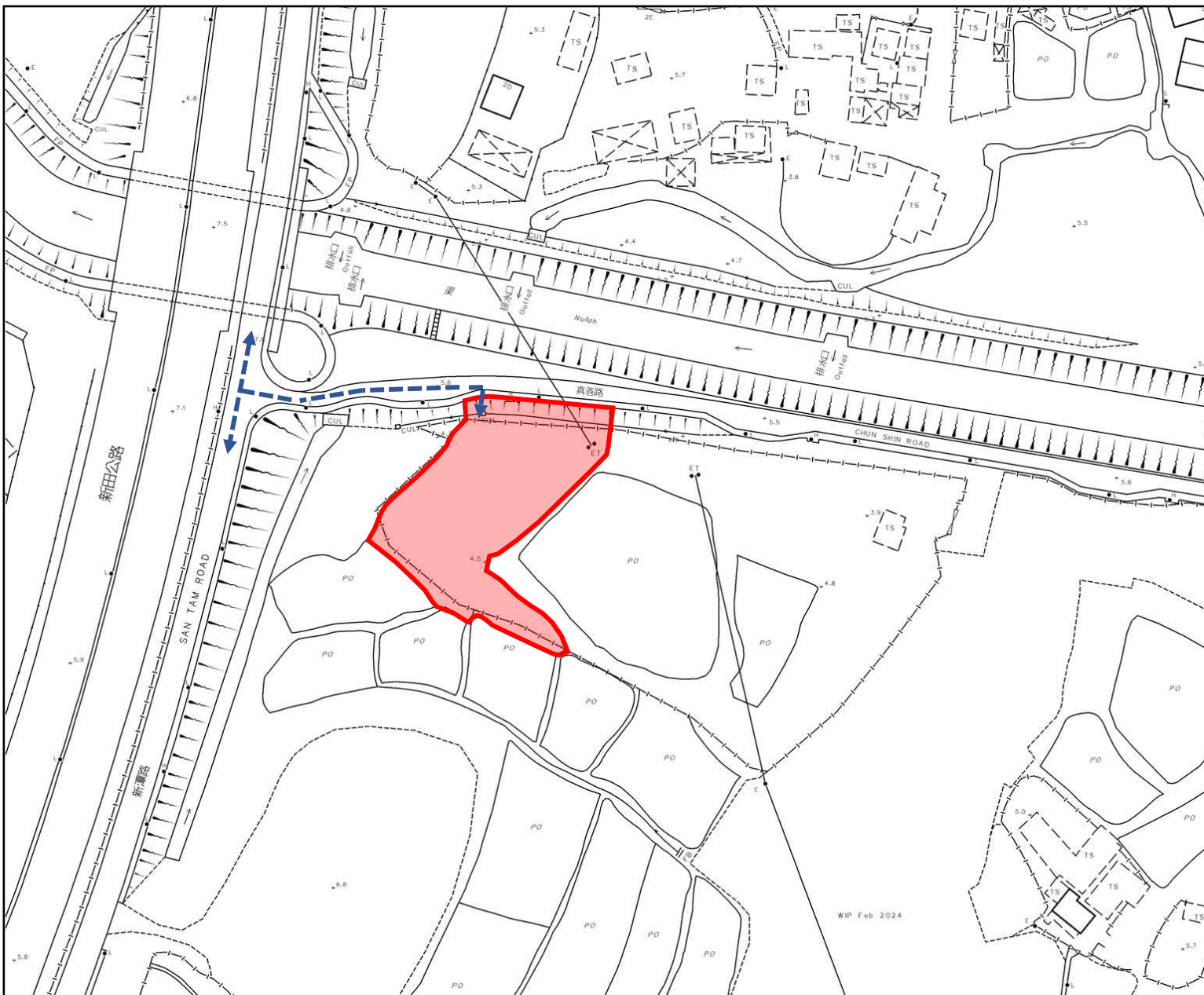
Department	Date	Comments	Responses to Departmental Comments
Landscape Unit, Urban Design & Landscape Section, Planning Department	13.9.2024	<p>The existing trees within the Site will likely be affected by the proposed development shown on the Master Layout Plan (Dwg. No. A-P-101 (E) in the Planning Statement (PS)). Nevertheless, Part 9 of the Application Form states that no tree felling will be caused and there is no information on the existing trees in the application.</p> <p>The applicant should provide information on the existing trees within the Site (including tree location plan, tree schedule (species, size, general condition) and date-imprinted tree photos, proposed tree treatment and landscape proposal as appropriate. Part 9 of the Application Form should be reviewed and suitably revised.</p>	<p>Please note that no tree felling is involved under the current application. The application site is largely covered by shrubs and weeds and there is some tree plots currently stored within the application site which are well maintained by the applicant (see photo below). The applicant will remove the tree plots for the proposed development. The tree plots will be removed and transferred, and no tree felling is involved under the current application.</p> 

Section 16 Planning Application for Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Filling of Pond and Excavation of Land at Lots 2572 RP, 2573 and 2578 in D.D. 104 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories

Department	Date	Comments	Responses to Departmental Comments												
Electrical and Mechanical Services Department	13.9.2024	Please note that there is a high pressure underground town gas transmission pipeline in the vicinity of the proposed house development. In this connection, grateful if you could provide an estimation of aggregated population induced from the captioned proposal as compare with the previous application for our consideration. Your attention is drawn that Risk Assessment would be required from the project proponent/consultant to assess the risks posed by the gas installation if the proposal will result in a significant increase in population.	<div>Noted. Please refer to the estimation of aggregated population induced from the captioned proposal as compare with the previous application below.</div> <table><tr><td></td><td>Previous Application A/YL-NTM/377</td><td>Current Application A/YL-NTM/476</td></tr><tr><td>Proposed Use</td><td>Proposed House</td><td>Proposed Flat</td></tr><tr><td>Proposed GFA</td><td>308.9 m²</td><td>476.3 m²</td></tr><tr><td>Estimated Aggregated Population</td><td>About 6</td><td>14</td></tr></table> <div>The current application involves a minor relaxation of PR from about 0.2 to 0.24. Compared to the previous application (No. A/YL-NTM/377), the current application only involves an additional of 8 persons. Considering the insignificant increase of population, and its small population compared to the adjacent transitional housing development, no risk assessment should be required under the current application.</div>		Previous Application A/YL-NTM/377	Current Application A/YL-NTM/476	Proposed Use	Proposed House	Proposed Flat	Proposed GFA	308.9 m ²	476.3 m ²	Estimated Aggregated Population	About 6	14
	Previous Application A/YL-NTM/377	Current Application A/YL-NTM/476													
Proposed Use	Proposed House	Proposed Flat													
Proposed GFA	308.9 m ²	476.3 m ²													
Estimated Aggregated Population	About 6	14													
Architectural Services Department	16.9.2024	Please provide some photomontages of the proposal in its surrounding context from different vantage points in order to enable us to comment on the visual impact of the development.	Please refer to Appendix 1 . The proposed development is small in scale and surrounded by trees, making it visually compatible with the surrounding areas without causing overwhelming visual obstruction.												
Lands Department	16.9.2024	<div>i. By desktop checking, the site boundary shown on the Master Layout Plan (“MLP”) of the Planning statement differs from the site boundary of the subject s.16 application and encroaches on the adjoining private lots, namely Lot Nos. 2579 and 2580. The applicant should rectify the site boundary where appropriate.</div> <div>ii. Location of the proposed vehicular access to/from the Application Site shown on Figure 1 of the Planning statement differs from the location shown on the MLP of the Planning Statement. The Applicant should clarify/rectify.</div>	<div>Please note that the site boundary is the surveyed site boundary given by the land surveyor. Please refer to Appendix 2. The proposed development falls within Lots 2572 RP, 2573 and 2578 in D.D. 104 and adjoining government land, without encroaching adjoining private lots, namely Lot Nos. 2579 and 2580.</div> <div>Figure 1 of the Planning statement has been revised.</div>												

Section 16 Planning Application for Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Filling of Pond and Excavation of Land at Lots 2572 RP, 2573 and 2578 in D.D. 104 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories

Department	Date	Comments	Responses to Departmental Comments
Environmental Protection Department	16.9.2024	Since the application site is just 50m from the San Tin Highways and would be subject to traffic noise impact from San Tin Highways, the applicant should provide adequate mitigation measures to minimize such impact on the proposed development.	The proposed development would incorporate prescribed windows to mitigate potential noise impact. The proposed mitigation measures would be incorporated in the Building Plan during the Building Plan submission stage.
Buildings Department	16.9.2024	<p>i. Emergency vehicular access shall be provided for all the buildings to be erected on the site in accordance with the requirement under the regulation 41D of the Building (Planning) Regulation [B(P)R];</p> <p>ii. The site abuts on a specified street (Chun Shin Road) of not less than 4.5m wide, subject to the Land Exchange proposal to be accepted by Lands Department. Its permitted development intensity shall be determined under the First Schedule of the B(P)R at the building plan submission stage;</p> <p>iii. The applicant should be reminded that the proposed development should follow and comply with the pre-requisite for gross floor area concession in Practice Notes for Authorized Persons, Registered Structural Engineers and Registered Geotechnical Engineers (PNAP) APP-151 and the sustainable building design guidelines stipulated in PNAP APP-152 during the preparation of detailed building design;</p> <p>iv. Detailed checking under the BO will be carried out at the building plan submission stage.</p>	<p>Noted.</p> <p>Noted.</p> <p>Noted.</p> <p>Noted.</p>



LEGEND:



The Application Site



Vehicular Access to/from the Application Site

(For Identification Only)

Project:

Section 16 Planning Application for Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Filling of Pond and Excavation of Land at Lots 2572 RP, 2573 and 2578 in D.D. 104 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories

Title:

The Location Plan

Figure:

1

Scale:

Not to Scale

Date:

Oct 2024

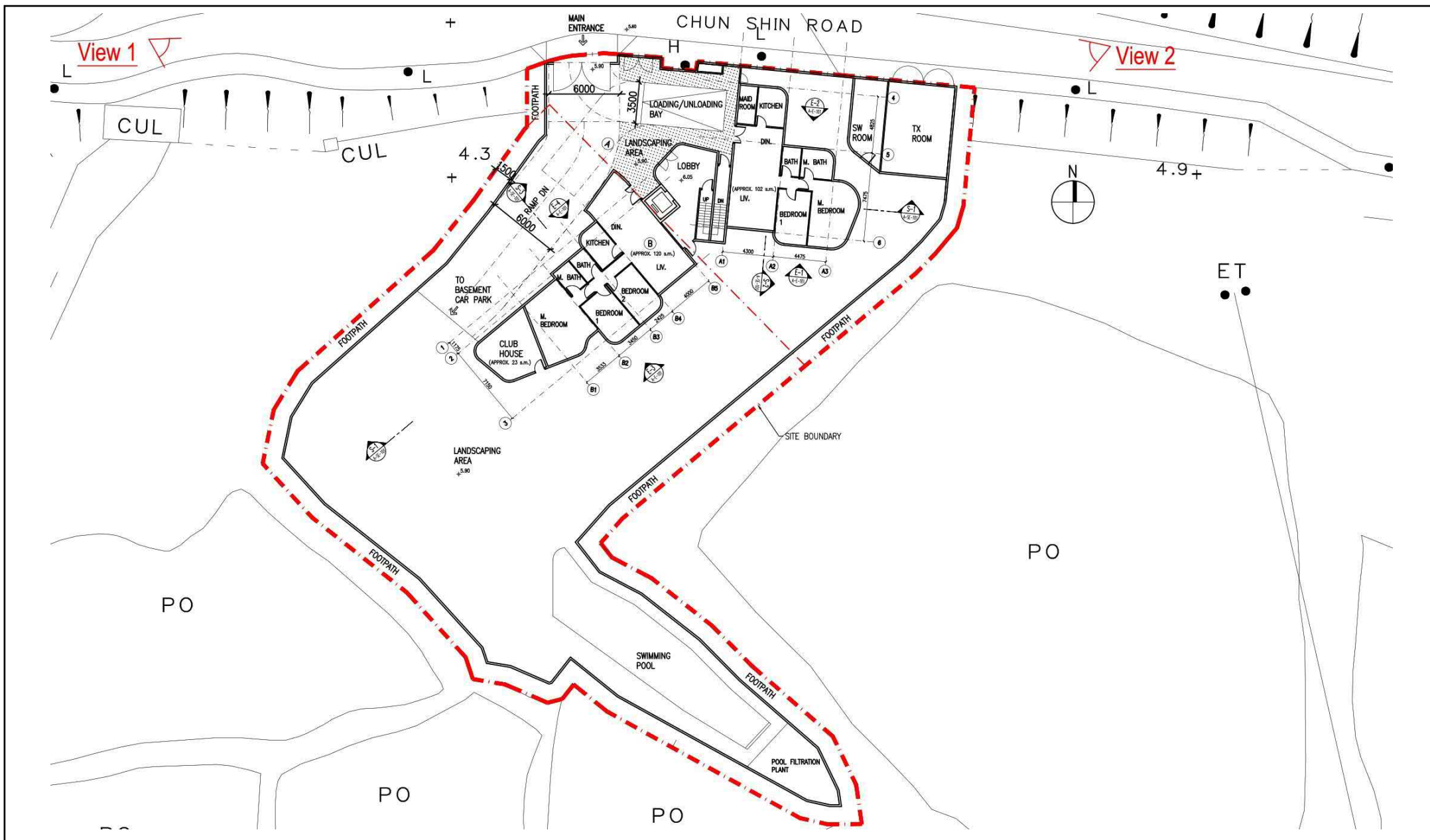
Ref.: ADCL/PLG-10298/R001/F001



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Appendix | 1

Photomontages for the Proposed Development



Project:

Section 16 Planning Application for Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Filling of Pond and Excavation of Land at Lots 2572 RP, 2573 and 2578 in D.D. 104 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories

Title:

Photomontages of the Proposed Development (Key Plan)

Figure:

6

Scale:

Not to Scale

Date:

Dec 2024

Ref.: ADCL/PLG-10298/R001/F006



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Project:

Section 16 Planning Application for Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Filling of Pond and Excavation of Land at Lots 2572 RP, 2573 and 2578 in D.D. 104 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories

Title:

Photomontages of the Proposed Development (View 1)

Figure:

6-I

Scale:

Not to Scale

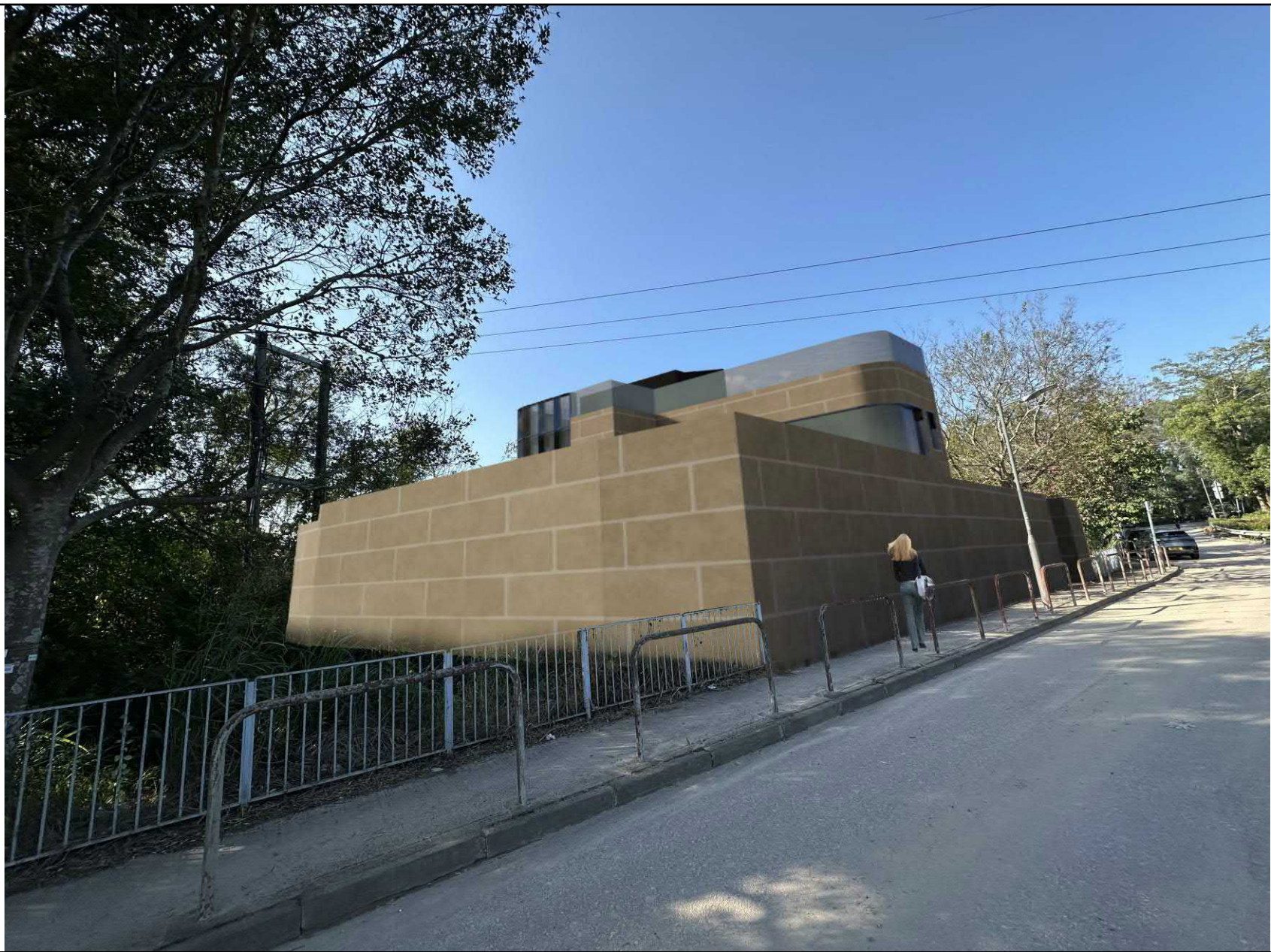
Date:

Dec 2024

Ref.: ADCL/PLG-10298/R001/F006-I



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Project:

Section 16 Planning Application for Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Filling of Pond and Excavation of Land at Lots 2572 RP, 2573 and 2578 in D.D. 104 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories

Title:

Photomontages of the Proposed Development (View 2)

Ref.: ADCL/PLG-10298/R001/F006-II

Figure:

6-II

Scale:

Not to Scale

Date:

Dec 2024



AIKON DEVELOPMENT CONSULTANCY LTD.

**Survey Report for
Lot Nos. 1217 S.A RP, 1217 S.B RP, 2572 RP, 2573 and
2578 in D.D. 104
Chun Shin Road, Yuen Long**

Job No. YL 4047
December 2018

CONTENT

1. Report
2. Lot Index Plan (Appendix A)
3. Extract Copy of D.D. Sheet (Appendix C1)
4. Enlarged D.D. Sheet (Scale 1 : 1000) (Appendix C2-C3)
5. Extract Copy of Double Lot Sheet 1 (Appendix D1)
6. Enlarged Double Lot Sheet 1 (Scale 1 : 1000) (Appendix D2-D3)
7. Extract Copy of D.D. Control Sheet (Appendix E1)
8. Enlarged D.D. Control Sheet (Appendix E2-E3)
9. Extract Copy of Cadastral Sheet No. 74-SE-D (Appendix F1)
10. Enlarged Cadastral Sheet No. 74-SE-D (Appendix F2)
11. Extract Copy of “A” Sheet No. 75-SW-C (Appendix G1)
12. Enlarged “A” Sheet No. 75-SW-C (Appendix G2)
13. Extract Copy of Old Survey Sheet No. 74-SE-D and 75-SW-C (Appendix H1-H2)
14. Enlarged Old Survey Sheet No. 74-SE-D and 75-SW-C (Scale – 1 : 1000) (Appendix H3-H4)
15. Aerial Photo No. 63G2SE17C (Appendix I)
16. Block Crown Lease (Appendix B1-B6)
17. Field Area Statement (Appendix J1-J2)
18. Memorial No. YL871130 (Appendix K1-K2)
19. Memorial No. YL90497 (Appendix L1-L3)
20. DLO Resumption Plan no. YLM3054a Sheet 1 of 2 (Appendix M1-M6)
21. Traverse Computation (Appendix N1-N7)

Appendix

- A. Survey Record Plan No. SRP/YL/049/4047/D1 (3 sheets)

1. Purpose

This boundary survey was conducted pursuant to the instruction of registered owner to ascertain the captioned lots boundary. Please refer to the current Lot Index Plan for location and approximate boundary relationships on ground.

2. Survey Data Search

2.1 D.D. Sheet, Double Lot Sheet, DD Control Sheet, Cadastral Sheet No. 74-SE-D, “A” Sheet No. 75-SW-C, Old Survey Sheet No. 74-SE-D and 75-SW-C and Lot Index Plan were obtained in District Survey Office, Yuen Long. There was no boundary information found for the subject lots.

2.2 A land record search was carried out at Land Registry and the registered area of Lot nos. 1217 S.A RP, 1217 S.B RP, 2527 RP, 2573 and 2578 were recorded as 0.35 ac – 694.0 sq. meters, 0.19 ac – 268.5 sq. meters, 0.44 ac – 987.6 sq. meters, 0.09 ac and 0.04 ac respectively in the Block Crown Lease, Field Area Statement, Memorial No. YL871130 and Memorial No. YL90497.

3. Field Survey

3.1 On the date of field survey, the existing features in the vicinity of the subject lots were surveyed for re-establishment of the subject lot boundary.

3.2 The station nos. OPB8158.002, OPB8158.003 and OPB8158.004 were used as the origin of the Main Traverse which had been verified by observing to each other. This Traverse was then run through the subject lot for details surveying.

3.3 Two Permanent Survey Marks were also established on site for future survey references.

4. Definition of Boundaries

4.1 By referring to the boundary information, the boundary of the subject lots are defined by the existing features and the records.

Lot 1217 S.B RP

4.2 The boundary points A, B, C, D, E, F, G, H, J, K, L, M and N were defined by adopting the shape and size which shown on the DD Sheet, Cadastral Sheet, “A” Sheet and the 1963 aerial photo.

4.3 The surveyed area of Lot no. 1217 S.B RP was 648.1 sq. meters which is smaller than the registered area of 0.19 ac – 268.5 sq. meters (about 768.9 sq. meters) by 120.8 sq. meters.

Lot 1217 S.A. RP

4.4 The boundary points J, K, L, M, P, Q, R, S, T, U, and V were defined by adopting the shape and size which shown on the DD Sheet, Cadastral Sheet, “A” Sheet and the 1963 aerial photo.

- 4.5 The surveyed area of Lot no. 1217 S.A RP was 836.5 sq. meters which is larger than the registered area of 0.35 ac – 694.0 sq. meters (about 722.4 sq. meters) by 114.1 sq. meters.

Lot 2572 RP

- 4.6 The boundary points W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG and AH were defined by adopting the shape and size which shown on the DD Sheet, Cadastral Sheet, “A” Sheet and the 1963 aerial photo.

- 4.7 The surveyed area of Lot no. 2572 RP was 835.8 sq. meters which is larger than the registered area of 0.44 ac – 987.6 sq. meters (about 793.0 sq. meters) by 42.8 sq. meters.

Lot 2573

- 4.8 The boundary points Z, AA, AB, AC, AD, AJ, AK, AL, AM, AN, AP, AQ, AR, AS and AT were defined by adopting the shape and size which shown on the DD Sheet, Cadastral Sheet, “A” Sheet and the 1963 aerial photo.

- 4.9 The surveyed area of Lot no. 2573 was 305.7 sq. meters which is smaller than the registered area of 0.09 ac (about 364.2 sq. meters) by 58.5 sq. meters.

Lot 2578

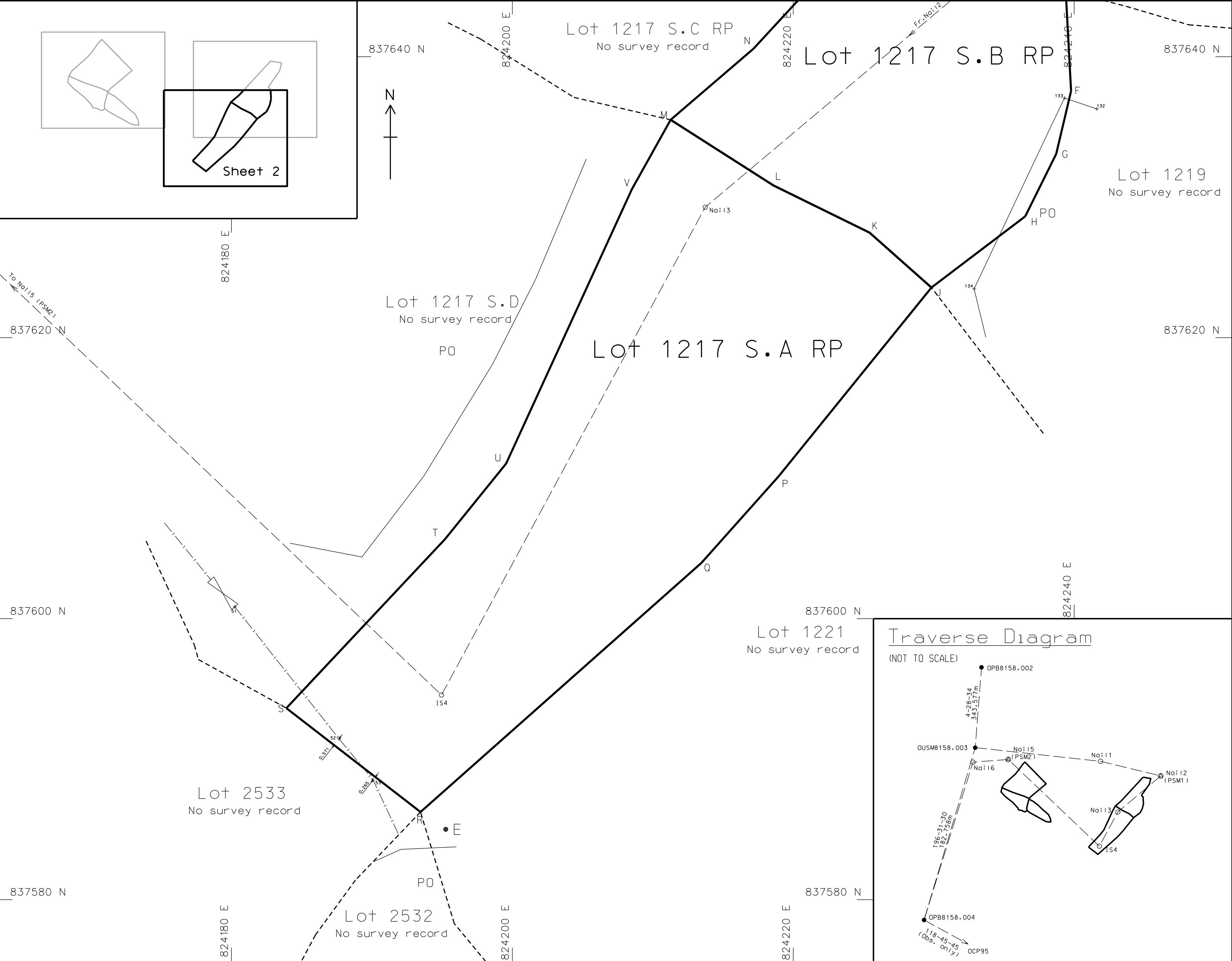
- 4.10 The boundary points Z, AJ, AK, AU, AV, AW, AX, AY, AZ, BA, BB, BC and BD were defined by adopting the shape and size which shown on the DD Sheet, Cadastral Sheet, “A” Sheet and the 1963 aerial photo.

- 4.11 The surveyed area of Lot no. 2578 was 256.6 sq. meters which is larger than the registered area of 0.04 ac (about 161.9 sq. meters) by 94.7 sq. meters.

By
Sr PANG Chi-wing



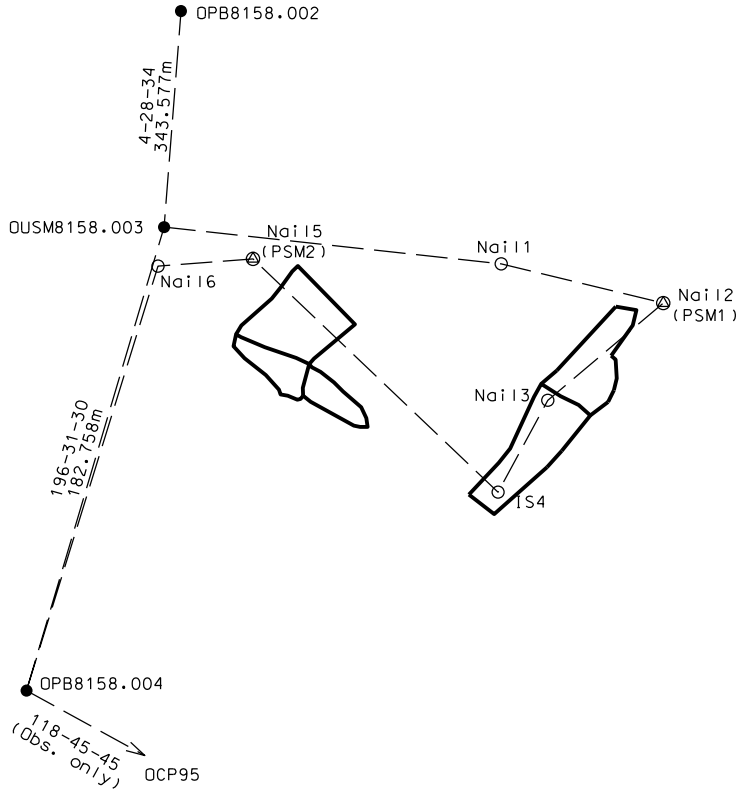
Authorized Land Surveyor



Boundary Point	Bearing	Distance (m)	Northing (m)	Easting (m)
Lot No. 2578 in D.D. 104				
Z			837643.002	824123.563
AU	142 05 20	1.545	837641.783	824124.512
AV	117 41 29	3.779	837640.027	824127.859
AW	128 08 30	6.487	837636.020	824132.960
AX	135 12 46	4.874	837632.561	824136.394
AY	131 01 57	9.031	837626.632	824143.207
AZ	154 19 36	4.534	837622.545	824145.171
BA	171 46 20	3.355	837619.225	824145.651
BB	269 27 08	2.867	837619.198	824142.785
BC	282 32 06	2.402	837619.719	824140.440
BD	298 54 48	18.644	837628.733	824124.120
AK	308 52 40	3.653	837631.026	824121.276
AJ	357 19 29	2.939	837633.962	824121.138
Z	15 00 45	9.359	837643.002	824123.563
Lot No. 1217 S.A RP in D.D. 104				
M			837635.511	824211.272
L	122 33 31	8.678	837630.841	824218.586
K	116 09 05	7.627	837627.480	824225.432
J	131 32 39	5.892	837623.572	824229.842
P	219 00 06	17.261	837610.158	824218.979
Q	221 42 01	8.288	837603.970	824213.466
R	228 26 51	26.726	837586.242	824193.465
S	307 43 28	12.077	837593.632	824183.913
T	43 11 41	16.507	837605.666	824195.212
U	38 56 58	6.916	837611.044	824199.560
V	24 38 10	21.475	837630.565	824208.512
M	29 09 42	5.664	837635.511	824211.272
Lot No. 1217 S.B RP in D.D. 104				
A			837664.728	824239.445
B	99 37 50	7.923	837663.402	824247.256
C	193 43 41	5.950	837657.622	824245.844
D	215 13 27	14.083	837646.117	824237.721
E	130 22 34	2.200	837644.692	824239.397
F	176 55 04	7.141	837637.561	824239.781
G	193 17 28	4.600	837633.084	824238.723
H	206 24 50	4.963	837628.639	824236.515
J	232 47 34	8.379	837623.572	824229.842
K	311 32 39	5.892	837627.480	824225.432
L	296 09 05	7.627	837630.841	824218.586
M	302 33 31	8.678	837635.511	824211.272
N	49 22 55	7.768	837640.568	824217.168
A	42 40 41	32.862	837664.728	824239.445

Traverse Diagram

(NOT TO SCALE)



I, ...Pang Chi Wing... , an Authorized Land Surveyor registered under the Land Survey Ordinance (Cap. 473), hereby certify that this survey record plan has been prepared from land boundary surveys that were carried out by me or under my direct supervision in conformity with the Code of Practice approved by the Land Survey Authority under the above Ordinance, and that this plan correctly represents that survey completed on the ...19th... day of ...November... 2018.

Dated this ...8th... day of ...December... 2018

Handwritten signature of Pang Chi Wing.

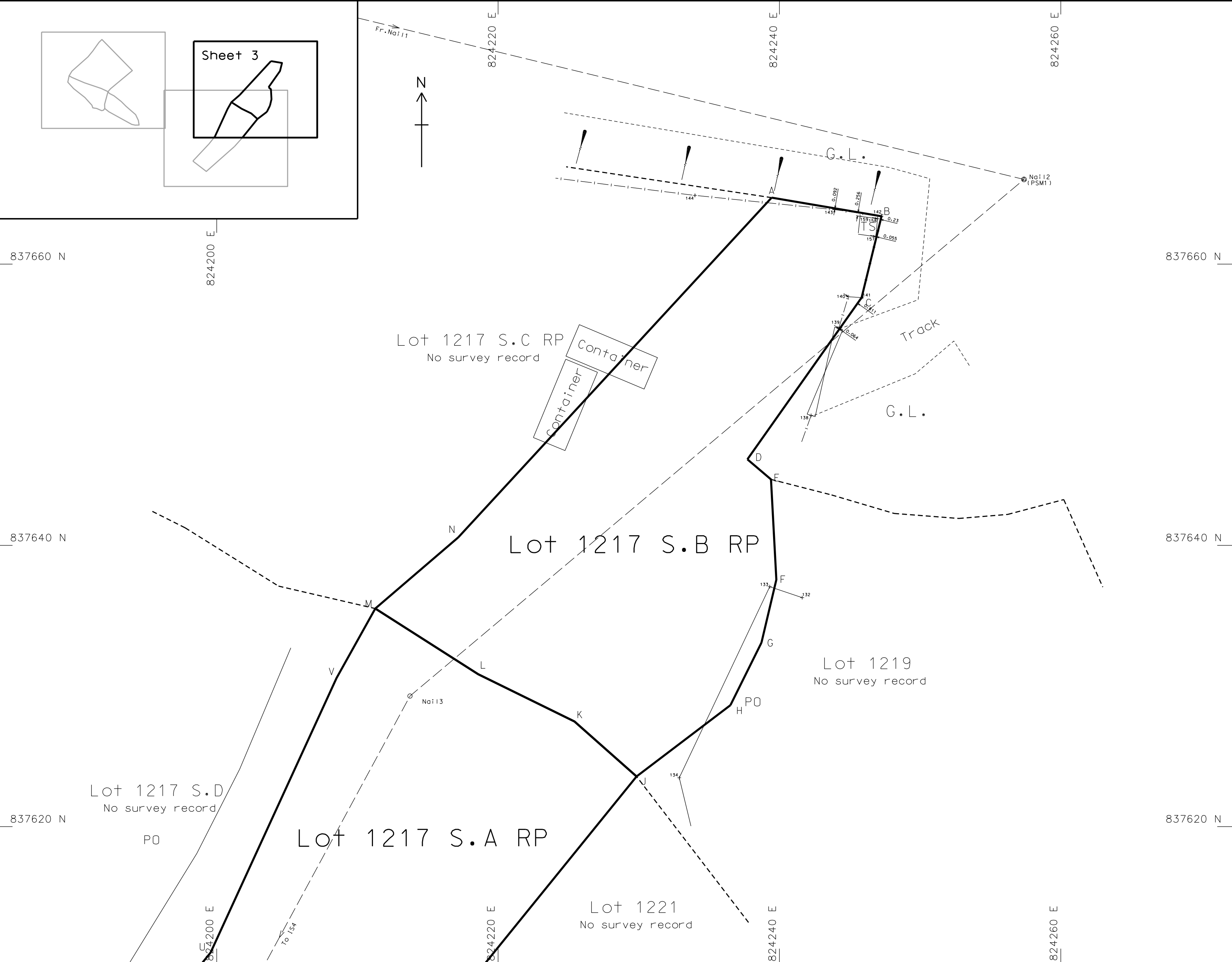
Authorized Land Surveyor
Registration No.: 049

Survey District : YUEN LONG
Date of Survey : NOVEMBER 2018
Scale : 1:200
Survey Sheet No. : 2-SE-17C
Ref. SRP No. : NIL

DIMENSION PLAN OF
LOT NOS. 1217 S.A RP, 1217 S.B RP, 2572 RP,
2573 & 2578 IN D.D.104
CHUN SHIN ROAD, YUEN LONG

FOR OFFICIAL USE

Survey Record Plan No.: SRP/YL/049/4047/D1
(Sheet 2 of 3)

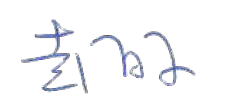


RADIATIONS: Surveyed Point					Bearing ° ' "	Distance (m)	Northing (m)	Easting (m)
Fr. Nail5 (PSM2)							837682.741	824102.316
To	12				96 39 38	19.955	837680.427	824122.136
	13				97 35 00	19.820	837680.125	824121.963
	14				98 49 31	16.545	837680.203	824118.665
	15				100 54 15	16.893	837679.545	824118.904
	16				108 56 03	10.404	837679.365	824112.157
	17				111 53 53	10.658	837678.766	824112.205
	39				161 03 01	59.207	837626.743	824121.543
	40				157 30 09	54.001	837632.849	824122.979
	41				152 30 09	59.804	837629.693	824129.928
	42				148 37 27	66.502	837625.964	824136.940
	43				144 24 53	75.361	837621.454	824146.170
Fr. IS4							837594.571	824194.958
To	51				293 06 09	15.998	837600.848	824180.243
	52				246 52 07	7.935	837591.454	824187.661
	53				218 50 19	7.767	837588.521	824190.087
Fr. Nail3							837629.289	824213.736
To	132				75 54 45	28.746	837636.286	824241.617
	133				73 05 27	26.727	837637.063	824239.308
	134				106 53 24	20.004	837623.477	824232.877
Fr. Nail5							831068.706	821374.518
To	92				309 23 51	0.657	831069.123	821374.011
	94				338 41 29	8.483	831076.609	821371.435
	101				00 09 55	14.690	831083.396	821374.560
Fr. Nail2 (PSM1)							837666.022	824257.384
To	138				222 02 33	22.595	837649.242	824242.253
	139				231 10 33	16.905	837655.424	824244.214
	140				236 15 59	15.023	837657.679	824244.891
	141				233 56 58	14.273	837657.622	824245.844
	142				255 29 42	10.461	837663.402	824247.256
	143				260 55 37	13.626	837663.873	824243.929
	144				267 13 08	23.419	837664.886	824233.993
	157				248 53 35	11.296	837661.954	824246.846
	158				254 58 07	10.775	837663.227	824246.977
	159				257 19 35	11.946	837663.401	824245.729

PSM RADIATIONS:			Northing (m)	Easting (m)
Surveyed Point				
PSM1 as Nail12 (Nail on ground)			837666.022	824257.384
PSM2 as Nail15 (Nail on ground)			837682.741	824102.316

I,Pang Chi Wing....., an Authorized Land Surveyor registered under the Land Survey Ordinance (Cap. 473), hereby certify that this survey record plan has been prepared from land boundary surveys that were carried out by me or under my direct supervision in conformity with the Code of Practice approved by the Land Survey Authority under the above Ordinance, and that this plan correctly represents that survey completed on the ...19th... day of ...November..... 2018.

Dated this ...8th... day of ...December..... 2018



Authorized Land Surveyor
Registration No.: 049

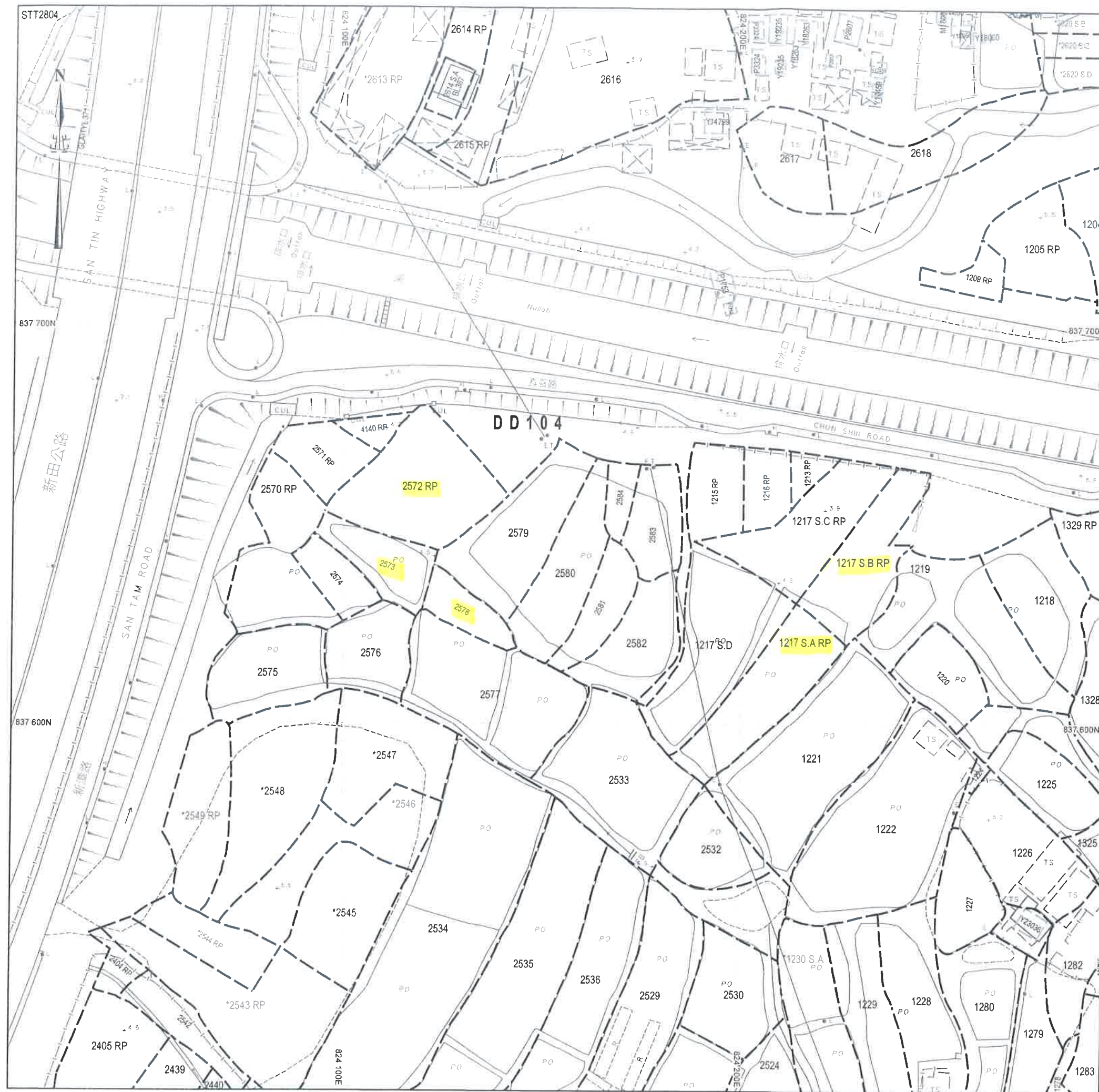
Survey District : YUEN LONG
Date of Survey : NOVEMBER 2018
Scale : 1:200
Survey Sheet No. : 2-SE-17C
Ref. SRP No. : NIL

DIMENSION PLAN OF
LOT NOS. 1217 S.A RP, 1217 S.B RP, 2572 RP,
2573 & 2578 IN D.D.104
CHUN SHIN ROAD, YUEN LONG

FOR OFFICIAL USE

Survey Record Plan No.: SRP/YL/049/4047/D1
(Sheet 3 of 3)





地段索引圖 LOT INDEX PLAN

免責聲明

本圖則乃地段索引圖的複本，顯示地段界線的大概位置，包括根據政府撥地、臨時政府撥地、短期租約及政府土地租用牌照而臨時佔用土地的位置。臨時佔用土地的情況可憑藉短期通知出現或終止，因此應向有關的分區地政專員核證。本圖則所示的資料必須透過實地測量予以核實。當有更佳或新的地界證據時，地段索引圖可能會被修訂而無須事先通知。

Disclaimer

This plan is a copy of the lot index plan showing the approximate location of lot boundaries, including the temporary occupation of land under Government Land Allocations, Temporary Government Land Allocations, Short Term Tenancies and Government Land Licences. The temporary occupation of land may be created or terminated at short notice and should be confirmed with the District Lands Officer. The information shown on this plan MUST be verified by field survey. The lot index plan may be revised without prior notification as better or new boundary evidence becomes available.



地政總署測繪處 Survey and Mapping Office Lands Department

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比例尺 SCALE 1:1 000
米 metres 10 0 10 20 30 40 50 metres

Locality :

Lot Index Plan No. : ags_S00000007366_0001

District Survey Office : Lands Information Center

Date : 13-Nov-2018

Reference No. : 2-SE-17C

SCHEDULE OF CROWN LESSEES.

DISTRICT No. 104

Lot No.	Term of lease in years.	Area	Description of Lot	Name of Owner.		Address	Crown Rent.	
				Chinese	Transliteration		Class	\$
1191	75	23	Gradi	朱清華	Chai Ching Wa	元朗東三	pt	69
1192	7	11	"	文開泰	Man Kai Tai	新田蕃田村	"	33
1193	7	05	"	朱清華	Chai Ching Wa	元朗東三	"	15
1194	7	41	"	文教育祖	Man Hau Yuk Tau	蕃田村	"	23
				文星台司理	Man Sing Tai, Tau			
1195	7	24	"	朱清華	Chai Ching Wa	元朗東三	"	72
1196	7	21	"	文開泰	Man Kai Tai	新田蕃田村	"	63
1197	7	11	"	文星台	Man Sing Tai	蕃田村	"	33
1198	7	09	"	文開泰	Man Kai Tai		"	27
1199	7	02	"	朱清華	Chai Ching Wa	元朗東三	"	12
1200	7	19	"	文開泰	Man Kai Tai	竹園	"	57
1203	7	04	"	文開泰	Man Kai Tai	新田蕃田村	"	12
1204	7	15	Gradi	文開泰	Man Kai Tai	新田蕃田村	"	45
1205	7	13	"	文開泰	Man Kai Tai	竹園	"	39
1206	7	09	"	尹才貴	Hoi Tai Hui	竹園圍仔	"	27
1208	7	18	"	文金堂祖	Man Kam Tong	新田青龍村	"	54
				文建邦司理	Man Tin Hong			
1209	7	09	"	文教育祖	Man Hau Yuk Tau	蕃田村	"	27
				文星台司理	Man Sing Tai, Tau			
1210	7	05	"	尹水有	Hoi Shui Yau	竹園圍仔	"	15
1211	7	10	"	尹才貴	Hoi Tai Hui	竹園圍仔	"	30
1212	7	03	"	林木壽	Lam Muk Shau	竹園圍仔	"	09
1213	7	13	"	尹興福	Hoi Hing Fook	"	"	39
				尹興泰	Hoi Hing Tai	"	"	
				尹錦祥	Hoi Kam Cheung	"	"	
1214	7	08	"	文祖壽	Man Tso Shau	新田蕃田村	"	24
1215	7	11	"	文炳有	Man Ping Yau	蕃田村	"	33
1216	7	12	"	文德交	Man Tak Hau	仁壽園	"	36
1217	7	92	"	文教育祖	Man Hau Yuk Tau	蕃田村	2	76
				文星台司理	Man Sing Tai, Tau			
1218	7	17	"	文星台	Man Sing Tai	蕃田村	"	51
1219	7	23	"	文金諾	Man Kam Ngok	"	"	69
1220	7	10	"	文妹嫻	Man Mei Ngan	"	"	30
1221	7	30	"	文大九	Man Tai Gao	蕃田村	"	0

OF CROWN LESSEES.

ISTRICT No. 14

Crown Rent.

Address Class \$ ¢

元朗東三

69

Mortgaged to Wang Shui Kuan Lio Hui Li Wai-f Kuan Treasury of Canton with Lts 1193, 1195, 1199 & 1270 for \$60⁰⁰ in Ks. 15. Mortgage in possession

新田蕃田村

33

元朗東三

15

See lot 1191.

新田蕃田村

123

元朗東三

72

See lot 1191.

新田蕃田村

63

Mortgaged to Wang Shui Kuan Lio Hui Li Wai-f Kuan Treasury of Canton with Lts 2570, 2575 & 2572 for \$100⁰⁰ in Ks. 17. Mortgage in possession

新田蕃田村

33

元朗東三

27

新田蕃田村

12

See lot 1191.

元朗東三

57

Mortgaged to Wang Shui Kuan Lio Hui Li Wai-f Kuan Treasury of Canton with Lts 1200 for \$100⁰⁰ Mortgage in possession

竹園

12

Mortgaged to Wang Shui Kuan Lio Hui Li Wai-f Kuan Treasury of Canton with Lts 1200 for \$100⁰⁰ Mortgage in possession

新田蕃田村

45

竹園

39

See lot 1208

新田蕃田村

27

竹園園仔

54

新田青龍村

27

新田蕃田村

15

竹園園仔

30

竹園園仔

09

竹園園仔

39

新田蕃田村

33

Mortgaged to Wang Shui Kuan Lio Hui Li Wai-f Kuan Treasury of Canton with Lts 1200 for \$100⁰⁰ Mortgage in possession

新田蕃田村

36

新田蕃田村

76

新田蕃田村

51

新田蕃田村

00

新田蕃田村

30

新田蕃田村

4

新田蕃田村

36

新田蕃田村

76

新田蕃田村

51

新田蕃田村

00

新田蕃田村

30

新田蕃田村

4

新田蕃田村

36

新田蕃田村

76

新田蕃田村

51

新田蕃田村

00

新田蕃田村

30

新田蕃田村

4

SCHEDULE OF CROWN LESSEES.

DISTRICT No. 104

Lot No.	Term of lease in years.	Area	Description of Lot	Chinese	Transliteration	Address	Class	\$	¢
2552	75	32	1 ad.	鄧巡撫會 鄧洪英司理 德聘	Lung Leun Fu H. Lung Hung Ying Lung Tak Ping	錦田北邊		96	
2553	"	23	"	老洪聖會 鄧大九司理	Lo Hung Shing H. Lung Tai Kau (2)	錦園圍		69	
2554	"	07	"	尹才貴	Yan Lai Kwei	竹園圍仔		21	
2555	"	16	"	文灶保	Man Tso Po	新田		42	
2556	"	47	"	文楚有祖 文大保司理	Man Cho Pak Tso Man Po Po (2)	新田		141	
2557	"	03	"	尹水有	Yan Shui Yau	竹園圍仔		09	
2558	"	01	"	文辛野祖 文賀新司理	Man San Yee Tso Man Ho San (2)	新田蕃田村		03	
2559	"	31	"	"	"	"		93	
2560	"	02	"	文火全	Man Lo Luen	新田		06	
2561	"	19	"	文裕光	Man Yik Kwong	蕃田村		57	
2562	"	27	"	文華新堂	Man Wa Chung Tong	永平村		81	
2563	"	27	"	紹普司理	Shao Shui Lo (2)	"		81	
2564	"	26	"	李榮就	Li Nin Lou	竹園		78	
2565	"	03	"	鄧浮梧祖	Lung Fook Ng Tso	錦田吉慶圍		09	
2566	"	20	"	鄧日冕司理	Lung Yat Mang (2)	"		60	
2567	"	10	"	文謙常堂 文大九司理	Man Him Shing Tong Man Tai Kau (2)	新田蕃田村		30	
2568	"	21	"	文教育祖 文星台司理	Man Kau Fook Tso Man Sing Tai (2)	"		63	
2569	"	16	"	鄧巡撫會 鄧元富司理	Lung Leun Fu H. Lung Yuen Fu (2)	錦田北邊		48	
2570	"	29	"	鄧才喜	Lung Lai Hei	竹園		67	
2571	"	16	"	李榮就	Li Nin Lou	"		48	
2572	"	44	"	文華新堂 文紹普司理	Man Wa Chung Tong Man Shao Po (2)	新田永平村		32	
2573	"	09	"	文教育祖 文星台司理	Man Kau Fook Tso Man Sing Tai (2)	蕃田村		7	

OF CROWN LESSEES.

DISTRICT No. 104

Station	Address	Crown Rent.		REMARKS.
		Class	\$. #	
Li	錦田北边		96	
Li	錦慶園		69	
Li	竹園圍仔		21	
Lo	新田		42	See Lot 2550.
Lo	新田		41	
Lo	竹園圍仔		09	
Lo	新田蕃田村		03	
Lo	新田		93	
Lo	蕃田村		57	
Lo	永平村		81	
Lo	竹園		78	
Lo	錦田吉慶園		60	
Lo	新田蕃田村		30	
Lo	錦田北边		63	
Lo	竹園		87	
Lo	新田永平村		48	
Lo	蕃田村		32	

Mortgaged to Messrs. Lee & Co. of San Lee for \$ 20 = Mortgage in person

SCHEDULE OF CROWN LESSEES.

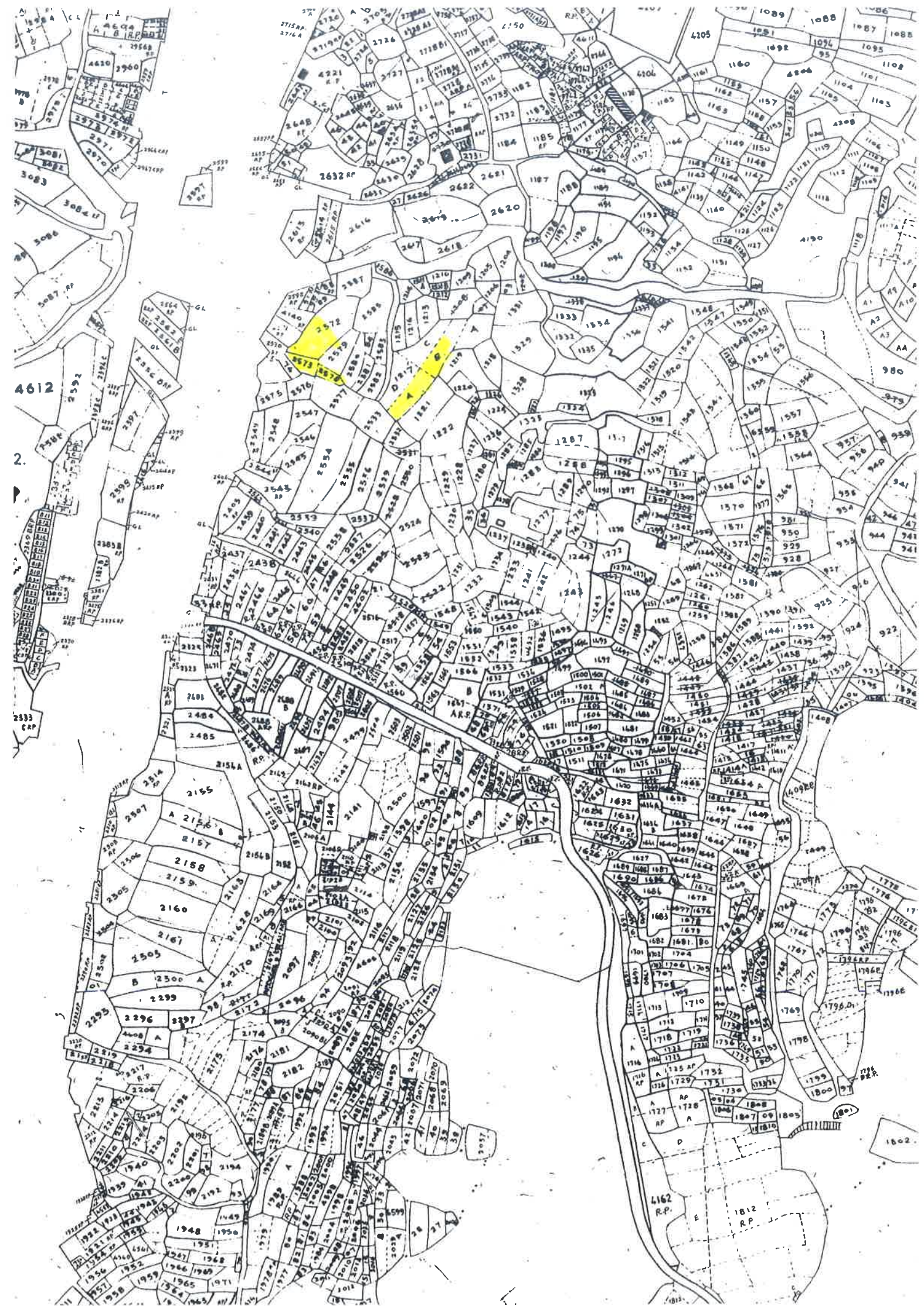
DISTRICT No. 104

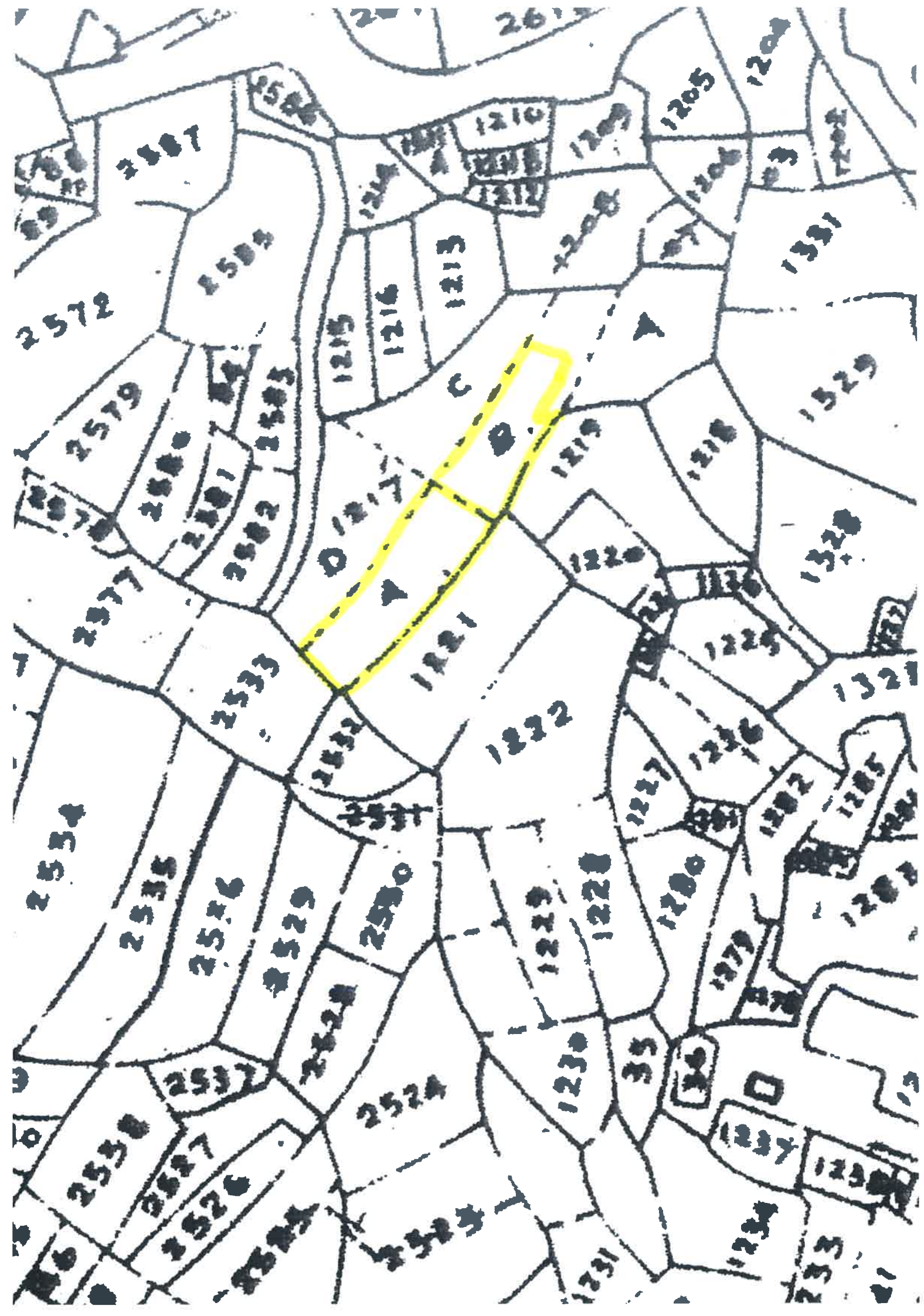
Lot No.	Term of lease in years.	Area	Description of Lot	Name of Owner.		Address	Crown Rent.		
				Chinese	Transliteration		Class	\$	¢
2574	75	06	Sadi	鄧巡撫會	Lung Sun He	錦田北邊	P ^t	18	
				鄧元富司理	Lung Sun He (C)				
2575		12	"	文謙常堂	Man Kwan Chung Tong	新田蕃田村	"	36	
				文大九司理	Man Tai Kau (C)				
2576		10	"	文灶保	Man Leo Bo	新田	"	30	
2577		29	"	黃仁興	Hong Yan Heung	竹園	"	87	
2578		09	"	文教育祖	Man Kwan Fook Tso	新田蕃田村	"	12	
				文星台司理	Man Sing Tai (C)				
2579		18	"	鄧巡撫會	Lung Sun He	錦田北邊	"	54	
				鄧元富司理	Lung Sun He (C)				
2580		11	"	文教育祖	Man Kwan Fook Tso	新田蕃田村	"	42	
				文星台司理	Man Sing Tai (C)				
2581		07	"	鄧巡撫會	Lung Sun He	錦田北邊	"	21	
				鄧元富司理	Lung Sun He (C)				
2582		12	"	文星台	Man Sing Tai	新田蕃田村	"	36	
2583		10	"	尹才發	Yuen Tai Hap	竹園園仔	"	30	
2584		03	"	李桂華	Li Kwai Wai	竹園	"	09	
2585		33	"	文乾信	Man Kwan Him	新田安樂村	"	94	
2587		19	"	文福平	Man Fook Ping	蕃田村	"	57	
2588		05	"	鄧才喜	Lung Tai Hei	錦田北邊	"	15	
2589		02	"	文開泰	Man Hoi Tai	新田蕃田村	"	12	
2590		02	"	文教育祖	Man Kwan Fook Tso	蕃田村	"	06	
				文星台司理	Man Sing Tai (C)				
2591		03	"	鄧巡撫會	Lung Sun He	錦田北邊	"	09	
				鄧元富司理	Lung Sun He (C)				
2592		11	"	文華彰堂	Man Wah Cheung Tong	新田永平村	"	55	
				文紹善司理	Man Shiu Sun (C)				
2593		09	"	文開泰	Man Hoi Tai	蕃田村	"	27	
2594		05	"	文星台	Man Sing Tai	蕃田村	"	15	
2595		04	"	尹水有	Yuen Shui Yau	竹園園仔	"	12	
2596		20	"	黃茂源祖	Hong Mau Yuen Tso	米埔	"	60	
				黃錦祥司理	Hong Kam Cheung (C)				
2597		01	"	文華實	Man Chuek Hui	新田蕃田村	"	63	
2598		06	"	李敬仁堂	Li Kwan Yan Tong	香港和豐街	"	18	
				李紀堂司理	Li Ki Tong (C)	計門牌式桂			

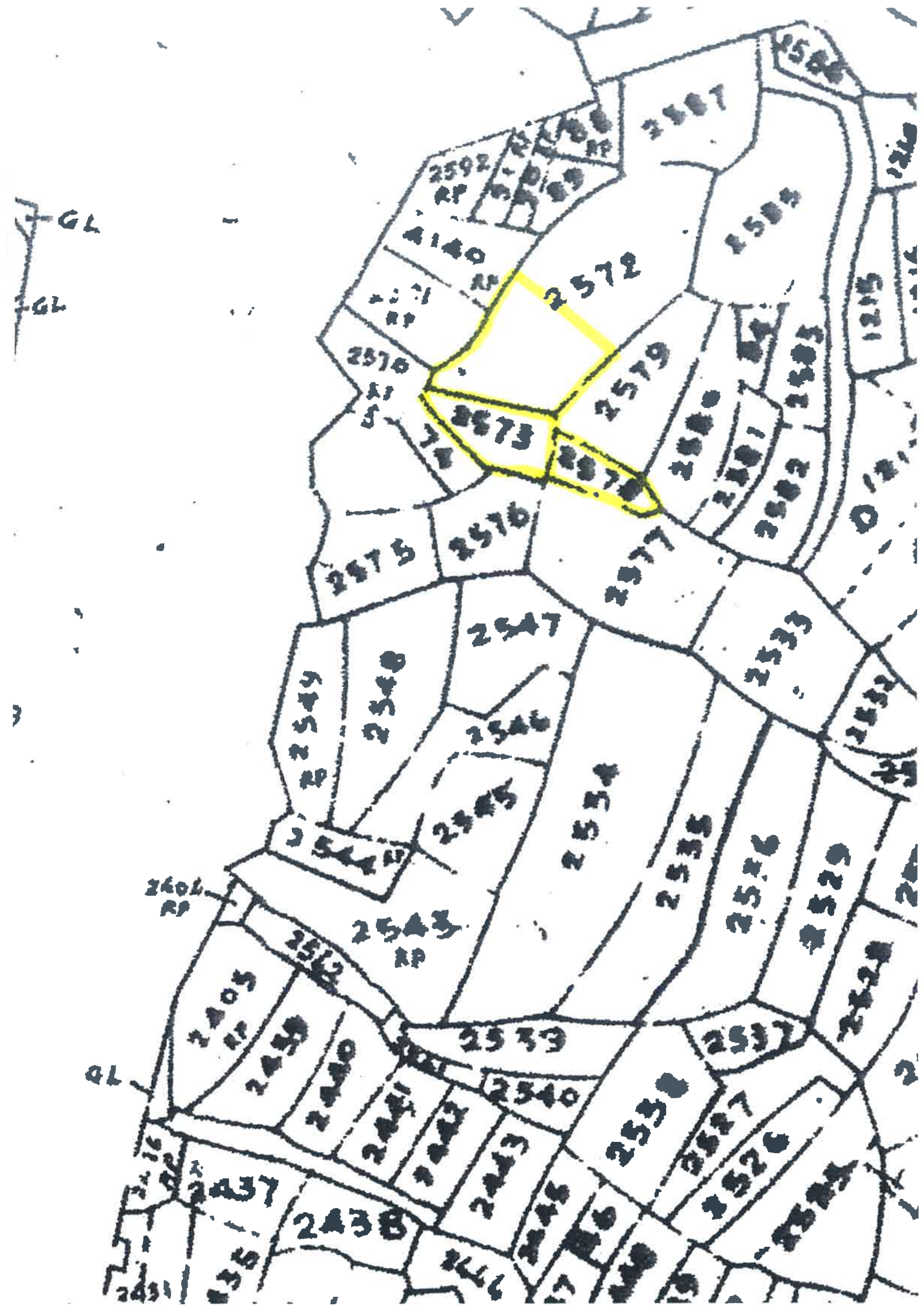
E OF CROWN LESSEES.

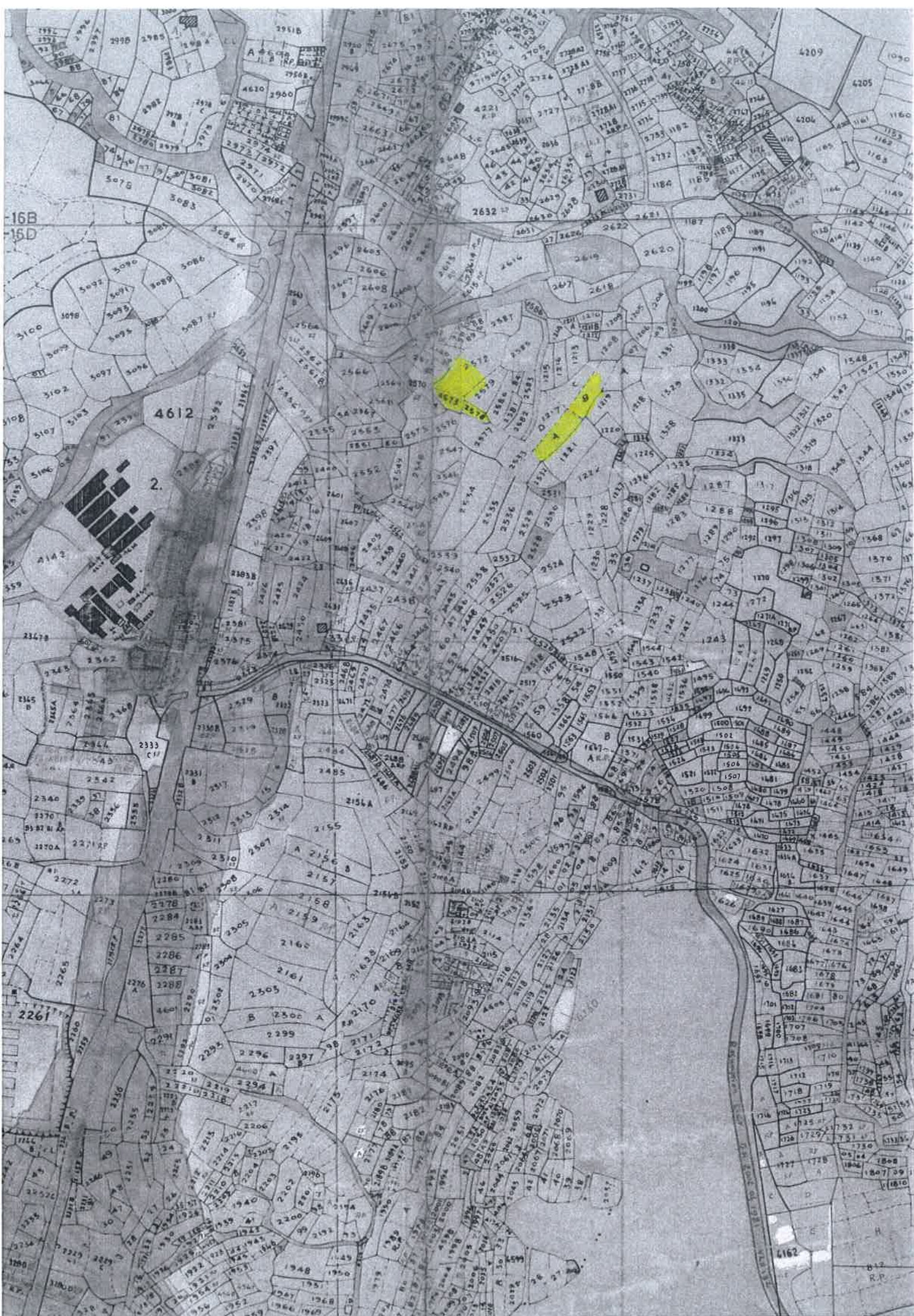
DISTRICT No. 104

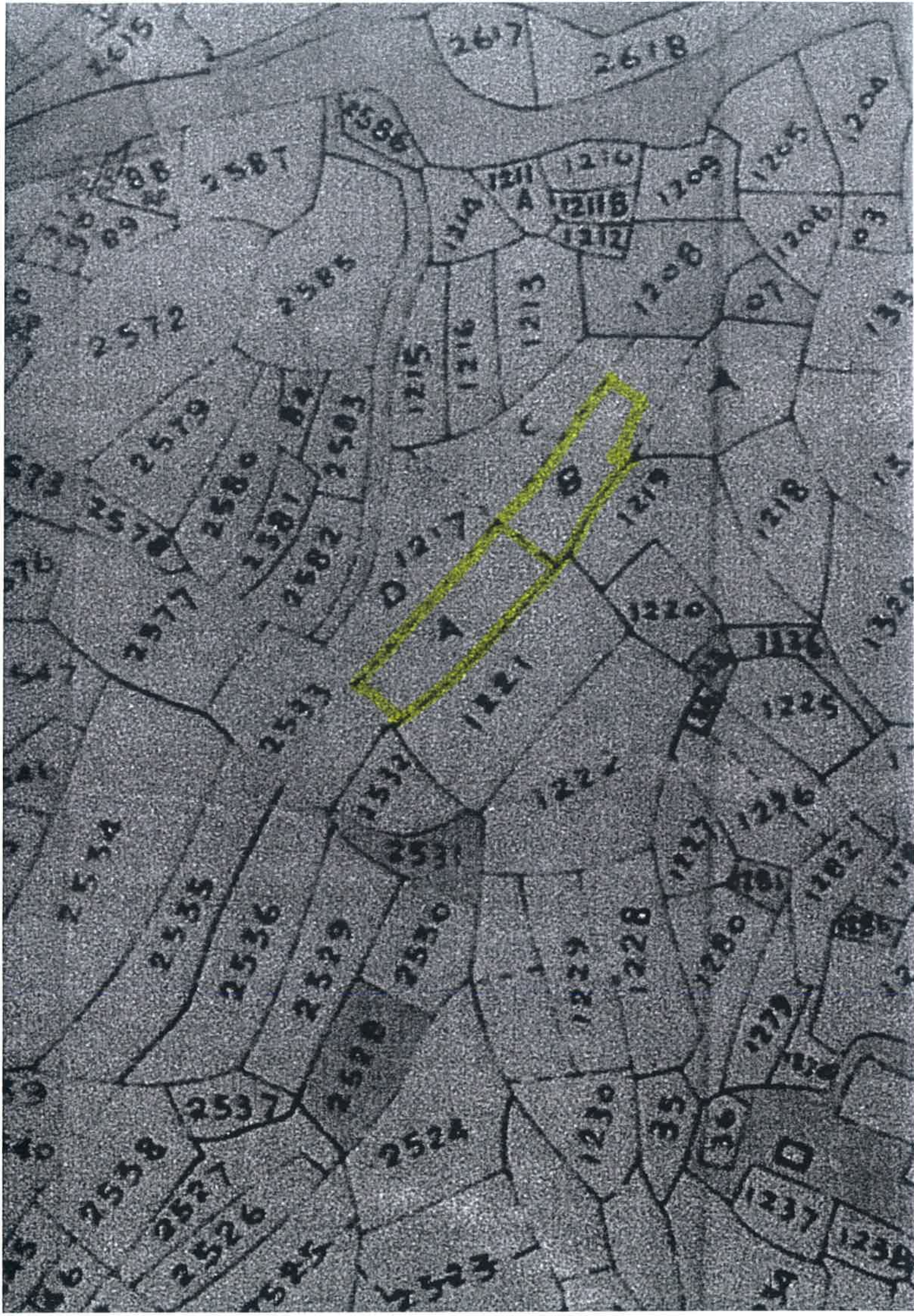
Location	Address	Class	Crown Rent.		REMARKS.
			\$	¢	
104	錦田北边	Pt	18		
(1)	新田蕃田村		36		
104	新田	"	30		See lot 2550.
104	竹園	"	87		Mortgaged to Man Kuen Chung Sang of Pao Tin for 10 years as per contract
(1)	新田蕃田村	"	12		
104	錦田北边	"	54		
(1)	新田蕃田村	"	42		
(1)	錦田北边	"	21		
(1)	新田蕃田村	"	36		
104	竹園園仔	"	30		
104	竹園	"	29		
104	新田安龍村	"	98		
104	蕃田村	"	57		
104	錦田北边	"	15		
104	新田蕃田村	"	12		
(1)	蕃田村	"	16		
104	錦田北边	"	09		
(1)	新田永平村	"	55		
104	蕃田村	"	27		
104	蕃田村	"	15		
104	竹園園仔	"	12		
(1)	米埔	"	60		
104	新田蕃田村	"	63		Mortgaged to Sang Hon Sang of Mei Po with lot 2642 for 10 years as per contract
104	香港和豐街	"	18		
(1)	計門牌式樓	"			











2615

2617

2618

2586

2587

1211 A

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1211 B

1212

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1204

2572

2585

1215

1216

1213

1208

1206

1303

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2580

2582

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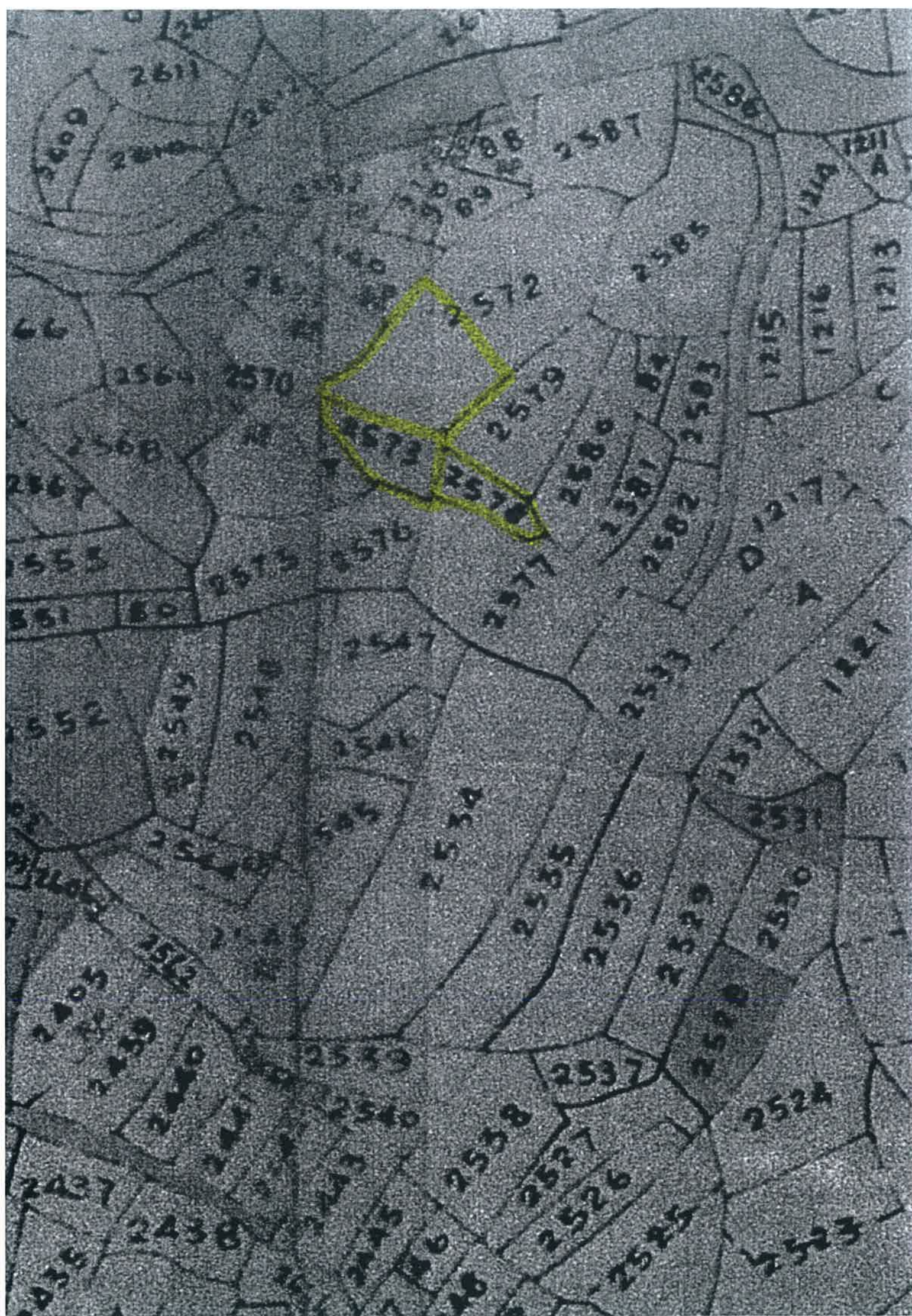
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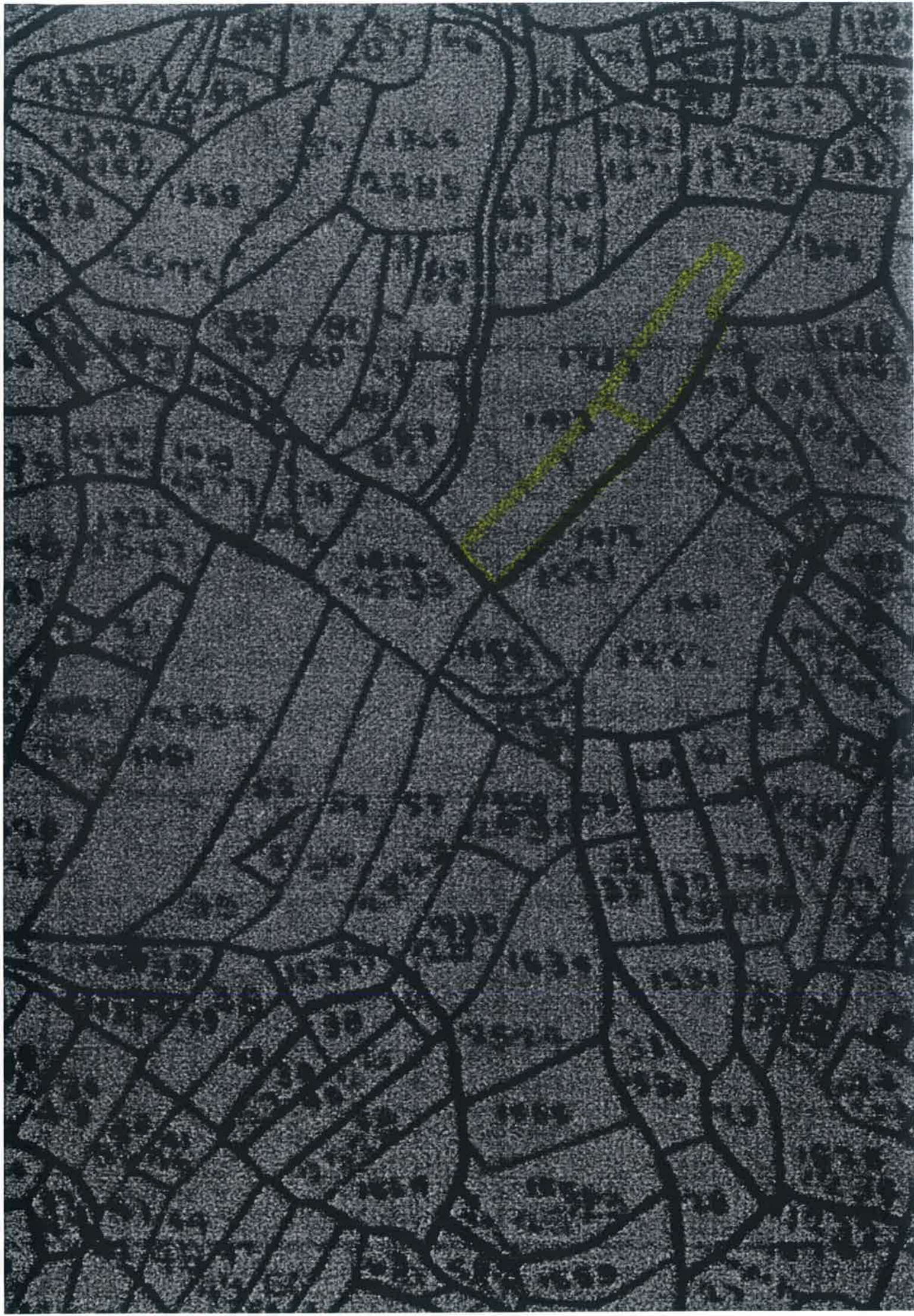
Sheet. 2.

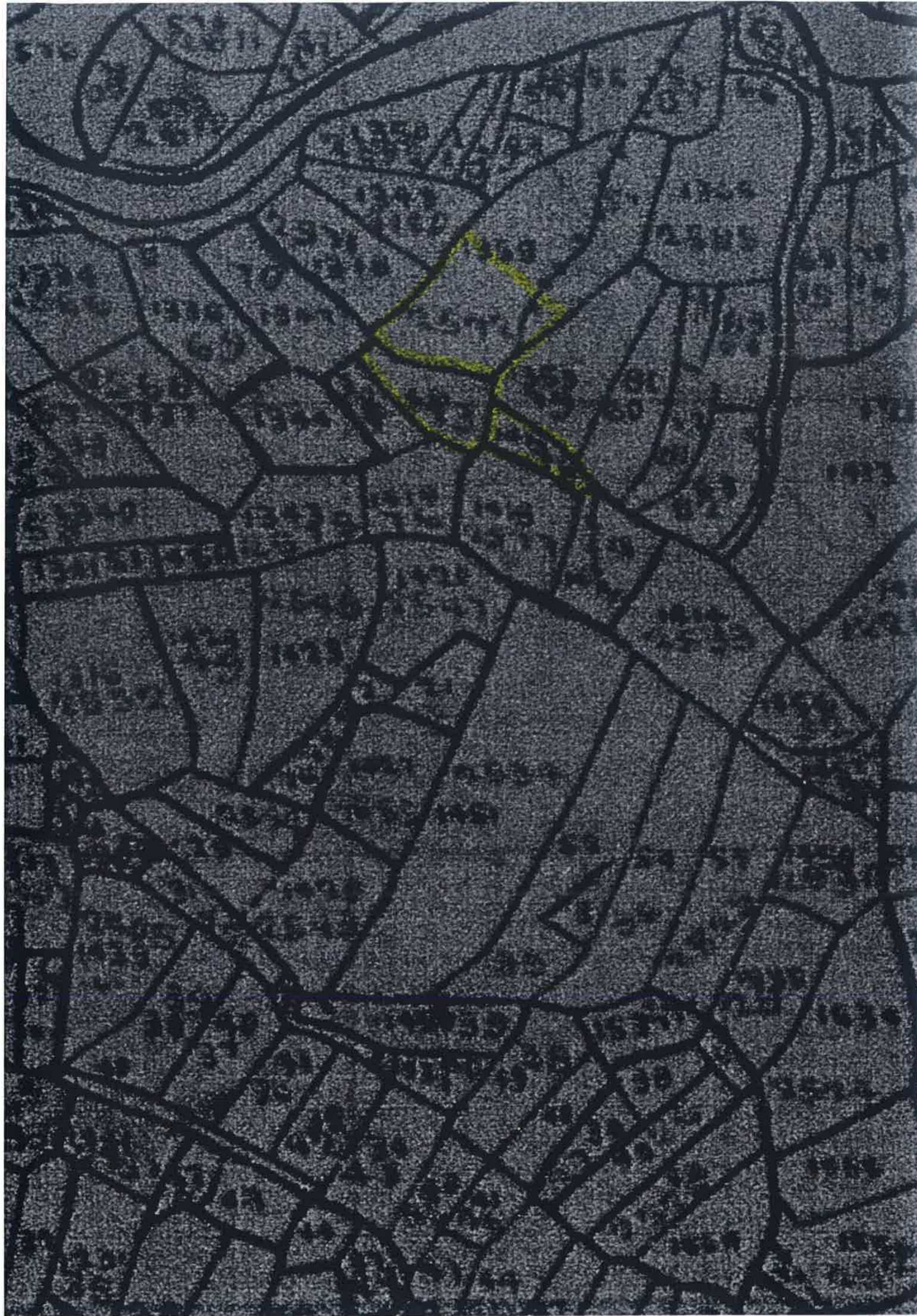
本圖則 / 記錄的資料只供參考之用，
 使用時應該由專業土地測量師解釋。
 The Information shown on this plan / record
 is for reference only and **SHOULD BE**
 interpreted by professional land surveyor.

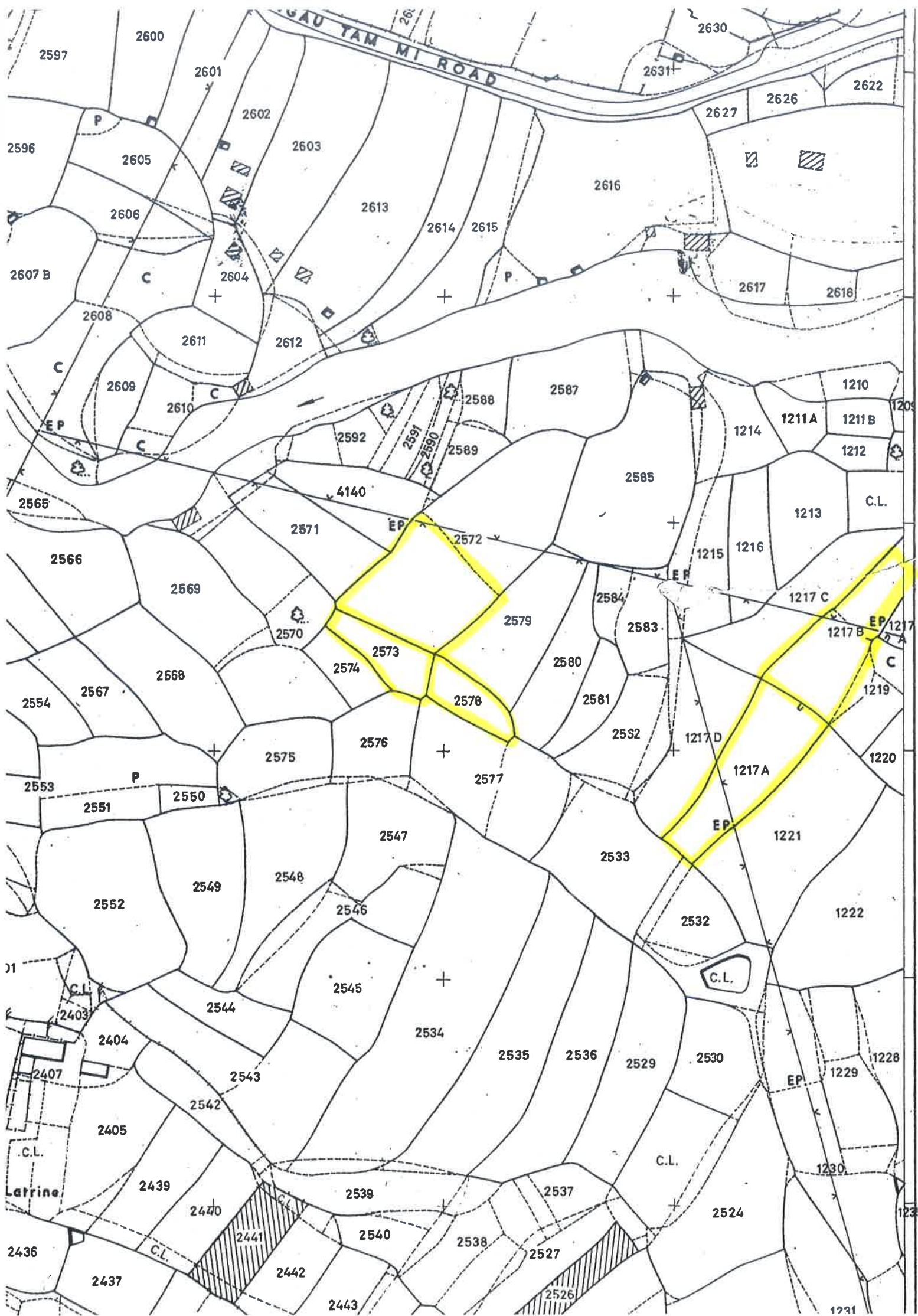
Ko. V. Liao

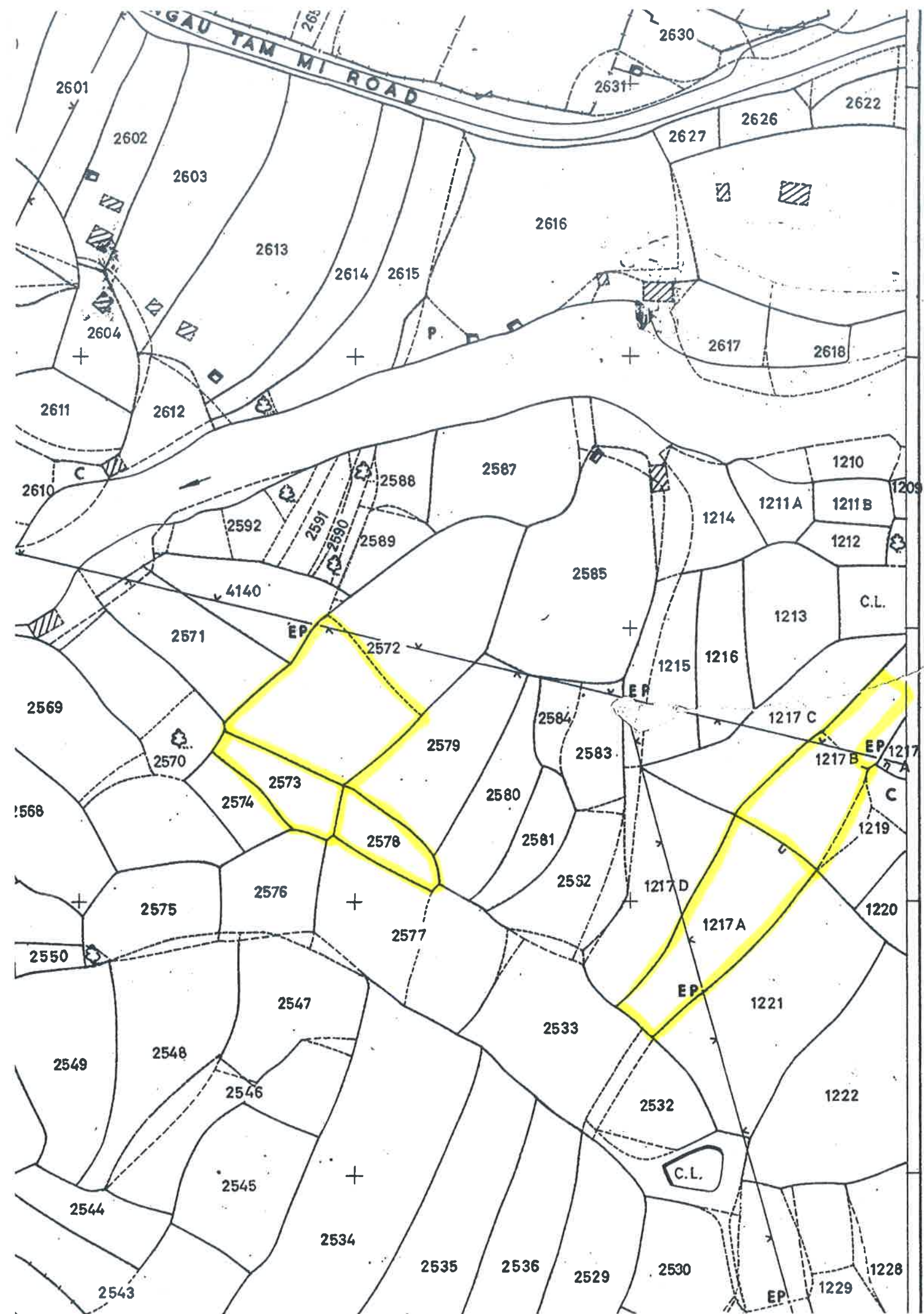
L. H. Hsiao

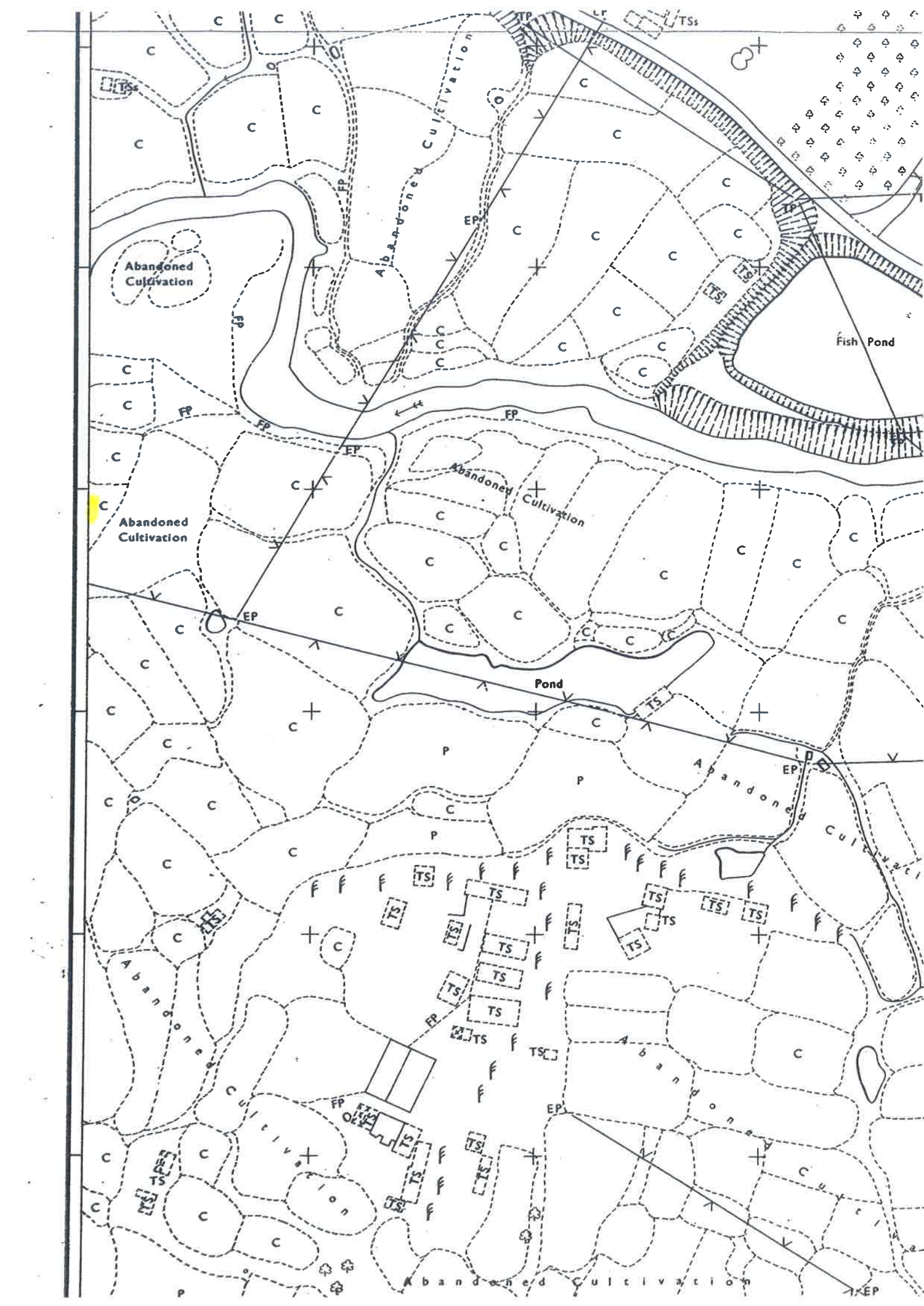
104 Sheet 1

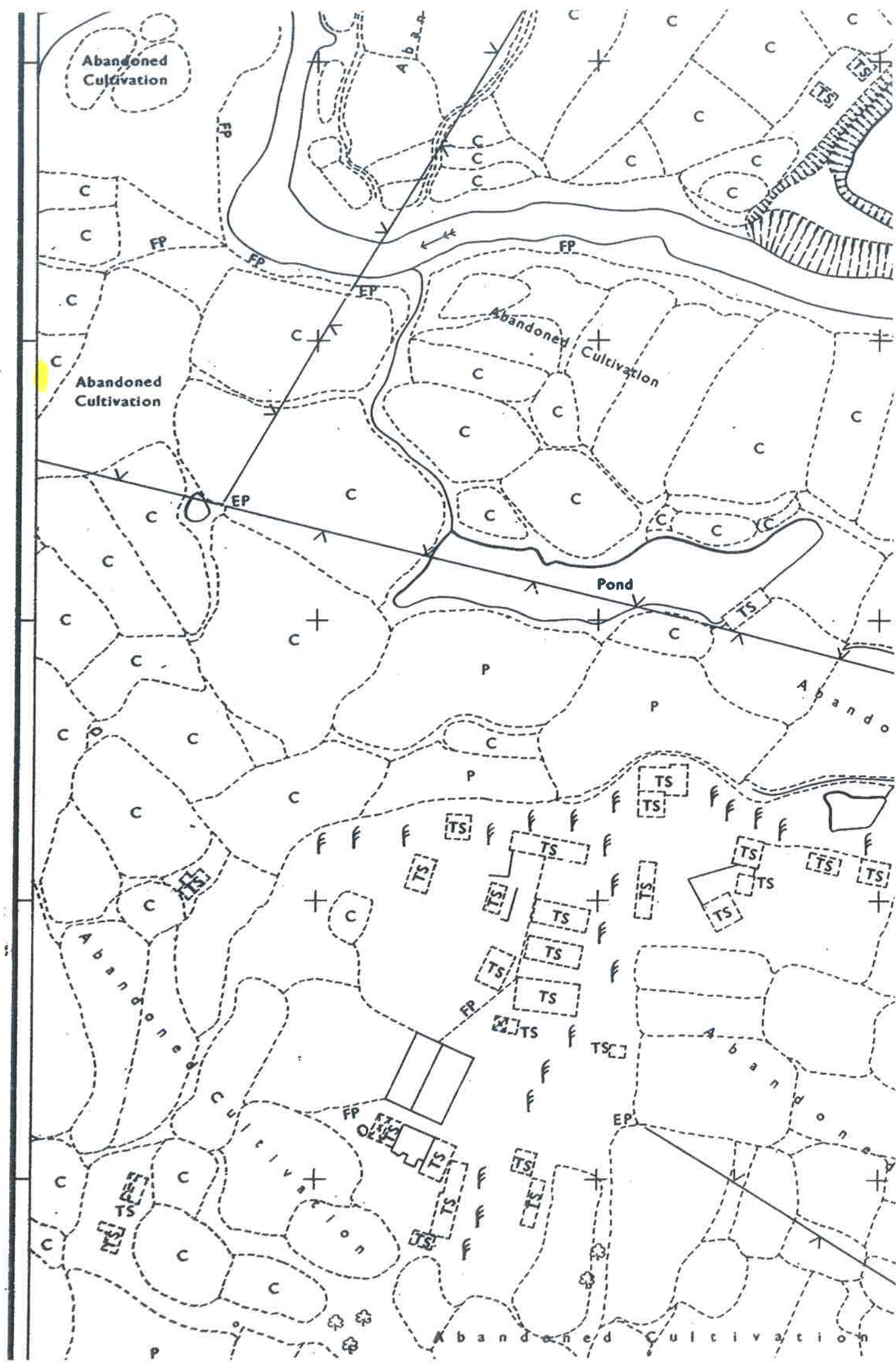


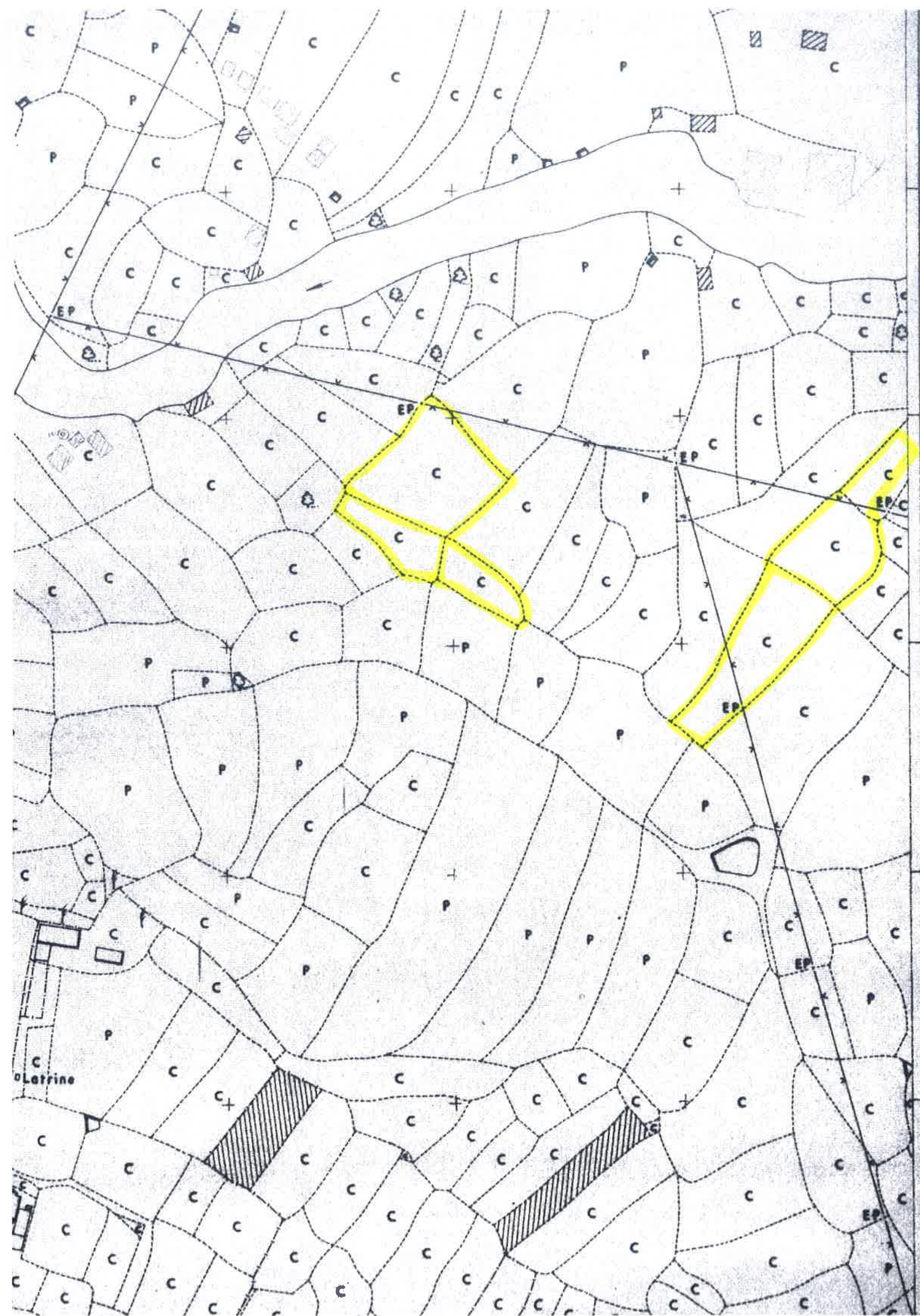


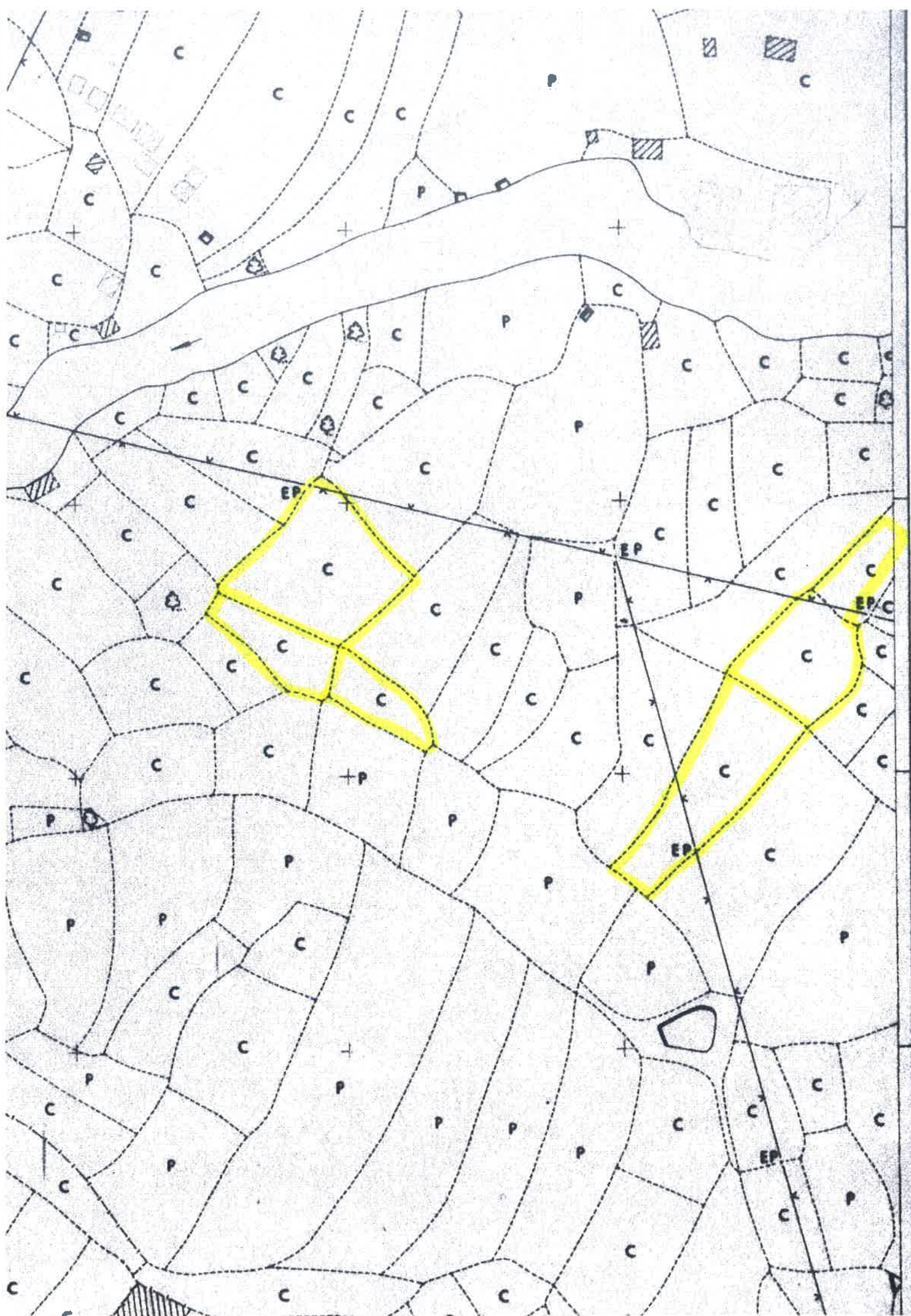


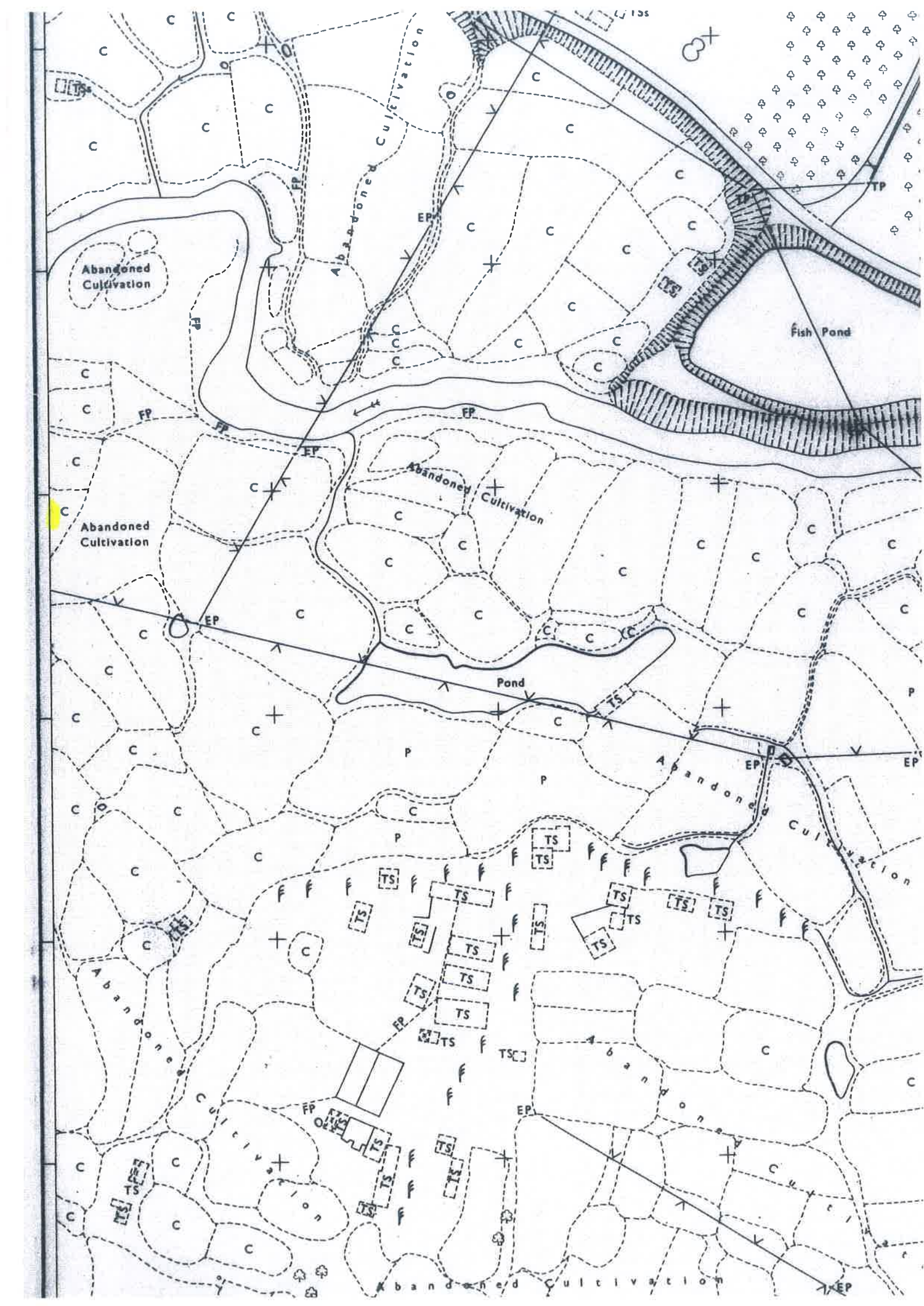


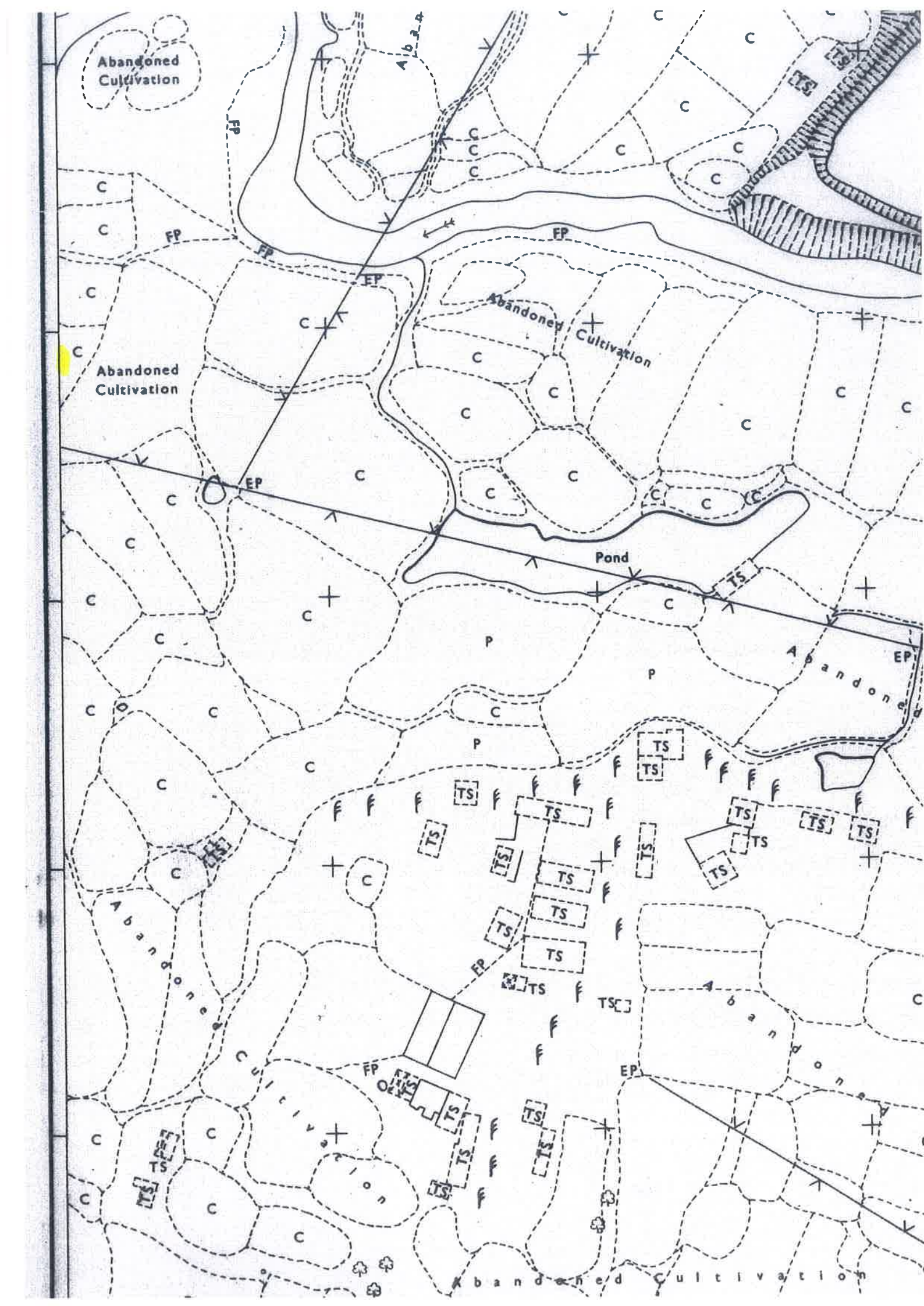












P. 57.

Survey of India.

Page 57

FIELD AREA STATEMENT.

No. _____ Mouzah _____			Pargana _____			District _____					
No. on Plan.	Area in		Record if otherwise than Cultivated.	No. on Plan.	Area in		Record if otherwise than Cultivated.	No. on Plan.	Area in		Record if otherwise than Cultivated.
	Acres.	Dec.			Acres.	Dec.			Acres.	Dec.	
1201	26		Waste	1201	02		Follow	1301	04		2 nd
2	09		Follow	2	14		2 nd	2	08		"
3	04		"	3	01		Follow	3	10		Follow
4	15		"	4	10		2 nd	4	04		3 rd
5	13		"	5	08		"	5	03		3 rd
6	09		"	6	07		"	6	11		2 nd
7	05		Follow	7	08		"	7	03		2 nd
8	18		1 st	8	16		"	8	04		2 nd
9	09		"	9	10		"	9	07		2 nd
1210	06		"	1210	06		"	1310	02		Follow
1	10		"	1	04		"	1	06		2 nd
2	03		"	2	06		"	2	06		2 nd
3	13		"	3	10		"	3	10		2 nd
4	08		"	4	06		"	4	12		Follow
5	11		"	5	07		"	5	17		2 nd
6	12		"	6	06		Follow	6	08		2 nd
7	29		"	7	11		"	7	25		2 nd
8	17		"	8	08		"	8	08		1 st
9	23		"	9	09		2 nd	9	20		1 st
1220	10		"	1220	14		"	1320	13		1 st
1	30		"	1	12		"	1	08		"
2	39		"	2	13		Follow	2	11		"
3	02		"	3	06		2 nd	3	62		"
4	01		2 nd	4	05		Follow	4	05		Follow
5	11		"	5	06		2 nd	5	19		3 rd
6	20		"	6	13		Follow	6	04		3 rd
7	09		1 st	7	25		2 nd	7	01		3 rd
8	18		"	8	05		Follow	8	32		1 st
9	15		"	9	02		2 nd	9	43		1 st
1230	28		"	1230	13		2 nd	1330	12		Waste
1	22		"	1	02		Follow	1	20		1 st
2	25		"	2	12		2 nd	2	15		"
3	13		"	3	27		2 nd	3	11		"
4	18		"	4	01		Follow	4	32		"
5	07		2 nd	5	08		2 nd	5	12		"
6	03		"	6	06		Follow	6	23		"
7	09		"	7	39		2 nd	7	05		Follow
8	06		"	8	13		2 nd	8	02		3 rd
9	01		Follow	9	10		2 nd	9	01		3 rd
1240	05		2 nd	1240	11		2 nd	1340	01		3 rd
1	16		"	1	01		Follow	1	35		1 st
2	13		"	2	09		2 nd	2	10		"
3	42		2 nd	3	01		Follow	3	30		"
4	12		1 st	4	03		3 rd	4	102		"
5	18		"	5	09		2 nd	5	04		"
6	16		"	6	09		2 nd	6	28		"
7	03		Follow	7	09		2 nd	7	10		"
8	14		"	8	08		2 nd	8	12		1 st
9	11		"	9	06		2 nd	9	10		1 st
1250	14		"	1250	01		Follow	1350	10		1 st
Total	763				512				747		

Computed by _____

Examined by _____

P. 57.

Survey of India.

Page 26

FIELD AREA STATEMENT.

No. _____ Mouzah _____			Pargana _____			District _____					
No. on Plan.	Area in		Record if otherwise than Cultivated.	No. on Plan.	Area in		Record if otherwise than Cultivated.	No. on Plan.	Area in		Record if otherwise than Cultivated.
	Acres.	Dec.			Acres.	Dec.			Acres.	Dec.	
2400	22	2 nd	2401	28	2 nd	2501	06	2 nd	2501	06	2 nd
2	02	Fallow	3	06	1 st	2	06	"	3	32	1 st
3	01	2 nd	4	05	"	3	10	"	4	23	"
4	05	Fallow	5	04	"	4	14	"	5	07	"
5	19	3 rd	6	06	"	5	07	"	6	14	"
6	06	3 rd	7	08	"	6	01	"	7	47	"
7	11	3 rd	8	04	"	7	05	"	8	03	"
8	09	3 rd	9	07	"	8	03	"	9	01	"
9	21	2 nd	10	07	"	9	04	"	10	31	"
2410	02	"	2410	08	"	2510	08	"	2510	02	"
1	05	"	1	07	"	1	07	"	1	19	"
2	08	Fallow	2	08	"	2	07	"	2	27	"
3	01	2 nd	3	07	"	3	07	"	3	27	"
4	04	"	4	08	"	4	08	"	4	26	"
5	03	"	5	10	"	5	08	"	5	03	"
6	09	"	6	16	"	6	25	"	6	20	"
7	01	Fallow	7	18	"	7	09	"	7	10	"
8	05	"	8	06	"	8	09	"	8	21	"
9	07	Fallow	9	04	"	9	01	Fallow	9	16	"
2420	10	2 nd	2420	06	"	2520	04	2 nd	2520	29	"
1	04	"	1	07	"	1	05	"	1	16	"
2	12	"	2	08	"	2	28	1 st	2	44	"
3	02	Fallow	3	04	"	3	40	"	3	09	"
4	23	1 st	4	12	"	4	29	"	4	06	"
5	18	"	5	05	"	5	26	2 nd	5	12	"
6	13	"	6	10	"	6	11	"	6	10	"
7	04	"	7	07	"	7	13	"	7	29	"
8	05	"	8	05	"	8	16	1 st	8	04	"
9	07	"	9	05	"	9	24	"	9	18	"
2430	18	Fallow	2430	06	"	2530	13	"	2530	14	"
1	49	1 st	1	02	"	1	09	Fallow	1	07	"
2	04	"	2	10	"	2	09	"	2	12	"
3	13	"	3	20	"	3	23	"	3	10	"
4	03	"	4	15	"	4	63	"	4	03	"
5	13	"	5	23	"	5	34	"	5	33	"
6	11	"	6	18	"	6	24	"	6	06	Fallow
7	11	"	7	07	"	7	08	2 nd	7	19	"
8	12	"	8	37	"	8	21	"	8	05	"
9	15	2 nd	9	10	2 nd	9	12	"	9	04	"
2440	12	"	2440	04	"	2540	05	"	2540	02	"
1	10	"	1	15	"	1	02	Fallow	1	03	"
2	10	"	2	06	"	2	06	2 nd	2	11	"
3	12	"	3	01	"	3	29	"	3	09	"
4	11	"	4	12	"	4	08	"	4	05	"
5	08	"	5	05	"	5	14	"	5	04	"
6	06	"	6	11	"	6	14	"	6	20	"
7	06	"	7	13	"	7	18	"	7	21	"
8	13	"	8	10	"	8	24	"	8	06	"
9	10	"	9	14	"	9	20	"	9	06	"
2450	18	"	2450	14	"	2550	02	"	2550	20	"
Total	491			529			721			733	

Computed by _____
Examined by _____

THE LAND REGISTRY
Order / Copy Separator

Order No. : YLC181116001031
Copy : 1 of 1
Order Type : Counter Search - Imaged Document
Doc No. / PRN / Memorial No. : YL871130
Doc Type / Address / Lot : M

Section / Type of Enquiry / Nature of Instrument : Form
Nature : Plain
Colouring : -
No. of Pages : 2

備存土地紀錄以供市民查閱旨在防止秘密及有欺詐成分的物業轉易，以及提供容易追溯和確定土地財產及不動產業權的方法。土地紀錄內載的資料不得用於與土地紀錄的宗旨無關之目的，使用所提供的資料須符合"個人資料（私隱）條例"的規定。

The land records are kept and made available to members of the public to prevent secret and fraudulent conveyances, and to provide means whereby the titles to real and immovable property may be easily traced and ascertained. The information contained in the land records shall not be used for purposes that are not related to the purposes of the land records. The use of information provided is subject to the provisions in the Personal Data (Privacy) Ordinance.

註冊摘要編號

Memorial No.:

YL871130

接獲日期

(日/月/年)

Received On

(DD/MM/YYYY):

16/08/1999



Memorial No. : 871130

Received on : 16 August 1999

MEMORIAL of an instrument to be registered in the Land Registry/ New Territories Land Registry under the Land Registration Ordinance.				Yuen Long		FOR LAND REGISTRY USE ONLY	
Solicitors Code 444		Stamp Office No.		Stamp Duty \$		Serial No.	
Date of instrument		Dated the 5 th day of July, 1999				Reg. Fee \$ 210.00	
Nature and object of the instrument		Notice of Resumption - G.N. 3843 dated 5.7.1999 with the relevant Resumption Plan No. YLM 3054a (Sheets 1 and 2 of 2) (with plans)				Nature of Instrument Code	
Consideration		-				Consideration Code	
Memorial number of transaction satisfied [Regs. 6(1) (f) and 6(2) (f)]							
Names of parties		Hong Kong Identity Card/Company Registration/Other Identification (please specify) Numbers* (in case of change of ownership)		Status of parties (Assignor/ Assignee/etc.)		Their respective shares in, and capacities in relation to, the premises	
The Chief Executive of the Hong Kong Special Administrative Region by Deputy Director/Specialist, Lands Department (Acting) and The owners and every person interested or having any right or easement in the land mentioned in the Schedule attached herewith							
Premises affected by the instrument		Undivided Share (if any):					
		Lot No.:					
		Please see the Schedule attached hereto					
Address: (if applicable)		Block					
		Flat					
		Floor		Premises No.		Street Name	
		(Official address not yet known)					

(HK/RH/NT)*

Certified on this 16 AUG 1999 day of 19 that the foregoing Memorial contains a just and true account
of the several particulars therein set forth as required by the Land Registration Regulations.

2 (P)

(6) in LR/YL/220/23 III

109K

(Miss Alice Leung)
for Land Registrar

Note: If space is insufficient, please show particulars on a separate sheet, make reference and staple the sheet onto this form.
*: Delete whichever is inapplicable

Schedule attached to Notice of Resumption - G.N. 3843 dated 5.7.1999

7617/2871130

Area to be resumed				
D.O.No.	LOT No.		Agricultural Land	
			m ² (about)	ft ² (about)
104	534 ✓	(P)	216.5	2330
	535 ✓	(P)	478.5	5150
	536 ✓	(P)	179.3	1930
	537 ✓	(P)	125.4	1350
	538 ✓		445.2	4792
	540 ✓	(P)	1282.1	13800
	541 ✓		768.9	8276
	542 ✓	(P)	129.1	1390
	543 ✓		1497.3	16117
	544 ✓		647.5	6970
	545 ✓	(P)	899.3	9680
	547 ✓		121.4	1307
	548 ✓		526.1	5663
	549 ✓	(P)	430.1	4630
	550 ✓	(P)	159.8	1720
	551 ✓		323.8	3485
	552 ✓	(P)	1795.8	19330
	553 ✓	(P)	108.7	1170
	555 ✓	(P)	1228.2	13220
	556 ✓	(P)	563.0	6060
	562 ✓		971.2	10454
	563 ✓	(P)	447.8	4820
	564 ✓		445.2	4792
	565 ✓	(P)	683.8	7360
	566 ✓	(P)	2400.6	25840
	739 ✓	(P)	1349.0	14520
	759 ✓	(P)	429.2	4620
	764 R.P. ✓	(P)	1485.5	15990
	842 ✓	(P)	1710.3	18410
	844 ✓		121.4	1307
	845 ✓	(P)	372.5	4010
	846 ✓		849.9	9148
	847 ✓	(P)	225.8	2430
	849 ✓	(P)	19.5	210
	850 ✓	(P)	163.5	1760
	851 ✓	(P)	402.3	4330
	852 ✓		283.3	3049
	853 ✓	(P)	2161.9	23270
	863 ✓	(P)	263.8	2840
	935 ✓	(P)	68.7	740
	936 ✓	(P)	1642.5	17680
	937 ✓		607.0	6534
	938 ✓		80.9	871
	940 ✓	(P)	898.4	9670
	941 ✓	(P)	1032.2	11110
	946 ✓	(P)	6.5	70
	947 ✓		80.9	871
	948 ✓	(P)	209.0	2250
	949 ✓	(P)	76.2	820
	951 ✓		607.0	6534
	952 ✓	(P)	1379.6	14850
	960 ✓	(P)	218.3	2350
	968 ✓	(P)	768.3	8270
	970 ✓		971.2	10454
104	971 ✓		485.6	5227

Area to be resumed				
D.O.No.	LOT No.		Agricultural Land	
			m ² (about)	ft ² (about)
104	972 ✓	(P)	812.0	8740
	973 ✓	(P)	1544.0	16620
	1203 ✓		161.8	1742
	1205 ✓	(P)	96.6	1040
	1206 ✓		364.2	3920
	1209 ✓	(P)	186.7	2010
	1210 ✓		202.3	2178
	1211 Sec. A ✓		242.8	2614
	1211 Sec. B ✓		161.8	1742
	1212 ✓		121.4	1307
	1213 ✓	(P)	444.3	4781
	1214 ✓		323.8	3485
	1215 ✓	(P)	129.3	1392
	1216 ✓	(P)	265.4	2857
	1217 Sec. A ✓	(P)	694.0	7470
	1217 Sec. B ✓	(P)	268.5	2890
	1217 Sec. C ✓	(P)	114.3	1230
	1320 ✓	(P)	51.1	550
	1321 ✓	(P)	41.8	450
	1329 ✓	(P)	375.3	4040
	1331 ✓		1214.1	13068
	1332 ✓	(P)	440.4	4740
	1333 ✓		445.2	4792
	1334 ✓		890.3	9583
	1335 ✓	(P)	198.6	2137
	1336 ✓	(P)	884.4	9520
	1341 ✓	(P)	1259.8	13560
	1342 ✓		404.7	4356
	1344 ✓	(P)	864.0	9300
	1345 ✓		161.8	1742
	1346 ✓		1133.1	12197
	1347 ✓	(P)	305.7	3290
	1348 ✓	(P)	262.9	2830
	1350 ✓	(P)	275.0	2960
	1352 ✓	(P)	203.5	2190
	1353 ✓	(P)	220.2	2370
	1354 ✓		607.0	6534
	1355 ✓	(P)	387.4	4170
	1356 ✓		2509.0	27007
	1357 ✓		809.4	8712
	1358 Sec. A ✓	(P)	11.1	120
	1358 R.P. ✓	(P)	138.4	1490
	1364 ✓	(P)	49.2	530
	2571 R.P. ✓	(P)	40.9	440
	2572 ✓	(P)	987.6	10630
	2585 ✓		1335.5	14375
	2587 ✓		768.9	8276
	2588 R.P. ✓		185.6	1998
	2589 ✓		161.8	1742
	2590 R.P. ✓		73.5	791
	2591 R.P. ✓		101.0	1087
	2592 R.P. ✓		170.2	1832
	4140 R.P. ✓	(P)	379.0	4080
104	4469 ✓	(P)	1270.0	13670
TOTAL AREA			81595.3	883010

THE LAND REGISTRY
Order / Copy Separator

Order No. : YLC181116001041
Copy : 1 of 1
Order Type : Counter Search - Imaged Document
Doc No. / PRN / Memorial No. : YL90497
Doc Type / Address / Lot : M

Section / Type of Enquiry / Nature of Instrument : Form
Nature : Plain
Colouring : -
No. of Pages : 3

備存土地紀錄以供市民查閱旨在防止秘密及有欺詐成分的物業轉易，以及提供容易追溯和確定土地財產及不動產業權的方法。土地紀錄內載的資料不得用於與土地紀錄的宗旨無關之目的，使用所提供的資料須符合"個人資料（私隱）條例"的規定。

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2



1934

(D. O. N. No. 27 a.)

Fee \$10⁰⁰

No. 90497

A Memorial required to be registered in the District Office, Tai Po according to the provisions of Ordinance No. 1 of 1844 and Ordinance No. 34 of 1910.

Nature and object of Instrument.	Division of property
Date of Instrument.	2nd November 1934.
Names and additions of Parties.	The property registered in the name of Wang Kwai-shan, who is now deceased, and his wife, Mrs. Wang Kwai-shan, who is now deceased, to be divided into two parts, one part to be given to Wang Kwai-shan's son, Wang Kwai-shan, and the other part to be given to Wang Kwai-shan's daughter, Wang Kwai-shan, according to the attached list.
Description of Land or Premises affected and where situate.	please see attached list
Consideration to whom and how paid.	✓
Particulars of incumbrances to which the premises are subject, and other special Covenants or particulars mentioned in the Instrument.	✓
Name and additions of Witness.	李金成
Signature of Parties signing Memorial.	尹大南 尹木耀 尹大達 尹添寿

Received at the District Office at Tai Po and certified as a correct Memorial and Registered as Memorial No. 90497 on 9th day the 11th day of November 1934, at 11.50 o'clock in the afternoon according to section 91 of Ordinance No. 34 of 1910.

District Office N. 1000

N. 26 b)

Q.
4w

Division of Property

Name	Village	D. D.	Lot No.	Area	Class	C. Rent
建						8
TAT ³⁵ / ₃₀	CHUK UM Wai Tsai	104	1206			
"	"	"	2573			
"	"	"	2578			
"	"	"	2768			
"	"	"	2696			
"	"	"	2687			
"	"	"	2727			
"	"	"	2667			
"	"	"	2774			
"	"	"	3037			
"	"	"	3048			
"	"	"	3061			
"	"	"	1217B	19	1st	57
"	"	"	2691B	03	3rd	3
"	"	"	2807B	15	3rd	15
"	"	"	2777B	04	3rd	4
"	"	"	3010C	17	1st	51
建 C. 21-22 S. 21-22 S. 21-22	CHUK UM Wai Tsai	104	1209			
"	"	"	2583			
"	"	"	2724			
"	"	"	2712			
"	"	"	2906C			
"	"	"	3017			
"	"	"	1211B	04	1st	12
"	"	"	1217C	19	1st	57
"	"	"	2801B	06	3rd	6
"	"	"	2807B	14	3rd	14
"	"	"	2772B	06	3rd	6
"	"	"	3010B	18	1st	54

N. 26 b)

Division of Property

Name	Village	D. D.	Lot No.	Area		Class	C. Rent	
								9
木 光耀 Muk Yiu ³⁵⁰	CHUK UN HAI TSUI	104	2582					
"	"	"	2668					
"	"	"	3022					
"	"	"	3028					
"	"	"	3043					
"	"	"	1211'A	.06	1st		18	
"	"	"	1217'B	.19	1st		57	
"	"	"	2799'A	.23	3rd		23	
"	"	"	2801'A	.10	3rd		10	
"	"	"	2807'C	.17	3rd		17	
"	"	"	2691'A	.04	3rd		4	
"	"	"	2777'B	.05	3rd		5	
"	"	"	3010'A	.18	1st		54	
火 南 FOR NAM ³⁵⁰	CHUK UN HAI TSUI	104	2590					
"	"	"	2763					
"	"	"	2672					
"	"	"	2916					
"	"	"	3032					
"	"	"	1317'A	.35	1st		105	
"	"	"	2799'A	.05	3rd		5	
"	"	"	2807'B	.06	3rd		6	
"	"	"	3010'B	.18	1st		54	
"	"	"	2777'C	.06	3rd		6	
大建 FOR TAT FOR NAM (Tim Sau)	CHUK UN HAI TSUI	104	2807'E	.31	3rd		31	

AN LI SHI

Notice No. 2265.

SHS Stamp
6.10.54



Woo Sai Cheong

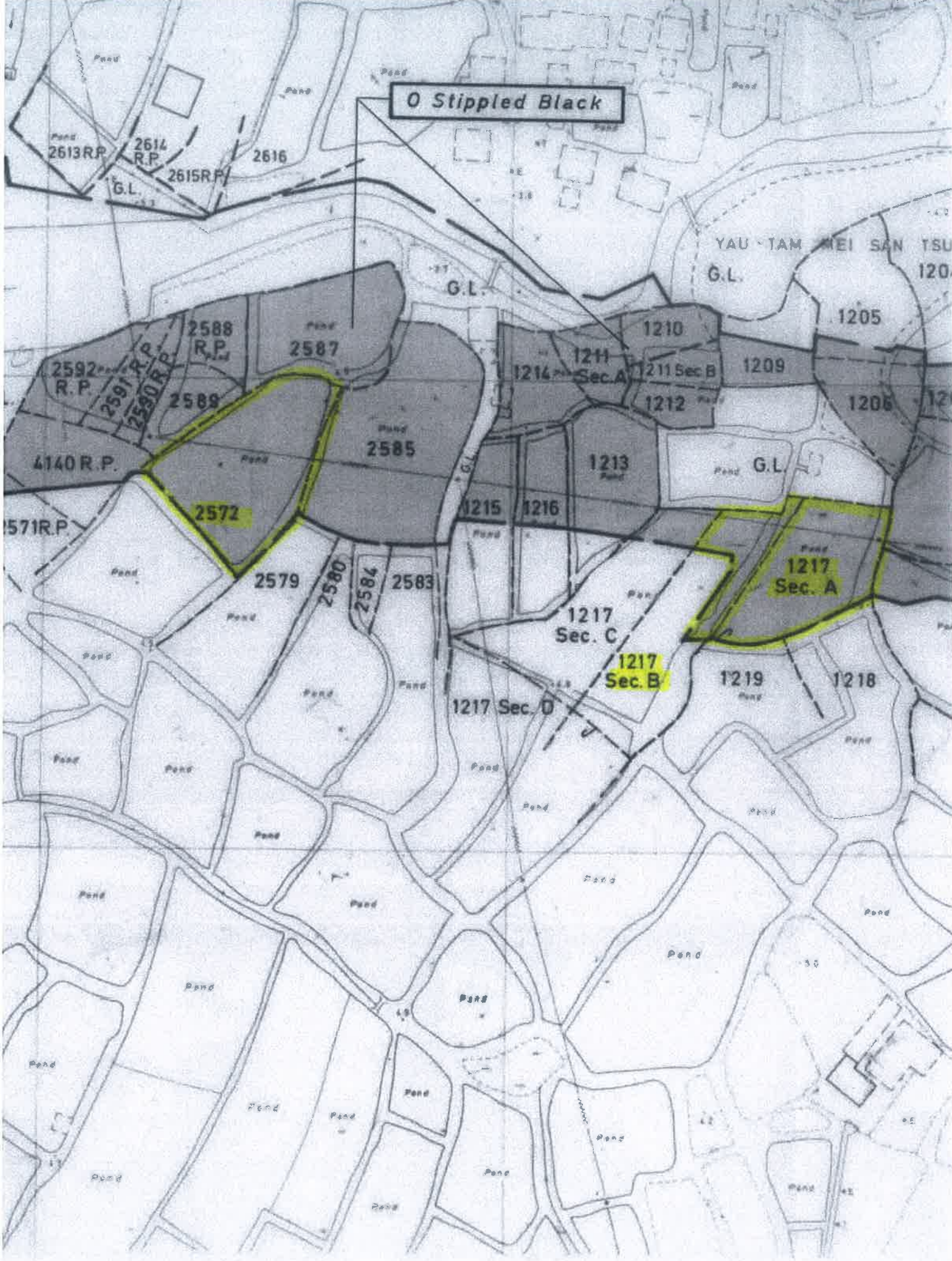
(WOO Sai-cheong)

District Lands Officer, Yuan Long

Date 29 April, 1999

PLAN No. YLM 3054a (SHEET 1 OF 2)

Date: 29.4.1999



0 Stippled Black

Area to be resumed

Area to be resumed

Area to be resumed

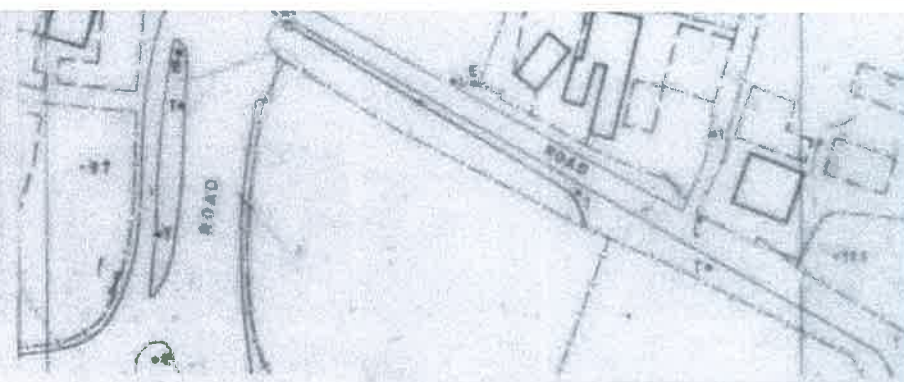
LOT No.		Agricultural Land	
		m ² (about)	ft ² (about)
534	(P)	216.5	2330
535	(P)	478.5	5150
536	(P)	179.3	1930
537	(P)	125.4	1350
538		445.2	4792
540	(P)	1282.1	13800
541		768.9	8276
542	(P)	129.1	1380
543		1487.3	16117
544		847.5	6970
545	(P)	889.3	9600
547		121.4	1307
548		526.1	5663
549	(P)	430.1	4630
550	(P)	159.8	1720
551		323.8	3485
552	(P)	1795.8	19330
553	(P)	108.7	1170
555	(P)	1228.2	13220
556	(P)	553.8	5960
562		971.2	10454
563	(P)	447.8	4820
564		445.2	4792
565	(P)	683.8	7360
566	(P)	2400.6	25848
569	(P)	1349.0	14520
569	(P)	429.2	4620
564 R.P.	(P)	1485.5	15990
542	(P)	1710.3	18410
544		121.4	1307
545	(P)	372.5	4010
546		849.9	9148
547	(P)	225.8	2430
549	(P)	19.5	210
550	(P)	163.5	1760
551	(P)	482.3	4330
552		283.3	3049
553	(P)	2161.9	23270
553	(P)	253.8	2840
555	(P)	88.7	740
556	(P)	1642.5	17680
557		687.0	6834
558		80.9	871
560	(P)	888.4	9670
561	(P)	1032.2	11110
565	(P)	6.5	70
567		80.9	871
568	(P)	288.0	2250
569	(P)	78.2	820
571		687.0	6834
572	(P)	1379.8	14850
580	(P)	218.3	2350
588	(P)	788.3	8270
570		971.2	10454

Area to be resumed

D.O.No	LOT No.		Agricultural Land	
			m ² (about)	ft ² (about)
104	972	(P)	812.0	8740
	973	(P)	1544.0	16620
	1203		161.8	1742
	1205	(P)	96.6	1040
	1206		364.2	3920
	1209	(P)	186.7	2010
	1210		202.3	2178
	1211 Sec. A		242.8	2614
	1211 Sec. B		161.8	1742
	1212		121.4	1307
	1213	(P)	444.3	4783
	1214		323.8	3485
	1215	(P)	129.3	1381
	1216	(P)	285.4	2857
	1217 Sec. A	(P)	694.0	7470
	1217 Sec. B	(P)	268.5	2890
	1217 Sec. C	(P)	114.3	1230
	1320	(P)	51.1	550
	1321	(P)	41.8	450
	1329	(P)	375.3	4040
	1331		1214.1	13068
	1332	(P)	440.4	4740
	1333		445.2	4792
	1334		880.3	9583
	1335	(P)	198.5	2137
	1336	(P)	884.4	9520
	1341	(P)	1258.8	13560
	1342		404.7	4386
	1344	(P)	864.0	9300
	1345		161.8	1742
	1346		1133.1	12197
	1347	(P)	385.7	3290
	1348	(P)	262.9	2839
	1350	(P)	275.0	2960
	1352	(P)	203.5	2190
	1353	(P)	220.2	2370
	1354		607.0	6534
	1355	(P)	387.4	4170
	1356		2509.0	27007
	1357		809.4	8712
	1358 Sec. A	(P)	11.1	120
	1358 R.P.	(P)	138.4	1480
	1364	(P)	49.2	530
	2571 R.P.	(P)	48.9	440
	2572	(P)	987.6	10630
	2585		1335.5	14375
	2587		768.9	8276
	2588 R.P.		185.6	1998
	2589		161.8	1742
	2590 R.P.		73.5	791
	2591 R.P.		101.0	1087
	2592 R.P.		170.2	1832
	4140 R.P.	(P)	379.8	4080
104	4488	(P)	1270.8	13670

(P)	209.0	2250
(P)	76.2	820
	607.0	6534
(P)	1379.6	14850
(P)	218.3	2350
(P)	768.3	8270
	971.2	10454
	485.6	5227

	2588 R.P.		185.6	1908
	2589		161.8	1742
	2590 R.P.		73.8	791
	2591 R.P.		101.8	1087
	2592 R.P.		178.2	1832
	4140 R.P.	(P)	379.0	4080
104	4469	(P)	1270.0	13670
TOTAL AREA			61595.3	663010



SCALE 1 : 1 000

METRES 20 0 20 40 60 80 100 120 140 160 180 200 METRES

RESUMPTION PLAN
RESUMPTION OF LAND FOR
NORTH WEST NEW TERRITORIES DEVELOPMENT -
MAIN DRAINAGE CHANNELS FOR NGAU TAM MEI PHASE 2
YUEN LONG, NEW TERRITORIES

Storage

CIP OCT 91

Survey Sheet No. 2-SE-17C

Engineering Drg. No. 0070/29CD/LO/01, 0070/29CD/LO/02 (T.D.D.)

File Ref. DLOYL 319/YRN/60C



District Lands Office, Yuen Long
Lands Department

Plan Prepared by District Survey Office, Yuen Long



SCALE 1 : 20 000

LEGEND



0 Stippled Black

AGRICULTURAL LAND TO BE RESUMED

(P) PORTION

Sec. SECTION

R.P. REMAINING PORTION

G.L. GOVERNMENT LAND

D.D. DEMARCATION DISTRICT

— — RESUMPTION / CLEARANCE LIMIT

0 Stippled Black - Orange Stippled Black





Date : 19th February, 2025
Our Ref. : ADCL/PLG-10298/L006

The Secretary
Town Planning Board
15/F., North Point Government Offices
333 Java Road, North Point, Hong Kong

By Email



Dear Sir/Madam,

**Section 16 Planning Application for Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Filling of Pond and Excavation of Land at Lots 2572 RP, 2573 and 2578 in D.D. 104 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories
(Planning Application No. A/YL-NTM/476)**

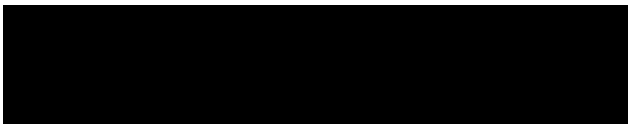
We refer to the departmental comments received from the Transport Department and Lands Department regarding the subject application, we would like to enclose herewith our Responses-to-Comments Table to address the abovementioned departmental comments for their consideration.

Thank you for your kind attention and should you have any queries, please do not hesitate to contact our

Yours faithfully,
For and on behalf of
Aikon Development Consultancy Limited



Encl.
c.c. DPO/ FSS&YLE (Attn.: Ms. Jane LAU) – By Email
Client



Further Information

Table of Contents

Table 1	Response-to-Comments table
Figure 7	Nearby Public Transport Services
Appendix 1	Swept Path Analysis
Appendix 2	Survey Record

Table | 1

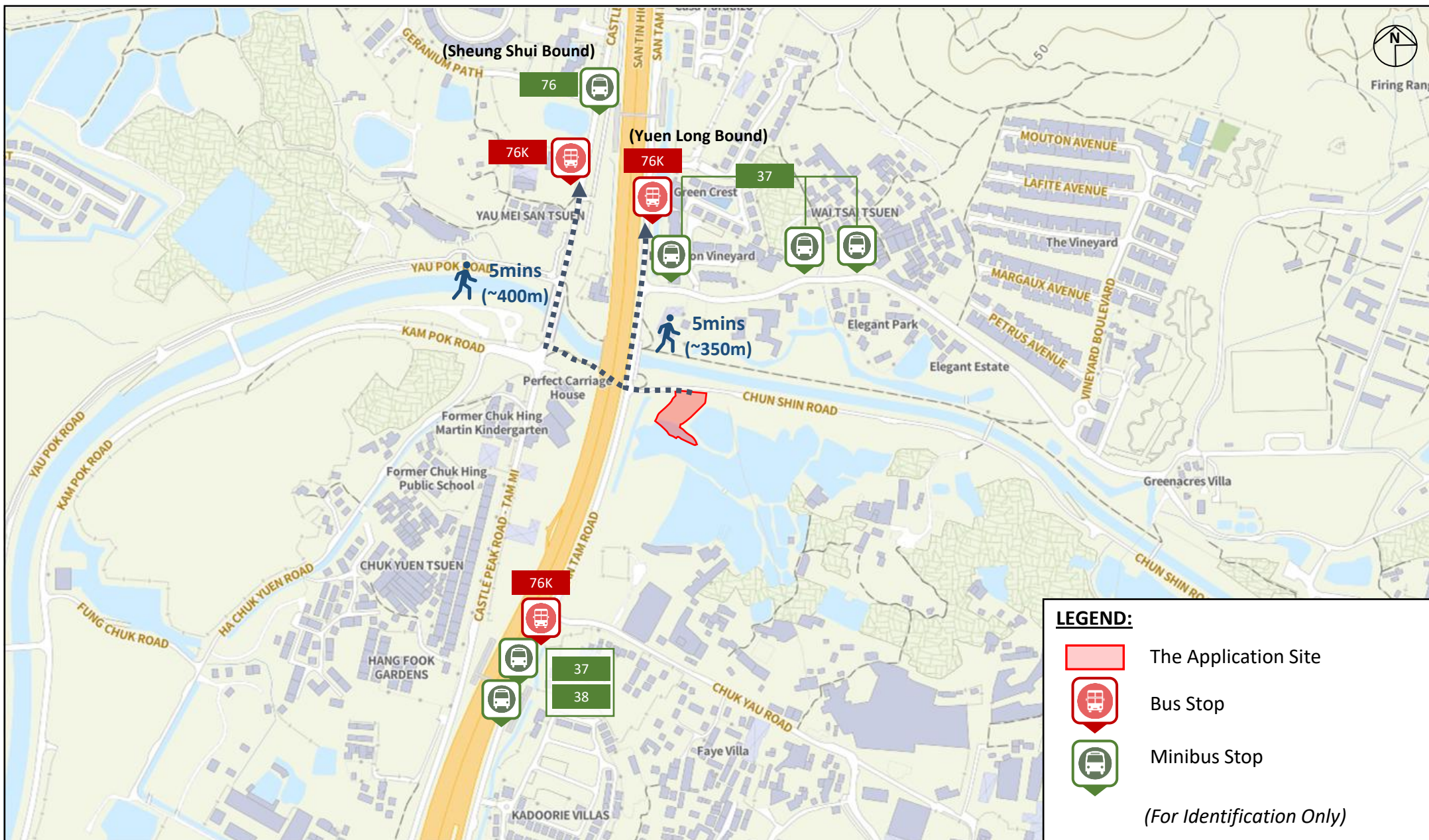
Response-to-Comments

Section 16 Planning Application for Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Filling of Pond and Excavation of Land at Lots 2572 RP, 2573 and 2578 in D.D. 104 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories

Department	Date	Comments	Responses to Departmental Comments													
Transport Department	30.12.2024	1. The subject site is connected to Chun Shin Road via a section of local access which is not managed by the Transport Department. The land status of the local access should be clarified with Lands Department by the applicant. Moreover, the management and maintenance responsibilities of the local access should be clarified with the relevant lands and maintenance authorities accordingly.	Noted.													
		2. The application should note that Chun Shin Road is a prohibited zones 24 hours daily for all motor vehicles exceeding 7 meters in length. For any vehicles under this application exceed 7 meters in length, the applicant should make the relevant permit application.	Noted. Relevant permit application will be submitted.													
		3. Please provide details of the trip generation and attraction rates for the proposed development in the application and demonstrate there is no adverse impact to the public road.	<div>The proposed development intends to serve about 14 persons only, including 6 private car parking spaces, 1 light goods vehicle loading and unloading bay and a motorcycle parking space. It is anticipated that trips rates for each type of vehicle would be insignificant, and the proposed development is not expected to generate a significant amount of traffic.</div> <table><tr><th>Type of Vehicles</th><th>Average Traffic Generation Rate (pcu/hr)</th><th>Average Traffic Attraction Rate (pcu/hr)</th></tr><tr><td>Private Cars</td><td>0.25</td><td>0.25</td></tr><tr><td>Motorcycle</td><td>0.041</td><td>0.041</td></tr><tr><td>Light Goods Vehicle</td><td>0.083</td><td>0.083</td></tr><tr><td>Total</td><td>0.374</td><td>0.374</td></tr></table> <div>Considering the nature of the proposed development and the insignificant trip generation and attraction rates, the proposed development should not induce adverse impact to the public road.</div>	Type of Vehicles	Average Traffic Generation Rate (pcu/hr)	Average Traffic Attraction Rate (pcu/hr)	Private Cars	0.25	0.25	Motorcycle	0.041	0.041	Light Goods Vehicle	0.083	0.083	Total
Type of Vehicles	Average Traffic Generation Rate (pcu/hr)	Average Traffic Attraction Rate (pcu/hr)														
Private Cars	0.25	0.25														
Motorcycle	0.041	0.041														
Light Goods Vehicle	0.083	0.083														
Total	0.374	0.374														

Section 16 Planning Application for Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Filling of Pond and Excavation of Land at Lots 2572 RP, 2573 and 2578 in D.D. 104 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories

Department	Date	Comments	Responses to Departmental Comments
		4. The applicant should provide details of the nearby public transport services such as the location of nearest PT station (both Yuen Long and Sheung Shui bound) and the associated walking distance towards the site for our information.	Noted. Please refer to Figure 1 .
		5. The applicant should demonstrate the smooth maneuvering of vehicles to/from public road and along the local access to the subject site as well as the parking space in the basement carpark by providing swept path analysis.	Please refer to the attached swept path analysis (Appendix 1 refers), demonstrating there is sufficient space for smooth manoeuvring of vehicles.
		6. Please advise the taxi/PC pick up/ drop off location and arrangement for comment.	Since the proposed development is intended to accommodate only about 14 individuals, the usage of the loading/unloading bay is anticipated to be minimal. The loading/unloading bay is designated for shared use, allowing for taxi and private car pick-up and drop-off.
		7. Please advise the loading/unloading space for refuse collection vehicle for comment.	The refuse collection vehicle will utilize the loading/unloading bay at the entrance area. Given that the proposed development is designed to serve only about 14 individuals, the usage of the loading/unloading bay is expected to be minimal. The loading/unloading bay is available for shared use, further enhancing land use efficiency.
Lands Department	30.12.2024	1. The application site boundary shown on Figure 1 is found different from that as shown on Figure 6. The Applicant should clarify whether the fire hydrant abutting Chun Shin Road is included into the Application Site Boundary.	It is clarified that the fire hydrant abutting Chun Shin Road is included into the Application Site Boundary, however, it will be retained in its current condition.
		2. By desktop checking, the boundary of the Application Site on Figure 6 encroaches on the adjoining private lots of Lot 2579 and Lot 2580. The Applicant should clarify/rectify.	The Applicant is applying to revise the site boundary by adopting the surveyed land boundaries. According to the survey report dated December 2018 (Appendix 2 refers), the surveyed area of Lots 2572 RP, 2573 and 2578 in D.D. 104 is found to be different from the land boundary information currently shown on the Lot Index Plan (i.e. the private lot area applied in the previous application). The application for registration has been received by the Lands Department on 17.4.2019 and is still under processing.



Project:

Section 16 Planning Application for Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Filling of Pond and Excavation of Land at Lots 2572 RP, 2573 and 2578 in D.D. 104 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories

Title:

Nearby Public Transport Services

Figure:

7

Scale:

Not to Scale

Date:

Feb 2025

Ref.: ADCL/PLG-10298/R001/F007



AIKON DEVELOPMENT CONSULTANCY LTD.

Appendix | 1
Swept Path Analysis



PROPOSAL -

Section 16 Planning Application
for Proposed Minor Relaxation of
Plot Ratio and Building Height
Restriction for Proposed Flat and
Filling of Pond and Excavation of
Land at Lots 2572 RP, 2573 and
2578 in D.D. 104 and Adjoining
Government Land, Ngau Tam Mei,
Yuen Long, New Territories

DRAWING TITLE -

Swept Path Analysis
for 7m Light Goods Vehicle

(G/F Plan)

Dwg. No. - SK1-SP1

Rev. - --

Scale - 1:200

Date - Feb 2025

Section 16 Planning Application
for Proposed Minor Relaxation of
Plot Ratio and Building Height
Restriction for Proposed Flat and
Filling of Pond and Excavation of
Land at Lots 2572 RP, 2573 and
2578 in D.D. 104 and Adjoining
Government Land, Ngau Tam Mei,
Yuen Long, New Territories

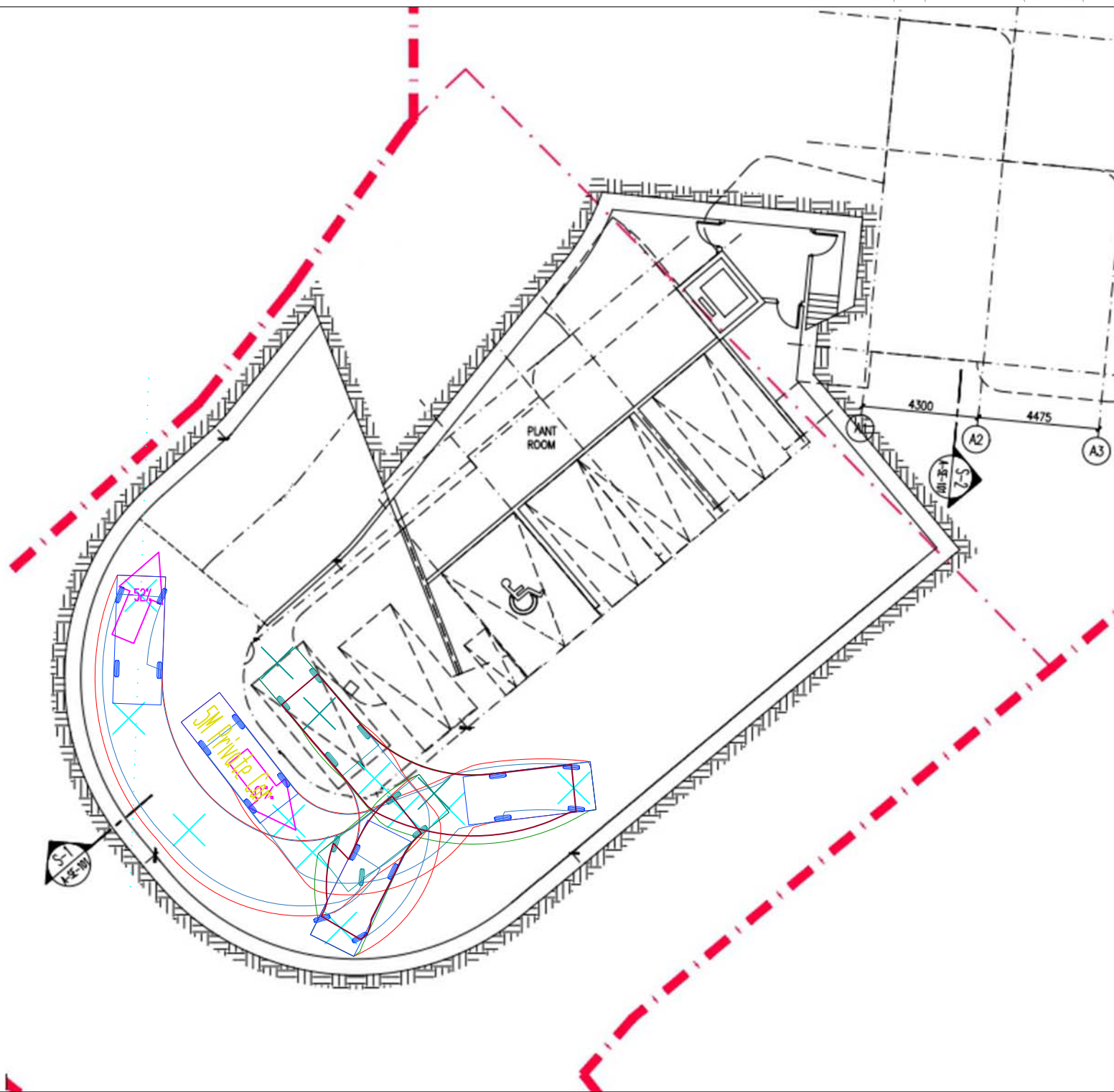
Swept Path Analysis
for 7m Light Goods Vehicle
(G/F Plan)

Dwg. No. - SK1-SP2

Rev. - --

Scale - 1:200

Date - Feb 2025



PROPOSAL -

Section 16 Planning Application
for Proposed Minor Relaxation of
Plot Ratio and Building Height
Restriction for Proposed Flat and
Filling of Pond and Excavation of
Land at Lots 2572 RP, 2573 and
2578 in D.D. 104 and Adjoining
Government Land, Ngau Tam Mei,
Yuen Long, New Territories

DRAWING TITLE -

Swept Path Analysis
for 7m Light Goods Vehicle

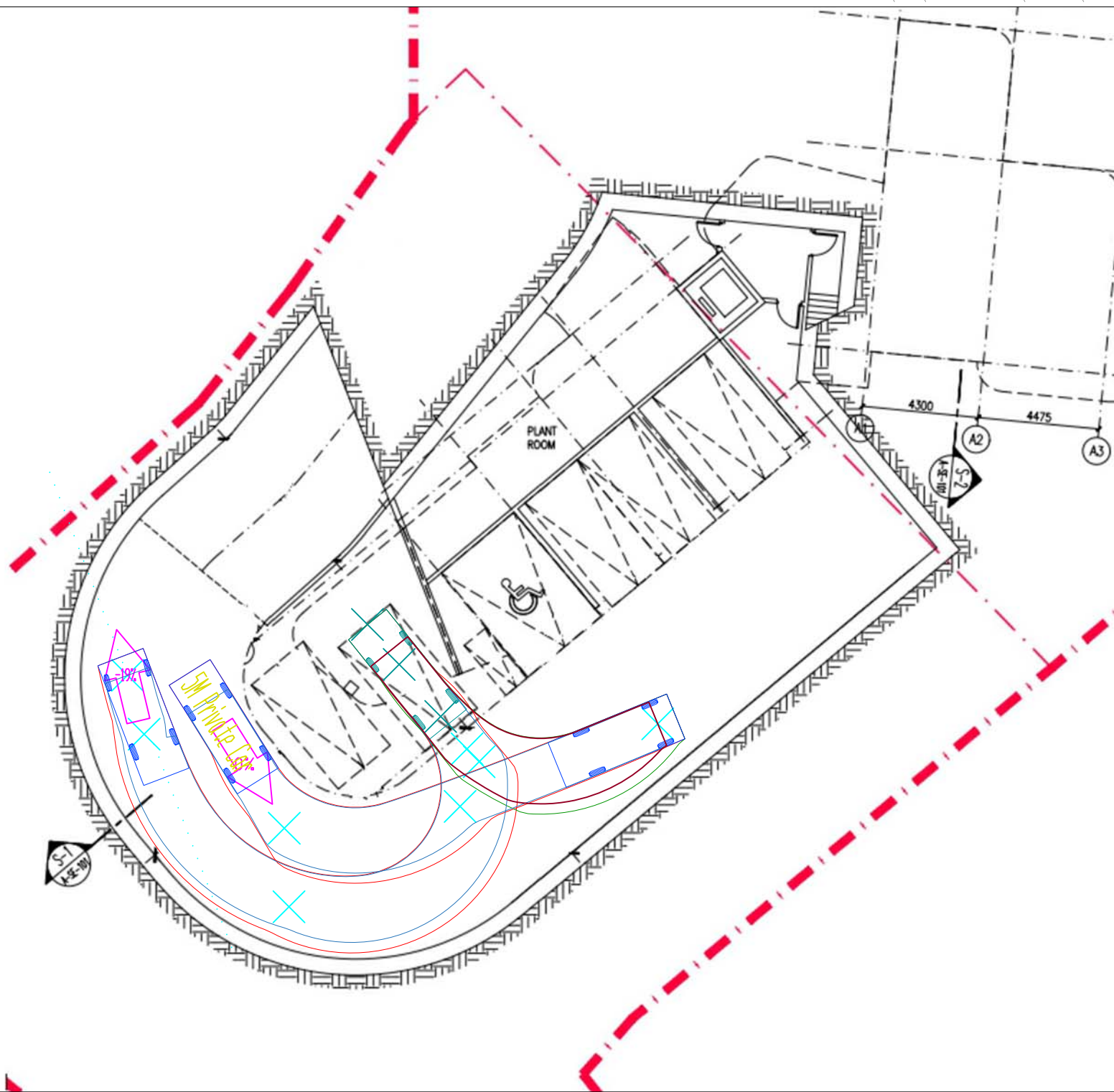
(B/F Plan)

Dwg. No. - SK2-SP1

Rev. - --

Scale - 1:200

Date - Feb 2025



PROPOSAL -

Section 16 Planning Application
for Proposed Minor Relaxation of
Plot Ratio and Building Height
Restriction for Proposed Flat and
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Land at Lots 2572 RP, 2573 and
2578 in D.D. 104 and Adjoining
Government Land, Ngau Tam Mei,
Yuen Long, New Territories

DRAWING TITLE -

Swept Path Analysis
for 7m Light Goods Vehicle

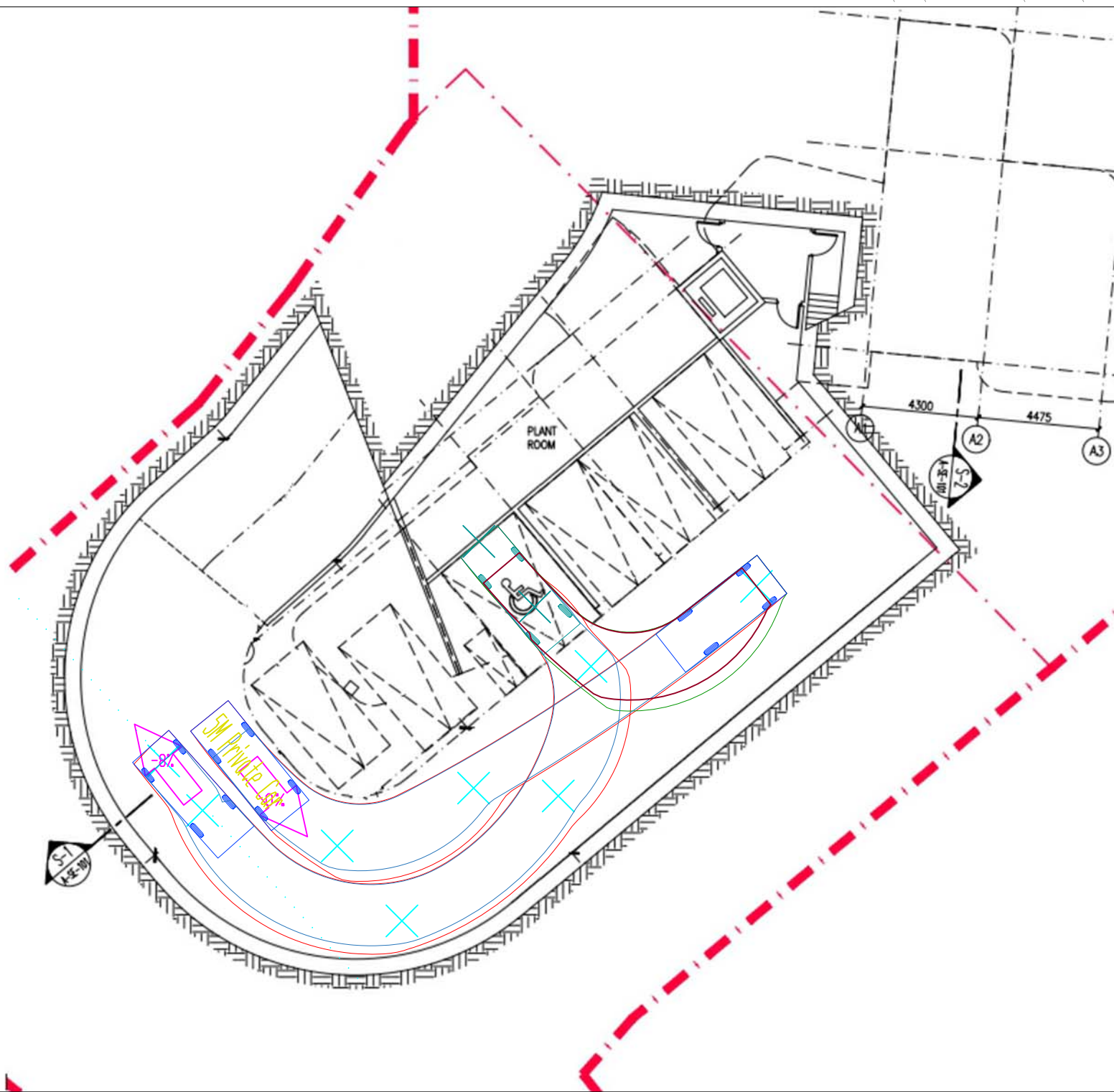
(B/F Plan)

Dwg. No. - SK2-SP2

Rev. - --

Scale - 1:200

Date - Feb 2025



PROPOSAL -

Section 16 Planning Application
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Plot Ratio and Building Height
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2578 in D.D. 104 and Adjoining
Government Land, Ngau Tam Mei,
Yuen Long, New Territories

DRAWING TITLE -

Swept Path Analysis
for 7m Light Goods Vehicle

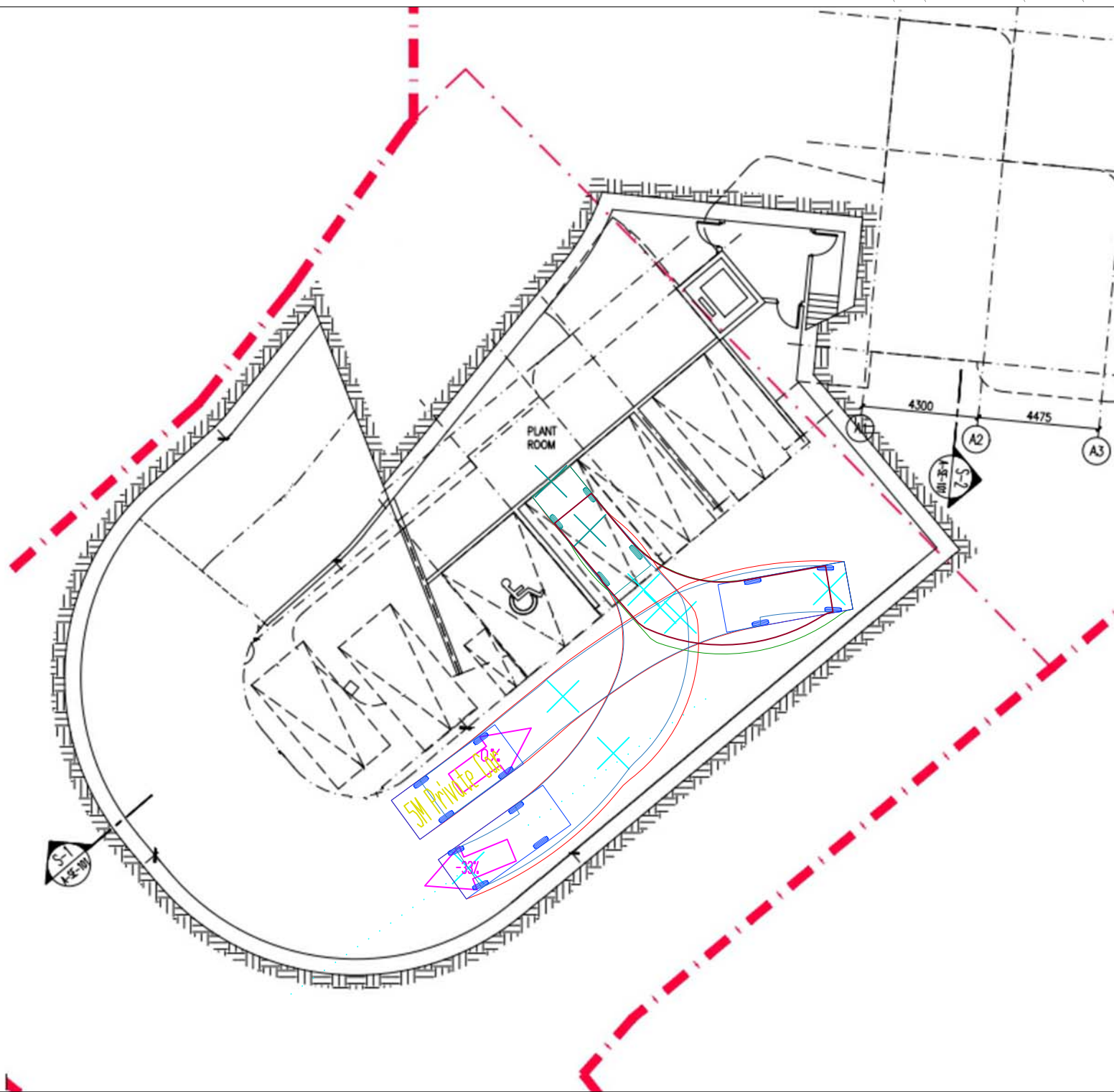
(B/F Plan)

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Rev. - --

Scale - 1:200

Date - Feb 2025



PROPOSAL -

Section 16 Planning Application
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2578 in D.D. 104 and Adjoining
Government Land, Ngau Tam Mei,
Yuen Long, New Territories

DRAWING TITLE -

Swept Path Analysis
for 7m Light Goods Vehicle

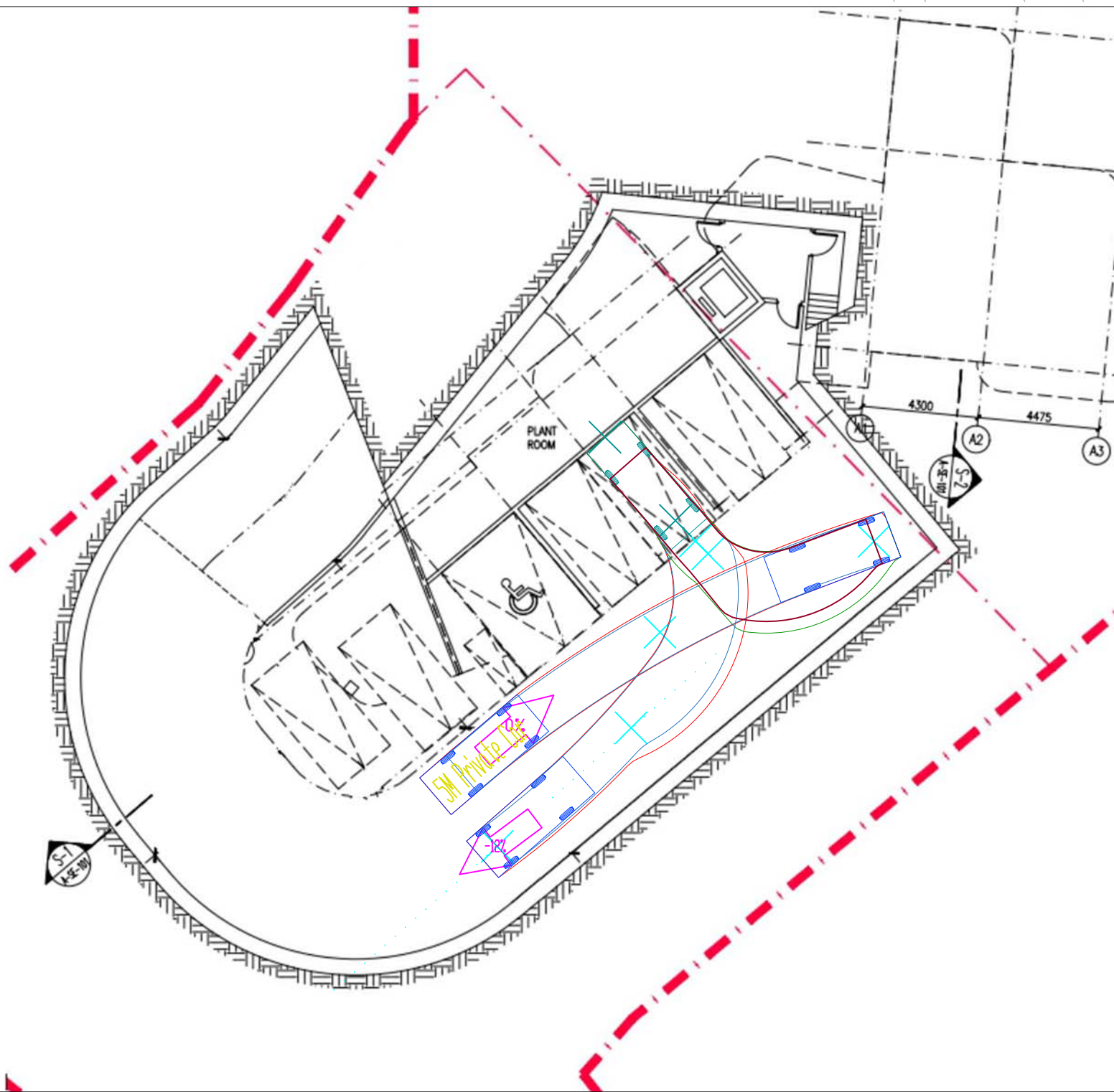
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Dwg. No. - SK2-SP4

Rev. - --

Scale - 1:200

Date - Feb 2025



PROPOSAL -

Section 16 Planning Application
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Plot Ratio and Building Height
Restriction for Proposed Flat and
Filling of Pond and Excavation of
Land at Lots 2572 RP, 2573 and
2578 in D.D. 104 and Adjoining
Government Land, Ngau Tam Mei,
Yuen Long, New Territories

DRAWING TITLE -

Swept Path Analysis
for 7m Light Goods Vehicle

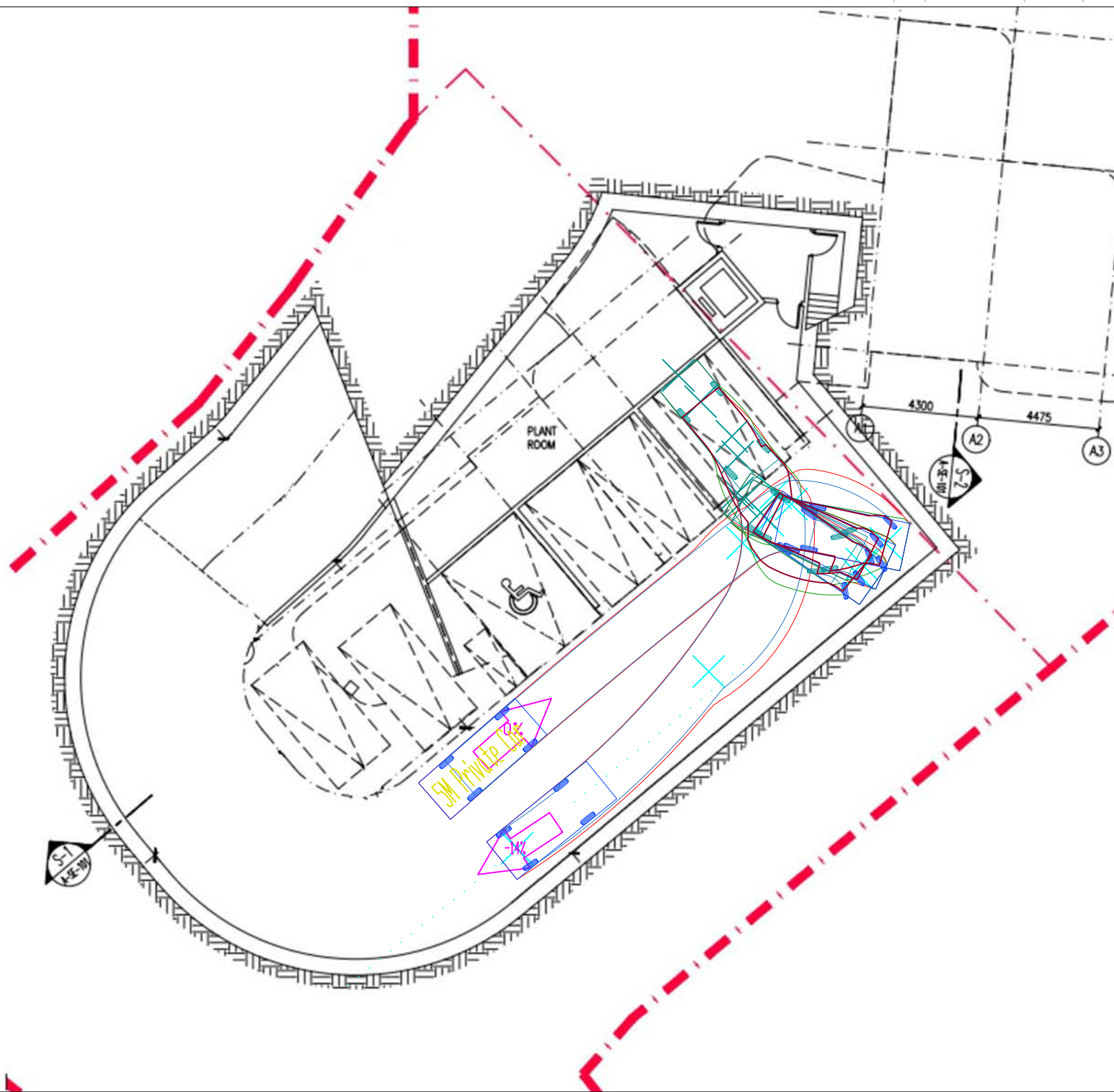
(B/F Plan)

Dwg. No. - SK2-SP5

Rev. - --

Scale - 1:200

Date - Feb 2025



PROPOSAL -

Section 16 Planning Application
for Proposed Minor Relaxation of
Plot Ratio and Building Height
Restriction for Proposed Flat and
Filling of Pond and Excavation of
Land at Lots 2572 RP, 2573 and
2578 in D.D. 104 and Adjoining
Government Land, Ngau Tam Mei,
Yuen Long, New Territories

DRAWING TITLE -

Swept Path Analysis
for 7m Light Goods Vehicle

(B/F Plan)

Dwg. No. - SK2-SP6

Rev. - --

Scale - 1:200

Date - Feb 2025

**Survey Report for
Lot Nos. 1217 S.A RP, 1217 S.B RP, 2572 RP, 2573 and
2578 in D.D. 104
Chun Shin Road, Yuen Long**

Job No. YL 4047
December 2018

CONTENT

1. Report
2. Lot Index Plan (Appendix A)
3. Extract Copy of D.D. Sheet (Appendix C1)
4. Enlarged D.D. Sheet (Scale 1 : 1000) (Appendix C2-C3)
5. Extract Copy of Double Lot Sheet 1 (Appendix D1)
6. Enlarged Double Lot Sheet 1 (Scale 1 : 1000) (Appendix D2-D3)
7. Extract Copy of D.D. Control Sheet (Appendix E1)
8. Enlarged D.D. Control Sheet (Appendix E2-E3)
9. Extract Copy of Cadastral Sheet No. 74-SE-D (Appendix F1)
10. Enlarged Cadastral Sheet No. 74-SE-D (Appendix F2)
11. Extract Copy of “A” Sheet No. 75-SW-C (Appendix G1)
12. Enlarged “A” Sheet No. 75-SW-C (Appendix G2)
13. Extract Copy of Old Survey Sheet No. 74-SE-D and 75-SW-C (Appendix H1-H2)
14. Enlarged Old Survey Sheet No. 74-SE-D and 75-SW-C (Scale – 1 : 1000) (Appendix H3-H4)
15. Aerial Photo No. 63G2SE17C (Appendix I)
16. Block Crown Lease (Appendix B1-B6)
17. Field Area Statement (Appendix J1-J2)
18. Memorial No. YL871130 (Appendix K1-K2)
19. Memorial No. YL90497 (Appendix L1-L3)
20. DLO Resumption Plan no. YLM3054a Sheet 1 of 2 (Appendix M1-M6)
21. Traverse Computation (Appendix N1-N7)

Appendix

- A. Survey Record Plan No. SRP/YL/049/4047/D1 (3 sheets)

1. Purpose

This boundary survey was conducted pursuant to the instruction of registered owner to ascertain the captioned lots boundary. Please refer to the current Lot Index Plan for location and approximate boundary relationships on ground.

2. Survey Data Search

2.1 D.D. Sheet, Double Lot Sheet, DD Control Sheet, Cadastral Sheet No. 74-SE-D, “A” Sheet No. 75-SW-C, Old Survey Sheet No. 74-SE-D and 75-SW-C and Lot Index Plan were obtained in District Survey Office, Yuen Long. There was no boundary information found for the subject lots.

2.2 A land record search was carried out at Land Registry and the registered area of Lot nos. 1217 S.A RP, 1217 S.B RP, 2527 RP, 2573 and 2578 were recorded as 0.35 ac – 694.0 sq. meters, 0.19 ac – 268.5 sq. meters, 0.44 ac – 987.6 sq. meters, 0.09 ac and 0.04 ac respectively in the Block Crown Lease, Field Area Statement, Memorial No. YL871130 and Memorial No. YL90497.

3. Field Survey

3.1 On the date of field survey, the existing features in the vicinity of the subject lots were surveyed for re-establishment of the subject lot boundary.

3.2 The station nos. OPB8158.002, OPB8158.003 and OPB8158.004 were used as the origin of the Main Traverse which had been verified by observing to each other. This Traverse was then run through the subject lot for details surveying.

3.3 Two Permanent Survey Marks were also established on site for future survey references.

4. Definition of Boundaries

4.1 By referring to the boundary information, the boundary of the subject lots are defined by the existing features and the records.

Lot 1217 S.B RP

4.2 The boundary points A, B, C, D, E, F, G, H, J, K, L, M and N were defined by adopting the shape and size which shown on the DD Sheet, Cadastral Sheet, “A” Sheet and the 1963 aerial photo.

4.3 The surveyed area of Lot no. 1217 S.B RP was 648.1 sq. meters which is smaller than the registered area of 0.19 ac – 268.5 sq. meters (about 768.9 sq. meters) by 120.8 sq. meters.

Lot 1217 S.A. RP

4.4 The boundary points J, K, L, M, P, Q, R, S, T, U, and V were defined by adopting the shape and size which shown on the DD Sheet, Cadastral Sheet, “A” Sheet and the 1963 aerial photo.

- 4.5 The surveyed area of Lot no. 1217 S.A RP was 836.5 sq. meters which is larger than the registered area of 0.35 ac – 694.0 sq. meters (about 722.4 sq. meters) by 114.1 sq. meters.

Lot 2572 RP

- 4.6 The boundary points W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG and AH were defined by adopting the shape and size which shown on the DD Sheet, Cadastral Sheet, “A” Sheet and the 1963 aerial photo.

- 4.7 The surveyed area of Lot no. 2572 RP was 835.8 sq. meters which is larger than the registered area of 0.44 ac – 987.6 sq. meters (about 793.0 sq. meters) by 42.8 sq. meters.

Lot 2573

- 4.8 The boundary points Z, AA, AB, AC, AD, AJ, AK, AL, AM, AN, AP, AQ, AR, AS and AT were defined by adopting the shape and size which shown on the DD Sheet, Cadastral Sheet, “A” Sheet and the 1963 aerial photo.

- 4.9 The surveyed area of Lot no. 2573 was 305.7 sq. meters which is smaller than the registered area of 0.09 ac (about 364.2 sq. meters) by 58.5 sq. meters.

Lot 2578

- 4.10 The boundary points Z, AJ, AK, AU, AV, AW, AX, AY, AZ, BA, BB, BC and BD were defined by adopting the shape and size which shown on the DD Sheet, Cadastral Sheet, “A” Sheet and the 1963 aerial photo.

- 4.11 The surveyed area of Lot no. 2578 was 256.6 sq. meters which is larger than the registered area of 0.04 ac (about 161.9 sq. meters) by 94.7 sq. meters.

By
Sr PANG Chi-wing



Authorized Land Surveyor

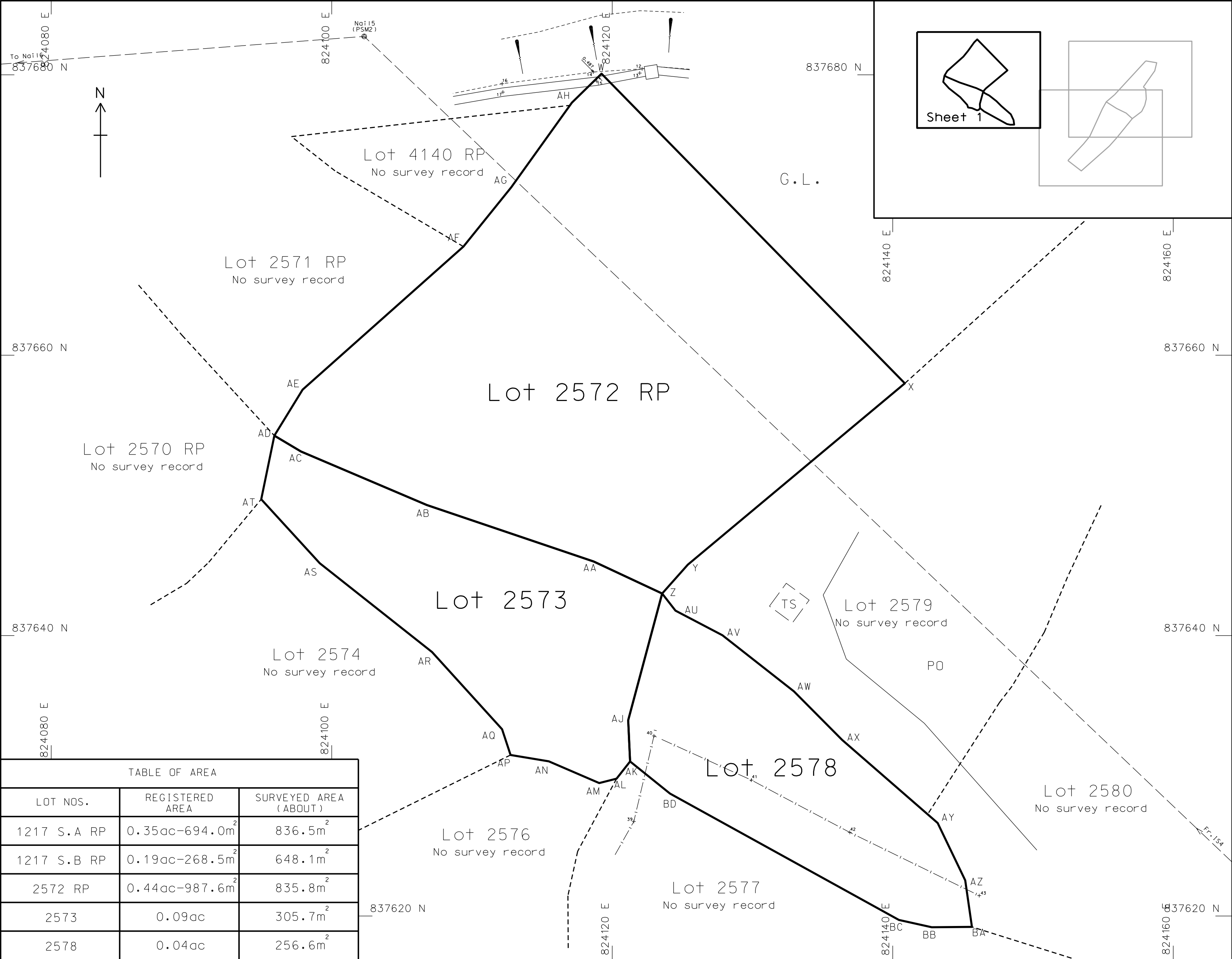
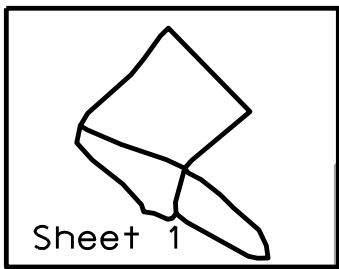


TABLE OF AREA		
LOT NOS.	REGISTERED AREA	SURVEYED AREA (ABOUT)
1217 S.A RP	0.35ac-694.0m ²	836.5m ²
1217 S.B RP	0.19ac-268.5m ²	648.1m ²
2572 RP	0.44ac-987.6m ²	835.8m ²
2573	0.09ac	305.7m ²
2578	0.04ac	256.6m ²

Survey District : YUEN LONG
Date of Survey : NOVEMBER 2018
Scale : 1:200
Survey Sheet No. : 2-SE-17C
Ref. SRP No. : NIL

DIMENSION PLAN OF
LOT NOS. 1217 S.A RP, 1217 S.B RP, 2572 RP,
2573 & 2578 IN D.D.104
CHUN SHIN ROAD, YUEN LONG




TRAVERSE: Station	Bearing ° ' "	Distance (m)	Northing (m)	Easting (m)
QUSM8158.003			837694.738	824068.699
Nail11	96 12 38	128.200	837680.868	824196.145
Nail12 (PSM1)	103 37 36	63.014	837666.022	824257.384
Nail13	229 54 59	57.047	837629.289	824213.736
IS4	208 24 28	39.470	837594.571	824194.958
Nail15 (PSM2)	313 35 01	127.892	837682.741	824102.316
Nail16	265 37 59	36.017	837679.998	824066.403
OPB8158.004	197 12 12	167.983	837519.529	824016.717

Notes:				
SUBJECT LOT COORDINATES & DIMENSIONS:				
Boundary Point	Bearing ° ' "	Distance (m)	Northing (m)	Easting (m)
Lot No. 2572 RP in D.D. 104				
W			837680.084	824119.239
X	135 36 38	30.912	837657.994	824140.863
Y	230 06 39	20.167	837645.061	824125.389
Z	221 34 58	2.752	837643.002	824123.563
AA	295 03 35	5.383	837645.282	824118.687
AB	288 43 08	12.569	837649.316	824106.782
AC	293 02 27	9.754	837653.134	824097.806
AD	300 46 09	2.208	837654.263	824095.909
AE	31 33 29	3.852	837657.545	824097.925
AF	48 20 04	15.348	837667.748	824109.391
AG	38 51 58	5.423	837671.971	824112.794
AH	35 37 49	7.435	837678.014	824117.126
W	45 36 39	2.958	837680.084	824119.239

Lot No. 2573 in D.D. 104				
AD			837654.263	824095.909
AC	120 46 09	2.208	837653.134	824097.806
AB	113 02 27	9.754	837649.316	824106.782
AA	108 43 08	12.569	837645.282	824118.687
Z	115 03 35	5.383	837643.002	824123.563
AJ	195 00 45	9.359	837633.962	824121.138
AK	177 19 29	2.939	837631.026	824121.276
AL	218 14 31	1.563	837629.799	824120.308
AM	255 39 42	1.274	837629.483	824119.074
AN	293 20 22	3.913	837631.034	824115.481
AP	279 25 05	2.766	837631.486	824112.752
AQ	341 49 48	1.935	837633.325	824112.148
AR	317 46 55	7.429	837638.827	824107.156
AS	308 21 21	10.209	837645.162	824099.150
AT	317 31 43	6.185	837649.724	824094.974
AD	11 38 28	4.634	837654.263	824095.909

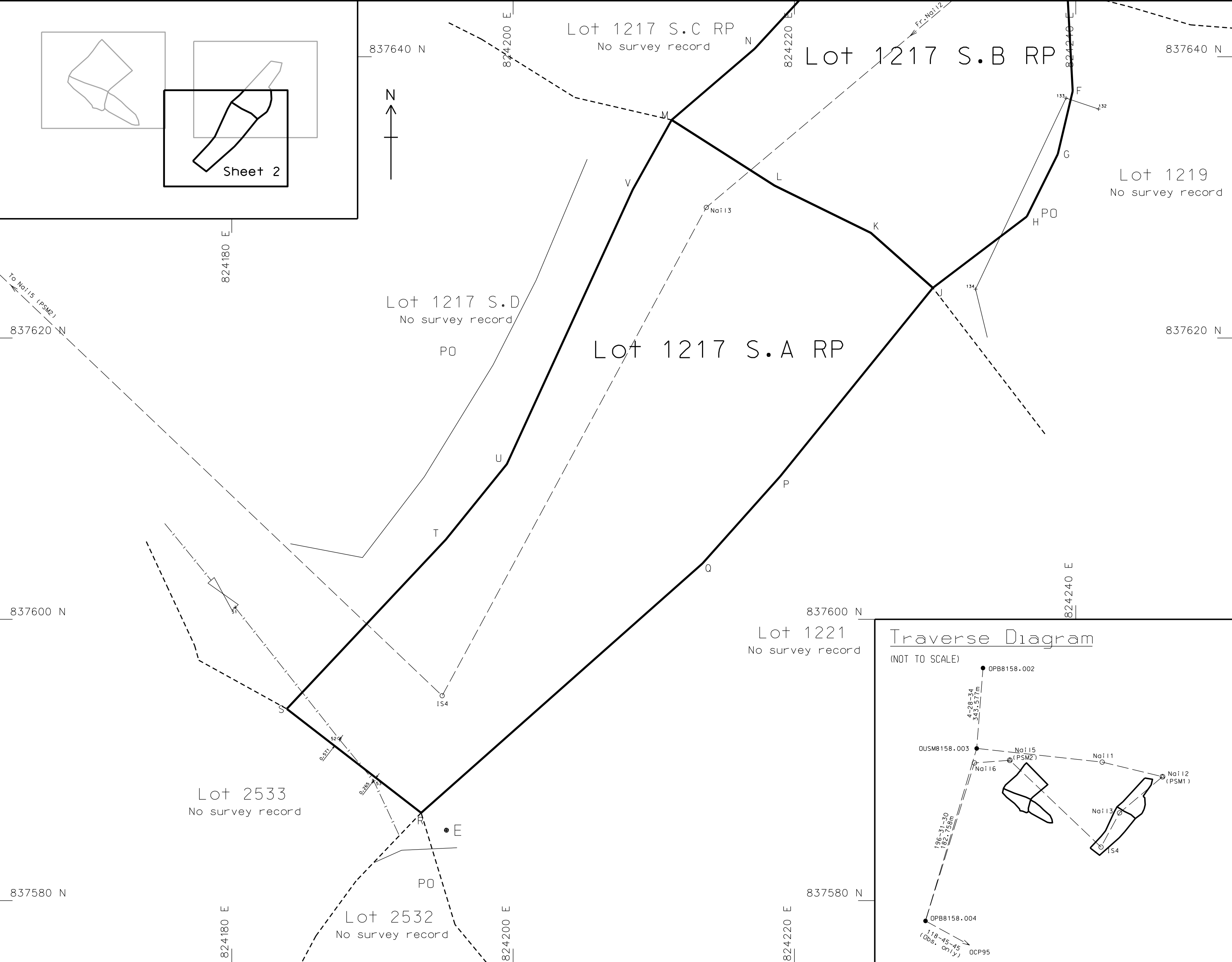
I, ...Pang Chi Wing..., an Authorized Land Surveyor registered under the Land Survey Ordinance (Cap. 473), hereby certify that this survey record plan has been prepared from land boundary surveys that were carried out by me or under my direct supervision in conformity with the Code of Practice approved by the Land Survey Authority under the above Ordinance, and that this plan correctly represents that survey completed on the ...19th... day of ...November... 2018.

Dated this ...8th... day of ...December... 2018


Authorized Land Surveyor
Registration No.: 049

FOR OFFICIAL USE

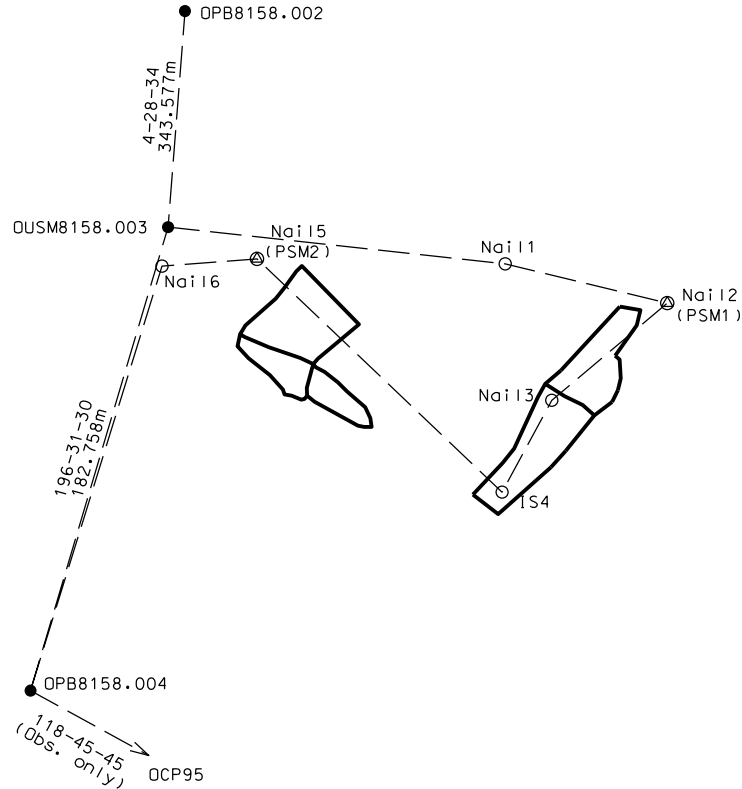
Survey Record Plan No.: SRP/YL/049/4047/D1
(Sheet 1 of 3)



Boundary Point	Bearing	Distance (m)	Northing (m)	Easting (m)
Lot No. 2578 in D.D. 104				
Z			837643.002	824123.563
AU	142 05 20	1.545	837641.783	824124.512
AV	117 41 29	3.779	837640.027	824127.859
AW	128 08 30	6.487	837636.020	824132.960
AX	135 12 46	4.874	837632.561	824136.394
AY	131 01 57	9.031	837626.632	824143.207
AZ	154 19 36	4.534	837622.545	824145.171
BA	171 46 20	3.355	837619.225	824145.651
BB	269 27 08	2.867	837619.198	824142.785
BC	282 32 06	2.402	837619.719	824140.440
BD	298 54 48	18.644	837628.733	824124.120
AK	308 52 40	3.653	837631.026	824121.276
AJ	357 19 29	2.939	837633.962	824121.138
Z	15 00 45	9.359	837643.002	824123.563
Lot No. 1217 S.A RP in D.D. 104				
M			837635.511	824211.272
L	122 33 31	8.678	837630.841	824218.586
K	116 09 05	7.627	837627.480	824225.432
J	131 32 39	5.892	837623.572	824229.842
P	219 00 06	17.261	837610.158	824218.979
Q	221 42 01	8.288	837603.970	824213.466
R	228 26 51	26.726	837586.242	824193.465
S	307 43 28	12.077	837593.632	824183.913
T	43 11 41	16.507	837605.666	824195.212
U	38 56 58	6.916	837611.044	824199.560
V	24 38 10	21.475	837630.565	824208.512
M	29 09 42	5.664	837635.511	824211.272
Lot No. 1217 S.B RP in D.D. 104				
A			837664.728	824239.445
B	99 37 50	7.923	837663.402	824247.256
C	193 43 41	5.950	837657.622	824245.844
D	215 13 27	14.083	837646.117	824237.721
E	130 22 34	2.200	837644.692	824239.397
F	176 55 04	7.141	837637.561	824239.781
G	193 17 28	4.600	837633.084	824238.723
H	206 24 50	4.963	837628.639	824236.515
J	232 47 34	8.379	837623.572	824229.842
K	311 32 39	5.892	837627.480	824225.432
L	296 09 05	7.627	837630.841	824218.586
M	302 33 31	8.678	837635.511	824211.272
N	49 22 55	7.768	837640.568	824217.168
A	42 40 41	32.862	837664.728	824239.445

Traverse Diagram

(NOT TO SCALE)



I, ...Pang Chi Wing... , an Authorized Land Surveyor registered under the Land Survey Ordinance (Cap. 473), hereby certify that this survey record plan has been prepared from land boundary surveys that were carried out by me or under my direct supervision in conformity with the Code of Practice approved by the Land Survey Authority under the above Ordinance, and that this plan correctly represents that survey completed on the ...19th... day of ...November... 2018.

Dated this ...8th... day of ...December... 2018

Handwritten signature of Pang Chi Wing.

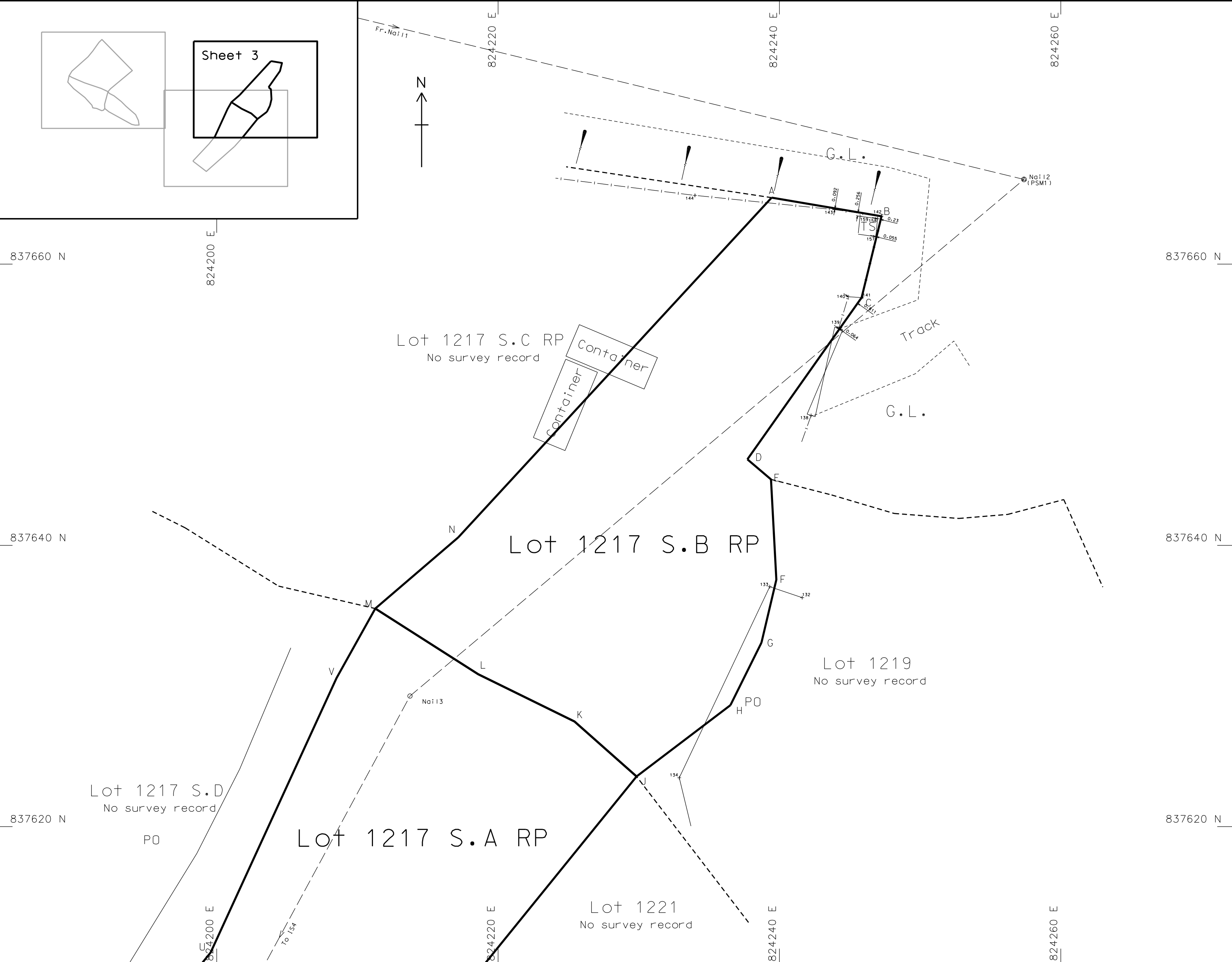
Authorized Land Surveyor
Registration No.: 049

Survey District : YUEN LONG
Date of Survey : NOVEMBER 2018
Scale : 1:200
Survey Sheet No. : 2-SE-17C
Ref. SRP No. : NIL

DIMENSION PLAN OF
LOT NOS. 1217 S.A RP, 1217 S.B RP, 2572 RP,
2573 & 2578 IN D.D.104
CHUN SHIN ROAD, YUEN LONG

FOR OFFICIAL USE

Survey Record Plan No.: SRP/YL/049/4047/D1
(Sheet 2 of 3)



RADIATIONS:						
Surveyed Point	Bearing ° ' "		Distance (m)	Northing (m)	Easting (m)	
Fr. Nail15 (PSM2)				837682.741	824102.316	
To 12	96	39 38	19.955	837680.427	824122.136	
13	97	35 00	19.820	837680.125	824121.963	
14	98	49 31	16.545	837680.203	824118.665	
15	100	54 15	16.893	837679.545	824118.904	
16	108	56 03	10.404	837679.365	824112.157	
17	111	53 53	10.658	837678.766	824112.205	
39	161	03 01	59.207	837626.743	824121.543	
40	157	30 09	54.001	837632.849	824122.979	
41	152	30 09	59.804	837629.693	824129.928	
42	148	37 27	66.502	837625.964	824136.940	
43	144	24 53	75.361	837621.454	824146.170	
Fr. 154				837594.571	824194.958	
To 51	293	06 09	15.998	837600.848	824180.243	
52	246	52 07	7.935	837591.454	824187.661	
53	218	50 19	7.767	837588.521	824190.087	
Fr. Nail3				837629.289	824213.736	
To 132	75	54 45	28.746	837636.286	824241.617	
133	73	05 27	26.727	837637.063	824239.308	
134	106	53 24	20.004	837623.477	824232.877	
Fr. Nail5				831068.706	821374.518	
To 92	309	23 51	0.657	831069.123	821374.011	
94	338	41 29	8.483	831076.609	821371.435	
101	00	09 55	14.690	831083.396	821374.560	
Fr. Nail2 (PSM1)				837666.022	824257.384	
To 138	222	02 33	22.595	837649.242	824242.253	
139	231	10 33	16.905	837655.424	824244.214	
140	236	15 59	15.023	837657.679	824244.891	
141	233	56 58	14.273	837657.622	824245.844	
142	255	29 42	10.461	837663.402	824247.256	
143	260	55 37	13.626	837663.873	824243.929	
144	267	13 08	23.419	837664.886	824233.993	
157	248	53 35	11.296	837661.954	824246.846	
158	254	58 07	10.775	837663.227	824246.977	
159	257	19 35	11.946	837663.401	824245.729	
PSM RADIATIONS:				Northing	Easting	
Surveyed Point				(m)	(m)	
PSM1 as Nail2 (Nail on ground)				837666.022	824257.384	
PSM2 as Nail5 (Nail on ground)				837682.741	824102.316	

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registered under the Land Survey Ordinance (Cap. 473),
hereby certify that this survey record plan has been prepared
from land boundary surveys that were carried out by me or under
my direct supervision in conformity with the Code of Practice
approved by the Land Survey Authority under the above Ordinance,
and that this plan correctly represents that survey completed
on the19th..... day ofNovember..... 2018.

Dated this8th..... day ofDecember..... 2018

Authorized Land Surveyor
Registration No.: 049

FOR OFFICIAL USE

Survey Record Plan No.: SRP/YL/049/4047/D1
(Sheet 3 of 3)

Survey District : YUEN LONG
Date of Survey : NOVEMBER 2018
Scale : 1:200
Survey Sheet No. : 2-SE-17C
Ref. SRP No. : NIL

DIMENSION PLAN OF
LOT NOS. 1217 S.A RP, 1217 S.B RP, 2572 RP,
2573 & 2578 IN D.D.104
CHUN SHIN ROAD, YUEN LONG



	Reg m2	Survey m2
1217 SA RP	722.4	835.5
1217 SB RP	500.4	648.1
2572 RP	793	835.8
2573	364	305.7
2578	161.9	257.9

地段索引圖 LOT INDEX PLAN

免責聲明

本圖則乃地段索引圖的複本，顯示地段界線的大概位置，包括根據政府撥地、臨時政府撥地、短期租約及政府土地租用牌照而臨時佔用土地的位置。臨時佔用土地的情況可憑藉短期通知出現或終止，因此應向有關的分區地政專員核證。本圖則所示的資料必須透過實地測量予以核實。當有更佳或新的地界證據時，地段索引圖可能會被修訂而無須事先通知。

Disclaimer

This plan is a copy of the lot index plan showing the approximate location of lot boundaries, including the temporary occupation of land under Government Land Allocations, Temporary Government Land Allocations, Short Term Tenancies and Government Land Licences. The temporary occupation of land may be created or terminated at short notice and should be confirmed with the District Lands Officer. The information shown on this plan MUST be verified by field survey. The lot index plan may be revised without prior notification as better or new boundary evidence becomes available.



地政總署測繪處 Survey and Mapping Office Lands Department

香港特別行政區政府 — 版權所有
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比例尺 SCALE 1:1 000
米 metres 10 0 10 20 30 40 50 metres

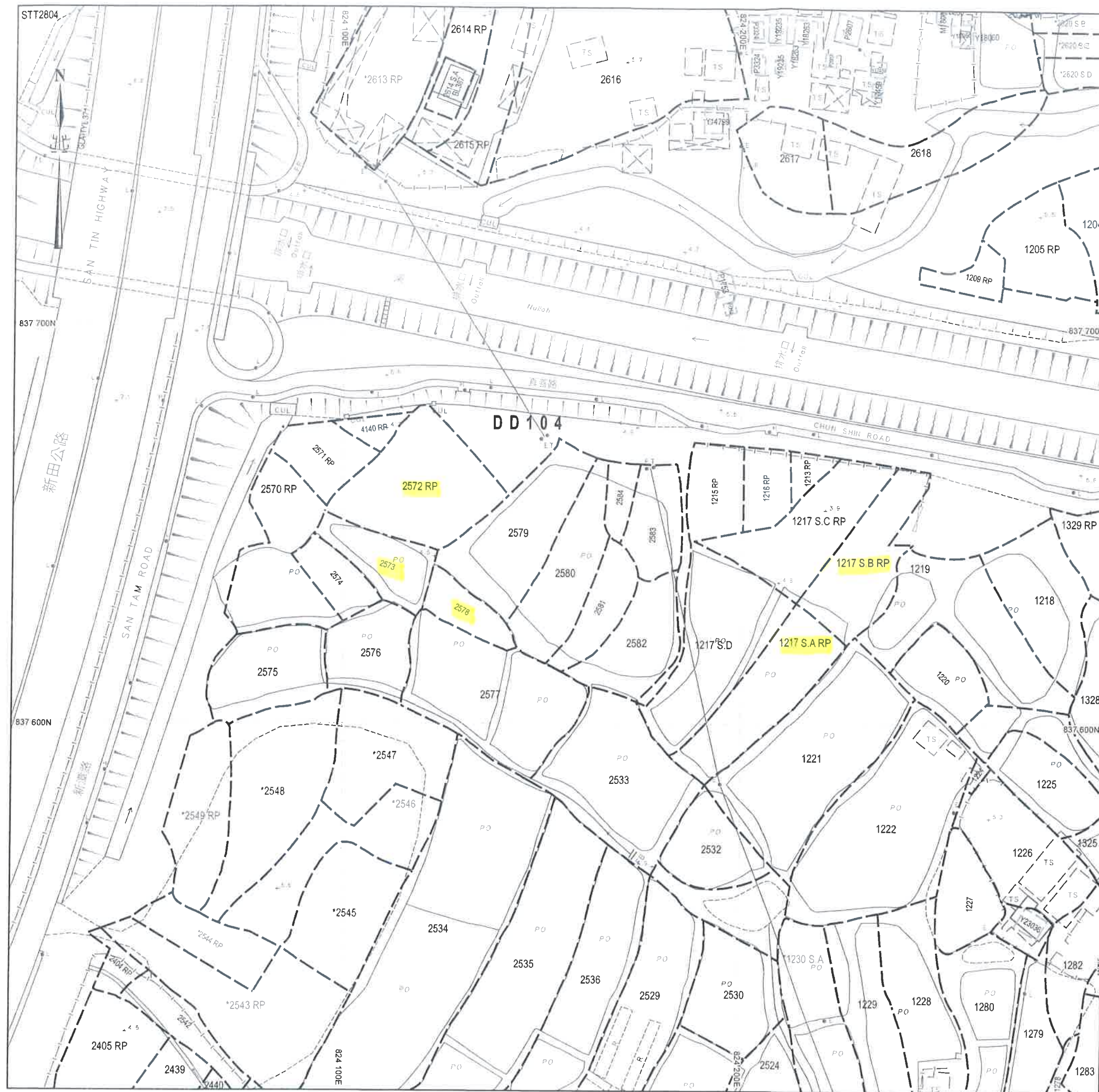
Locality :

Lot Index Plan No. : ags_S00000007366_0001

District Survey Office : Lands Information Center

Date : 13-Nov-2018

Reference No. : 2-SE-17C



SCHEDULE OF CROWN LESSEES.

DISTRICT No. 104

Lot No.	Term of lease in years.	Area	Description of Lot	Name of Owner.		Address	Crown Rent.	
				Chinese	Transliteration		Class	\$
1191	75	23	Gradi	朱清華	Chai Ching Wa	元朗東三	pt	69
1192	7	11	"	文開泰	Man Kai Tai	新田蕃田村	"	33
1193	7	05	"	朱清華	Chai Ching Wa	元朗東三	"	15
1194	7	41	"	文教育祖	Man Hau Yuk Tau	蕃田村	"	23
				文星台司理	Man Sing Tai Tsui			
1195	7	24	"	朱清華	Chai Ching Wa	元朗東三	"	72
1196	7	21	"	文開泰	Man Kai Tai	新田蕃田村	"	63
1197	7	11	"	文星台	Man Sing Tai	蕃田村	"	33
1198	7	09	"	文開泰	Man Kai Tai		"	27
1199	7	02	"	朱清華	Chai Ching Wa	元朗東三	"	12
1200	7	19	"	文開泰	Man Kai Tai	竹園	"	57
1203	7	04	"	文開泰	Man Kai Tai	新田蕃田村	"	12
1204	7	15	Gradi	文開泰	Man Kai Tai	新田蕃田村	"	45
1205	7	13	"	文開泰	Man Kai Tai	竹園	"	39
1206	7	09	"	尹才貴	Hui Tai Kwai	竹園圍仔	"	27
1208	7	18	"	文金堂祖	Man Kam Tong Tsui	新田青龍村	"	54
				文建邦司理	Man Tin Pak Tsui			
1209	7	09	"	文教育祖	Man Hau Yuk Tau	蕃田村	"	27
				文星台司理	Man Sing Tai Tsui			
1210	7	05	"	尹水有	Hui Shui Yau	竹園圍仔	"	15
1211	7	10	"	尹才貴	Hui Tai Kwai	竹園圍仔	"	30
1212	7	03	"	林木壽	Lam Muk Shau	竹園圍仔	"	09
1213	7	13	"	尹興福	Hui Hing Fook	"	"	39
				尹興泰	Hui Hing Tai	"	"	
				尹錦祥	Hui Kam Cheung	"	"	
1214	7	08	"	文祖壽	Man Tso Shau	新田蕃田村	"	24
1215	7	11	"	文炳有	Man Ping Yau	蕃田村	"	33
1216	7	12	"	文德交	Man Tak Hau	仁壽園	"	36
1217	7	92	"	文教育祖	Man Hau Yuk Tau	蕃田村	2	76
				文星台司理	Man Sing Tai Tsui			
1218	7	17	"	文星台	Man Sing Tai	蕃田村	"	51
1219	7	23	"	文金諾	Man Kam Ngok	"	"	69
1220	7	10	"	文妹姐	Man Mei Nga	"	"	30
1221	7	30	"	文大九	Man Tai Gao	蕃田村	"	0

OF CROWN LESSEES.

ISTRICT No. 14

Crown Rent.

Address Class \$ ¢

元朗東三 69
新田蕃田村 33
元朗東三 15
新田蕃田村 23

元朗東三 72
新田蕃田村 63
新田蕃田村 33

元朗東三 27
新田蕃田村 12
新田蕃田村 57

新田蕃田村 45
新田蕃田村 39
新田蕃田村 27
新田蕃田村 54

新田蕃田村 27
新田蕃田村 15
新田蕃田村 30
新田蕃田村 09

新田蕃田村 39
新田蕃田村 12
新田蕃田村 33

新田蕃田村 36
新田蕃田村 76
新田蕃田村 51
新田蕃田村 09
新田蕃田村 30
新田蕃田村 4

Mortgaged to Wang Shui Kuan 210 Hui Li Wai of Kowloon Treasury of Canton with Lts 1193, 1195, 1199 & 1270 for \$600 in Ks. 15. Mortgage in possession

See lot 1191.

See lot 1191.

Mortgaged to Wang Shui Kuan 210 Hui Li Wai of Kowloon Treasury of Canton with Lts 2570, 2575 & 2572 for \$100 in Ks. 17. Mortgage in possession

See lot 1191.

Mortgaged to Wang Shui Kuan 210 Hui Li Wai of Kowloon Treasury of Canton with Lts 1200 for \$100 in Ks. 17. Mortgage in possession

Mortgaged to Wang Shui Kuan 210 Hui Li Wai of Kowloon Treasury of Canton with Lts 1200 for \$100 in Ks. 17. Mortgage in possession

See lot 1208

Mortgaged to Wang Shui Kuan 210 Hui Li Wai of Kowloon Treasury of Canton with Lts 1200 for \$100 in Ks. 17. Mortgage in possession

SCHEDULE OF CROWN LESSEES.

DISTRICT No. 104

Lot No.	Term of lease in years.	Area	Description of Lot	Chinese	Transliteration	Address	Class	\$	¢
2552	75	32	田	鄧巡撫會	Tung Lun Hui	錦田北邊		96	
				鄧洪英司理	Tung Hong Ying				
				德聘	Tung Tak Ping				
2553	"	23	"	老洪聖會	Lo Hong Shing Hui	錦園圍		69	
				鄧大九司理	Tung Tai Kau				
2554	"	07	"	尹才貴	Yan Lai Kwan	竹園圍仔		21	
2555	"	16	"	文灶保	Man Tsoi Po	新田		42	
2556	"	47	"	文楚有祖	Man Cho Yuk Tso	新田		141	
				文大保司理	Man Po Po				
2557	"	03	"	尹水有	Yan Shui Yau	竹園圍仔		09	
2558	"	01	"	文辛野祖	Man San Yee Tso	新田蕃田村		03	
				文賀新司理	Man Ho San				
2559	"	31	"	"	"	"		93	
2560	"	02	"	文火全	Man Foa Lam	新田		06	
2561	"	19	"	文裕光	Man Yik Kwong	蕃田村		57	
2562	"	27	"	文華新堂	Man Wa Chung Tong	永平村		81	
2563	"	27	"	紹普司理	Shao Shui			81	
2564	"	26	"	李榮就	Li Nin Lou	竹園		78	
2565	"	03	"	鄧浮梧祖	Tung Fook Ng Tso	錦田吉慶圍		09	
2566	"	20	"	鄧日暉司理	Tung Yat Hing			60	
2567	"	10	"	文謙常堂	Man Him Shing Tong	新田蕃田村		30	
				文大九司理	Man Tai Kau				
2568	"	21	"	文教育祖	Man Kau Yuk Tso	"		63	
				文星台司理	Man Sing Tai				
2569	"	16	"	鄧巡撫會	Tung Lun Hui	錦田北邊		48	
				鄧元富司理	Tung Yuen Fu				
2570	"	29	"	鄧才喜	Tung Lai Hei	竹園		67	
2571	"	16	"	李榮就	Li Nin Lou	竹園		48	
2572	"	44	"	文華新堂	Man Wa Chung Tong	新田永平村		32	
				文紹普司理	Man Shao Po				
2573	"	09	"	文教育祖	Man Kau Yuk Tso	蕃田村		7	
				文星台司理	Man Sing Tai				

OF CROWN LESSEES.

DISTRICT No. 104

Station	Address	Crown Rent.		REMARKS.
		Class	\$. #	
Li	錦田北边		96	
Li	錦慶園		69	
Li	竹園圍仔		21	
Lo	新田		42	See Lot 2550.
Lo	新田		41	
Lo	竹園圍仔		09	
Lo	新田蕃田村		03	
Lo	新田		93	
Lo	蕃田村		57	
Lo	永平村		81	
Lo	竹園		78	
Lo	錦田吉慶園		60	
Lo	新田蕃田村		30	
Lo	錦田北边		63	
Lo	竹園		87	
Lo	新田永平村		48	
Lo	蕃田村		32	

Mortgaged to Messrs. Lee & Co. of San Lee for \$ 20 = Mortgage in person

SCHEDULE OF CROWN LESSEES.

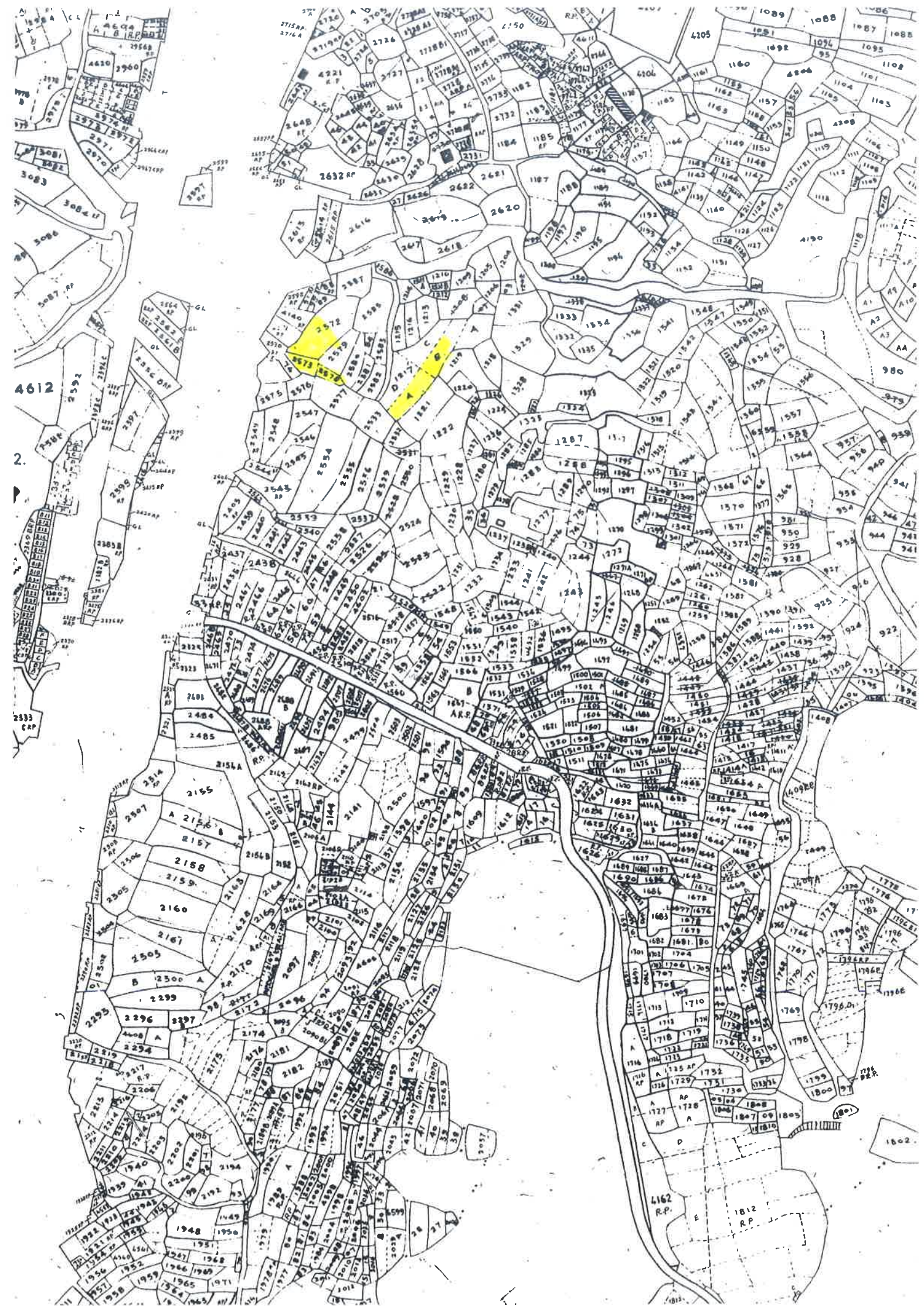
DISTRICT No. 104

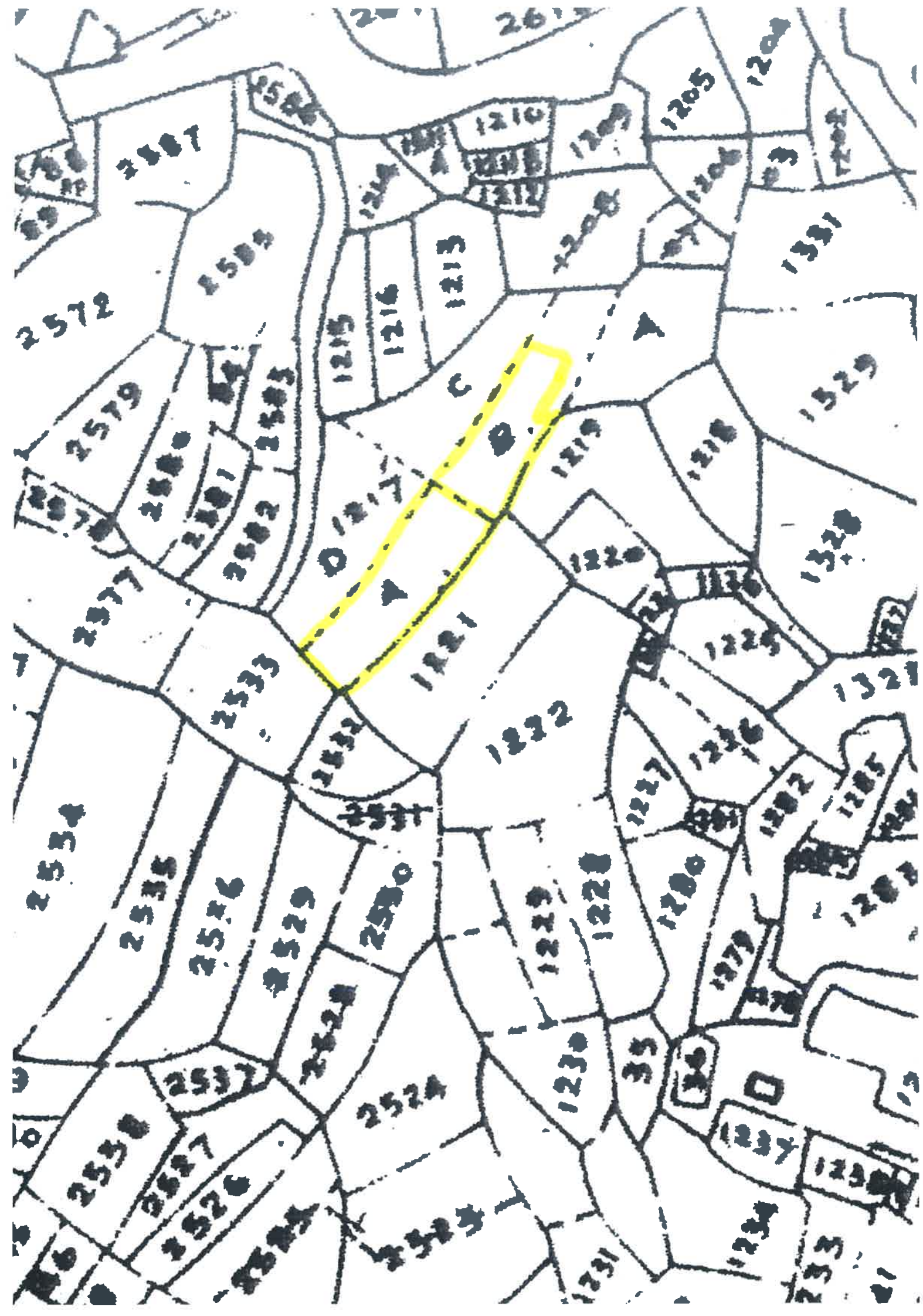
Lot No.	Term of lease in years.	Area	Description of Lot	Name of Owner.		Address	Crown Rent.		
				Chinese	Transliteration		Class	\$	¢
2574	75	06	Sadi	鄧巡撫會	Lung Sun He	錦田北邊	P ^t	18	
				鄧元富司理	Lung Sun He (C)				
2575		12	"	文謙常堂	Man Kien Chung Tong	新田蕃田村	"	36	
				文大九司理	Man Tai Kau (C)				
2576		10	"	文灶保	Man Leo Bo	新田	"	30	
2577		29	"	黃仁興	Hung Jan Heung	竹園	"	87	
2578		09	"	文教育祖	Man Kiu Fook Tso	新田蕃田村	"	12	
				文星台司理	Man Sing Tai (C)				
2579		18	"	鄧巡撫會	Lung Sun He	錦田北邊	"	54	
				鄧元富司理	Lung Sun He (C)				
2580		11	"	文教育祖	Man Kiu Fook Tso	新田蕃田村	"	42	
				文星台司理	Man Sing Tai (C)				
2581		07	"	鄧巡撫會	Lung Sun He	錦田北邊	"	21	
				鄧元富司理	Lung Sun He (C)				
2582		12	"	文星台	Man Sing Tai	新田蕃田村	"	36	
2583		10	"	尹才發	Yuen Tai Hap	竹園園仔	"	30	
2584		03	"	李桂華	Li Kwai Wa	竹園	"	09	
2585		33	"	文乾信	Man Kien Hin	新田安樂村	"	94	
2587		19	"	文福平	Man Fook Ping	蕃田村	"	57	
2588		05	"	鄧才喜	Lung Tai Hei	錦田北邊	"	15	
2589		02	"	文開泰	Man Hoi Tai	新田蕃田村	"	12	
2590		02	"	文教育祖	Man Kiu Fook Tso	蕃田村	"	06	
				文星台司理	Man Sing Tai (C)				
2591		03	"	鄧巡撫會	Lung Sun He	錦田北邊	"	09	
				鄧元富司理	Lung Sun He (C)				
2592		11	"	文華彰堂	Man Wa Cheung Tong	新田永平村	"	55	
				文紹善司理	Man Shiu Sun (C)				
2593		09	"	文開泰	Man Hoi Tai	蕃田村	"	27	
2594		05	"	文星台	Man Sing Tai	蕃田村	"	15	
2595		04	"	尹水有	Yuen Shui Yau	竹園園仔	"	12	
2596		20	"	黃茂源祖	Hung Mau Yuen Tso	米埔	"	60	
				黃錦祥司理	Hung Kam Cheung (C)				
2597		01	"	文華實	Man Chueh Hui	新田蕃田村	"	63	
2598		06	"	李敬仁堂	Li Kung Jan Tong	香港和豐街	"	18	
				李紀堂司理	Li Ki Tong (C)	計門牌式桂			

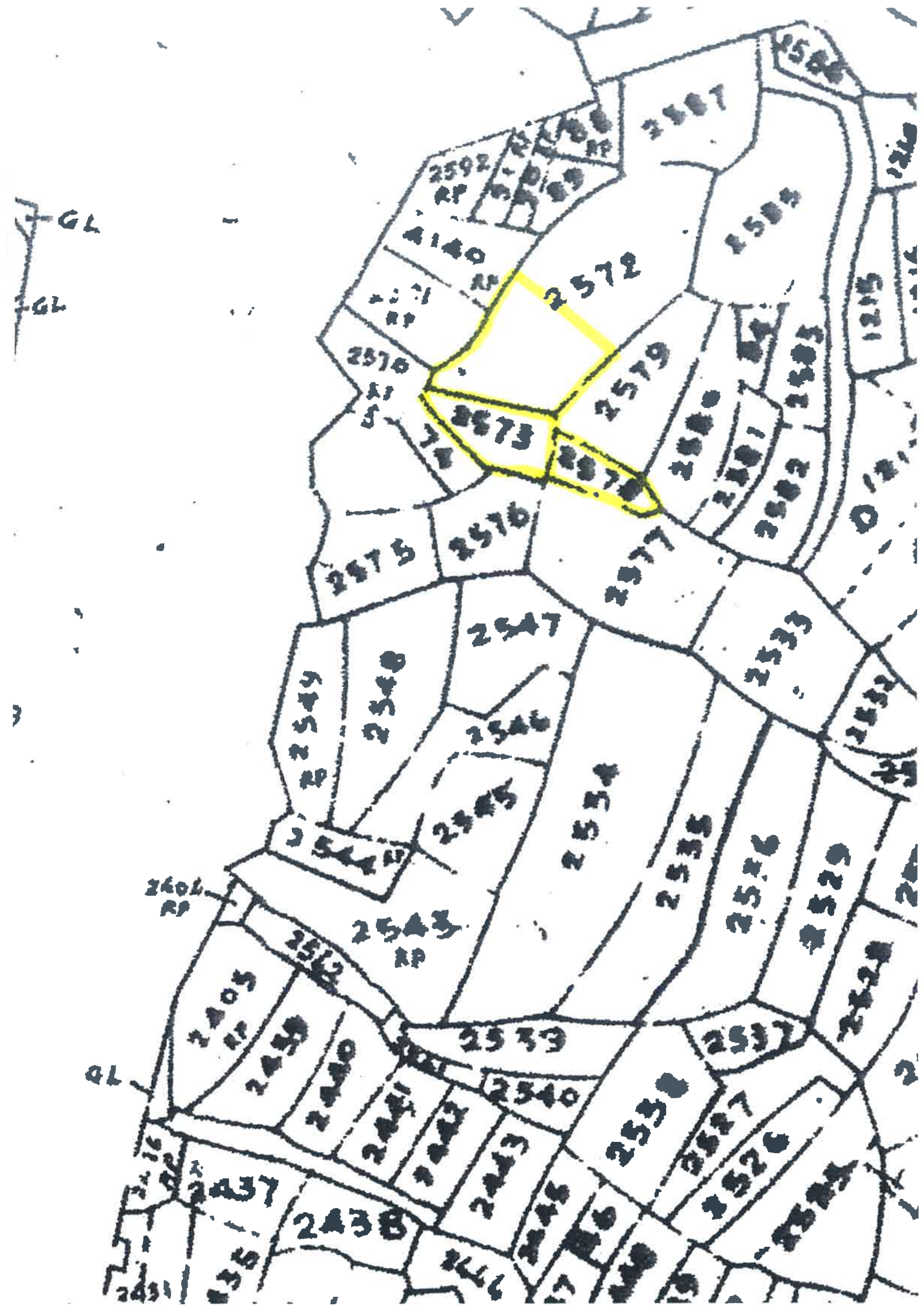
E OF CROWN LESSEES.

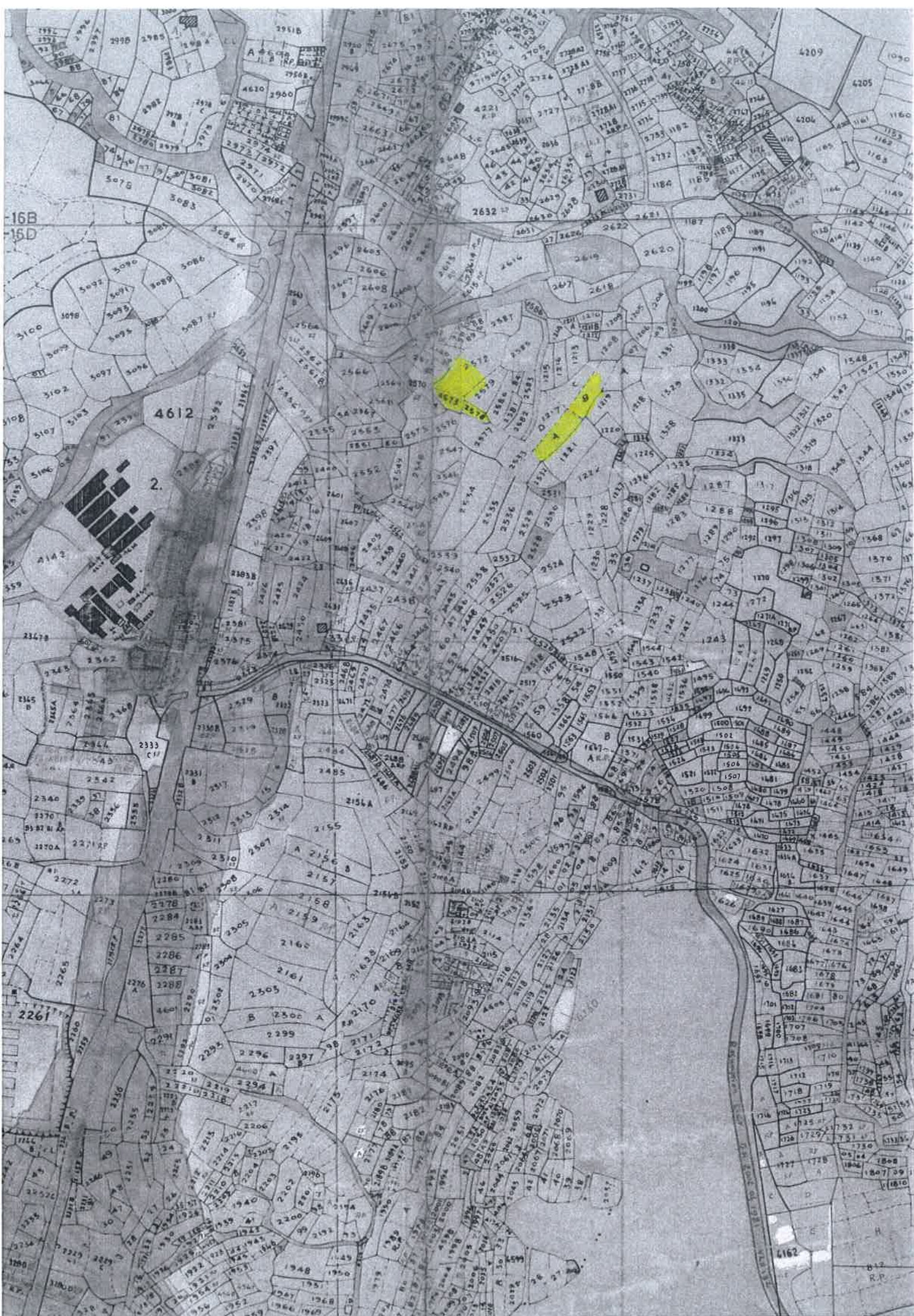
DISTRICT No. 104

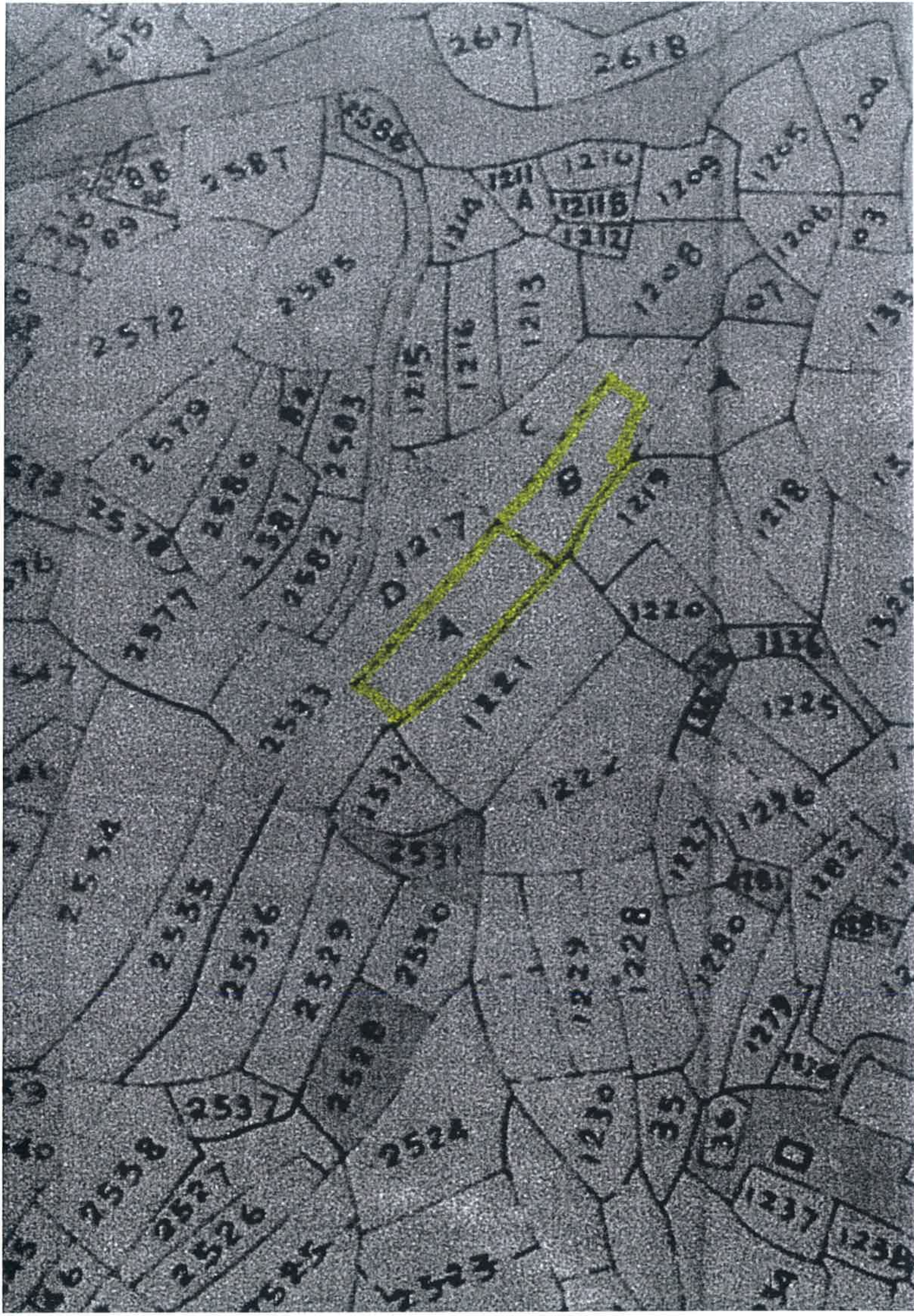
Location	Address	Class	Crown Rent.		REMARKS.
			\$	¢	
104	錦田北邊	Pt	18		
(1)	新田蕃田村		36		
104	新田	"	30		See lot 2552.
104	竹園	"	87		Mortgaged to Man Kuen Chung Sang of Pao Tin for 10 years as per contract
(1)	新田蕃田村	"	12		
104	錦田北邊	"	54		
(1)	新田蕃田村	"	42		
(1)	錦田北邊	"	21		
(1)	新田蕃田村	"	36		
104	竹園園仔	"	30		
104	竹園	"	29		
104	新田安龍村	"	98		
104	蕃田村	"	57		
104	錦田北邊	"	15		
104	新田蕃田村	"	12		
(1)	蕃田村	"	16		
104	錦田北邊	"	09		
(1)	新田永平村	"	55		
104	蕃田村	"	27		
104	蕃田村	"	15		
104	竹園園仔	"	12		
(1)	米埔	"	60		
104	新田蕃田村	"	63		Mortgaged to Sang Hon Sang of Mei Po with lot 2642 for 10 years as per contract
104	香港和豐街	"	18		
(1)	計門牌式樓	"			

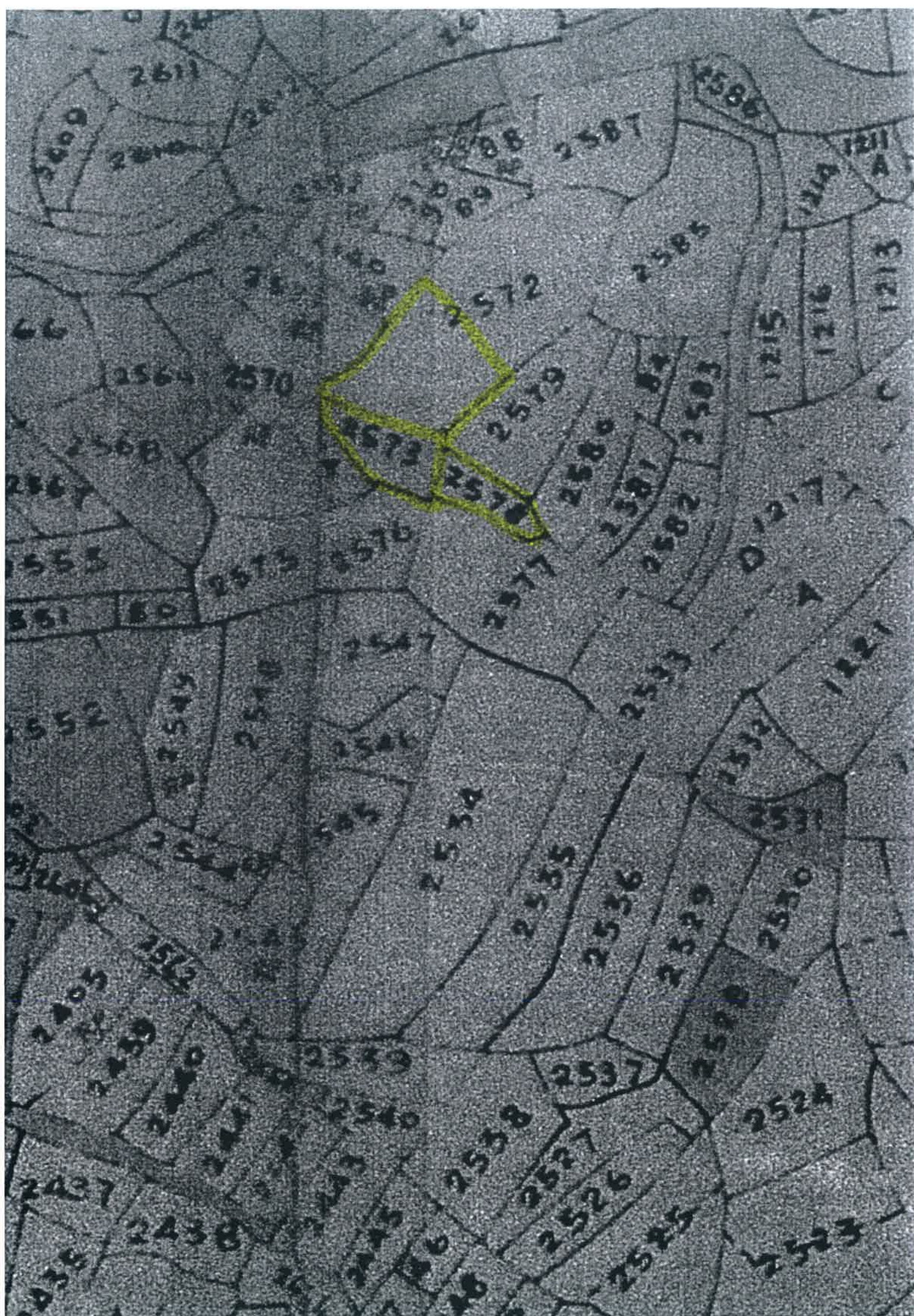














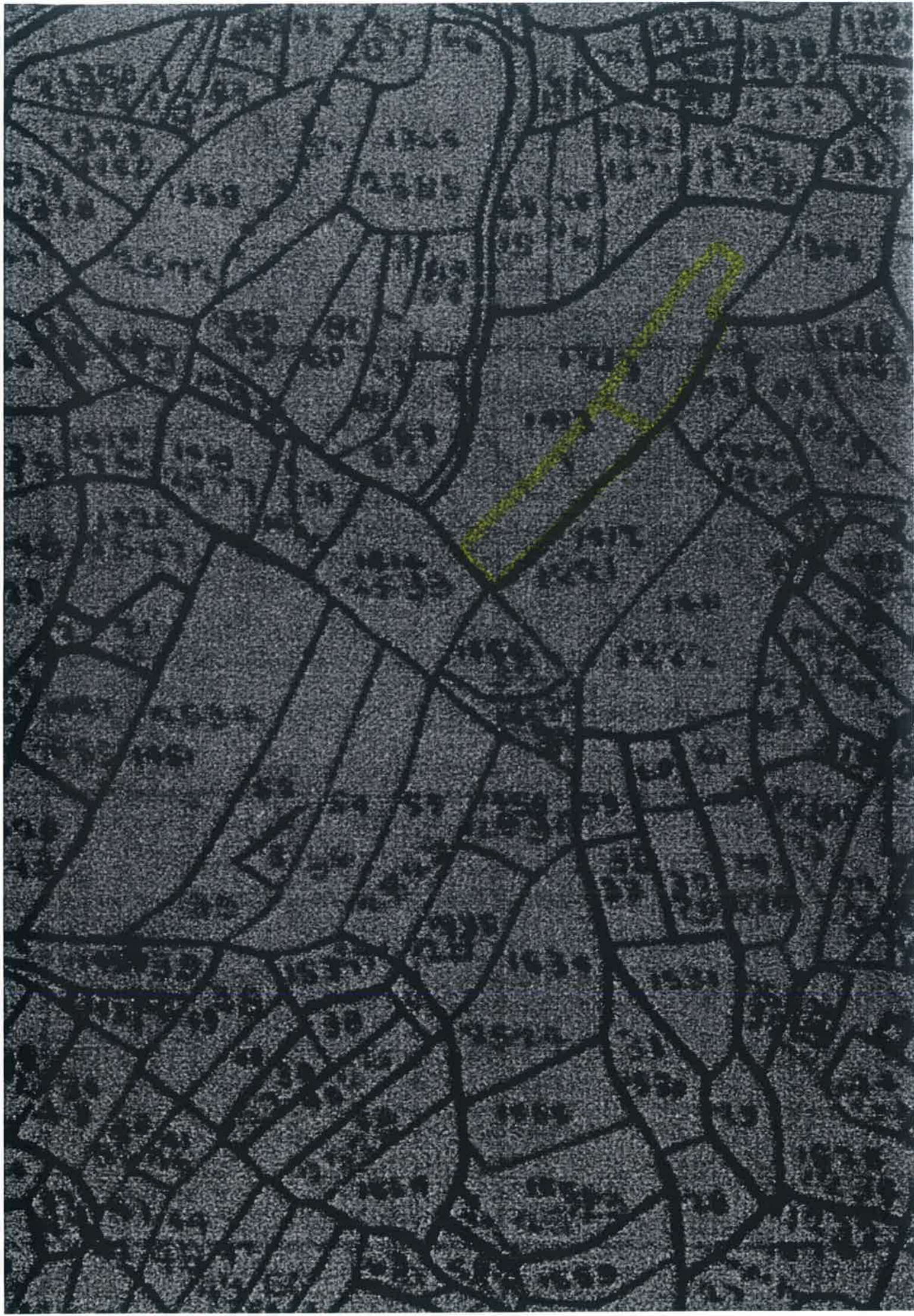
Sheet 2.

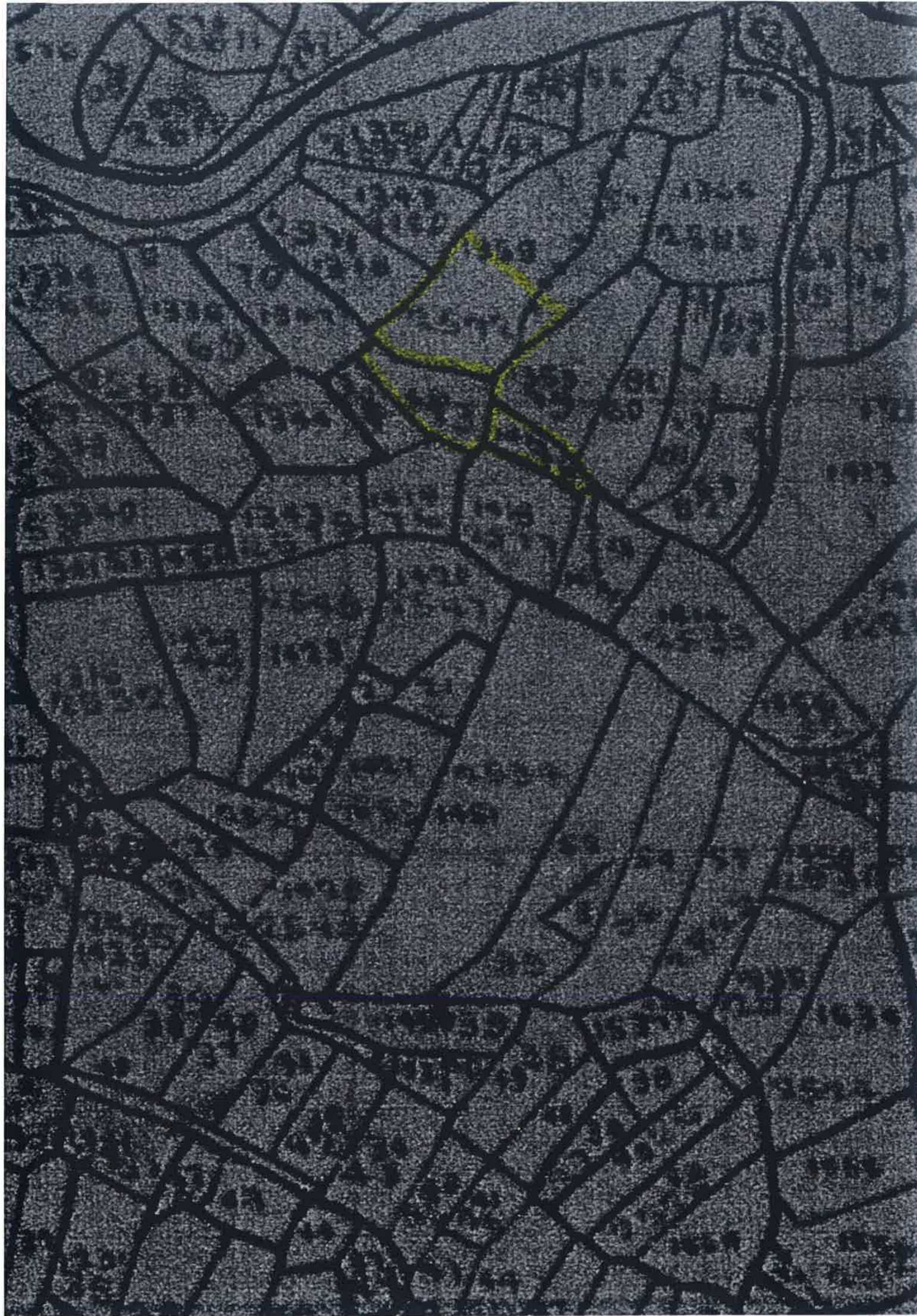
本圖則 / 記錄的資料只供參考之用，
使用時應該由專業土地測量師解釋。
The Information shown on this plan / record
is for reference only and **SHOULD BE**
interpreted by professional land surveyor.

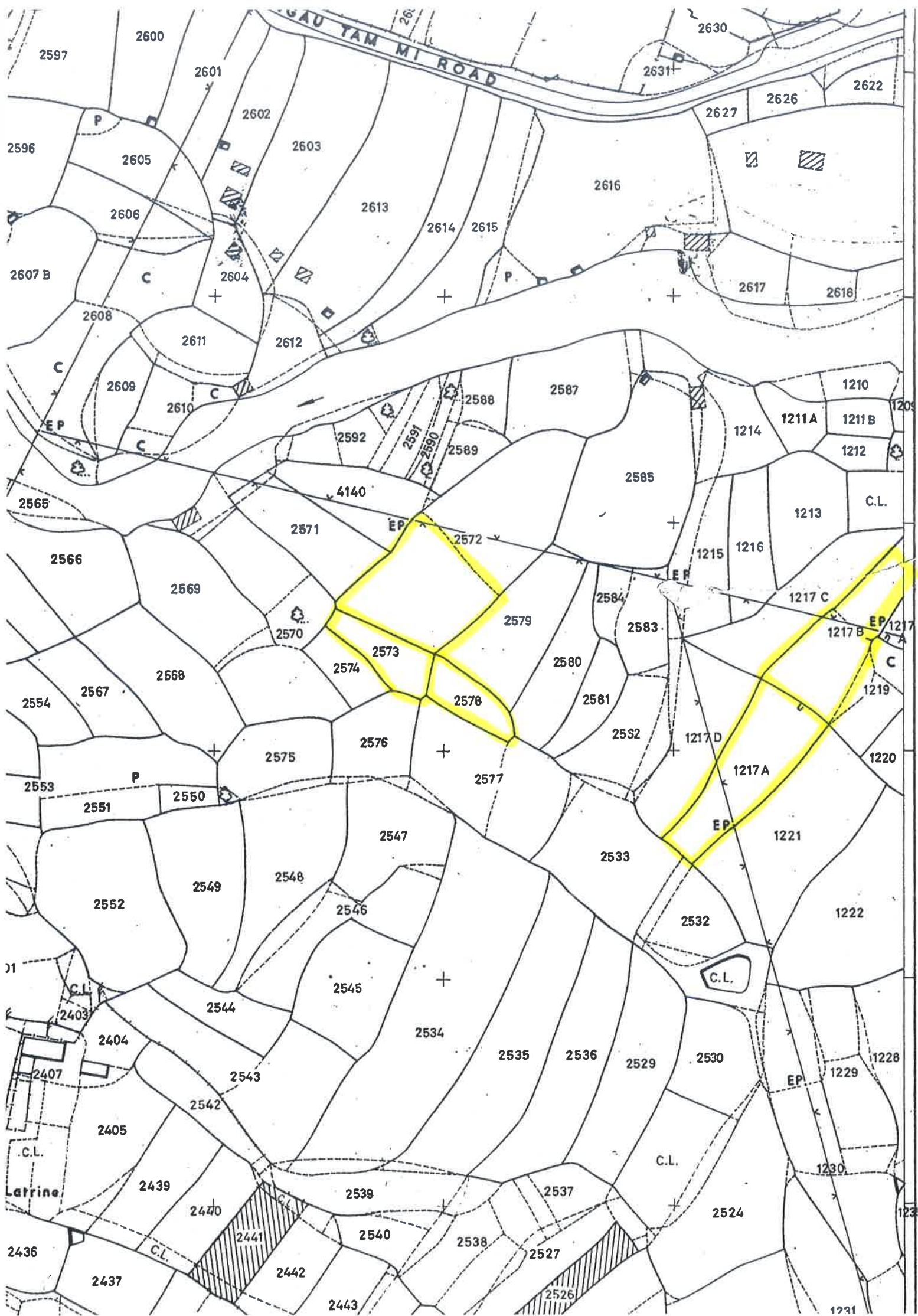
Ko. V. Liao

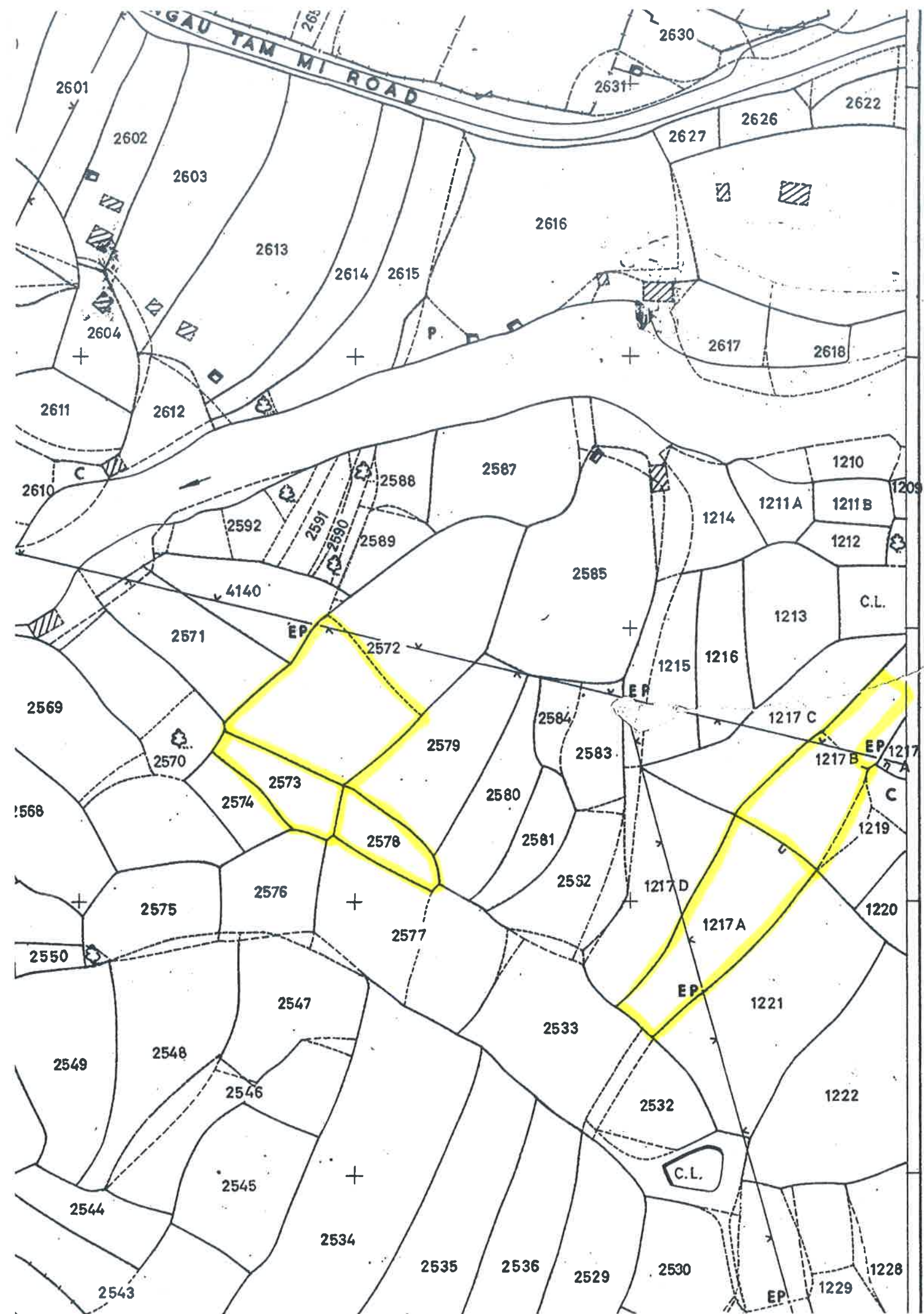
L. H. H. H. H. H.

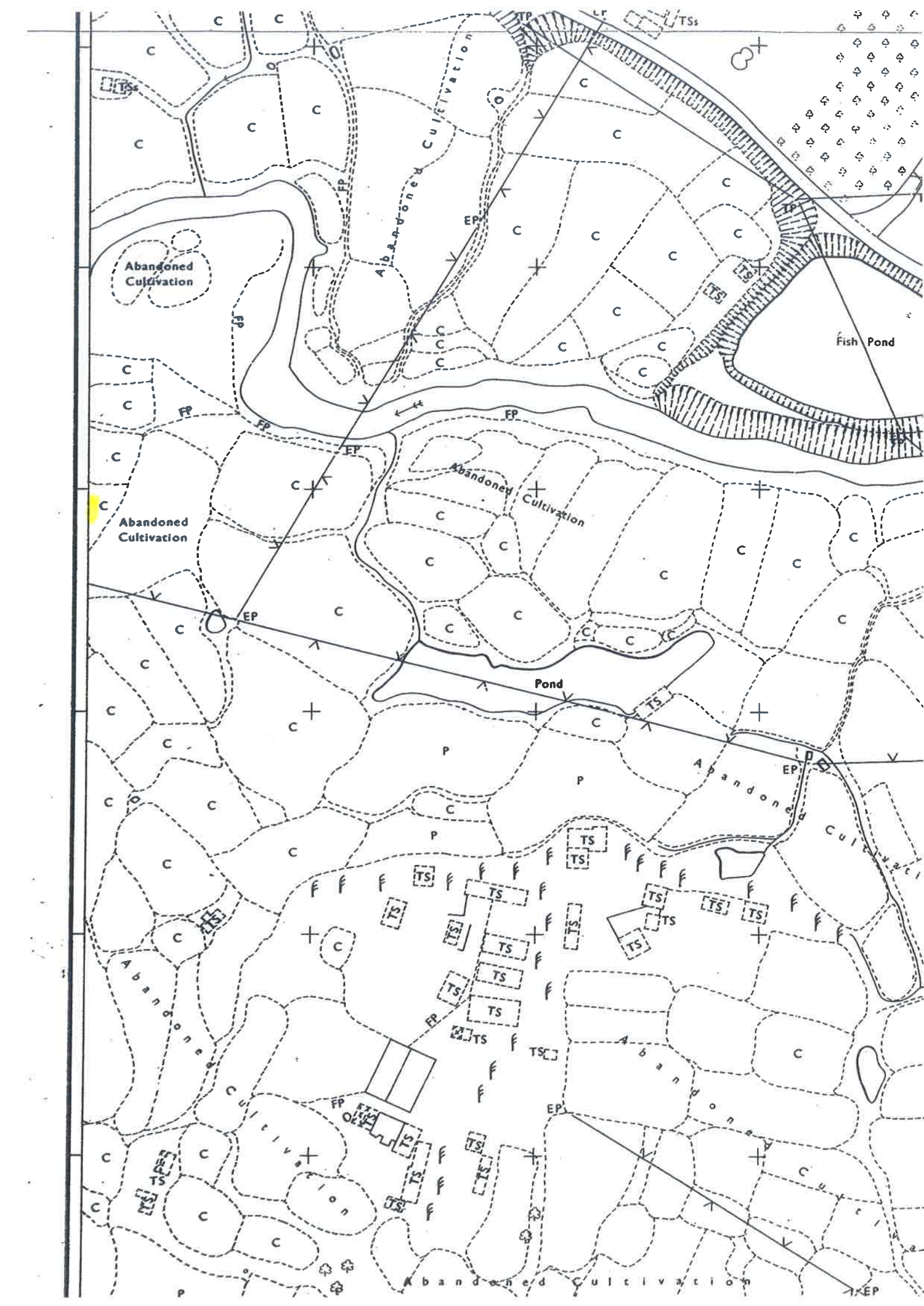
104 Sheet 1

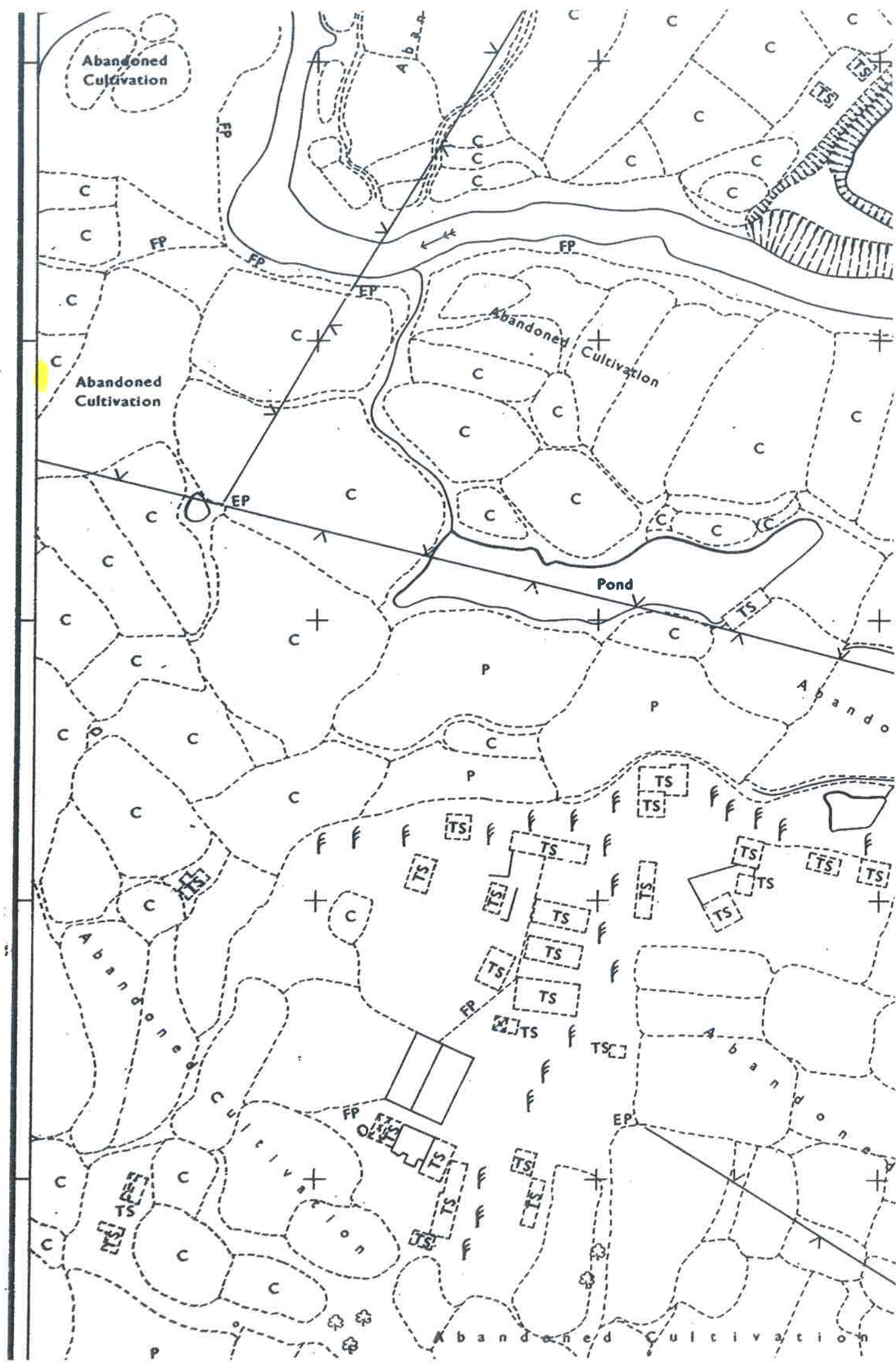


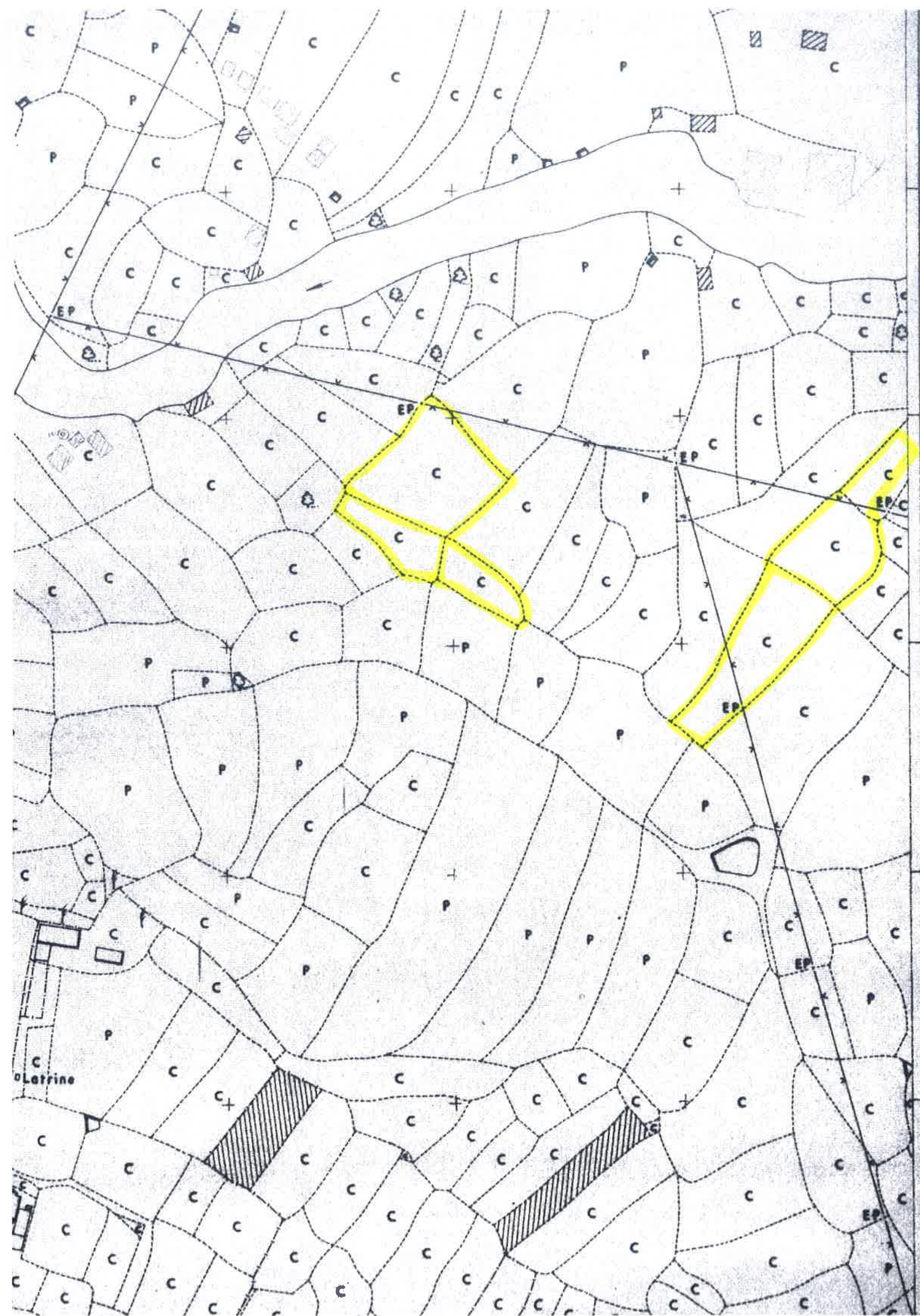


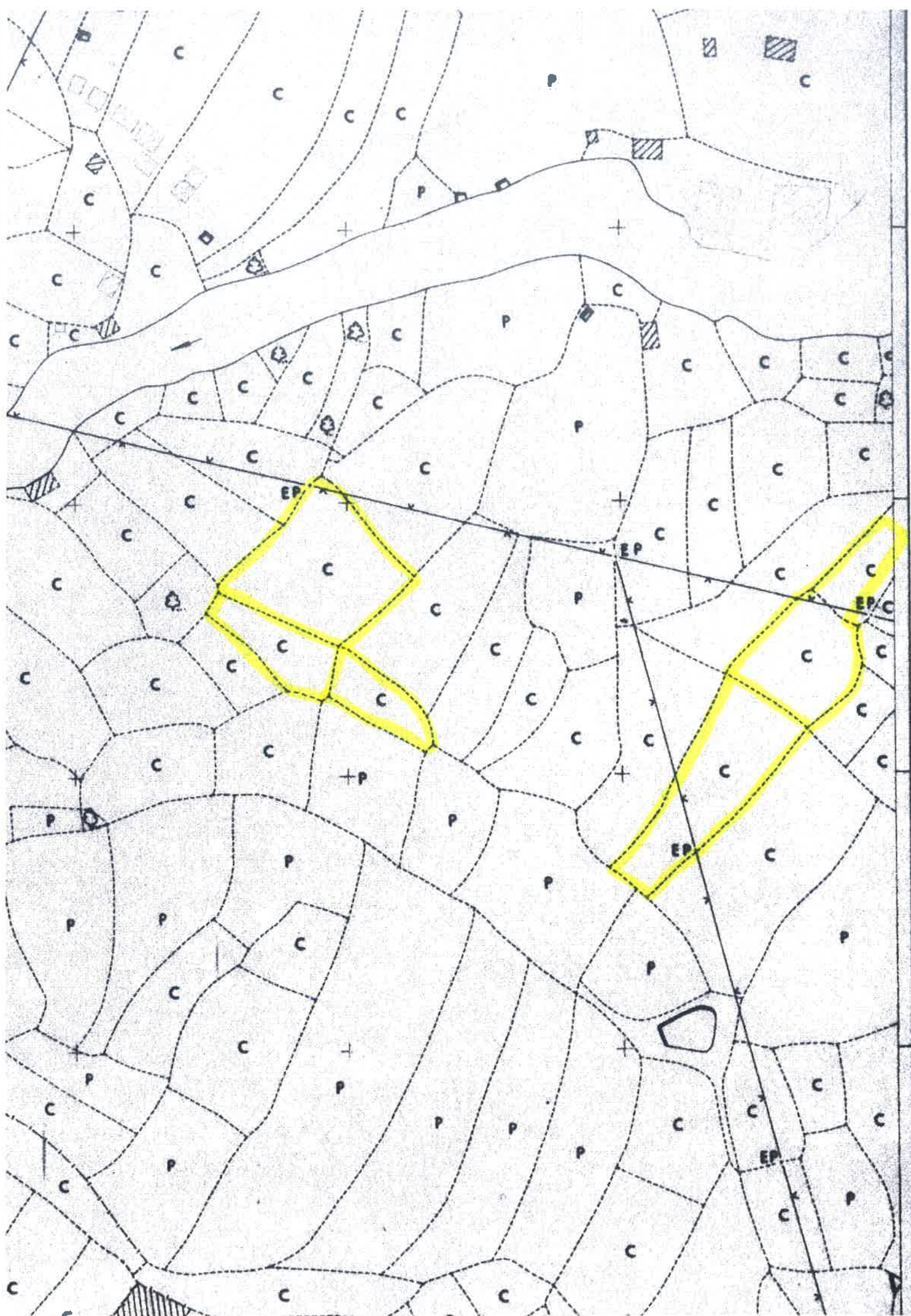


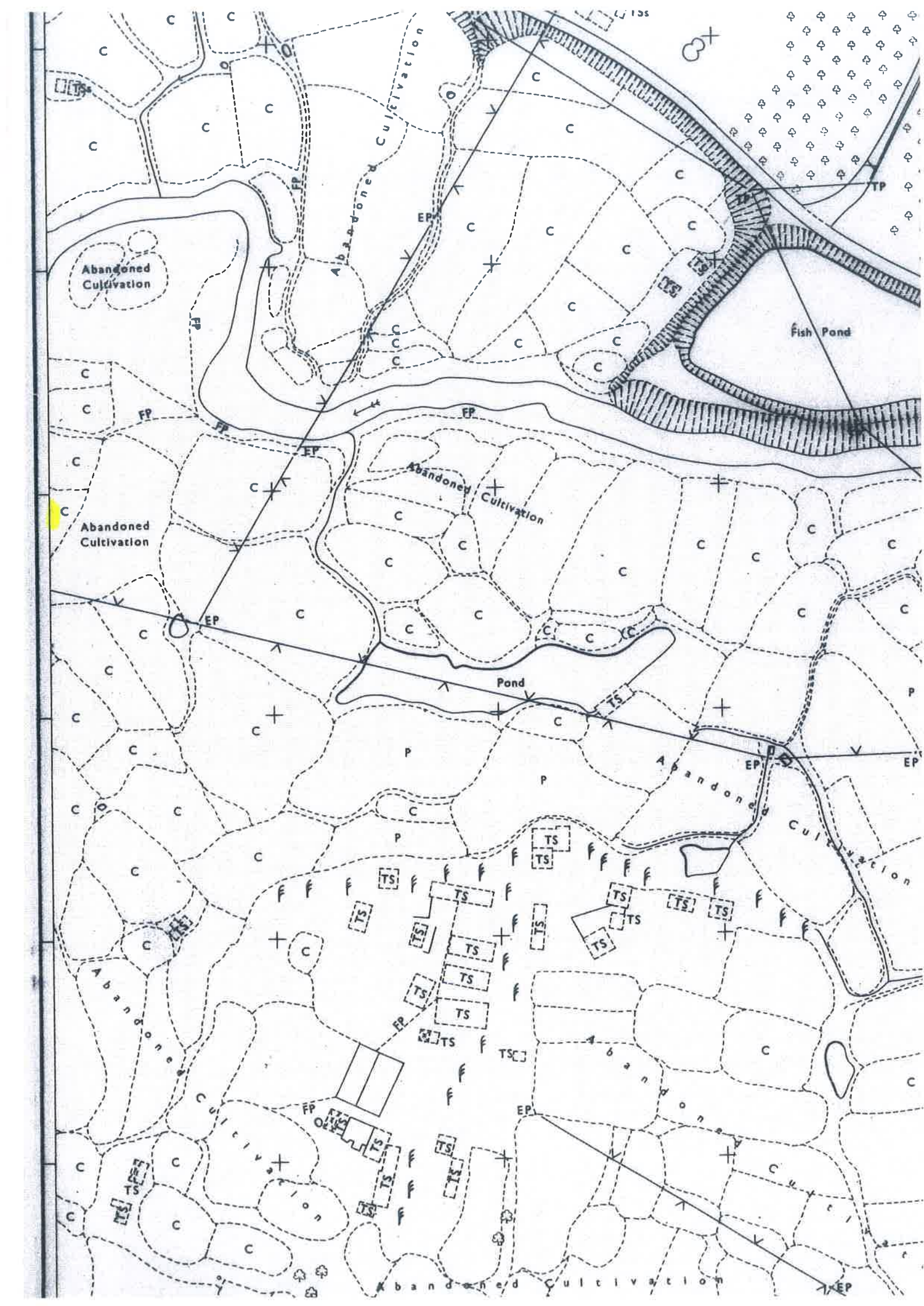


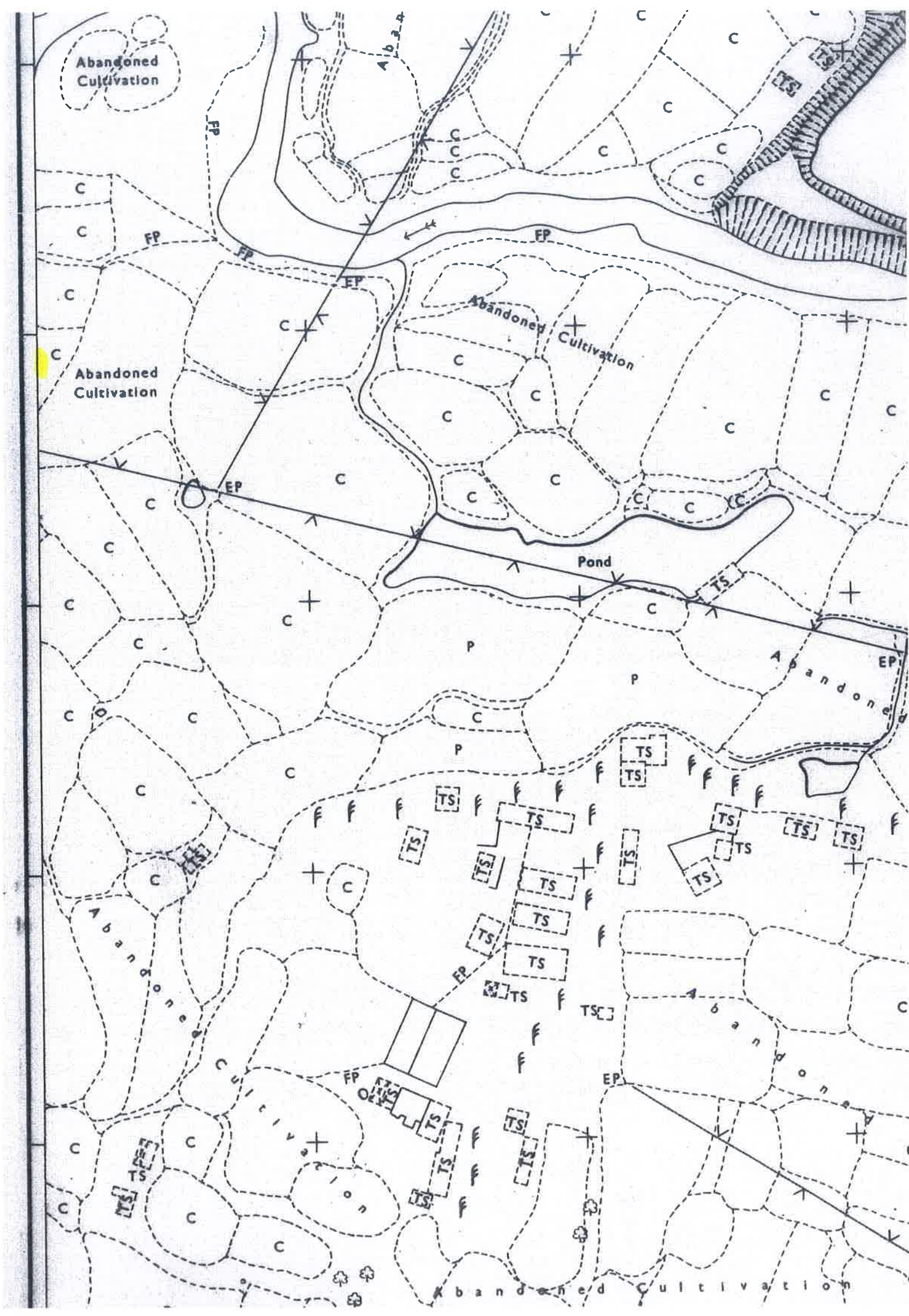












P. 57.

Survey of India.

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FIELD AREA STATEMENT.

No. _____ Mouzah _____			Pargana _____			District _____					
No. on Plan.	Area in		Record if otherwise than Cultivated.	No. on Plan.	Area in		Record if otherwise than Cultivated.	No. on Plan.	Area in		Record if otherwise than Cultivated.
	Acres.	Dec.			Acres.	Dec.			Acres.	Dec.	
1201	26	Waste	1201	02	Fallow	130	04	2 nd	130	08	1 st
2	09	Fallow	2	14	2 nd	3	08	"	3	09	"
3	04	"	3	01	Fallow	4	10	Fallow	4	09	"
4	15	"	4	10	2 nd	5	04	3 rd	5	15	"
5	13	"	5	08	"	6	03	3 rd	6	14	2 nd
6	09	"	6	07	"	7	11	2 nd	7	62	"
7	05	Fallow	7	08	"	8	03	2 nd	8	20	3 rd
8	18	1 st	8	16	"	9	04	2 nd	9	11	"
9	09	"	9	10	"	10	07	2 nd	10	10	"
1210	06	"	1210	06	"	130	02	Fallow	130	08	"
1	10	"	1	04	"	1	06	2 nd	1	02	"
2	03	"	2	06	"	2	06	2 nd	2	04	"
3	13	"	3	10	"	3	10	2 nd	3	08	"
4	08	"	4	06	"	4	12	Fallow	4	15	"
5	11	"	5	07	"	5	17	2 nd	5	32	"
6	12	"	6	06	Fallow	6	08	2 nd	6	07	"
7	29	"	7	11	"	7	25	2 nd	7	07	"
8	17	"	8	08	"	8	08	1 st	8	10	"
9	23	"	9	09	2 nd	9	20	1 st	9	02	2 nd
1220	10	"	1220	14	"	130	13	1 st	130	24	Fallow
1	30	"	1	12	"	1	08	"	1	12	"
2	39	"	2	13	Fallow	2	11	"	2	14	1 st
3	02	"	3	06	2 nd	3	62	"	3	03	2 nd
4	01	2 nd	4	05	Fallow	4	05	Fallow	4	03	2 nd
5	11	"	5	06	2 nd	5	19	3 rd	5	06	1 st
6	20	"	6	13	Fallow	6	04	3 rd	6	10	"
7	09	"	7	25	2 nd	7	01	3 rd	7	07	"
8	18	1 st	8	05	Fallow	8	32	1 st	8	04	"
9	15	"	9	09	2 nd	9	43	1 st	9	05	"
1230	28	"	1230	13	2 nd	130	12	Waste	130	22	Waste
1	22	"	1	02	Fallow	1	20	1 st	1	16	2 nd
2	25	"	2	12	2 nd	2	15	"	2	11	"
3	13	"	3	27	2 nd	3	11	"	3	10	"
4	18	"	4	01	Fallow	4	32	"	4	08	"
5	07	2 nd	5	08	2 nd	5	12	"	5	02	2 nd
6	03	"	6	06	Fallow	6	23	"	6	06	3 rd
7	09	"	7	39	2 nd	7	05	Fallow	7	07	2 nd
8	06	"	8	13	2 nd	8	02	3 rd	8	07	"
9	01	Fallow	9	10	2 nd	9	01	3 rd	9	09	"
1240	05	2 nd	1240	11	2 nd	130	01	3 rd	130	12	"
1	16	"	1	01	Fallow	1	35	1 st	1	11	"
2	13	"	2	09	2 nd	2	10	"	2	11	"
3	42	2 nd	3	01	Fallow	3	30	"	3	04	Fallow
4	12	1 st	4	03	3 rd	4	102	"	4	32	"
5	18	"	5	09	2 nd	5	04	"	5	08	"
6	16	"	6	09	2 nd	6	28	"	6	16	"
7	03	Fallow	7	09	2 nd	7	10	"	7	08	"
8	14	"	8	08	2 nd	8	12	1 st	8	04	"
9	11	"	9	06	2 nd	9	10	1 st	9	05	"
1250	14	"	1250	01	Fallow	130	10	1 st	130	04	"
Total	763			512			747			555	

Computed by _____

Examined by _____

P. 57.

Survey of India.

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FIELD AREA STATEMENT.

No. Mouzah			Pargana			District					
No. on Plan.	Area in		Record if otherwise than Cultivated.	No. on Plan.	Area in		Record if otherwise than Cultivated.	No. on Plan.	Area in		Record if otherwise than Cultivated.
	Acres.	Dec.			Acres.	Dec.			Acres.	Dec.	
2400	22	2 nd	2401	08	2 nd	2402	06	2 nd	2403	06	2 nd
2	02	Fallow	2	06	1 st	2	06	"	2	32	1 st
3	01	"	3	05	"	3	10	"	3	23	"
4	05	Fallow	4	04	"	4	14	"	4	07	"
5	19	3 rd	5	06	"	5	07	"	5	14	"
6	06	3 rd	6	08	"	6	01	"	6	47	"
7	11	3 rd	7	04	"	7	05	"	7	03	"
8	09	3 rd	8	07	"	8	03	"	8	01	"
9	21	2 nd	9	07	"	9	04	"	9	31	"
2400	02	"	2400	08	"	2400	08	"	2400	02	"
1	05	"	1	07	"	1	07	"	1	19	"
2	08	Fallow	2	08	"	2	07	"	2	27	"
3	01	2 nd	3	07	"	3	07	"	3	27	"
4	04	"	4	08	"	4	08	"	4	26	"
5	03	"	5	10	"	5	08	"	5	03	"
6	09	"	6	16	"	6	25	"	6	20	"
7	01	Fallow	7	18	"	7	09	"	7	10	"
8	05	Fallow	8	06	"	8	09	"	8	21	"
9	07	Fallow	9	04	"	9	01	Fallow	9	16	"
2420	10	2 nd	2420	06	"	2420	04	2 nd	2420	29	"
1	04	"	1	07	"	1	05	"	1	16	"
2	12	"	2	08	"	2	28	1 st	2	44	"
3	02	Fallow	3	04	"	3	40	"	3	09	"
4	23	1 st	4	12	"	4	29	"	4	06	"
5	18	"	5	05	"	5	26	2 nd	5	12	"
6	13	"	6	10	"	6	11	"	6	10	"
7	04	"	7	07	"	7	13	"	7	29	"
8	05	"	8	05	"	8	16	1 st	8	04	"
9	07	"	9	05	"	9	24	"	9	18	"
2430	18	1 st	2430	06	"	2430	13	"	2430	14	"
1	49	1 st	1	02	"	1	09	Fallow	1	07	"
2	04	"	2	10	"	2	09	"	2	12	"
3	13	"	3	20	"	3	23	"	3	10	"
4	03	"	4	15	"	4	63	"	4	03	"
5	13	"	5	23	"	5	34	"	5	33	"
6	11	"	6	18	"	6	24	"	6	06	Fallow
7	11	"	7	07	"	7	08	2 nd	7	19	"
8	12	2 nd	8	37	"	8	21	"	8	05	"
9	15	"	9	10	2 nd	9	12	"	9	04	"
2440	12	"	2440	04	"	2440	05	"	2440	02	"
1	10	"	1	15	"	1	02	Fallow	1	03	"
2	10	"	2	06	"	2	06	2 nd	2	11	"
3	12	"	3	01	"	3	29	"	3	09	"
4	11	"	4	12	"	4	08	"	4	05	"
5	08	"	5	05	"	5	14	"	5	04	"
6	06	"	6	11	"	6	14	"	6	20	"
7	06	"	7	13	"	7	18	"	7	21	"
8	13	"	8	10	"	8	24	"	8	06	"
9	10	"	9	14	"	9	20	"	9	06	"
2450	18	"	2450	14	"	2450	02	"	2450	20	"
Total	491		529			721			733		

Computed by _____
Examined by _____

THE LAND REGISTRY
Order / Copy Separator

Order No. : YLC181116001031
Copy : 1 of 1
Order Type : Counter Search - Imaged Document
Doc No. / PRN / Memorial No. : YL871130
Doc Type / Address / Lot : M

Section / Type of Enquiry / Nature of Instrument : Form
Nature : Plain
Colouring : -
No. of Pages : 2

備存土地紀錄以供市民查閱旨在防止秘密及有欺詐成分的物業轉易，以及提供容易追溯和確定土地財產及不動產業權的方法。土地紀錄內載的資料不得用於與土地紀錄的宗旨無關之目的，使用所提供的資料須符合"個人資料（私隱）條例"的規定。

The land records are kept and made available to members of the public to prevent secret and fraudulent conveyances, and to provide means whereby the titles to real and immovable property may be easily traced and ascertained. The information contained in the land records shall not be used for purposes that are not related to the purposes of the land records. The use of information provided is subject to the provisions in the Personal Data (Privacy) Ordinance.

註冊摘要編號

Memorial No.:

YL871130

接獲日期

(日/月/年)

Received On

(DD/MM/YYYY):

16/08/1999



Memorial No. : 871130

Received on : 16 August 1999

MEMORIAL of an instrument to be registered in the Land Registry/ New Territories Land Registry under the Land Registration Ordinance.				Yuen Long		FOR LAND REGISTRY USE ONLY	
Solicitors Code 444		Stamp Office No.		Stamp Duty \$		Serial No.	
Date of instrument		Dated the 5 th day of July, 1999				Reg. Fee \$ 210.00	
Nature and object of the instrument		Notice of Resumption - G.N. 3843 dated 5.7.1999 with the relevant Resumption Plan No. YLM 3054a (Sheets 1 and 2 of 2) (with plans)				Nature of Instrument Code	
Consideration		-				Consideration Code	
Memorial number of transaction satisfied [Regs. 6(1) (f) and 6(2) (f)]							
Names of parties		Hong Kong Identity Card/Company Registration/Other Identification (please specify) Numbers* (in case of change of ownership)		Status of parties (Assignor/ Assignee/etc.)		Their respective shares in, and capacities in relation to, the premises	
The Chief Executive of the Hong Kong Special Administrative Region by Deputy Director/Specialist, Lands Department (Acting) and The owners and every person interested or having any right or easement in the land mentioned in the Schedule attached herewith							
Premises affected by the instrument		Undivided Share (if any):					
		Lot No.:					
		Please see the Schedule attached hereto					
Address: (if applicable)		Block					
		Flat					
		Floor		Premises No.		Street Name	
		(Official address not yet known)					

(HK/RH/NT)*

Certified on this 16 AUG 1999 day of 19 that the foregoing Memorial contains a just and true account
of the several particulars therein set forth as required by the Land Registration Regulations.

2 (P)

(6) in LR/YL/220/23 III

109K

(Miss Alice Leung)
for Land Registrar

Note: If space is insufficient, please show particulars on a separate sheet, make reference and staple the sheet onto this form.
*: Delete whichever is inapplicable

Schedule attached to Notice of Resumption - G.N. 3843 dated 5.7.1999

7617/2871130

Area to be resumed				
D.O.No.	LOT No.		Agricultural Land	
			m ² (about)	ft ² (about)
104	534 ✓	(P)	216.5	2330
	535 ✓	(P)	478.5	5150
	536 ✓	(P)	179.3	1930
	537 ✓	(P)	125.4	1350
	538 ✓		445.2	4792
	540 ✓	(P)	1282.1	13800
	541 ✓		768.9	8276
	542 ✓	(P)	129.1	1390
	543 ✓		1497.3	16117
	544 ✓		647.5	6970
	545 ✓	(P)	899.3	9680
	547 ✓		121.4	1307
	548 ✓		526.1	5663
	549 ✓	(P)	430.1	4630
	550 ✓	(P)	159.8	1720
	551 ✓		323.8	3485
	552 ✓	(P)	1795.8	19330
	553 ✓	(P)	108.7	1170
	555 ✓	(P)	1228.2	13220
	556 ✓	(P)	563.0	6060
	562 ✓		971.2	10454
	563 ✓	(P)	447.8	4820
	564 ✓		445.2	4792
	565 ✓	(P)	683.8	7360
	566 ✓	(P)	2400.6	25840
	739 ✓	(P)	1349.0	14520
	759 ✓	(P)	429.2	4620
	764 R.P. ✓	(P)	1485.5	15990
	842 ✓	(P)	1710.3	18410
	844 ✓		121.4	1307
	845 ✓	(P)	372.5	4010
	846 ✓		849.9	9148
	847 ✓	(P)	225.8	2430
	849 ✓	(P)	19.5	210
	850 ✓	(P)	163.5	1760
	851 ✓	(P)	402.3	4330
	852 ✓		283.3	3049
	853 ✓	(P)	2161.9	23270
	863 ✓	(P)	263.8	2840
	935 ✓	(P)	68.7	740
	936 ✓	(P)	1642.5	17680
	937 ✓		607.0	6534
	938 ✓		80.9	871
	940 ✓	(P)	898.4	9670
	941 ✓	(P)	1032.2	11110
	946 ✓	(P)	6.5	70
	947 ✓		80.9	871
	948 ✓	(P)	209.0	2250
	949 ✓	(P)	76.2	820
	951 ✓		607.0	6534
	952 ✓	(P)	1379.6	14850
	960 ✓	(P)	218.3	2350
	968 ✓	(P)	768.3	8270
	970 ✓		971.2	10454
104	971 ✓		485.6	5227

Area to be resumed				
D.O.No.	LOT No.		Agricultural Land	
			m ² (about)	ft ² (about)
104	972 ✓	(P)	812.0	8740
	973 ✓	(P)	1544.0	16620
	1203 ✓		161.8	1742
	1205 ✓	(P)	96.6	1040
	1206 ✓		364.2	3920
	1209 ✓	(P)	186.7	2010
	1210 ✓		202.3	2178
	1211 Sec. A ✓		242.8	2614
	1211 Sec. B ✓		161.8	1742
	1212 ✓		121.4	1307
	1213 ✓	(P)	444.3	4789
	1214 ✓		323.8	3485
	1215 ✓	(P)	129.3	1392
	1216 ✓	(P)	265.4	2857
	1217 Sec. A ✓	(P)	694.0	7470
	1217 Sec. B ✓	(P)	268.5	2890
	1217 Sec. C ✓	(P)	114.3	1230
	1320 ✓	(P)	51.1	550
	1321 ✓	(P)	41.8	450
	1329 ✓	(P)	375.3	4040
	1331 ✓		1214.1	13068
	1332 ✓	(P)	440.4	4740
	1333 ✓		445.2	4792
	1334 ✓		890.3	9583
	1335 ✓	(P)	198.6	2137
	1336 ✓	(P)	884.4	9520
	1341 ✓	(P)	1259.8	13560
	1342 ✓		404.7	4356
	1344 ✓	(P)	864.0	9300
	1345 ✓		161.8	1742
	1346 ✓		1133.1	12197
	1347 ✓	(P)	305.7	3290
	1348 ✓	(P)	262.9	2830
	1350 ✓	(P)	275.0	2960
	1352 ✓	(P)	203.5	2190
	1353 ✓	(P)	220.2	2370
	1354 ✓		607.0	6534
	1355 ✓	(P)	387.4	4170
	1356 ✓		2509.0	27007
	1357 ✓		809.4	8712
	1358 Sec. A ✓	(P)	11.1	120
	1358 R.P. ✓	(P)	138.4	1490
	1364 ✓	(P)	49.2	530
	2571 R.P. ✓	(P)	40.9	440
	2572 ✓	(P)	987.6	10630
	2585 ✓		1335.5	14375
	2587 ✓		768.9	8276
	2588 R.P. ✓		185.6	1998
	2589 ✓		161.8	1742
	2590 R.P. ✓		73.5	791
	2591 R.P. ✓		101.0	1087
	2592 R.P. ✓		170.2	1832
	4140 R.P. ✓	(P)	379.0	4080
104	4469 ✓	(P)	1270.0	13670
TOTAL AREA			81595.3	863010

THE LAND REGISTRY
Order / Copy Separator

Order No. : YLC181116001041
Copy : 1 of 1
Order Type : Counter Search - Imaged Document
Doc No. / PRN / Memorial No. : YL90497
Doc Type / Address / Lot : M

Section / Type of Enquiry / Nature of Instrument : Form
Nature : Plain
Colouring : -
No. of Pages : 3

備存土地紀錄以供市民查閱旨在防止秘密及有欺詐成分的物業轉易，以及提供容易追溯和確定土地財產及不動產業權的方法。土地紀錄內載的資料不得用於與土地紀錄的宗旨無關之目的，使用所提供的資料須符合"個人資料（私隱）條例"的規定。

The land records are kept and made available to members of the public to prevent secret and fraudulent conveyances, and to provide means whereby the titles to real and immovable property may be easily traced and ascertained. The information contained in the land records shall not be used for purposes that are not related to the purposes of the land records. The use of information provided is subject to the provisions in the Personal Data (Privacy) Ordinance.

2



1934

(D. O. N. No. 27 a.)

Fee \$10⁰⁰

No. 90497

A Memorial required to be registered in the District Office, Tai Po according to the provisions of Ordinance No. 1 of 1844 and Ordinance No. 34 of 1910.

Nature and object of Instrument.	Division of property
Date of Instrument.	2nd November 1934.
Names and additions of Parties.	The property registered in the name of Wang Kwai-shan, who is now deceased, and his wife, Mrs. Wang Kwai-shan, who is now deceased, to their son, Wang Kwai-shan, who is now deceased, and his wife, Mrs. Wang Kwai-shan, who is now deceased, according to the attached list.
Description of Land or Premises affected and where situate.	please see attached list
Consideration to whom and how paid.	✓
Particulars of incumbrances to which the premises are subject, and other special Covenants or particulars mentioned in the Instrument.	✓
Name and additions of Witness.	李金成
Signature of Parties signing Memorial.	尹大南 尹木耀 尹大達 尹添寿

Received at the District Office at Tai Po and certified as a correct Memorial and Registered as Memorial No. 90497 on 9th day the 11th day of November 1934, at 11.50 o'clock in the afternoon according to section 91 of Ordinance No. 34 of 1910.

District Office N. 1000

N. 26 b)

Q.
4w

Division of Property

Name	Village	D. D.	Lot No.	Area	Class	C. Rent
建						8
TAT ³⁵ / ₃₀	CHUK UM Wai Tsai	104	1206			
"	"	"	2573			
"	"	"	2578			
"	"	"	2768			
"	"	"	2696			
"	"	"	2687			
"	"	"	2727			
"	"	"	2667			
"	"	"	2774			
"	"	"	3037			
"	"	"	3048			
"	"	"	3061			
"	"	"	1217B	19	1st	57
"	"	"	2691B	03	3rd	3
"	"	"	2807B	15	3rd	15
"	"	"	2777B	04	3rd	4
"	"	"	3010C	17	1st	51
建 C. 21-22 S. 21-22 S. 21-22	CHUK UM Wai Tsai	104	1209			
"	"	"	2583			
"	"	"	2704			
"	"	"	2712			
"	"	"	2906C			
"	"	"	3017			
"	"	"	1211B	04	1st	12
"	"	"	1217C	19	1st	57
"	"	"	2801B	06	3rd	6
"	"	"	2807B	14	3rd	14
"	"	"	2772B	06	3rd	6
"	"	"	3010B	18	1st	54

N. 26 b)

Division of Property

Name	Village	D. D.	Lot No.	Area		Class	C. Rent	
								9
木 耀 Muk Yiu ³⁵⁰	CHUK UN HAI TSUI	104	2582					
"	"	"	2668					
"	"	"	3022					
"	"	"	3028					
"	"	"	3043					
"	"	"	1211'A	.06	1st		18	
"	"	"	1217'B	.19	1st		57	
"	"	"	2799'A	.23	3rd		23	
"	"	"	2801'A	.10	3rd		10	
"	"	"	2807'C	.17	3rd		17	
"	"	"	2691'A	.04	3rd		4	
"	"	"	2777'B	.05	3rd		5	
"	"	"	3010'A	.18	1st		54	
火 南 FOR NAM ³⁵⁰	CHUK UN HAI TSUI	104	2590					
"	"	"	2763					
"	"	"	2672					
"	"	"	2916					
"	"	"	3032					
"	"	"	1317'A	.35	1st		105	
"	"	"	2799'A	.05	3rd		5	
"	"	"	2807'B	.06	3rd		6	
"	"	"	3010'B	.18	1st		54	
"	"	"	2777'C	.06	3rd		6	
大 建 FOR TAT FOR NAM (Tim Sau)	CHUK UN HAI TSUI	104	2807'E	.31	3rd		31	

AN LI SHI

Notice No. 2265.

SHS Stamp
6.10.54



Woo Sai Cheong

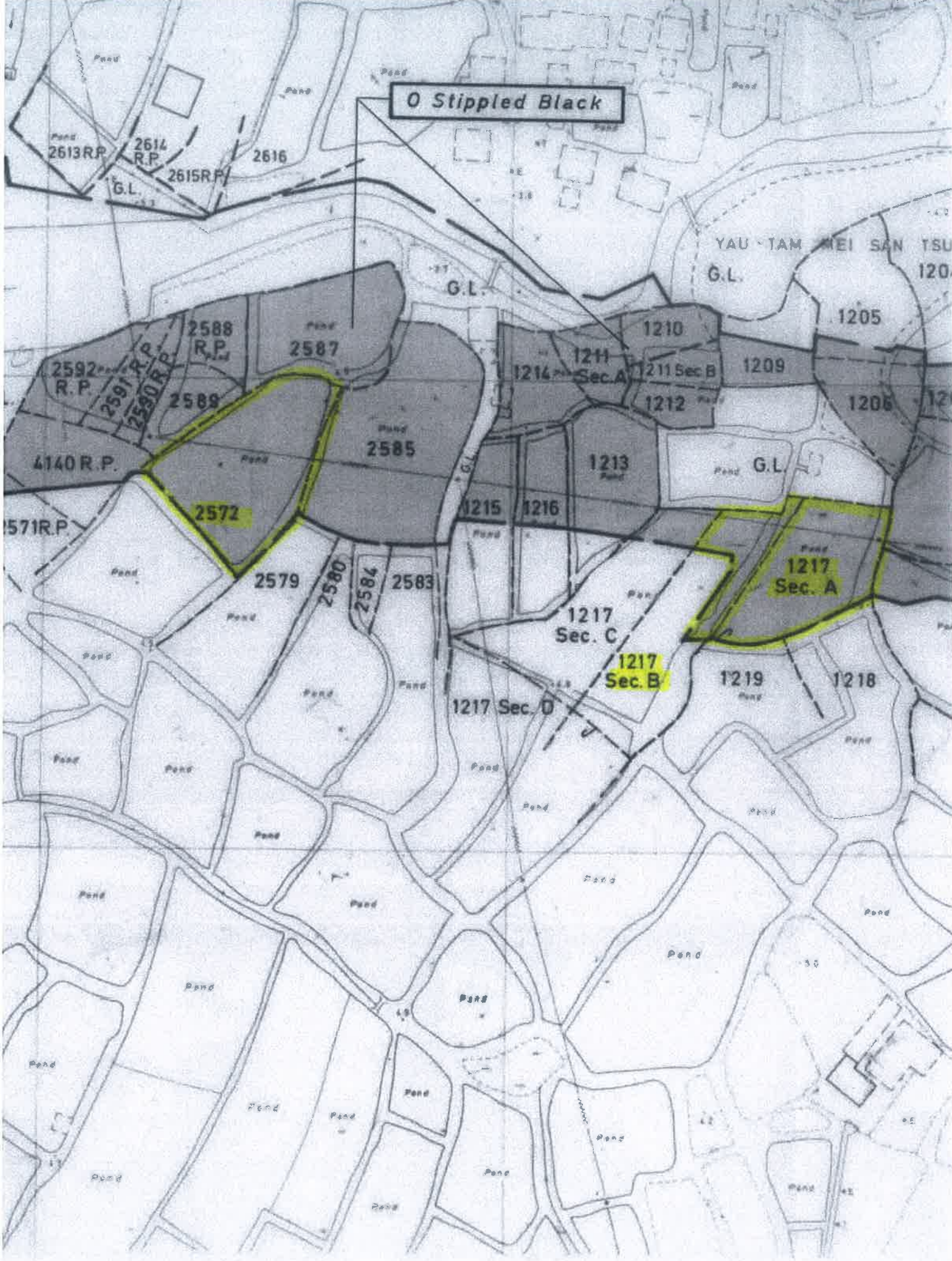
(WOO Sai-cheong)

District Lands Officer, Yuan Long

Date 29 April, 1999

PLAN No. YLM 3054a (SHEET 1 OF 2)

Date: 29.4.1999



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Area to be resumed

Area to be resumed

Area to be resumed

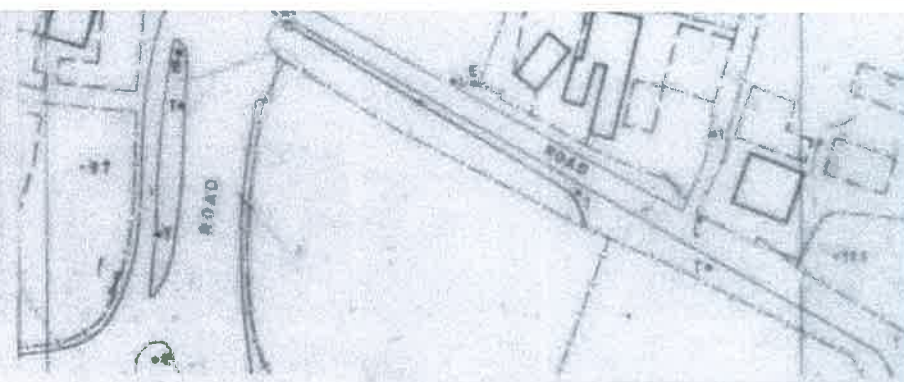
LOT No.		Agricultural Land	
		m ² (about)	ft ² (about)
534	(P)	216.5	2330
535	(P)	478.5	5150
536	(P)	179.3	1930
537	(P)	125.4	1350
538		445.2	4792
540	(P)	1282.1	13800
541		768.9	8276
542	(P)	129.1	1380
543		1487.3	16117
544		847.5	6970
545	(P)	889.3	9600
547		121.4	1307
548		526.1	5663
549	(P)	430.1	4630
550	(P)	159.8	1720
551		323.8	3485
552	(P)	1795.8	19330
553	(P)	108.7	1170
555	(P)	1228.2	13220
556	(P)	553.8	5960
562		971.2	10454
563	(P)	447.8	4820
564		445.2	4792
565	(P)	683.8	7360
566	(P)	2400.6	25848
568	(P)	1349.0	14520
569	(P)	429.2	4620
564 R.P.	(P)	1485.5	15990
542	(P)	1710.3	18410
544		121.4	1307
545	(P)	372.5	4010
546		849.9	9148
547	(P)	225.8	2430
549	(P)	19.5	210
550	(P)	163.5	1760
551	(P)	482.3	4330
552		283.3	3049
553	(P)	2161.9	23270
553	(P)	253.8	2840
555	(P)	88.7	740
556	(P)	1642.5	17680
557		687.0	6834
558		80.9	871
560	(P)	888.4	9670
561	(P)	1032.2	11110
565	(P)	6.5	70
567		80.9	871
568	(P)	288.0	2250
569	(P)	78.2	820
571		687.0	6834
572	(P)	1378.8	14850
580	(P)	218.3	2350
588	(P)	788.3	8270
570		971.2	10454

Area to be resumed

D.O.No	LOT No.		Agricultural Land	
			m ² (about)	ft ² (about)
104	972	(P)	812.0	8740
	973	(P)	1544.0	16620
	1203		161.8	1742
	1205	(P)	96.6	1040
	1206		364.2	3920
	1209	(P)	186.7	2010
	1210		202.3	2178
	1211 Sec. A		242.8	2614
	1211 Sec. B		161.8	1742
	1212		121.4	1307
	1213	(P)	444.3	4783
	1214		323.8	3485
	1215	(P)	129.3	1381
	1216	(P)	285.4	2857
	1217 Sec. A	(P)	694.0	7470
	1217 Sec. B	(P)	268.5	2890
	1217 Sec. C	(P)	114.3	1230
	1320	(P)	51.1	550
	1321	(P)	41.8	450
	1329	(P)	375.3	4040
	1331		1214.1	13068
	1332	(P)	440.4	4740
	1333		445.2	4792
	1334		880.3	9583
	1335	(P)	198.5	2137
	1336	(P)	884.4	9520
	1341	(P)	1258.8	13560
	1342		404.7	4386
	1344	(P)	864.0	9300
	1345		161.8	1742
	1346		1133.1	12197
	1347	(P)	385.7	3290
	1348	(P)	262.9	2839
	1350	(P)	275.0	2960
	1352	(P)	203.5	2190
	1353	(P)	220.2	2370
	1354		607.0	6534
	1355	(P)	387.4	4170
	1356		2509.0	27007
	1357		809.4	8712
	1358 Sec. A	(P)	11.1	120
	1358 R.P.	(P)	138.4	1480
	1364	(P)	49.2	530
	2571 R.P.	(P)	48.9	440
	2572	(P)	987.6	10630
	2585		1335.5	14375
	2587		768.9	8276
	2588 R.P.		185.6	1998
	2589		161.8	1742
	2590 R.P.		73.5	791
	2591 R.P.		101.0	1087
	2592 R.P.		170.2	1832
	4140 R.P.	(P)	379.8	4080
104	4488	(P)	1270.8	13670

(P)	209.0	2250
(P)	76.2	820
	607.0	6534
(P)	1379.6	14850
(P)	218.3	2350
(P)	768.3	8270
	971.2	10454
	485.6	5227

	2588 R.P.		185.6	1908
	2589		161.8	1742
	2590 R.P.		73.8	791
	2591 R.P.		101.8	1087
	2592 R.P.		178.2	1832
	4140 R.P.	(P)	379.0	4080
104	4469	(P)	1270.0	13670
TOTAL AREA			61595.3	663010



SCALE 1 : 1 000

METRES 20 0 20 40 60 80 100 120 140 160 180 200 METRES

RESUMPTION PLAN
RESUMPTION OF LAND FOR
NORTH WEST NEW TERRITORIES DEVELOPMENT -
MAIN DRAINAGE CHANNELS FOR NGAU TAM MEI PHASE 2
YUEN LONG, NEW TERRITORIES

Storage

CIP OCT 91

Survey Sheet No. 2-SE-17C

Engineering Drg. No. 0070/29CD/LO/01, 0070/29CD/LO/02 (T.D.D.)

File Ref. DLOYL 319/YRN/60C



District Lands Office, Yuen Long
Lands Department

Plan Prepared by District Survey Office, Yuen Long



SCALE 1 : 20 000

LEGEND



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AGRICULTURAL LAND TO BE RESUMED

(P) PORTION

Sec. SECTION

R.P. REMAINING PORTION

G.L. GOVERNMENT LAND

D.D. DEMARCATION DISTRICT

— — RESUMPTION / CLEARANCE LIMIT

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Date : 24th March, 2025
Our Ref. : ADCL/PLG-10298/L007

The Secretary
Town Planning Board
15/F., North Point Government Offices
333 Java Road, North Point, Hong Kong

By Email

Dear Sir/Madam,

Section 16 Planning Application for Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Excavation of Land at Lots 2572 RP, 2573 and 2578 in D.D. 104 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories (Planning Application No. A/YL-NTM/476)

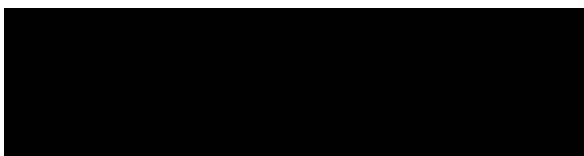
We would like to supplement on the planning merits and justifications of the proposed development under the current application.

Extensive Landscaping and Green Features

- The Applicant intends to undertake extensive landscaping throughout the Application Site, regardless of whether it is required by relevant Government Departments. The proposed development will feature a total greenery area of approximately 968m² to serve the private residential development exclusively. The proposed development achieves a greenery ratio of 48%, significantly exceeding the 20% greenery requirement set out in PNAP APP-152 – Sustainable Building Design Guidelines.
- To further integrate the development with its surroundings, landscaping areas will be provided within the Application Site, complemented by a soft-planted edge at the periphery to enhance visual amenity. The periphery soft planted edge comprises tall roadside trees in association with a minimum 1.8m-tall solid fence wall for screening effect (please refer to the site plan). Compared to the existing conditions, where the surrounding areas are observed with overgrown and unmanaged conditions, the proposed development should significantly enhance the overall landscape and provide visual amenity. The proposed development aims not only to provide a visual retreat but also to enhance the overall microclimate of the area.

Natural and Sensitive Design

- The Applicant is committed to creating extensive landscape and water features at the application site, allowing future residents to enjoy a lush and natural environment at home. By approving the current application, the Application Site—currently used for pot plants—can be transformed into a permanent, verdant landscape. The proposed development also maximises natural lighting and incorporates natural design elements, including a reflective pool is proposed at the southern part of the application site. It is designed to create a scenic reflection of the proposed development and the extensive vegetation at the landscaping area, seamlessly integrating with the existing pond features to the south. The well-designed low-rise residential development is considered fully align with the planning intention of R(D) zone and would upgrade the overall environment.



- The design of the proposed development carefully considers the surrounding area. The Emergency Vehicular Access is located in the western section of the Application Site, with supporting facilities positioned to the east and peripheral planting surrounding the proposed flat development. This proposed configuration creates a buffer that minimizes any visual impact and helps the proposed development integrate the surrounding landscape. Furthermore, the 1.5m voluntary setback from the site boundary, designated as a public passageway, could serve as an additional buffer between the existing pond features located to the east and south of the application site as well as the San Tin Highway. With extensive greenery that will be well-maintained by the Applicant, the proposed development is considered compatible and harmonious with the surrounding landscape.

Serves as a Buffer and Creating a More Harmonious Environment

- The Application Site is currently positioned to serve as a transition and buffer between the San Tin Highway and the adjacent pond located to the immediate east. The proposed development aims to create a seamless transition, acting as a visual barrier that not only enhances the aesthetic appeal of the area while minimizing traffic noise and other disturbances from San Tin Highway. The proposed development promotes a more harmonious environment for both the residents and natural habitats. application for developing low-rise residential development is considered fully in line with the planning intention of R(D) zone.

Fostering a Liveable Community

- While the Application Site is subject to an approved planning application (A/YL-NTM/377) for proposed house development, it is the intention of the Applicant to further optimize land resources and respond to the public call for housing provision by providing more flats in a well-designed and pro-family environment.
- In light of the emphasis on high-standard housing provision, the average flat size of the proposed development is about 77m², in compliance with the latest minimum unit size requirement of at least 26m² promulgated by the Government as from 2022 and respond to the growing public demand for larger living spaces. The proposed development aims to provide spacious living areas and enhance the quality of life for young families in the area. A clubhouse is proposed to offer amenities and promote healthy lifestyles for residents, while the extensive landscaping will create open spaces that encourage a green and low-carbon lifestyle.
- The proposed occupation date is tentatively set for 2028, aligning with the “Hong Kong 2030+: Towards a Planning Vision and Strategy Transcending 2030” initiative, which promotes a “pro-family” environment and advocates active, healthy, and low-carbon lifestyles through suitable urban design.

Provision of Public Passageway and Seating Area

- The Applicant has thoughtfully considered the needs of the adjoining neighbourhood by voluntarily providing a public passageway within the private lots and ensuring no access rights associated with the Application Site are jeopardized. To the south of the Application Site, there are currently some agricultural and rural activities, as well as rural paths that allow occupants to access and maintain the farmland and ponds. Nevertheless, there is no direct and proper access from these inner areas to Chun Shin Road.

- To enhance local connectivity and accessibility, the proposed development voluntarily includes a generous setback to accommodate a public passageway of no less than 1.5m that will be freely accessible by the public at all times without fencing (**Figure 6-II** refers). The setback area is about 290m², which constitutes of about 15% of the Application Site area. The setback area will be paved and designated as the new public pedestrian access to Chun Shin Road and provide a safe and convenient access as well as a pleasant walking environment for the surroundings occupants. The proposed public passageway in the current application would also help unlock the development potential and stimulate permanent development or redevelopment in the inner areas, as intended.
- The voluntary setback area for public passageway will be designed, constructed, maintained, and managed by the Applicant at his own expense to ensure a clean and pleasant walking environment. Additionally, the public passageway will enjoy natural shade from extensive planting associated with the proposed development and outdoor lighting will be installed to ensure safety during nighttime. The proposed public passageway is anticipated to be a green walking corridor that creates a visually appealing and comfortable walking environment and contributes to the rural amenity.
- To further enhance pedestrian walking experience along the lengthy Chun Shin Road, a seating area of about 4m² (with a dimension of about 5m x 0.8m), is proposed as an inviting interim resting spot at the Application Site. This seating area will be free of charge and accessible to the public at all times without any fencing, ensuring it remains a welcoming space for all. The seating area would be constructed and well maintained by the Applicant at his own cost.
- The setback area for public passageway and seating area would be open 24/7 daily and fully accessible by the public.

Optimization of Land Resources

- The current application seeks to utilize the residual Government Land along Chin Shin Road to unlock the development potential of the area. The current application has incorporated a setback of about 15% of the Application Site to provide public benefits (about 290m²). By including Government Land in the proposed development, the Applicant can provide the above-mentioned planning merits to the general public while managing the area at their own expense. The Applicant is committed to maintaining the area and will apply to the Lands Department for a land exchange.
- It is noted that the Government Land involved in the current application is subject to an ongoing planning application (A/YL-NTM/475) for temporary use. The Applicant is committed to liaising with the relevant applicant and departments regarding this matter. By allowing the proposed development with the inclusion of residual Government Land, the overall environment would be upgraded, aligning with the planning intentions of the R(D) zone.

No Substantial Increase in Building Bulk and Minimal Visual Impact

- In consideration of enhancing accessibility and pedestrian walking experience through the provision of an extensive public passageway and seating area, which about 15% of the Application Site area is designated for public use, a minor relaxation of the plot ratio (PR) and building height (BH) restrictions is deemed necessary for the proposed development to create spacious living areas and enhance aesthetic greenery. Nevertheless, the proposed development will remain a natural and prestigious low-

rise, low-density residential project, featuring high-quality design that is fully compatible in form and scale with the surrounding developments (**Figure 6-I** and **6-II** refer).

- Although the current application proposes a slight increase in building height, bringing the total height to 10.65m, it should be noted that the actual building height has included a basement carpark of 3.65m. The building height, measured from ground level is only 7 m. As presented in the photomontages (**Figure 6-I** and **6-II** refer), the proposed development is not visually intrusive from pedestrian eye level.
- In addition, the proposed building height is considered not visually intrusive and deemed insignificant when compared to the adjacent approved transitional housing development, which has a building height of 13.35m, measuring from ground level. The overall bulk and visual impact of the building are viewed as minimal and insignificant.
- In terms of building design, the proposed development would incorporate prescribed windows to mitigate potential noise impact and sound-absorbing materials will be utilized to further enhance sound insulation. The Applicant is committed to adopt the aforementioned measure and the proposed mitigation measures would be incorporated in the Building Plan during the Building Plan submission stage.

No Adverse Traffic Impact

- Noting that Chun Shin Road serves as construction access for the Northern Link main link, the Applicant will provide an implementation programme of the proposed development once available and will keep liaison with Highways Department and MTRCL in the future after approval of the current application. Given that the application will be subject to a further time-consuming land administration process (i.e., land exchange) and uncertainty regarding the actual timing, the Applicant is committed to providing an implementation program to facilitate considerations by relevant departments and parties.

No Obstruction to the Fire Hydrant and Control Valve

- Although the fire hydrant and its control valve are included within the Application Site Boundary, they are positioned within the public seating area along Chun Shin Road without any fencing. There is no intention to relocate or obstruct the existing fire hydrant and the existing fire services facilities would be remained and not be affected. Clear access will be maintained, ensuring that maintenance and usage can occur at all times.

No Adverse Traffic Noise Impact

- The proposed development has been carefully designed to mitigate any potential traffic noise from the west. While the Application Site is bounded by a 1.5m footpath as voluntary setback, an additional 6m ramp is designated at the western portion of the Application site, serving as an additional buffer. The flats are arranged at the inner portion of the Application Site, making them less sensitive to noise.
- Furthermore, a solid fenced wall will be installed along the site boundary (excluding the northern portion along Chun Shin Road), with landscape feature such as planters or vertical green will be implemented to provide additional buffer and screening effect. Peripheral trees will be planted along the site boundary (excluding the northern portion along Chun Shin Road) to act as an effective natural barrier.

It is clarified that the Application Site has an existing site level ranging from about +4.3mPD to +4.5mPD. Therefore, land filling work is proposed to be carried out at the application site of about 1.6m in order to serve the proposed development in a “technically feasible” manner. In general, the Application Site would be filled from +4.3mPD to +5.9mPD. The proposed increase in site level seeks to align with the adjoining developments and is deemed necessary to avoid any potential flooding issues.

It is clarified that no filling of the pond is involved under the current application. According to historic photographic records on public domain, there was a pond located at the southern portion of the Application Site and has been dried up and overgrown with weeds since 2010s. Currently, no pond is present within the Application Site. The Current Application seeks minor relaxation of plot ratio and building height restriction for proposed flat and excavation of land only (**Figure 5** refers), and the proposed use is confirmed to be “Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Excavation of Land.”

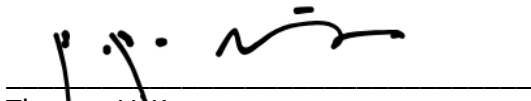
The proposed development involves excavation of land for a basement carpark (3.65m). The proposed excavation area is about 580m² and the depth of excavation is ranging from 2.1 to 3.3m for the site formation of the basement carpark (2.1m) and lift shaft (3.3m). The general depth of excavation for the proposed development sets at 2.1m.

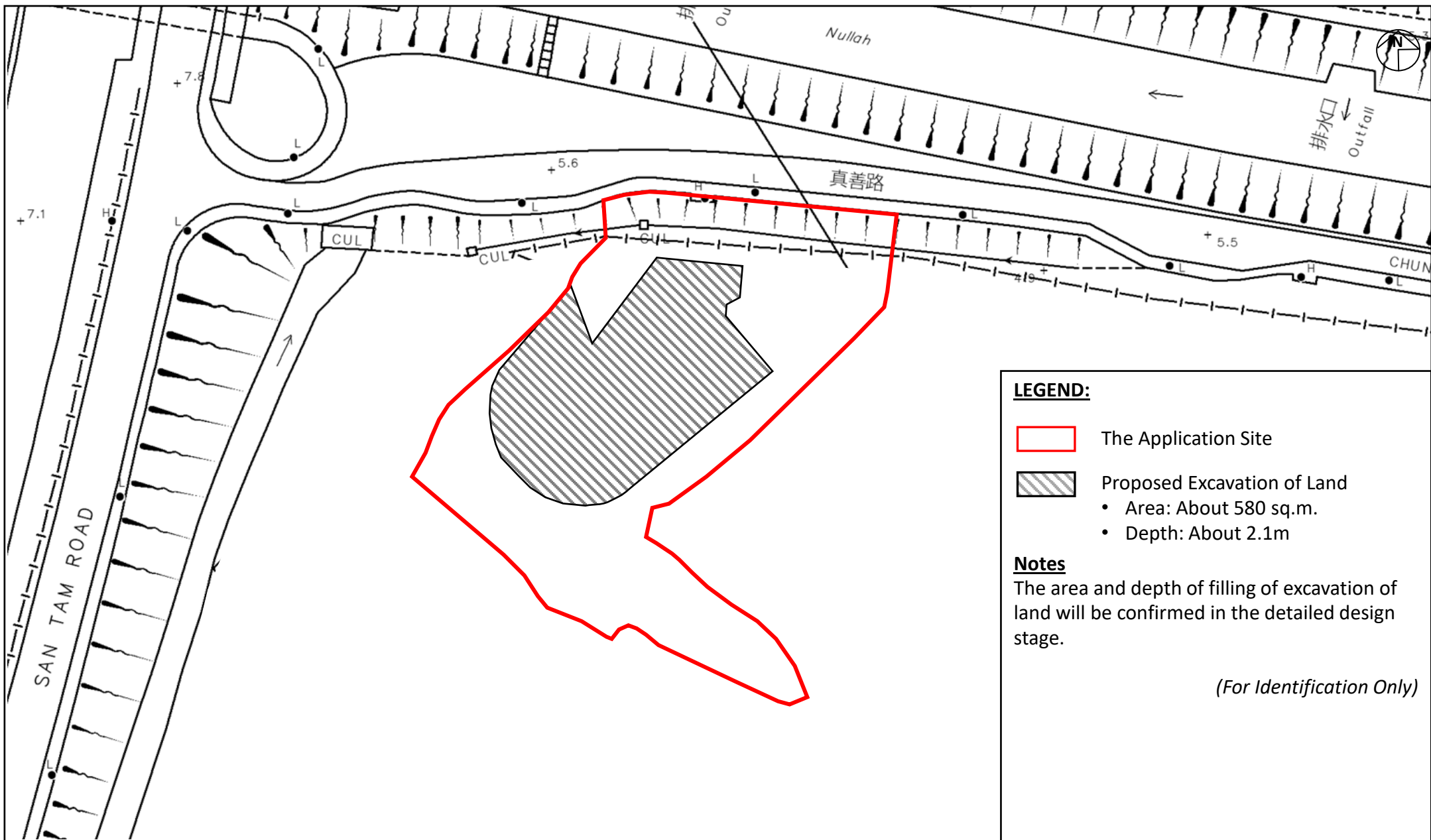
The floor-to-floor height of the roof is about 3m which would be exempted from calculations in accordance with the Joint Practice Note No. 5 “Development Control Parameters Building Height Restriction”.

It is also clarified that the transformer room and switch room are not accountable for GFA calculations.

Thank you for your kind attention and should you have any queries, please do not hesitate to contact our

Yours faithfully,
For and on behalf of
Aikon Development Consultancy Limited


Thomas LUK



Project:

Section 16 Planning Application for Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Excavation of Land at Lots 2572 RP, 2573 and 2578 in D.D. 104 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories

Title:

Proposed Excavation of Land

Figure:

5

Scale:

Not to Scale

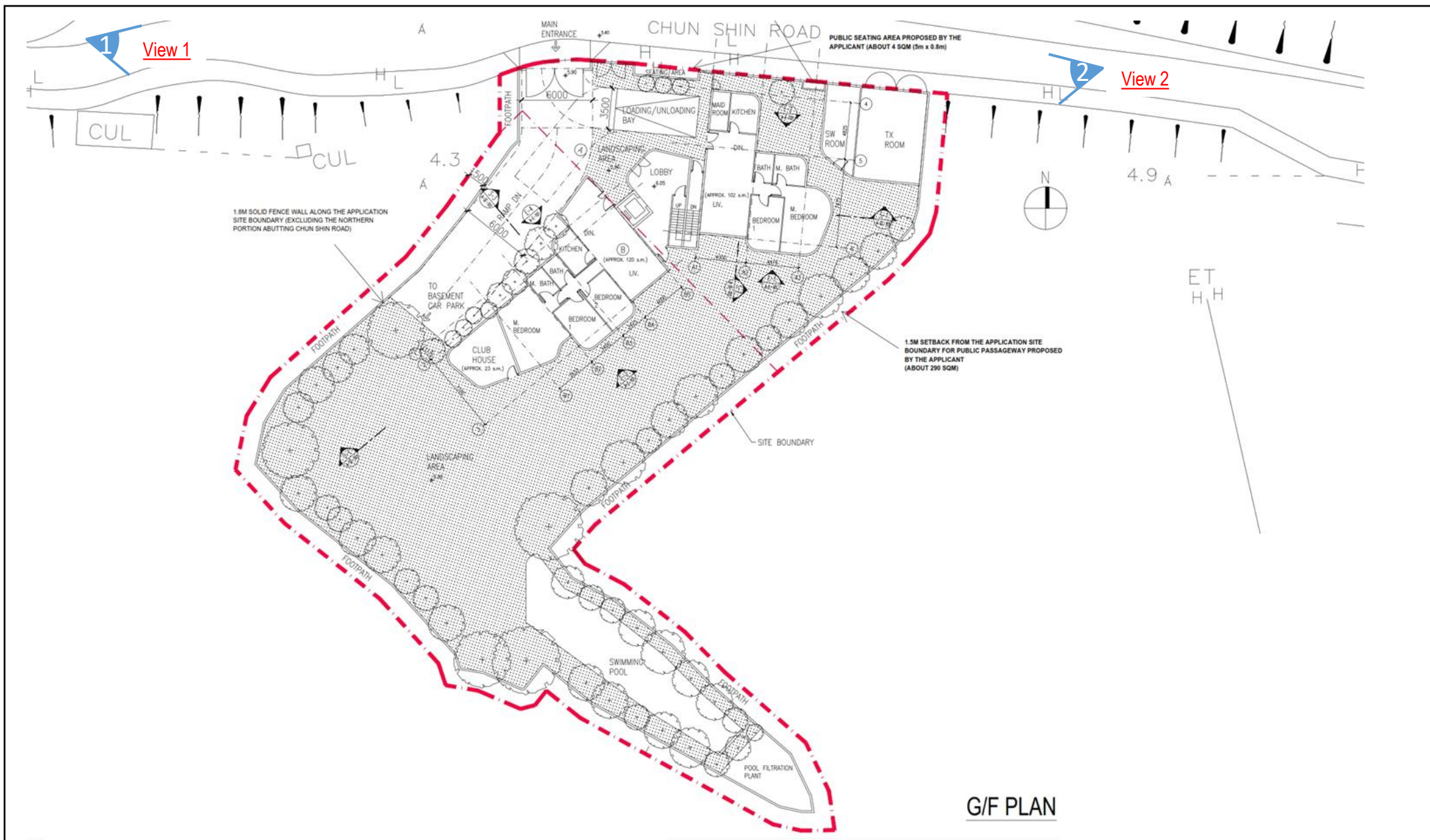
Date:

Mar 2025

Ref.: ADCL/PLG-10298/R001/F005



AIKON DEVELOPMENT CONSULTANCY LTD.



Project:

Section 16 Planning Application for Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Excavation of Land at Lots 2572 RP, 2573 and 2578 in D.D. 104 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories

Title:

Photomontages of the Proposed Development (Key Plan)

Figure:

6

Scale:

Not to Scale

Date:

Mar 2025



AIKON DEVELOPMENT CONSULTANCY LTD.

Ref.: ADCL/PLG-10298/R001/F006



Project:
Section 16 Planning Application for Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Excavation of Land at Lots 2572 RP, 2573 and 2578 in D.D. 104 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories

Title:
Photomontages of the Proposed Development (View 1)

Ref.: ADCL/PLG-10298/R001/F006-I

Figure:
6-I
Scale:
Not to Scale
Date:
Mar 2025





Project:
Section 16 Planning Application for Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Excavation of Land at Lots 2572 RP, 2573 and 2578 in D.D. 104 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories

Title:
Photomontages of the Proposed Development (View 2)

Ref.: ADCL/PLG-10298/R001/F006-II

Figure:
6-II
Scale:
Not to Scale
Date:
Mar 2025





Seating Area



Public Passageway with Paving

Remarks. The photomontage presents the artist impression for the proposed public passageway with public seating and amenity. The referenced photos indicate the design elements and concept.

Project:

Section 16 Planning Application for Proposed Minor Relaxation of Plot Ratio and Building Height Restriction for Proposed Flat and Excavation of Land at Lots 2572 RP, 2573 and 2578 in D.D. 104 and Adjoining Government Land, Ngau Tam Mei, Yuen Long, New Territories

Title:

Proposed Public Passageway and Seating Area

Figure:

8

Scale:

Not to Scale

Date:

Mar 2025

Ref.: ADCL/PLG-10298/R001/F008



AIKON DEVELOPMENT CONSULTANCY LTD.

Previous s.16 Applications covering the Application Site

Approved Applications

No.	Application No.	Proposed Use(s)	Date of Consideration
1.	A/YL-NTM/377	Proposed House	12.4.2019 Approved by RNTPC
2.	A/YL-NTM/377-1	Proposed House (Extension of Time for Commencement)	28.3.2023 Approved by Director of Planning

Similar s.16 Application in the vicinity of the Site in the Past Five Years

Approved Application

No.	Application No.	Proposed Use(s)/Development(s)	Date of Consideration (RNTPC/TPB)
1.	A/YL-NTM/477	Proposed Houses and Minor Relaxation of Plot Ratio and Building Height Restrictions	28.3.2025 Approved by RNTPC

Recommended Advisory Clauses

- (a) to note that the application site (the Site) falls within the study area of the “Land Use Review Study for the Ngau Tam Mei Area” (the Study). Subject to the findings of the Study, the Site may be required for implementation of government project(s) in the future;
- (b) the applicants are reminded to resolve any land issues relating to the proposed development with the Lands Department (LandsD), the concerned owner(s) of the Site and the applicant(s) of any approved application(s) at the Site;
- (c) to note the comments of the District Lands Officer/Yuen Long (DLO/YL), LandsD that:
 - the applicants have to apply to the LandsD for a land exchange to effect the proposed development at the Site. Upon receipt of the land exchange application, LandsD will consider the application in its private capacity as landlord and there is no guarantee that the land exchange, including but not limited to the grant of any additional Government land (GL) and right of way to the proposed lot (if any), for the proposed development will be approved. The land exchange, if approved, will be subject to such term and conditions, including, among other things, payment of premium, administrative fee and other applicable fees, to be imposed by LandsD at its sole discretion;
 - the applicants are advised that site boundary of the lots involved is subject to verification at the land exchange application stage, if applied;
- (d) to note the comments of the Commissioner for Transport that:
 - the Site is connected to Chun Shin Road via a section of local access which is not managed by Transport Department (TD). The land status of the local access should be clarified with LandsD by the applicants. Moreover, the management and maintenance responsibilities of the local access should be clarified with the relevant lands and maintenance authorities accordingly;
 - the applicants should note that Chun Shin Road is a prohibited zones 24 hours daily for all motor vehicles exceeding seven metres in length. For any vehicles under this proposed development exceed seven metres in length, the applicants should make the relevant permit application; and
 - the applicants are advised that no vehicle is allowed to queue back to or reserve onto/from the Site at any time;
- (e) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (HyD) that:
 - the proposed access arrangement of the Site should be commented and approved by Transport Department (TD);
 - please note that HyD shall not be responsible for the maintenance of any access connecting between the application site and Chun Shin Road;
 - if the proposed vehicular access is approved by TD, the applicants should ensure a run-in/out at Chun Shin Road is constructed in accordance with the latest version of HyD Standard Drawings no. H1113 and H1114, or H5133, H5134 and H5135,

whichever set if appropriate to match with the existing adjacent pavement; and

- adequate drainage measures shall be provided to prevent surface water running from the Site to the nearby public roads and drains;
- (f) to note the comments from the Chief Engineer/Railway Development 2-2, Railway Development Office, HyD:
- the applicants are reminded to provide an implementation programme to his Office and the MTR Corporation Limited (MTRCL) for review. The applicants should also keep his Office and MTRCL informed and they reserve their right to comment;
- (g) to note the comments of the Director of Environmental Protection that:
- in view of the small population and nature of the proposed development, septic tank and soakaway system is an acceptable means for collection, treatment and disposal of the sewage provided that its design and construction follow the requirements of the Environmental Protection Department's Practice Note for Professional Person (ProPECC) PN 1/23 "Drainage Plans subject to Comment by the EPD)" and are duly certified by an Authorised Person (AP);
- (h) to note the comments of the Chief Town Planner/Urban Design & Landscape, Planning Department that:
- the applicants are advised that approval of the application does not imply approval of tree works such as pruning, transplanting and felling. Application for any tree works should be submitted direct to relevant authority(ies) for approval;
- (i) to note the comments of the Director of Agriculture, Fisheries and Conservation that:
- the applicants are advised to adopt appropriate measures to avoid causing pollution or disturbance the adjacent ponds should the application be approved.
- (j) to note the comments of the Director of Electrical and Mechanical Services that:
- in the interests of public safety and ensuring the continuity of electricity supply, the applicants and the parties concerned with planning, designing, organising and supervising any activity near the underground cable or overhead line should approach the electricity supplier (i.e. CLP Power) for the requisition of cable plans (and overhead line alignment drawings, where applicable) to find out whether there is any underground cable and/or overhead line within and/or in the vicinity of the Site. The applicants and the concerned parties should also be reminded to observe the Electricity Supply Lines (Protection) Regulation and the "Code of Practice on Working near Electricity Supply Lines" established under the Regulation when carrying out works in the vicinity of the electricity supply lines; and
 - the number of personnel in the proposed development shall be minimised as far as reasonably practicable; and
- (k) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department that:
- it is noted that a structure is proposed in the application. Before any new building works (including containers/ open sheds as temporary buildings, demolition and land

filling, etc.) are to be carried out on the Site, prior approval and consent of the Building Authority (BA) should be obtained, otherwise they are unauthorised building works (UBWs) under the Buildings Ordinance (BO). An Authorised Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO;

- emergency vehicular access shall be provided for all the buildings to be erected on the Site in accordance with Regulation 41D of the Building (Planning) Regulations (B(P)R);
- the Site abuts on a specified street (Chun Shin Road) of not less than 4.5m wide, subject to the proof of ownership or realistic prospect of control of land of the GL involved in the application to be provided. Its development intensity shall be determined under the First Schedule of the B(P)R at building plan submission stage;
- the applicants should be reminded that the proposed development should follow and comply with the pre-requisite for gross floor area concession in Practice Notes for Authorised Persons, Registered Structural Engineers and Registered Geotechnical Engineers (PNAP) APP-151 and the sustainable building design guideline stipulated in PNAP APP-152 during the preparation of detailed building design; and
- detailed checking under the BO will be carried out at building plan submission stage.

YL-NTM/476 1

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

By e-mail : tpbpd@pland.gov.hk

有關的規劃申請編號 The application no. to which the comment relates
A/YL-NTM/476

意見詳情 (如有需要，請另頁說明)

Details of the Comment (use separate sheet if necessary)

「提意見人」姓名/名稱 Name of person/company making this comment _____

簽署 Signature _____

日期 Date _____

- 3 SEP 2024

鍾就華 主席

元朗市中心及鄉郊東分區委員會

From: [REDACTED]
Sent: 2024-09-11 星期三 03:05:36
To: tpbpd/PLAND <tpbpd@pland.gov.hk>
Subject: A/YL-NTM/476 DD 104 Ngau Tam Mei Ponds

A/YL-NTM/476

Lots 2572 RP, 2573 and 2578 in D.D. 104 and Adjoining Government Land, Ngau Tam Mei, Yuen Long Site area: About 1,978sq.m Includes Government Land of about 580sq.m

Zoning: "Res (Group D)"

Applied development: MR of PR and BHR / 5 Units / 8 Vehicle Parking, **Filling of Pond and Excavation of Land**

Dear TPB Members,

This is the inevitable GIMME MORE application to the approved 377 plan.

Strong Objections to the proposed pool area surrounded by high walls. This effectively intrudes onto the periphery of the ponds and interferes with the connectivity between them.

The site includes 580sq.mts Government Land. It is not clear if the pool area is GL. If it is then it should be excluded from the development. If not then the government should make a land exchange and secure this area so that it remains integrated with the ponds.

It is quite shocking that despite the warnings re global warming, developers and govt depts continue to push for further elimination of the ponds that play an integral part in protecting the environment.

All to provide more glass boxes when there is already a surfeit of private homes.

Application should be amended to exclude the periphery of the ponds.

Mary Mulvihill

From: [REDACTED]
To: tpbpd <tpbpd@pland.gov.hk>
Date: Monday, 26 November 2018 2:45 AM HKT
Subject: A/YL-NTM/377 DD 104 Ngau Tam Mei

A/YL-NTM/377

Lots 2572 RP, 2573, 2578 in D.D. 104 and adjoining Government Land, Ngau Tam Mei, Yuen Long

Site area : About 1,544.7m² Includes Government Land of about 38.2m²

Zoning : "Res (Group D)"

Applied Development : House with Large Garden / 2 vehicle parking

Dear TPB Members,

There was another application recently in the same vein.

If there is such a shortage of land for housing that we keep hearing about that incites demands for incursions into country parks and redevelopment of the Hong Kong Golf Course, then surely it is about time that some restrictions be imposed on the amount of land to be dedicated to a single home?

All over the city small recreational spaces like basketball courts and open spaces that provide much needed breathing space for hundreds of people are being requisitioned under the excuse that we must all make sacrifices to provide more land for housing.

In light of these circumstances to devote 1,500+sqmts to one residence is surely obscene.

Can members please raise the issue of what should be the maximum amount of land dedicated to one house in order to ensure efficient use of, according to the government, limited land resources.

Mary Mulvihill

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就規劃申請/覆核提出意見 Making Comment on Planning Application / Review**參考編號****Reference Number:**

240912-162451-30322

提交限期**Deadline for submission:**

13/09/2024

提交日期及時間**Date and time of submission:**

12/09/2024 16:24:51

有關的規劃申請編號**The application no. to which the comment relates:**

A/YL-NTM/476

「提意見人」姓名/名稱**Name of person making this comment:**先生 Mr. Edmond Fong for
The Hong Kong and China Gas Company Limited**意見詳情****Details of the Comment :**

Since the proposed development is in the close vicinity to our High-Pressure pipeline at San Tam Road, the project proponent is required to conduct Quantitative Risk Assessment to evaluate the potential risk basing on the forecasted ultimate population and determine the necessary mitigation measures if required. The project proponent should consult our company in design stage and closely coordinate with our company during construction stage and provide protective measures.