

This document is received on 21 FEB 2022
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-I
表格第 S16-I 號

**APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP.131)**

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

Applicable to proposals not involving or not only involving:
適用於建議不涉及或不祇涉及:

- (i) **Construction of “New Territories Exempted House(s)”;**
興建「新界豁免管制屋宇」;
- (ii) **Temporary use/development of land and/or building not exceeding 3 years in rural areas; and**
位於鄉郊地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展;及
- (iii) **Renewal of permission for temporary use or development in rural areas**
位於鄉郊地區的臨時用途或發展的許可續期

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.info.gov.hk/tpb/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知,以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟,請瀏覽以下網址有關在指定的報章刊登通知:
https://www.info.gov.hk/tpb/tc/plan_application/apply.html

General Note and Annotation for the Form
填寫表格的一般指引及註解

“Current land owner” means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期,其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill “NA” for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足,請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A14C-PS/656
	Date Received 收到日期	21 FEB 2022

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.info.gov.hk/tpb/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.info.gov.hk/tpb/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☒ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☐ Organisation 機構)

Tang Ping On and Tang Ping Tsuen

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

DeSPACE (International) Limited

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lot No. 318 s.B R.P. and Lot No. 318 s.B ss.1 in D.D. 122 Ping Shan, Yuen Long, NT
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 340 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Gross floor area 總樓面面積 sq.m 平方米 <input type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Draft Ping Shan Outline Zoning Plan S/YL-PS/19
(e) Land use zone(s) involved 涉及的土地用途地帶	Village Type Development
(f) Current use(s) 現時用途	Vacant Site (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☒ is the sole "current land owner"^{#&} (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」^{#&} (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners"^{#&} (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」^{#&} (請夾附業權證明文件)。
- ☐ is not a "current land owner"[#].
並不是「現行土地擁有人」[#]。

- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)"[#].
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」[#]。

(b) The applicant 申請人 –

- ☐ has obtained consent(s) of "current land owner(s)"[#].
已取得 名「現行土地擁有人」[#]的同意。

Details of consent of "current land owner(s)" [#] obtained 取得「現行土地擁有人」 [#] 同意的詳情		
No. of "Current Land Owner(s)" 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified “current land owner(s)”[#]
已通知 名「現行土地擁有人」[#]。

Details of the “current land owner(s)” [#] notified 已獲通知「現行土地擁有人」 [#] 的詳細資料		
No. of ‘Current Land Owner(s)’ 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the “current land owner(s)” on _____ (DD/MM/YYYY)^{#&}
於 _____ (日/月/年)向每一名「現行土地擁有人」[#]郵遞要求同意書[&]

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)在指定報章就申請刊登一次通知[&]
- ☐ posted notice in a prominent position on or near application site/premises on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知[&]
- ☐ sent notice to relevant owners’ corporation(s)/owners’ committee(s)/mutual aid committee(s)/management office(s) or rural committee on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會[&]

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別

- ☐ Type (i) Change of use within existing building or part thereof
第(i)類 更改現有建築物或其部分內的用途
- ☒ Type (ii) Diversion of stream / excavation of land / filling of land / filling of pond as required under Notes of Statutory Plan(s)
第(ii)類 根據法定圖則《註釋》內所要求的河道改道／挖土／填土／填塘工程
- ☐ Type (iii) Public utility installation / Utility installation for private project
第(iii)類 公用事業設施裝置/私人發展計劃的公用設施裝置
- ☐ Type (iv) Minor relaxation of stated development restriction(s) as provided under Notes of Statutory Plan(s)
第(iv)類 略為放寬於法定圖則《註釋》內列明的發展限制
- ☐ Type (v) Use / development other than (i) to (iii) above
第(v)類 上述的(i)至(iii)項以外的用途／發展

Note 1: May insert more than one 「✓」.

註 1：可在多於一個方格內加上「✓」號

Note 2: For Development involving columbarium use, please complete the table in the Appendix.

註 2：如發展涉及靈灰安置用途，請填妥於附件的表格。

(i) For Type (i) application 供第(i)類申請

(a) Total floor area involved 涉及的總樓面面積	sq.m 平方米		
(b) Proposed use(s)/development 擬議用途/發展	(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)		
(c) Number of storeys involved 涉及層數		Number of units involved 涉及單位數目	
(d) Proposed floor area 擬議樓面面積	Domestic part 住用部分		sq.m 平方米 □About 約
	Non-domestic part 非住用部分.....		sq.m 平方米 □About 約
	Total 總計		sq.m 平方米 □About 約
(e) Proposed uses of different floors (if applicable) 不同樓層的擬議用途(如適用) (Please use separate sheets if the space provided is insufficient) (如所提供的空間不足，請另頁說明)	Floor(s) 樓層	Current use(s) 現時用途	Proposed use(s) 擬議用途

(ii) For Type (ii) application 供第(ii)類申請

(a) Operation involved 涉及工程	<input type="checkbox"/> Diversion of stream 河道改道		
	<input type="checkbox"/> Filling of pond 填塘		
	Area of filling 填塘面積	sq.m 平方米	<input type="checkbox"/> About 約
	Depth of filling 填塘深度	m 米	<input type="checkbox"/> About 約
	<input checked="" type="checkbox"/> Filling of land 填土		
	Area of filling 填土面積	144 sq.m 平方米	<input checked="" type="checkbox"/> About 約
Depth of filling 填土厚度	1 to 1.5 m 米	<input checked="" type="checkbox"/> About 約	
<input checked="" type="checkbox"/> Excavation of land 挖土			
Area of excavation 挖土面積	144 sq.m 平方米	<input checked="" type="checkbox"/> About 約	
Depth of excavation 挖土深度	1 to 1.5 m 米	<input checked="" type="checkbox"/> About 約	
(Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用圖則顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍))			
(b) Intended use/development 有意進行的用途/發展	Houses (New Territories Exempted House)		

(iii) For Type (iii) application 供第(iii)類申請

(a) Nature and scale 性質及規模	<input type="checkbox"/> Public utility installation 公用事業設施裝置		
	<input type="checkbox"/> Utility installation for private project 私人發展計劃的公用設施裝置		
	Please specify the type and number of utility to be provided as well as the dimensions of each building/structure, where appropriate		
	請註明有關裝置的性質及數量, 包括每座建築物/構築物(倘有)的長度、高度和闊度		
	Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)
(Please illustrate on plan the layout of the installation 請用圖則顯示裝置的布局)			

(iv) For Type (iv) application 供第(iv)類申請

- (a) Please specify the proposed minor relaxation of stated development restriction(s) and **also fill in the proposed use/development and development particulars in part (v) below** –
請列明擬議略為放寬的發展限制並填妥於第(v)部分的擬議用途/發展及發展細節 –

- ☐ Plot ratio restriction From 由 to 至
地積比率限制
- ☐ Gross floor area restriction From 由sq. m 平方米 to 至sq. m 平方米
總樓面面積限制
- ☐ Site coverage restriction From 由% to 至 %
上蓋面積限制
- ☐ Building height restriction From 由m 米 to 至 m 米
建築物高度限制
From 由 mPD 米 (主水平基準上) to 至mPD 米 (主水平基準上)
From 由 storeys 層 to 至 storeys 層
- ☐ Non-building area restriction From 由m to 至 m
非建築用地限制
- ☐ Others (please specify)
其他 (請註明)

(v) For Type (v) application 供第(v)類申請

(a) Proposed
use(s)/development
擬議用途/發展

(Please illustrate the details of the proposal on a layout plan 請用平面圖說明建議詳情)

(b) Development Schedule 發展細節表

Proposed gross floor area (GFA) 擬議總樓面面積 sq.m 平方米	<input type="checkbox"/> About 約
Proposed plot ratio 擬議地積比率	<input type="checkbox"/> About 約
Proposed site coverage 擬議上蓋面積 %	<input type="checkbox"/> About 約
Proposed no. of blocks 擬議座數	
Proposed no. of storeys of each block 每座建築物的擬議層數 storeys 層	
	<input type="checkbox"/> include 包括.....storeys of basements 層地庫	
	<input type="checkbox"/> exclude 不包括.....storeys of basements 層地庫	
Proposed building height of each block 每座建築物的擬議高度 mPD 米(主水平基準上)	<input type="checkbox"/> About 約
 m 米	<input type="checkbox"/> About 約

☐ Domestic part 住用部分GFA 總樓面面積 sq. m 平方米 ☐ About 約

number of Units 單位數目

average unit size 單位平均面積sq. m 平方米 ☐ About 約

estimated number of residents 估計住客數目

☐ Non-domestic part 非住用部分

GFA 總樓面面積

☐ eating place 食肆 sq. m 平方米 ☐ About 約☐ hotel 酒店 sq. m 平方米 ☐ About 約

(please specify the number of rooms

請註明房間數目)

☐ office 辦公室 sq. m 平方米 ☐ About 約☐ shop and services 商店及服務行業 sq. m 平方米 ☐ About 約☐ Government, institution or community facilities (please specify the use(s) and concerned land
政府、機構或社區設施 area(s)/GFA(s) 請註明用途及有關的地面面積／總
樓面面積)

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.....

.....

☐ other(s) 其他 (please specify the use(s) and concerned land
area(s)/GFA(s) 請註明用途及有關的地面面積／總
樓面面積)

.....

.....

.....

☐ Open space 休憩用地 (please specify land area(s) 請註明地面面積)☐ private open space 私人休憩用地 sq. m 平方米 ☐ Not less than 不少於☐ public open space 公眾休憩用地 sq. m 平方米 ☐ Not less than 不少於

(c) Use(s) of different floors (if applicable) 各樓層的用途 (如適用)

[Block number] [座數]	[Floor(s)] [層數]	[Proposed use(s)] [擬議用途]
.....
.....
.....
.....
.....

(d) Proposed use(s) of uncovered area (if any) 露天地方 (倘有) 的擬議用途

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7. Anticipated Completion Time of the Development Proposal 擬議發展計劃的預計完成時間

Anticipated completion time (in month and year) of the development proposal (by phase (if any)) (e.g. June 2023)

擬議發展計劃預期完成的年份及月份 (分期 (倘有)) (例: 2023 年 6 月)

(Separate anticipated completion times (in month and year) should be provided for the proposed public open space and Government, institution or community facilities (if any))

(申請人須就擬議的公眾休憩用地及政府、機構或社區設施 (倘有) 提供個別擬議完成的年份及月份)

2023 - 2024

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8. Vehicular Access Arrangement of the Development Proposal 擬議發展計劃的汽車通道安排

<p>Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用))</p> <p>.....</p> <p><input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度)</p> <p><input checked="" type="checkbox"/></p>
<p>Any provision of parking space for the proposed use(s)? 是否有為擬議用途提供停車位？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示</p> <p>Private Car Parking Spaces 私家車車位 _____</p> <p>Motorcycle Parking Spaces 電單車車位 _____</p> <p>Light Goods Vehicle Parking Spaces 輕型貨車泊車位 _____</p> <p>Medium Goods Vehicle Parking Spaces 中型貨車泊車位 _____</p> <p>Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 _____</p> <p>Others (Please Specify) 其他 (請列明) _____</p> <p>_____</p> <p>_____</p> <p><input checked="" type="checkbox"/></p>
<p>Any provision of loading/unloading space for the proposed use(s)? 是否有為擬議用途提供上落客貨車位？</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示</p> <p>Taxi Spaces 的士車位 _____</p> <p>Coach Spaces 旅遊巴車位 _____</p> <p>Light Goods Vehicle Spaces 輕型貨車車位 _____</p> <p>Medium Goods Vehicle Spaces 中型貨車車位 _____</p> <p>Heavy Goods Vehicle Spaces 重型貨車車位 _____</p> <p>Others (Please Specify) 其他 (請列明) _____</p> <p>_____</p> <p>_____</p> <p><input checked="" type="checkbox"/></p>

9. Impacts of Development Proposal 擬議發展計劃的影響

If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures.

如需要的話，請另頁表示可盡量減少可能出現不良影響的措施，否則請提供理據/理由。

Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?	Yes 是 No 否	<input type="checkbox"/> Please provide details 請提供詳情																																				
Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程? (Note: where Type (ii) application is the subject of application, please skip this section. 註：如申請涉及第(ii)類申請，請跳至下一條問題。)	Yes 是 No 否	<input checked="" type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地/池塘界線，以及河道改道、填塘、填土及/或挖土的細節及/或範圍) <input type="checkbox"/> Diversion of stream 河道改道 <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約 <input checked="" type="checkbox"/> Filling of land 填土 Area of filling 填土面積 144 sq.m 平方米 <input checked="" type="checkbox"/> About 約 Depth of filling 填土厚度 1 to 1.5 m 米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 144 sq.m 平方米 <input checked="" type="checkbox"/> About 約 Depth of excavation 挖土深度 1 to 1.5 m 米 <input checked="" type="checkbox"/> About 約																																				
Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?	On environment 對環境 On traffic 對交通 On water supply 對供水 On drainage 對排水 On slopes 對斜坡 Affected by slopes 受斜坡影響 Landscape Impact 構成景觀影響 Tree Felling 砍伐樹木 Visual Impact 構成視覺影響 Others (Please Specify) 其他 (請列明)	<table border="0"> <tr> <td>Yes 會</td><td><input type="checkbox"/></td><td>No 不會</td><td><input checked="" type="checkbox"/></td></tr> <tr> <td>Yes 會</td><td><input type="checkbox"/></td><td>No 不會</td><td><input checked="" type="checkbox"/></td></tr> <tr> <td>Yes 會</td><td><input type="checkbox"/></td><td>No 不會</td><td><input checked="" type="checkbox"/></td></tr> <tr> <td>Yes 會</td><td><input type="checkbox"/></td><td>No 不會</td><td><input checked="" type="checkbox"/></td></tr> <tr> <td>Yes 會</td><td><input type="checkbox"/></td><td>No 不會</td><td><input checked="" type="checkbox"/></td></tr> <tr> <td>Yes 會</td><td><input type="checkbox"/></td><td>No 不會</td><td><input checked="" type="checkbox"/></td></tr> <tr> <td>Yes 會</td><td><input type="checkbox"/></td><td>No 不會</td><td><input checked="" type="checkbox"/></td></tr> <tr> <td>Yes 會</td><td><input type="checkbox"/></td><td>No 不會</td><td><input checked="" type="checkbox"/></td></tr> <tr> <td>Yes 會</td><td><input type="checkbox"/></td><td>No 不會</td><td><input checked="" type="checkbox"/></td></tr> </table>	Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>	Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>	Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>	Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>	Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>	Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>	Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>	Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>	Yes 會	<input type="checkbox"/>	No 不會	<input checked="" type="checkbox"/>
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Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)																																						

10. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

Please refer to the planning statement.

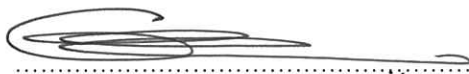


11. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in an application to the Board and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion. 本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署



LAM KOWK CHUN

Name in Block Letters
姓名（請以正楷填寫）

☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Director

Position (if applicable)
職位（如適用）

Professional Qualification(s) ☒ Member 會員 / ☐ Fellow of 資深會員

專業資格

☒ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 / ☐ HKICD 香港城市設計學會 /

☒ RPP 註冊專業規劃師 (261)

Others 其他

on behalf of
代表

DeSPACE (International) Limited

☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

17.2.2022

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in an application to the Board and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

(a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and

處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.

方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。



Legend



Site Boundary

Location

Lot No. 318 s.B R.P. and Lot No. 318 s.B s.s.1
in D.D. 122 in Hang Tau Tsuen,
Ping Shan Heung, Yuen Long, NT

Figure No.

FIGURE 1

Figure Title

Location Plan and
Outline Zoning Plan

Date

February
2022

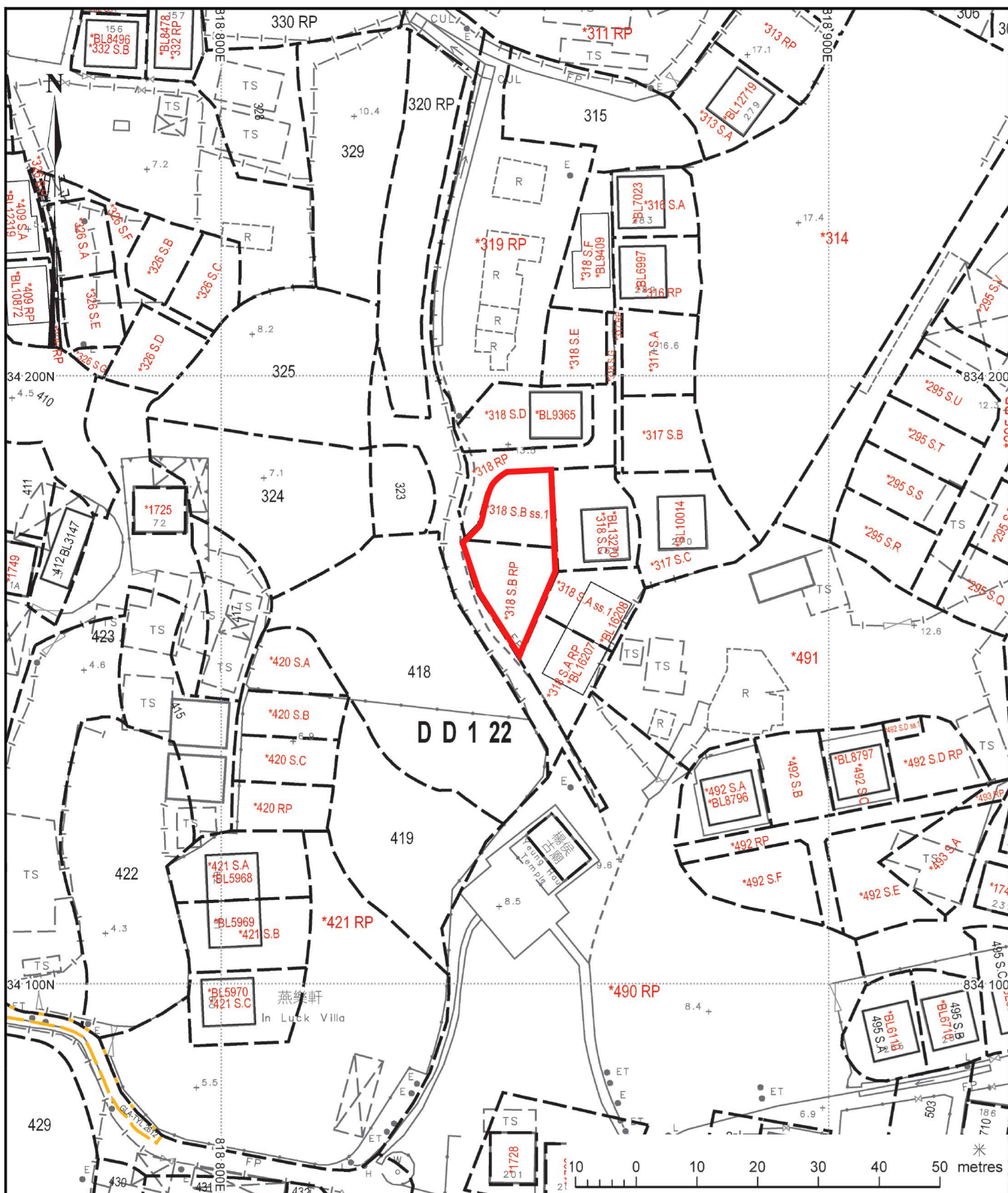
Scale

See
Above

Prepared by



DeSPACE (International) Limited



Legend



Site Boundary
(Rectified by Land Surveyor)

Location

Lot No. 318 s.B R.P. and Lot No. 318 s.B ss.1
in D.D. 122 in Hang Tau Tsuen,
Ping Shan Heung, Yuen Long, NT

Figure No.

FIGURE 2

Figure Title

Lot Index Plan
(Extracted from the Lot Index Plan No.
ags_S00000089449_0001)

Date

**February
2022**

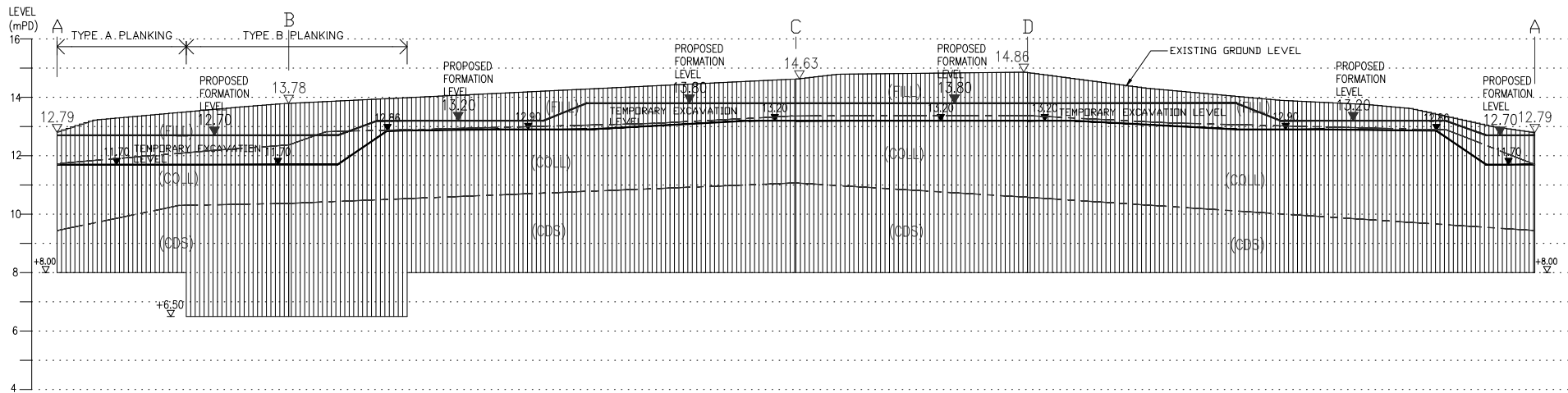
Scale

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Above**

Prepared by



DeSPACE (International) Limited

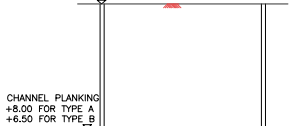


ELEVATION
1:75

CONSTRUCTION SEQUENCE FOR TEMPORARY EXCAVATION WORKS (N.T.S.)

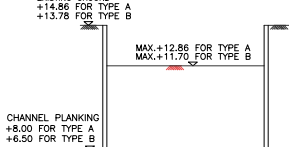
- NOTE: 1) ESTABLISH ALL MONITORING STATIONS PRIOR TO COMMENCEMENT OF EXCAVATION WORKS.
2) ALL CHANNEL PLANKING SHOULD BE PREPARED WITH DEPTH MARKERS TO FACILITATE THE EMBEDED DEPTH CHECKING

EXISTING GROUND
+14.86 FOR TYPE A
+13.78 FOR TYPE B



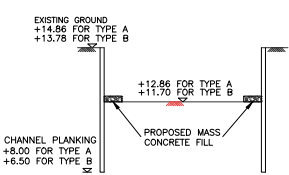
STAGE 1
a) INSTALLATION OF CHANNEL PLANKING TO PROPOSED LEVEL

EXISTING GROUND
+14.86 FOR TYPE A
+13.78 FOR TYPE B



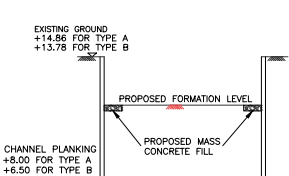
STAGE 2
a) EXCAVATE TO +12.86 FOR TYPE A (MAX. 1800mm) AND EXCAVATE TO +11.70 FOR TYPE B (MAX. 2160mm)

EXISTING GROUND
+14.86 FOR TYPE A
+13.78 FOR TYPE B



STAGE 3
a) CAST PROPOSED MASS CONCRETE FILL

EXISTING GROUND
+14.86 FOR TYPE A
+13.78 FOR TYPE B



STAGE 4
a) BACKFILL UP TO PROPOSED FORMATION LEVEL
b) CONSTRUCTION OF FOOTING (UNDER SEPARATE SUBMISSION) AND THE PROPOSED SMALL HOUSE (UNDER SEPARATE SUBMISSION)

EXISTING GROUND
+14.86 FOR TYPE A
+13.78 FOR TYPE B



NOTES FOR TEMPORARY EXCAVATION WORKS

- THE ASSESSMENT OF GROUND CONDITIONS WHICH WAS USED AS THE BASIS OF DESIGN IS SHOWN WHERE APPROPRIATE ON THE DRAWINGS. IF DURING WORK ON SITE THE GROUND CONDITIONS ARE FOUND TO BE OTHERWISE AS SHOWN ON THE DRAWINGS, THEN THE DESIGN AND EXTENT OF THE WORKS MAY THEN BE CHANGED BY THE AUTHORIZED PERSON OR BY THE ENGINEER IN ORDER TO MEET THE GROUND CONDITIONS AS ENCOUNTERED ANY DESIGN AMENDMENTS SHALL BE SUBMITTED TO THE BUILDINGS DEPARTMENT FOR APPROVAL.
- PRIOR TO APPLYING ANY BLINDING LAYER TO A FORMATION OR ANY SURFACING OF SLOPE THE APPROVAL OF THE ENGINEER SHALL BE OBTAINED AND RECORDS OF THE EXPOSED GROUND SHALL BE TAKEN.
- DURING WORK ON THE SITE, RECORDS OF THE GROUND ENCOUNTERED SHALL BE KEPT. THESE SHALL INCLUDE THE DEPTHS OF SOIL AND ROCKS, THE OCCURRENCE OF GROUND WATER AND THE LOCATION OF ANY VOID AREA OF SOFT GROUND.
- ANY DEVIATION IN DIMENSIONS, LEVELS OR METHOD OF CONSTRUCTIONS NECESSITATED BY SITE CONDITIONS SHALL BE STRICTLY FOLLOWED UNDER ENGINEER'S INSTRUCTION.
- IF DURING THE COURSE OF SITE WORKS, VARIATIONS ARE FOUND IN THE SITE GEOLOGY, GROUND WATER ASSUMPTION THEN AMENDMENT SHALL BE SUBMITTED.

SPECIFICATION FOR CHANNEL PLANKING

- ALL CHANNEL PLANKING SHALL BE GRADE S275 STEEL COMPLY TO BS EN 10025 PART 1-62004 AND BS 4368.
- THE CERTIFICATE OF ORIGIN AND CHEMICAL COMPOSITION, AND OTHER REPORTS, REQUIRED UNDER THE BUILDING (CONSTRUCTION) REGULATIONS FOR THE PILE SECTION TO BE SUBMITTED AND APPROVED BY THE ENGINEER BEFORE THEIR USE IS PERMITTED.
- ALL NECESSARY PLANTS AND EQUIPMENTS AND DRIVE THE CHANNEL PLANKINGS TO THE DEPTHS SHOWN ON THE DRAWINGS AND ALL NECESSARY TEMPORARY BUTTRESSES, SUPPORT WALKINGS AND STRUTS, SOLE PLATES ETC. SHALL BE PROVIDED AND REMOVE THEM ON COMPLETION. THE METHOD OF DRIVING BY VIBRATION HAMMER AND DRIVING EQUIPMENTS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER PRIOR TO THE COMMENCEMENT OF DRIVING.
- ALL WORKS SHALL BE CARRIED OUT COMPLYING WITH ALL CURRENT HONG KONG ORDINANCES.
- EVERY PRECAUTION SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING UNDERGROUND SERVICES, EXISTING BUILDINGS ON THE SITE AND SURROUNDING BUILDINGS AND SHALL BE FULLY RESPONSIBLE FOR THE REPAIR OF DAMAGE THAT OCCURS DUE TO THE INSTALLATION OF CHANNEL PLANKING.
- THE POSITIONS OF THE CHANNEL PLANKINGS SHALL BE CAREFULLY SET OUT IN ACCORDANCE WITH THE DRAWINGS AND CARE IS TO BE TAKEN THAT THE PILES ARE CONSTRUCTED AT THEIR PROPER POSITIONS.
- IF UNDERGROUND OBSTRUCTIONS ARE ENCOUNTERED DURING THE DRIVING OF CHANNEL PLANKINGS, PREDRILLING HOLES SHALL BE SUNK THROUGH THE OBSTRUCTIONS AND FILL THE HOLE WITH SAND, THEN RE-DRIE THE CHANNEL PLANKINGS TO THE REQUIRED DEPTH.
- THE DAILY RECORD SHEETS FOR DRIVING THE CHANNEL PLANKINGS TO THE ENGINEER SHALL BE SUBMITTED BI-WEEKLY.

DEWATERING DURING EXCAVATION

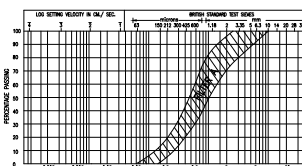
- DEWATERING SHALL BE CARRIED OUT BY MEANS OF PERFORATED PIPE AND SURFACE WATER Sumps.
- THE EXCAVATION WORKS SHALL ONLY PROCEED IN DRY CONDITIONS.
- NO EXCAVATION SHALL BE CARRIED OUT AS LONG AS WATER IS PRESENT AT EXCAVATION LEVEL.
- ALL PUMPED WATER SHALL BE DISCHARGED AT A SAFE AND APPROVED DISCHARGE POINT.
- THE CONTRACTOR SHALL ENSURE THAT ADEQUATE BACKUP PUMPING EQUIPMENT IS AVAILABLE IN THE EVENT OF A BREAKDOWN AND THAT UNDER NO CIRCUMSTANCES THE EXCAVATION IS ALLOWED TO FILL UP WITH WATER IN THE EVENT OF A BREAKDOWN AND THAT UNDER NO CIRCUMSTANCES THE EXCAVATION IS ALLOWED TO FILL UP WITH WATER.

SECTION PROPERTIES OF CHANNEL PLANKING

NOMINAL SIZE	MASS PER METRE	DEPTH OF SECTION (D)	WIDTH OF SECTION (B)	THICKNESS OF WEB (T)	THICKNESS OF FLANGE (T)	AREA OF SECTION	DIMENSION C _y	MOMENT OF INERTIA AXIS X-X	MOMENT OF INERTIA AXIS Y-Y	RADIUS OF GYRATION AXIS X-X	RADIUS OF GYRATION AXIS Y-Y	ELASTIC MODULUS AXIS X-X	ELASTIC MODULUS AXIS Y-Y
mm	kg	mm	mm	mm	mm	cm ²	cm	cm ⁴	cm ⁴	cm	cm	cm ³	cm ³
152x89	23.84	152.4	88.9	7.1	11.6	22.77	2.86	1156	215.1	6.20	2.66	153.0	35.70



GRADING SPECIFICATION FOR FILTER MATERIALS
N.T.S.



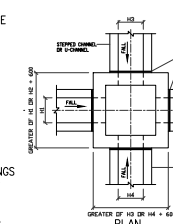
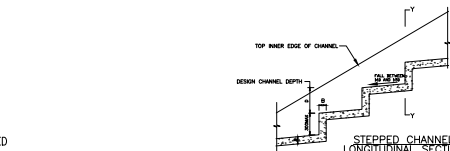
SECTION PROPERTIES OF SHEETPILE

SECTION	DIMENSIONS			SECTIONAL AREA		WEIGHT		MOMENT OF INERTIA		SECTION MODULUS	
	W	H	T	per pile	per pile	per pile	per pile	per pile	per pile	per pile	per pile
	mm	mm	mm	cm ²	kg/m	kg/m ²	cm ⁴	cm ⁴ /m	cm ³	cm ³ /m	cm ³ /m
FSP 11	400	100	10.5	61.18	48.0	120	1240	8740	152	874	

* MOMENT OF INERTIA FOR PER PILE (12400cm⁴) IS USED FOR DESIGN OF SHEETPILE WALL.

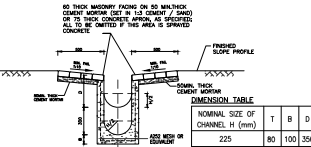
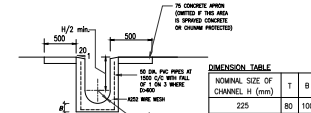
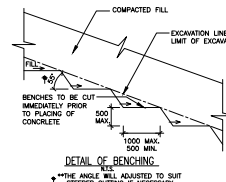
PROPOSED WALL SCHEDULE

TYPE OF WALL	SECTION	MIN. TOE LEVEL (mPD)	MAX. RETAINING HEIGHT (m)
TYPE A	CHANNEL PLANKING, 152X89X152.4	+8.00	1.74
TYPE B	SHEET PILE, FSP 11	+6.50	2.08



SECTION X

1:50



NO.	DATE	AMENDMENTS	INIT.
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ENGINEER
HENRY CHAN & PARTNERS
CONSULTANT ENGINEERING LTD

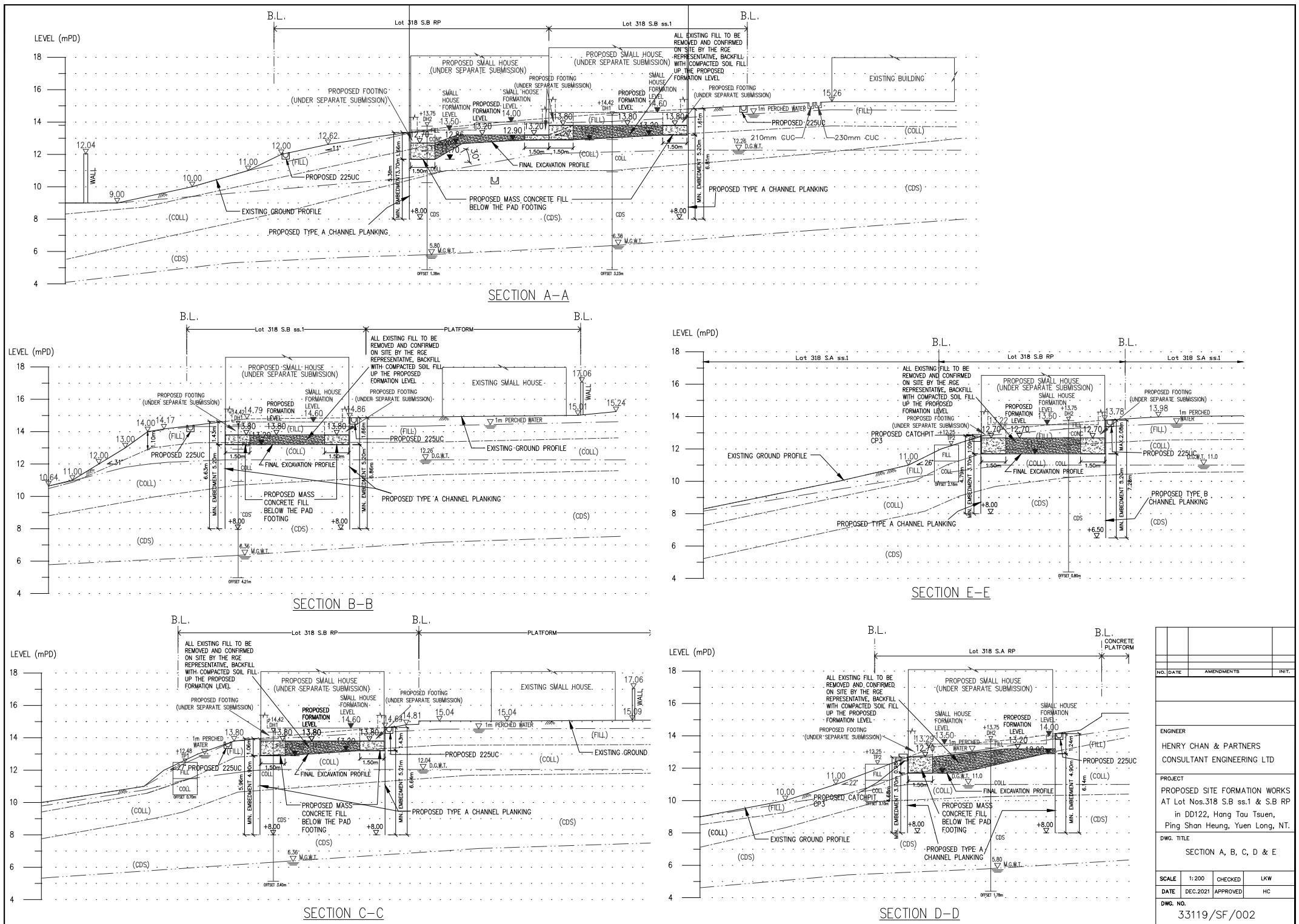
PROJECT
PROPOSED SITE FORMATION WORKS
AT Lot Nos.318 S.B ss.1 & S.B RP
in DD122, Hong Tau Tsuen,
Ping Shan Heung, Yuen Long, NT.

DWG. TITLE
ELEVATION, DETAIL AND NOTES

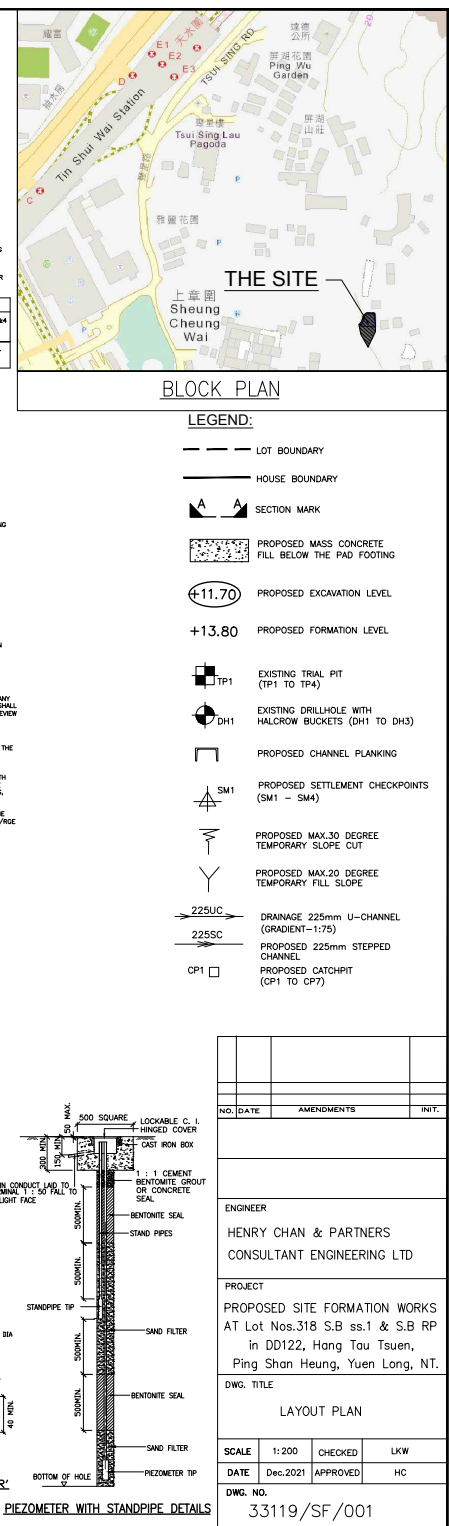
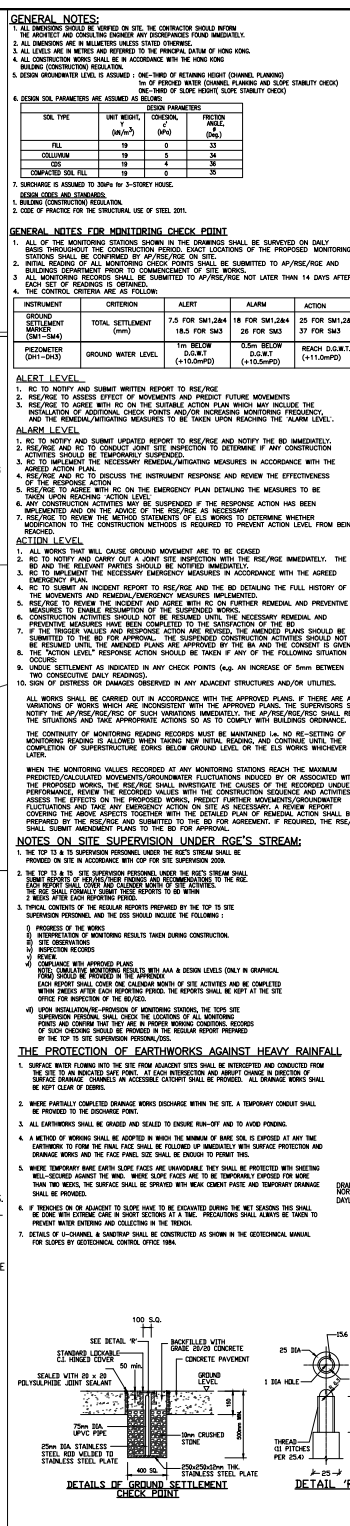
SCALE
N.T.S. CHECKED LKW

DATE
DEC-2021 APPROVED HC

DWG. NO.
SB-33119/SF/003



NO.	DATE	AMENDMENTS	INIT.
ENGINEER			
HENRY CHAN & PARTNERS CONSULTANT ENGINEERING LTD			
PROJECT			
PROPOSED SITE FORMATION WORKS AT Lot Nos. 318 S.B. ss.1 & S.B. RP in DD122, Hong Tau Tsuen, Ping Shan Heung, Yuen Long, NT.			
DWG. TITLE			
SECTION A, B, C, D & E			
SCALE			
1:200	CHECKED	LKW	
DATE			
DEC. 2021	APPROVED	HC	
DWG. NO.			
33119/SF/002			



Section 16 Town Planning Application

Proposed **Filling and Excavation of Land** for Permitted Houses (New Territories Exempted Houses) in “Village Type Development” Zone on Draft Ping Shan Outline Zoning Plan No. S/YL-PS/19 at Lots 318 s.B ss.1 and 318 s.B R.P. In D.D. 122, Ping Shan, Yuen Long, New Territories

Solar - lil Design Consulting Limited

Consultant
T: (852) 2791 0018
F: (852) 2791 0200
yypirina@gmail.com



DeSPACE (International) Limited

Planning Consultant
T: (852) 2493 3626
F: (852) 3590 6233
greg@despacehk.com

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Executive Summary

Applicants 'Tang Ping On' - the sole registered "current landowner" of the Remaining Portion of Section B of Lot No.318 in D.D. 122, and 'Tang Ping Tsuen' – the sole registered "current landowner" of Sub-Section 1 of Section B of Lot No. 318 in D.D.122, now seek planning permission from the Town Planning Board for the Proposed Filling and Excavation of Land for Permitted Houses (New Territories Exempted Houses).

According to the Draft Ping Shan Outline Zoning Plan No. S/YL-PS/19 ("the OZP"), the Application Site ("the Site") is zoned as "Village Type Development (V)". "House (NTEH)" is categorized as Column 1 use under "V" zone which is always permitted. Yet, the OZP stipulates that any filling or excavation of land requires planning permission from the TPB.

The applicants propose to fill and excavate the land (about the thickness of 1 to 1.5m) as the site formation works for the development of 2 permitted house (NTEH) development thereon, as there is a steep slope (about 4m height) to the west and southwest of the Site needed to be addressed. The proposed works are necessary, of small scale and in line with planning intention of "V" zone as stipulated in the OZP, thus it will not cause any issue of incompatibility. With the following justifications presented in this Planning Statement, the Town Planning Board is invited to give favourable consideration to this application.

The planning justifications are summarised as follows:

- The Proposed Works are in line with the planning intention of the "Village Type Development" ("V") zone and confined within Village Environs (VE).
- The Proposed Works are compatible with the surrounding environment.
- There are no adverse impacts anticipated.
- Similar approved cases.

行政摘要

申請人鄧炳安（丈量約份第 122 約地段第 318 號 B 分段餘段的唯一「現行土地擁有人」）和鄧炳全（丈量約份第 122 約地段第 318 號 B 分段第 1 小分段的唯一「現行土地擁有人」）現根據《城市規劃條例》第 16 條尋求城市規劃委員會批准於上址為准許的屋宇（新界豁免管制屋宇）（小型屋宇）進行挖土及填土工程。

根據屏山分區計劃大綱草圖編號 S/YL-PS/19（下稱大綱圖），申請地點被劃作「鄉村式發展」用途。「小型屋宇」用途屬於第一欄（經常准許的用途）。唯大綱圖的備註中指明任何填土 / 填塘或挖土工程都需要先取得城市規劃委員會的許可方可進行。

因地盤的西面和西南面有一個陡峭的斜坡（約 4 米高），填土和挖掘土（約 1 至 1.5 米厚）作為地盤平整工程，是發展 2 個准許的新界豁免管制屋宇（小型屋宇）的基本前設。擬建工程是有必要的，規模小及符合大綱圖「鄉村式發展」的規劃意向，而且並不會造成不兼容的問題。申請人根據以下總結各點，希望是次的規劃申請能獲得城規會的支持。

- 擬議工程符合「鄉村式發展」的規劃意向，並坐落於鄉村範圍之內。
- 擬議工程與周邊環境相容。
- 擬議工程不會產生不利影響。
- 存在類似的批准案例。

1. INTRODUCTION

- 1.1.1 **DeSPACE (International) Limited** acts on behalf of the Applicants - **Mr. Tang Ping On** (the sole and registered landowner of Lot No. 318 s.B R.P. in D.D. 122) and **Mr. Tang Ping Tsuen** (the sole and registered landowner of Lot No. 318 s.B ss.1 in D.D. 122) to prepare and submit the Section 16 Town Planning Application to the Town Planning Board (TPB), seeking planning permission for the proposed filling and excavation of land for 2 permitted Houses (New Territories Exempted House) (Hereinafter referred to as NTEH) development on the Site. The Site is currently zoned as “Village Type Development” within the Draft Ping Shan Outline Zoning Plan No. S/YL-PS/19 (The OZP) (**Figure 1 – Location Plan and the Outline Zoning Plan**), NTEH is always permitted use under Column 1. However, filling of land/pond or excavation of land will require planning permission from the Board as stated in the remarks of the OZP. The Applicants intend to excavate and backfill the Application Site with a similar volume of soil (about the thickness of 1 to 1.5m) in order to carry out site formation works for the 2 NTEH developments, as there is a 4m high steep slope located immediately to the west and southwest of the Site which necessitates the proposal. It is worth noting that the Site level will remain roughly the same after the proposed works.

2. SITE CONTEXT

2.1 The Application Site

- 2.1.1 The Site is located at Lot No. 318 s.B. ss. 1 and 318 s.B R.P. in D.D. 122, Ping Shan within a large “V” zone inside the Hang Tau Tsuen, Ping Shan. The Site is currently vacant and covered by grass and weeds, with a 4m steep slope sloping down to the Site’s immediate west and southwest. The Site is accessible via a village track leading to Ping Shan Nam Pak Road. In addition, the Site is situated entirely within the ‘Village Environs’ [VE] of Hang Tau Tsuen, Hang Mei Tsuen and Sheung Cheung Wai.

2.2 Surrounding Area of the Site

- 2.2.1 The surrounding areas of the Site are predominantly village houses with some open parking for vehicles, workshops, and vacant land. The general building height profile is about three storeys. To the further south of the Site is Yeung Hau Temple which is a Grade 3 historic building as part of the Ping Shan Heritage Trail.
- 2.2.2 To the northwest of the Site are Tin Shui Wan Station and the Ping Shan Tin Shui Wai Public Library, with only about 5 to 10 minutes walking distance. To the southeast of the Site is the Ping Shan Tang Clan Gallery Cum Heritage Trail

Visitors Centre, which is a former police station on the hilltop, currently exhibited on local folk culture and heritage.

3. PLANNING CONTEXT

3.1 Statutory Planning Requirements

- 3.1.1 The Application Site falls within an area zoned “Village Type Development” (“V”) on the Draft Ping Shan Outline Zoning Plan (OZP) No. S/YL-PS/19 gazetted on 7.5.2021. The Notes of the OZP states that the planning intention of the V zone is *“primarily intended for development of Small Houses by indigenous villagers. It is also intended to concentrate village type development within this zone for a more orderly development pattern, efficient use of land and provision of infrastructure and services. Selected commercial and community uses serving the needs of the villagers and in support of the village development area always permitted on the ground floor of the NTEH.”*
- 3.1.2 According to the Notes of the OZP for the “V” zone, ‘House (NTEH)’ is a Column 1 use that is always permitted. Yet the current proposal involves site formation works for two permitted Small Houses at the subject Site. As stipulated in Remarks of the OZP that *“Any filling of land/pond or excavation of land, including that to effect a change of use to any of those specified in Columns 1 and 2... shall not be undertaken or continued... without the permission from the Town Planning Board under section 16 of the Town Planning Ordinance.”*

3.2 Previous Application

- 3.2.1 The Application Site is not subject to any previous planning application.

4. THE DEVELOPMENT

4.1 Development Parameters

- 4.1.1 The proposed development is seeking to excavate and backfill the Application Site for 2 permitted NTEHs development in future. A summary of the major development parameters is shown in **Table 4.1**. It is worth noting that the Site level will remain roughly the same after the proposed works.

Table 4.1: Summary of Key Development Parameters

Proposed Excavation of Land and Land Filling	
Site Area	About 340 m ²
House Area	130.06 m ²
No. of the Permitted House	2
Filling and Excavation Area	144 m ²
Depth of Excavation	1 to 1.5m
Thickness of Filling	1 to 1.5m
Change of Site Level (before and after the proposal)	Roughly the same
Proposed Permitted Use	NTEH
Access	The Application Site is accessible via a village track leading to Ping Shan Nam Pak Road

5. JUSTIFICATIONS

5.1 In Line with the Planning Intention of “V” Zone and Falls within the VE

- 5.1.1 It is stipulated in the OZP that the “V” zone is primarily for the development of Small Houses by indigenous villagers. The Site falls entirely within the “V” zone as well as the ‘Village Environs’ (“VE”) of Hang Tau Tsuen, Hang Mei Tsuen and Sheung Chung Wai. The proposed excavation and filling of land is for the necessary site formation works to facilitate the development of 2 NTEHs, which is always permitted use under Column 1. It is therefore considered in line with the planning intention of the “V” zone.

5.2 Compatible with the Surrounding Environment

- 5.2.1 The Site is surrounded by similar permitted NTEH development with the need for similar land fillings and excavation. Given that the Site already falls within a large “V” zone, the proposed filling of land can help utilise some developable lands to satisfy the demand for NTEHs such that future NTEH development can be concentrated within the same contained boundary, and therefore achieve a long-term land use compatibility. According to the planning intention - *“it is also intended to concentrate village type development within this zone for a more orderly development pattern, efficient use of land and provision of infrastructures and services.”* The proposed filling and excavation works are also considered to be of small scale which is generally compatible with the surrounding context.

5.3 No Adverse Impact is Anticipated

- 5.3.1 The proposal would not generate any adverse impact as the Site falls entirely within the “V” zone and the surrounding areas of the site are already disturbed in nature. The Site is currently vacant and covered by weeds. There are no ponds or any valuable natural resources at or adjacent to the Site. Temporary domestic structures and village houses are found to the Site’s immediate north, east and west. The proposal aims at excavating the Site (1 to 1.5m) and then backfilling (1 to 1.5m) it for future site formation works for 2 NTEH developments resulting in more or less the same site level with minimal visual impact. Given the nature and scale of the proposed filling mentioned above, no adverse impact on the surrounding area is anticipated.
- 5.3.2 Besides during the construction, the Applicants will fully comply with the relevant environmental regulations and guidelines. The Applicants are willing to minimise the environmental impact and nuisance generated by the proposed excavation and filling of land. Vehicle trips generated by the proposed works would be limited given the nature and scale of the proposal.

5.4 Similar Case Studies

- 5.4.1 The current application shares the same merits as similar applications No. A/YL-PS/644 and A/YL-PS/355 within the same “V” zone that were approved by the RNTPC in 2021 and 2011 respectively. The approvals were warranted as the proposals were associated with the permitted NTEH, and significant adverse impacts were not anticipated.
- 5.4.2 Regarding similar case studies, please refer to **Table 5.1** for more details.

Table 5.1: Approved Filling and/or Excavation of Land in the Same V Zone

<i>Filling of Land for Permitted Houses (New Territories Exempted Houses) and Footpath</i>		
A/YL-PS/644 (24.9.2021) (Approved with conditions)	PlanD	PlanD had no objection to the application. The applied filling of land for permitted house (NTEH) and footpath were <u>considered in line with the planning intention of the V zone</u> . The requirement for planning permission for the applied filling of land was <u>to address the possible drainage impact and adverse impacts</u> on the natural environments. The applied land filling was considered <u>not incompatible with the surrounding areas in view of its extent and scale</u> .
	RNTPC	RNTPC approved the case.
<i>Proposed Filling and Excavation of Land for Development of New Territories Exempted Houses (NTEHs)</i>		
A/YL-PS/355 (21.10.2011) (Approved with condition)	PlanD	PlanD had no objection to the application as: (i) The Site <u>fell entirely within the “V” zone and VE</u> (ii) The proposed filling and excavation of land was <u>associated with the site formation for 7 small houses</u> within the V zone and was therefore considered <u>in line with the planning intention</u> of “V” zone. (iii) The Site was <u>largely vacant and covered by grass and weeds</u> .

		<p>(iv) In view of the <u>nature and scale</u> of the proposed filling and excavation works, <u>no adverse impact</u> on the surrounding area was anticipated.</p> <p>(v) The <u>resultant visual impact would not be significant</u>.</p>
	RNTPC	RNTPC approved the case.

5.4.3 To conclude with, this planning application is highly comparable to the aforementioned cases given that [1] the Site falls entirely within the “V” zone and VE; [2] it is in line with the planning intention; [3] it is of small scale; [4] it is to address the possible drainage impact; [5] the resultant visual impact would not be significant. In this regard, the board is invited to give a favourable consideration to the subject application.

6. CONCLUSION

6.1.1 The application aims at obtaining the planning permission from TPB to carry out excavation and filling of land at the Application Site. The proposed works are to address the 4m height slope to the west and southwest of the Site.

6.1.2 The proposed excavation is about 1 to 1.5m deep and will be filled with the same thickness of the soil being excavated. Hence, the Site level will remain roughly the same. This planning statement has been summarised in the following aspects:

- The proposed development aims at obtaining the approval to carry out excavation and filling of land under Section 16 of the Town Planning Ordinance.
- The proposed development is situated at Lot 318 s.B ss.1 and Lot 318 s.B R.P. in D.D. 122, Hang Tau Tsuen, Ping Shan Heung, Yuen Long, NT, with existing village track access to the Site.
- The Site level will remain the same.
- The proposed development is in line with the planning intention of “V” zone and falls within VE.
- The proposed development is compatible with the surrounding areas and uses.
- The proposed development would not result in any adverse impacts.
- The proposed development is highly comparable to other similar approved cases nearby.



DeSPACE (International) Limited

Date: 11th April 2022

Pages: 1

BY EMAIL (tpbpd@pland.gov.hk)

Secretary, Town Planning Board
15/F, North Point Government Offices
333 Java Road, North Point, Hong Kong

Dear Sir/Madam,

SECTION 16 APPLICATION TPO (CHAPTER 131)
PROPOSED FILLING AND EXCAVATION OF LAND FOR PERMITTED HOUSE
(NEW TERRITORIES EXEMPTED HOUSES)
IN "VILLAGE TYPE DEVELOPMENT" ZONE
AT LOTS 318 S.B SS.1 AND 318 S.B R.P. IN D.D. 122 PING SHAN YUEN LONG
(Town Planning Application No. A/YL-PS/656 – Submission of Further Information)

References is made to the email dated 7th April 2022 from the Planning Department in relation to technical comment from Transport Department.

In order to address the comment, please find attached response-to-comment (R to C) table.

Departmental Comment	Response
Email dated 7th April 2022 refers: TD:	
Trip Generation The applicant is required to advise the estimated trip generation and attraction associated with the filling and excavation works for further consideration on the application.	Noted with thanks. Please be invited to note that 1 heavy truck would travel to the Site on the first day of construction, and 1 heavy truck would again travel to the Site at the end of the construction period.

Please be invited to note that the attached table serves as a technical clarification/response to comments of relevant Government departments without any material change of the scheme. The overall proposed development parameters remain unchanged. This FI(1) does not affect the substance of the application and could be considered for exemption from the requirement of publication for public comments.

Should you have any queries, please feel free to contact Mr. Wilson LAW at 2493 3626 or undersigned at 3590 6333.

Yours faithfully,
FOR AND ON BEHALF OF
DeSPACE (INTERNATIONAL) LIMITED



Greg Lam

cc. Mr. LEE Ka Ho, Kent (TP/Tuen Mun 1), Email: kkhlee@pland.gov.hk



DeSPACE (International) Limited

Date: 3th May 2022

Pages: 1 + 15

BY HAND + EMAIL (tpbpd@pland.gov.hk)

Secretary, Town Planning Board
15/F, North Point Government Offices
333 Java Road, North Point, Hong Kong

Dear Sir/Madam,

**SECTION 16 APPLICATION TPO (CHAPTER 131)
PROPOSED FILLING AND EXCAVATION OF LAND FOR PERMITTED HOUSE
(NEW TERRITORIES EXEMPTED HOUSES)
IN "VILLAGE TYPE DEVELOPMENT" ZONE
AT LOTS 318 S.B SS.1 AND 318 S.B R.P. IN D.D. 122 PING SHAN YUEN LONG
(Town Planning Application No. A/YL-PS/656 – Submission of Further Information 2)**

References are made to the email dated 14th April 2022 from the Planning Department in relation to technical comments from DSD.

In order to address the comments, please find attached response-to-comment (R to C) table and the proposed drainage plan with hydraulic calculation and existing site photos in **Attachment 1**.

Should you have any queries, please feel free to contact Mr. Wilson LAW at 2493 3626 or undersigned at 3590 6333.

Yours faithfully,
FOR AND ON BEHALF OF
DeSPACE (INTERNATIONAL) LIMITED



Greg Lam

cc. Mr. LEE Ka Ho, Kent (TP/TM & YLW), Email: kkhlee@pland.gov.hk

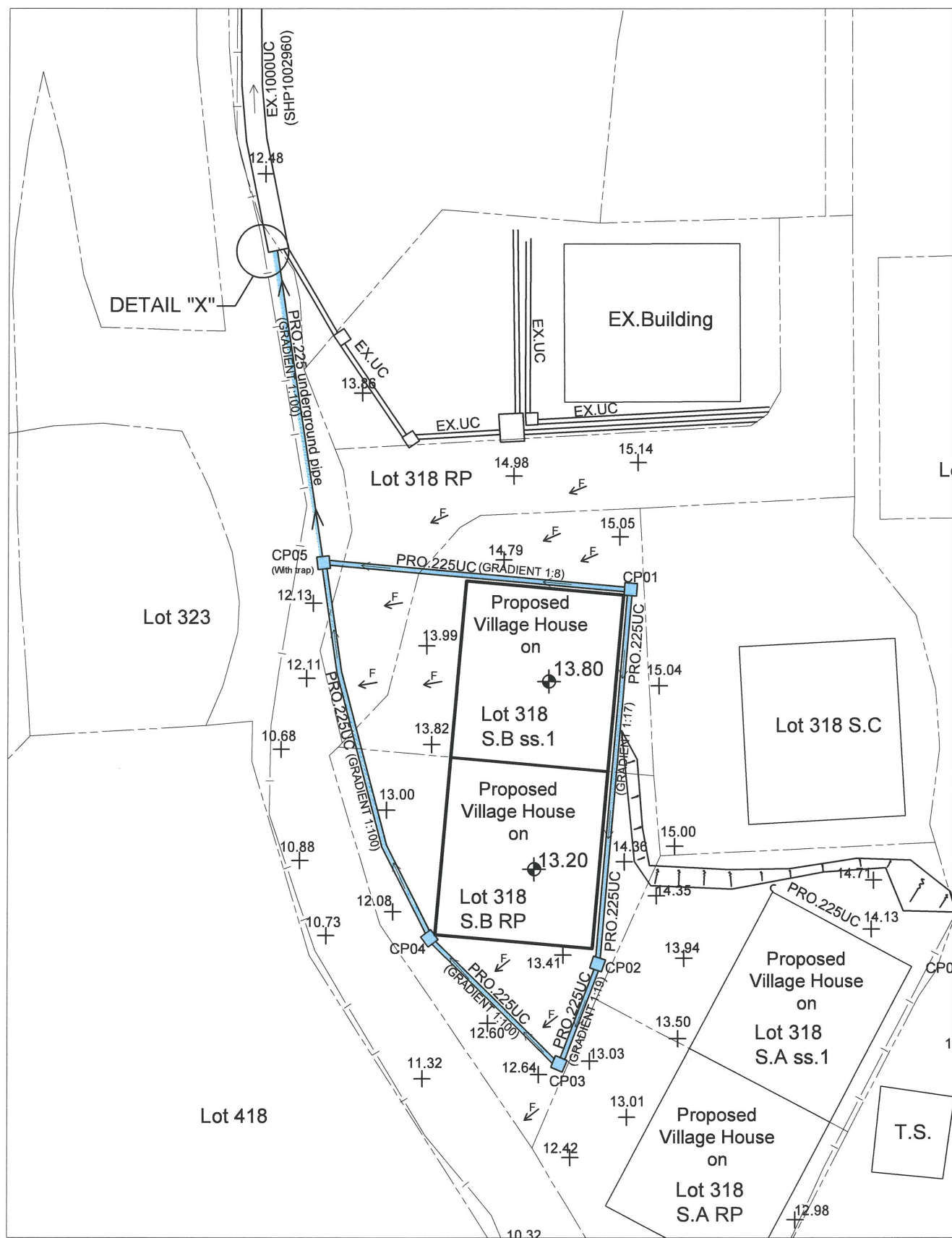
PROPOSED FILLING AND EXCAVATION OF LAND FOR PERMITTED HOUSE (NEW TERRITORIES EXEMPTED HOUSES) IN “VILLAGE TYPE DEVELOPMENT” ZONE AT LOTS 318 S.B SS.1 AND 318 S.B R.P. IN D.D. 122 PING SHAN
YUEN LONG
(Application No. A/YL-PS/656)

Departmental Comments	Response
<p><u>Email dated 14th April 2022 refers:</u></p> <p><u>DSD:</u></p>	
<p>(i): Please demonstrate with hydraulic calculation that the proposed drainage facilities are adequate to collect, convey and discharge the surface runoff accrued on the application site and the overland flow intercepted from the adjacent lands. The applicant should also demonstrate the existing channel to be discharged to have sufficient capacity to cater for the additional flow generated by the application site.</p>	<p>The Attachment 1 provides the hydraulic calculation that the proposed drainage facilities are adequate to collect, convey and discharge to surface runoff accrued on the application site and the overland flow intercepted from the adjacent lands. The proposed drainage facilities also have sufficient capacity to cater for additional flow generated by the Site.</p>
<p>(ii): The ground to the north of the application site is generally higher. Since the overland flow from the adjacent lands shall be probably intercepted, external catchment shall be considered in the calculation.</p>	<p>Noted with thanks. External catchment (Area D) has been considered in the calculation.</p>
<p>(iii): Please indicate clearly the full alignment of the discharge path from the application site all the way down to the ultimate discharge point (e.g a well-established public drainage system).</p>	<p>Please see the drainage plan with full alignment of the discharge path in Attachment 1 for your information.</p>
<p>(iv): The existing channel, to which the applicant proposed to discharge the stormwater from the subject site was not maintained by this office. The applicant should identify the owner of the existing drainage facilities and obtain consent from the owner prior to commencement of the proposed works. In the case that it is a local village drains, DO/YL should be consulted.</p>	<p>DO/YL responded that they have no information about the concerned drainage facilities. They observed that the drainage facilities have adapted the CEDD’s standard design and presumed they are managed by government bodies. The applicant would be happy to identify the owner of the existing drainage facilities at the construction stage and obtain consent from the owner prior the commencement of the</p>

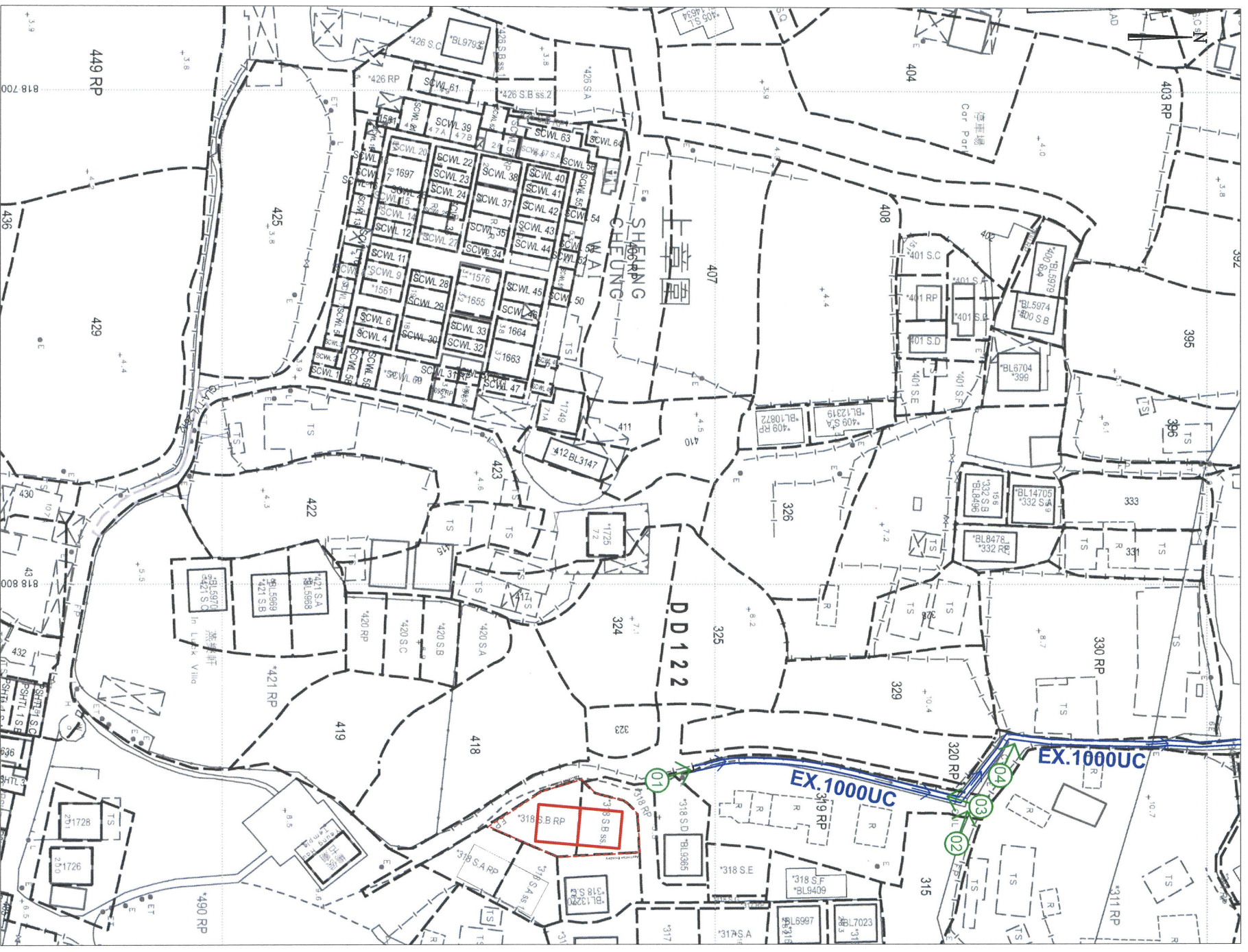
	proposed works.
(v): Further to (iv) above, since there is no record of the said discharge path, please provide site photos to demonstrate its presence and existing condition.	Please see the existing site photos in Attachment 1 for your information.
(vi): The gradients of the proposed U-channels should be shown on the drainage plan.	Please see the drainage plan with gradients of the proposed U-channels in Attachment 1 for your information.
(vii): Cross sections showing the existing and proposed ground levels of the captioned site with respect to the adjacent areas should be given.	Cross sections have been provided in the Appendix A (Plans and Drawings) from the original planning submission. Please note that the Site level will not be changed after the proposed work.
(viii): Sand trap or provision alike should be provided before the collected runoff is discharged to the public drainage facilities.	Please see the drainage plan with 'trap' (sand trap) annotated in Attachment 1 for your information.
(ix): Where walls or hoarding are erected are laid along the site boundary, adequate opening should be provided to intercept the existing overland flow passing through the site.	Noted with thanks.
(x): The development should neither obstruct overland flow nor adversely affect existing natural streams village drains, ditches and the adjacent areas, etc	Noted with thanks.
(xi): The applicant should consult DLO/YL and seek consent from the relevant owners for any drainage works to be carried out outside his lot boundary before commencement of the drainage works.	Noted with thanks.

Attachment 1

Proposed Drainage Plan with Hydraulic
Calculation and Existing Site Photos



APPLICATION SITE LOT NO. i) 318 S.B ss.1 ii) 318 S.B RP D.D.122 HANG TAU TSUEN, PING SHAN, YUEN LONG, N.T.	DRAWING TITLE STORMWATER DRAINAGE WORK	DRAWING NO. ST-1C	This drawings and all related information are property of Sino Chief Engineering Co Ltd, any use must be approved by the company.	S i n o C h i e f Engineering Co Ltd 盛上建设工程有限公司
		DRAWING DATE 28 APR 2022		



APPLICATION SITE

LOT NO.
i) 318 S.B ss.1
ii) 318 S.B RP D.D.122
HANG TAU TSUEN, PING SHAN,
YUEN LONG, N.T.

DRAWING TITLE

STORMWATER
DRAINAGE WORK

DRAWING NO.

ST-3C

DRAWING DATE

28 APR 2022

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Engineering Co Ltd**

盛上建設工程有限公司

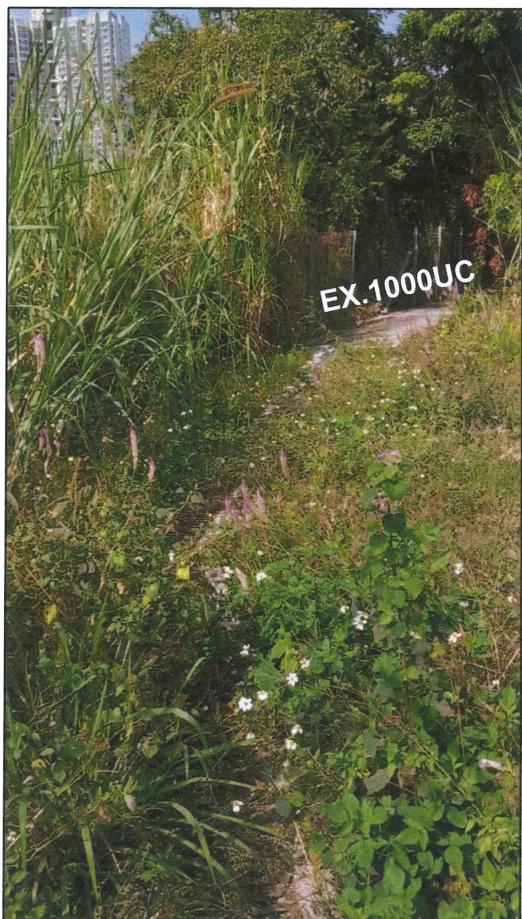


PHOTO - 01



PHOTO - 02



PHOTO - 03



PHOTO - 04

APPLICATION SITE LOT NO. i) 318 S.B ss.1 ii) 318 S.B RP D.D.122 HANG TAU TSUEN, PING SHAN, YUEN LONG, N.T.	DRAWING TITLE STORMWATER DRAINAGE WORK	DRAWING NO. ST-4C	This drawings and all related information are property of Sino Chief Engineering Co Ltd, any use must be approved by the company.	S i n o C h i e f Engineering Co Ltd 盛上建設工程有限公司
		DRAWING DATE 28 APR 2022		

APPLICATION SITE

i) Lot 318 S.B ss.1 ii) Lot 318 S.B RP
D.D. 122 HANG TAU TSUEN, PING SHAN, YUEN LONG, N.T.

Design of Surface Drainage System**Design Statement**

- 1 Design Based on a 200 year return period storm
- 2 Maximum run-off estimation is based on the "Rational Method", i.e.

$$Q = K.I.A / 60$$

where,

Q = Max runoff (l / min)

K = Run-off mean intensity rainfall (mm/min) which depends on the time concentration t

$$t = 0.14465 * (L / H^{0.2} * A^{0.1})$$

H = Average fall (m per 100m) from summit of catchment to the point of design (δh/δL)/100

L = Distance in metres measured on the line of natural flow between the design section and that point of the catchment from which water would take the longest time to reach the design section.

- 3 Design channels referred to Chapter 8 of the Geotechnical Manual for Slopes, GEO.
- 4 Design of underground pipes referred to the Municipal Group Design Handbook, 1990.

Discharge from Catchment

Area Ref no	Area (m ²)	L (m)	δh (m)	δL (m)	H ((δh / δL) / 100) (m/100m)	Time Conc t (min)	i. (mm/hr)	For Permanent drainag i x 1.138	Q (l/min)
AREA-A	337	78	3.73	76	0.0005	28.9	214	244	1368
AREA-B	243	41	2.41	15	0.0016	12.4	280	319	1291
AREA-C	139	26	2.45	23	0.0011	9.0	310	353	818
AREA-D	2164	117	5.05	56	0.0009	31.9	208	237	8538

Channel Ref	Area	Total Q (l/min)	Channel Size (mm)	Gradient	Capacity of Channel (l/min)	Velocity >1.3 & < 5 (m/s)	Check
C-1	A	1368	225	1 in 17	9000	3.40	OK
C-1A	A	1368	225	1 in 19	8500	3.20	OK
C-2	A+B	2659	225	1 in 100	3900	1.40	OK
C-3	C	818	225	1 in 8	20000	4.80	OK
C-3A	A+B+C	3477	225	1 in 100	3900	1.40	OK
C-4	A+B+C+D	12015	1000	1 in 100	>50000	N/A	OK

i) Lot 318 S.B ss.1 ii) Lot 318 S.B RP



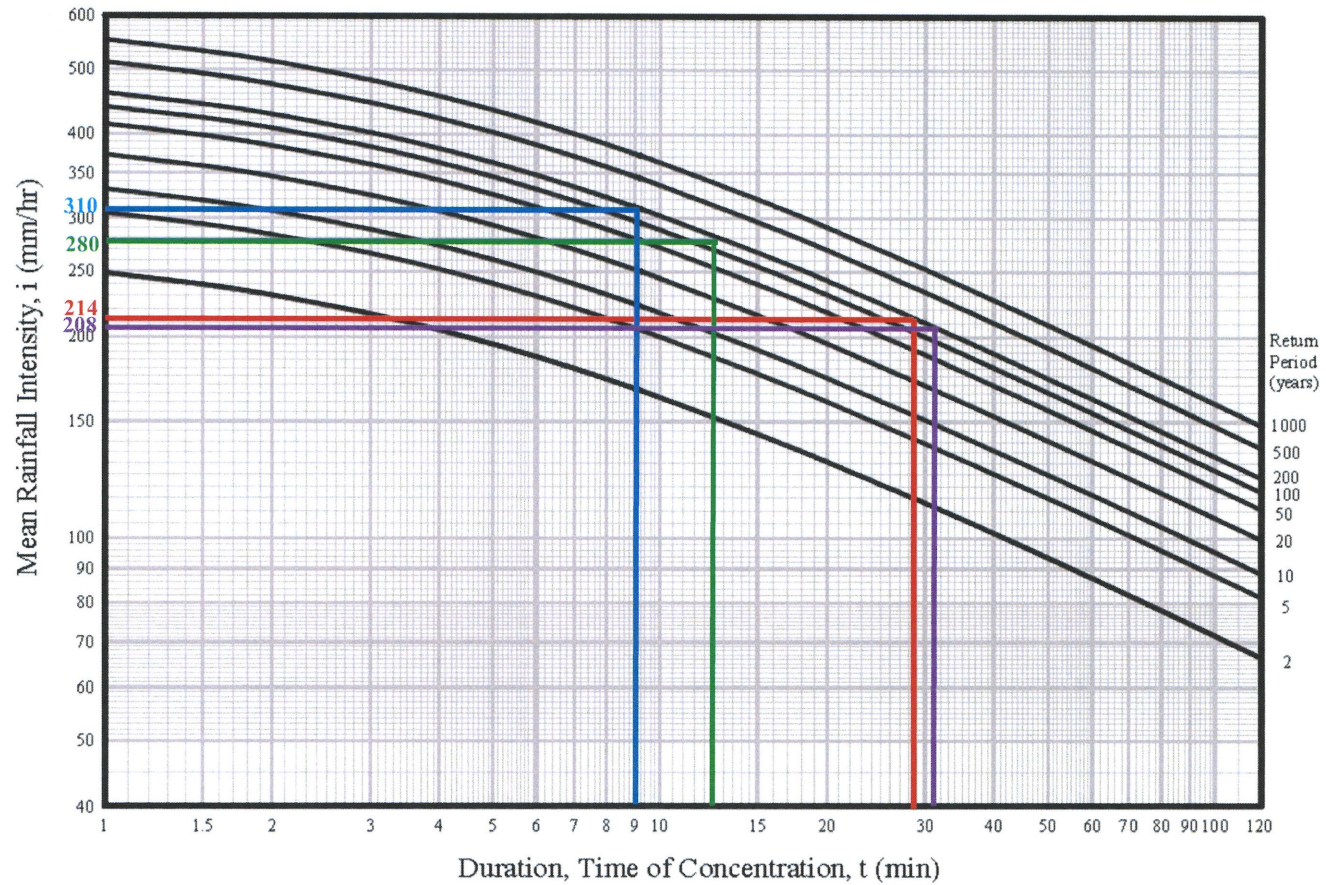
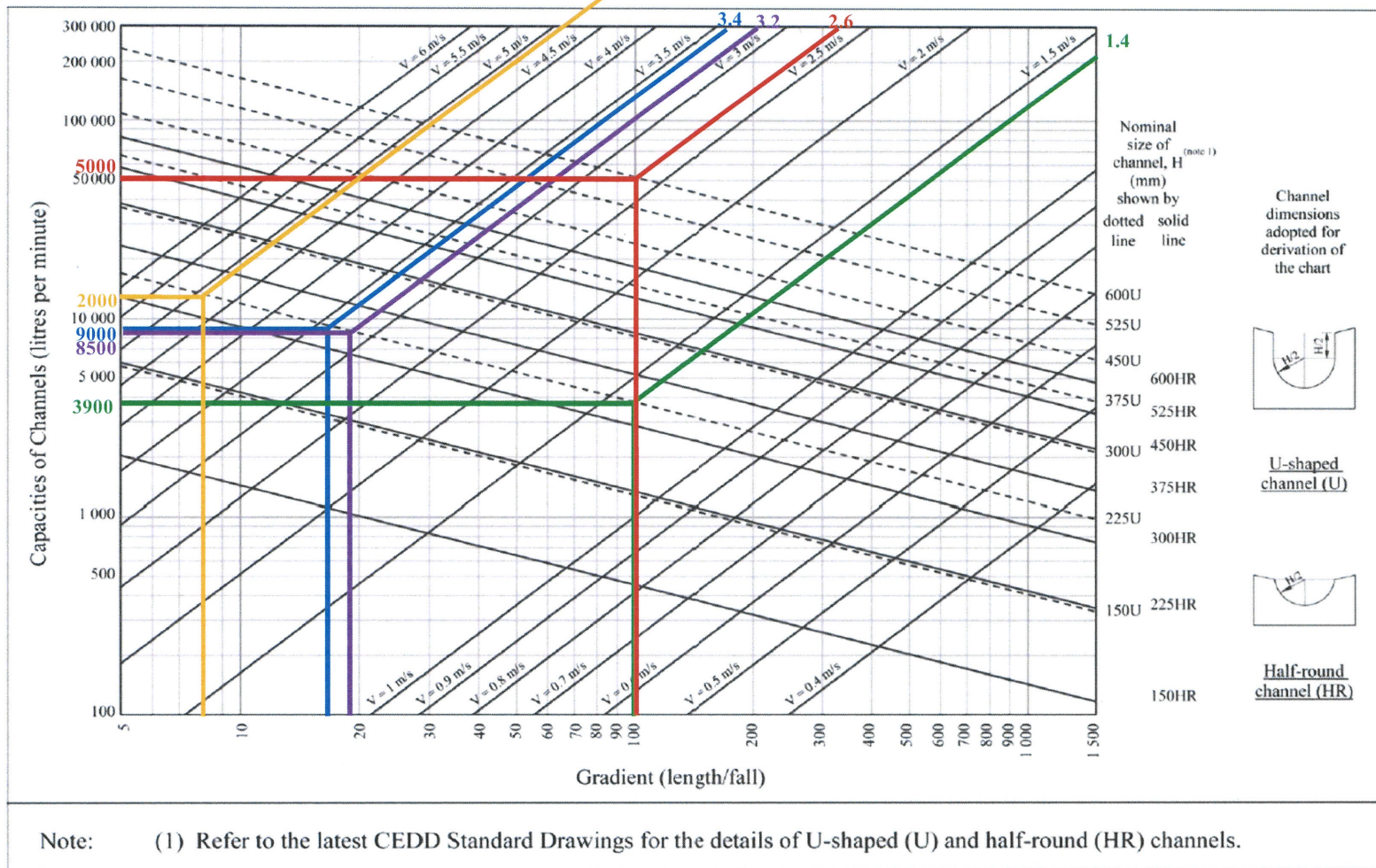
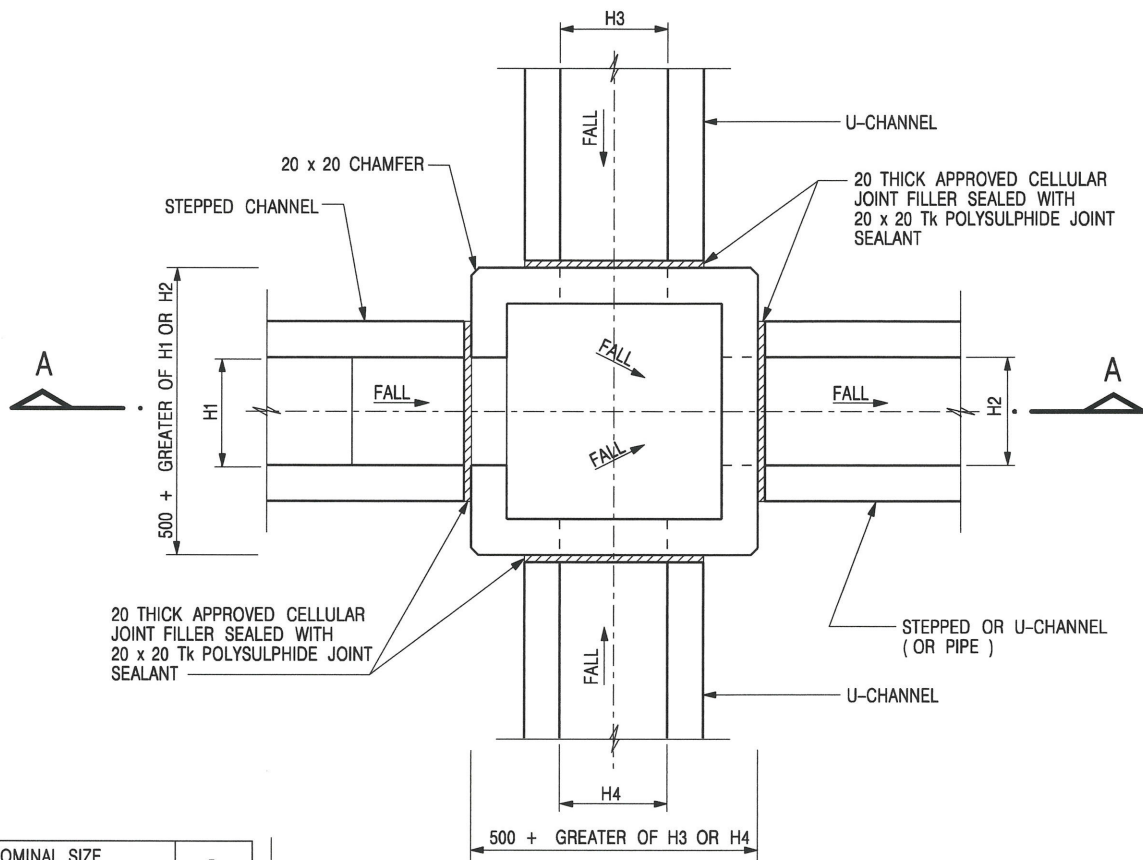


Figure 1 – Updated Intensity-Duration-Frequency Curves

- Notes:
1. These IDF curves are to supersede those given in Figure 8.2 of the Geotechnical Manual for Slopes (GCO, 1984).
 2. These IDF curves have not incorporated any projected climate change effects. Except for temporary slope drainage design, the mean rainfall intensity given by these IDF curves shall be increased by 13.8% for incorporating climate change effects.
 3. The mathematical formulae of these IDF curves are shown in Table 1 of Annex TGN 30 A1.

Figure 1 - Chart for the rapid design of U-shaped and half-round channels up to 600 mm

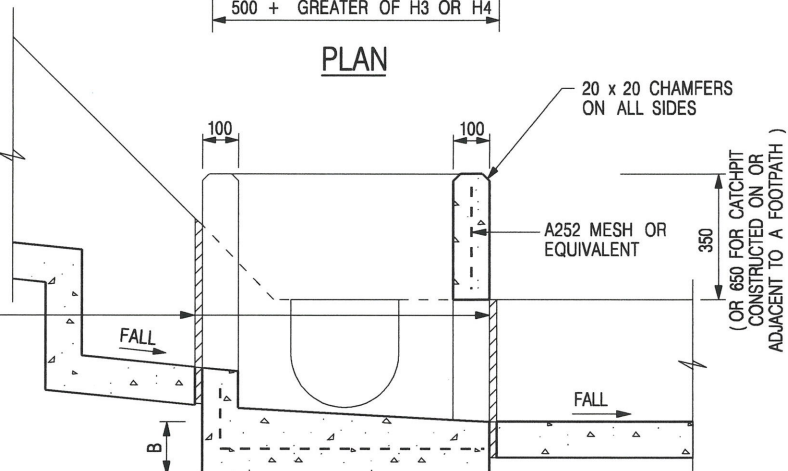




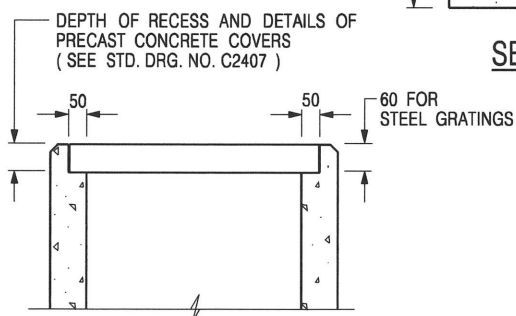
PLAN

NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175

20 THICK APPROVED CELLULAR JOINT FILLER SEALED WITH 20 x 20 Tk POLYSULPHIDE JOINT SEALANT



SECTION A - A




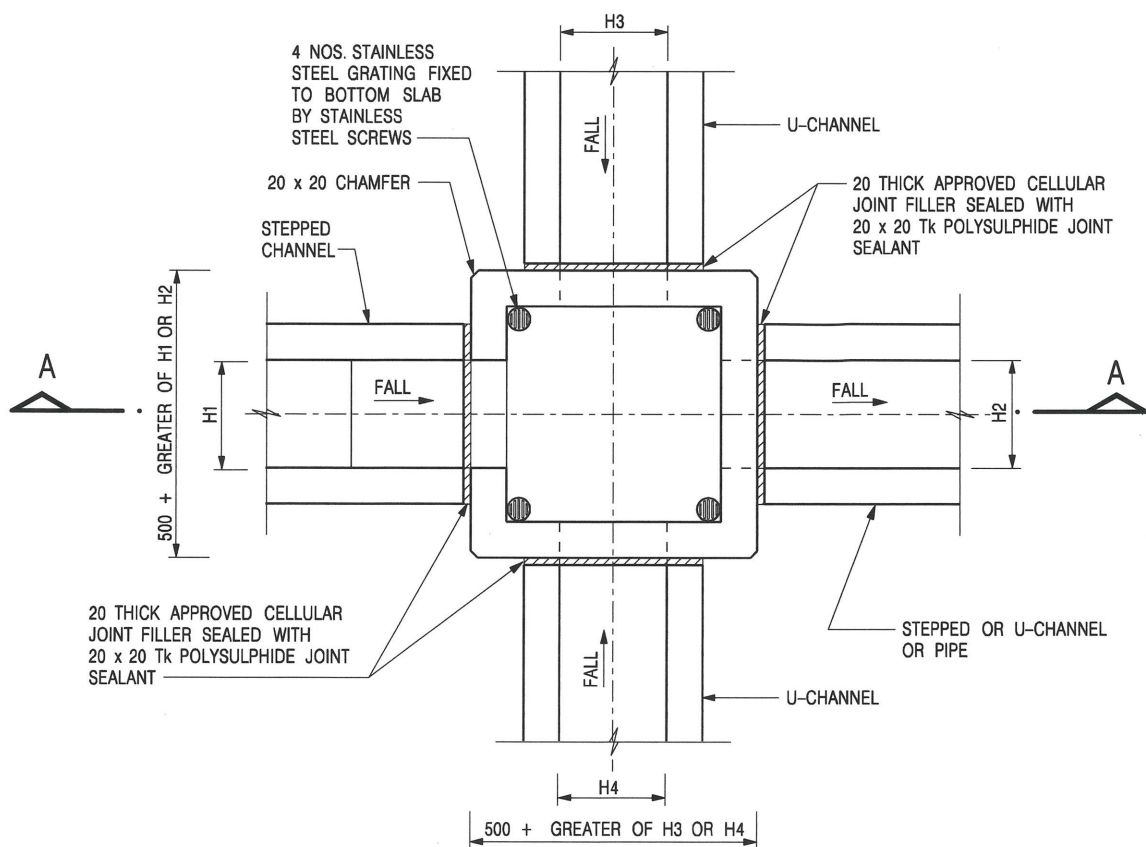
**ALTERNATIVE TOP SECTION FOR
PRECAST CONCRETE COVERS / GRATINGS**

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 5 FOR OTHER NOTES.

**STANDARD CATCHPIT DETAILS
(SHEET 1 OF 5)**

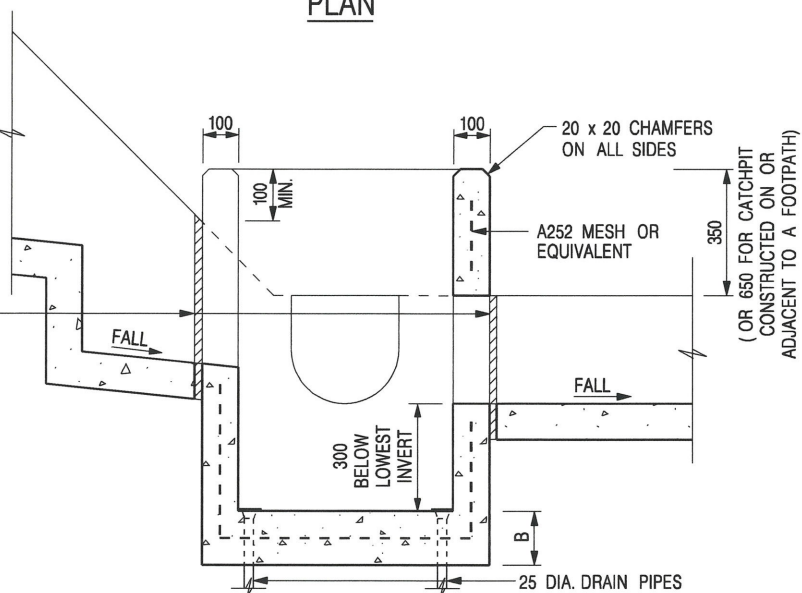
FORMER DRG. NO. C2405J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE DATE
 CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT		
SCALE 1 : 20		DRAWING NO.
DATE JAN 1991		C2405 /1



PLAN

NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175

20 THICK APPROVED CELLULAR JOINT FILLER SEALED WITH 20 x 20 Tk POLYSULPHIDE JOINT SEALANT




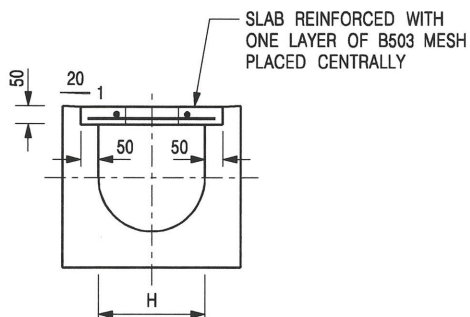
SECTION A - A

NOTES:

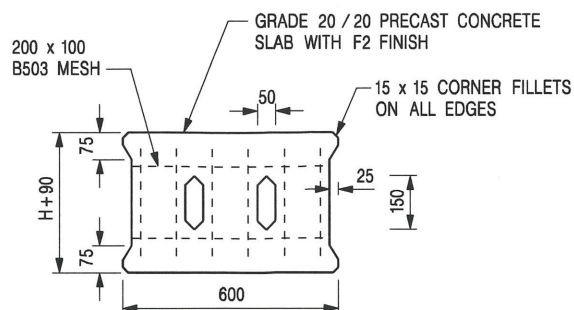
- ALL DIMENSIONS ARE IN MILLIMETRES.
- REFER TO SHEET 2 FOR OTHER NOTES.

CATCHPIT WITH TRAP
(SHEET 1 OF 2)

FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE DATE
 CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT		
SCALE 1 : 20		DRAWING NO. C2406 /1
DATE JAN 1991		



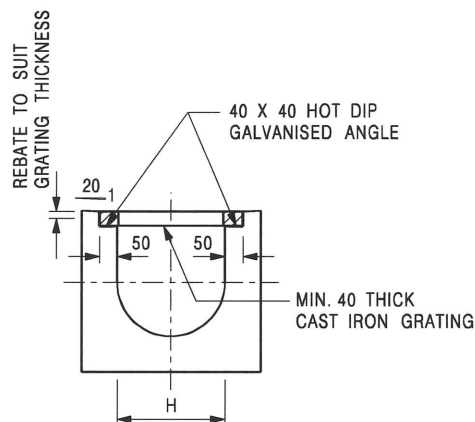
TYPICAL SECTION



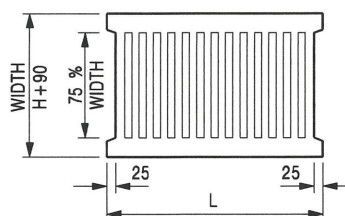
PLAN OF SLAB

U-CHANNELS WITH PRECAST CONCRETE SLABS

(UP TO H OF 525)



TYPICAL SECTION



L = 600mm FOR H ≤ 375mm
L = 400mm FOR H > 375mm

CAST IRON GRATING

(DIMENSIONS ARE FOR GUIDANCE ONLY, CONTRACTOR MAY SUBMIT EQUIVALENT TYPE)

U-CHANNEL WITH CAST IRON GRATING

(UP TO H OF 525)

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. H=NOMINAL CHANNEL SIZE.
3. ALL CAST IRON FOR GRATINGS SHALL BE GRADE EN-GJL-150 COMPLYING WITH BS EN 1561.
4. FOR COVERED CHANNELS TO BE HANDED OVER TO HIGHWAYS DEPARTMENT FOR MAINTENANCE, THE GRATING DETAILS SHALL FOLLOW THOSE AS SHOWN ON HyD STD. DRG. NO. H3156.

E	NOTES 3 & 4 AMENDED.	Original Signed	12.2014
D	NOTE 4 ADDED.	Original Signed	06.2008
C	MINOR AMENDMENT. NOTE 3 ADDED.	Original Signed	12.2005
B	NAME OF DEPARTMENT AMENDED.	Original Signed	01.2005
A	CAST IRON GRATING AMENDED.	Original Signed	12.2002
REF.	REVISION	SIGNATURE	DATE

**COVER SLAB AND CAST IRON
GRATING FOR CHANNELS**

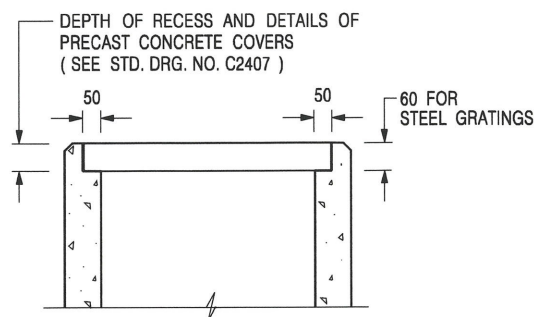


**CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT**

SCALE 1 : 20

DATE JAN 1991

DRAWING NO.
C2412E



ALTERNATIVE TOP SECTION FOR PRECAST CONCRETE COVERS / GRATINGS

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS (SEE DETAIL 'A' ON STD. DRG. NO. C2405 /2) OR CONCRETE COVERS (SEE STD. DRG. NO. C2407) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING (SEE DETAIL 'J' ON STD. DRG. NO. C2405 /5; EXCEPT ON THE UPSLOPE SIDE) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS (SEE DSD STD. DRG. NO. DS1043) AT 300 c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'G' ON STD. DRG. NO. C2405 /4.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

A	MINOR AMENDMENT.	Original Signed	04.2016
-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE

CATCHPIT WITH TRAP
(SHEET 2 OF 2)



**CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT**

SCALE 1 : 20

DATE JAN 1991

DRAWING NO.

C2406 /2A



DeSPACE (International) Limited

Date: 18th May 2022

Pages: 1 + 15

BY HAND & EMAIL (tpbpd@pland.gov.hk)

Secretary, Town Planning Board
15/F, North Point Government Offices
333 Java Road, North Point, Hong Kong

Dear Sir/Madam,

**SECTION 16 APPLICATION TPO (CHAPTER 131)
PROPOSED FILLING AND EXCAVATION OF LAND FOR PERMITTED HOUSE
(NEW TERRITORIES EXEMPTED HOUSES)
IN "VILLAGE TYPE DEVELOPMENT" ZONE
AT LOTS 318 S.B SS.1 AND 318 S.B R.P. IN D.D. 122 PING SHAN YUEN LONG
(Town Planning Application No. A/YL-PS/656 – Submission of Updated Further Information 2 and
Supersedure of the Original Further Information 2)**

References are made to the Further Information 2 (FI2) submission dated 5th May 2022 in relation to technical comments from DSD.

In order to further address the concerns by DSD, we would like to supersede the original version of FI2 submitted on 5th May 2022 by the new version of FI2 attached below. Please find attached response-to-comment (R to C) table and the updated proposed drainage plan with hydraulic calculation and existing site photos in **Attachment 1**.

Should you have any queries, please feel free to contact Mr. Wilson LAW at 2493 3626 or undersigned at 3590 6333.

Yours faithfully,
FOR AND ON BEHALF OF
DeSPACE (INTERNATIONAL) LIMITED



Greg Lam

cc. Mr. LEE Ka Ho, Kent (TP/TM & YLW), Email: kkhlee@pland.gov.hk

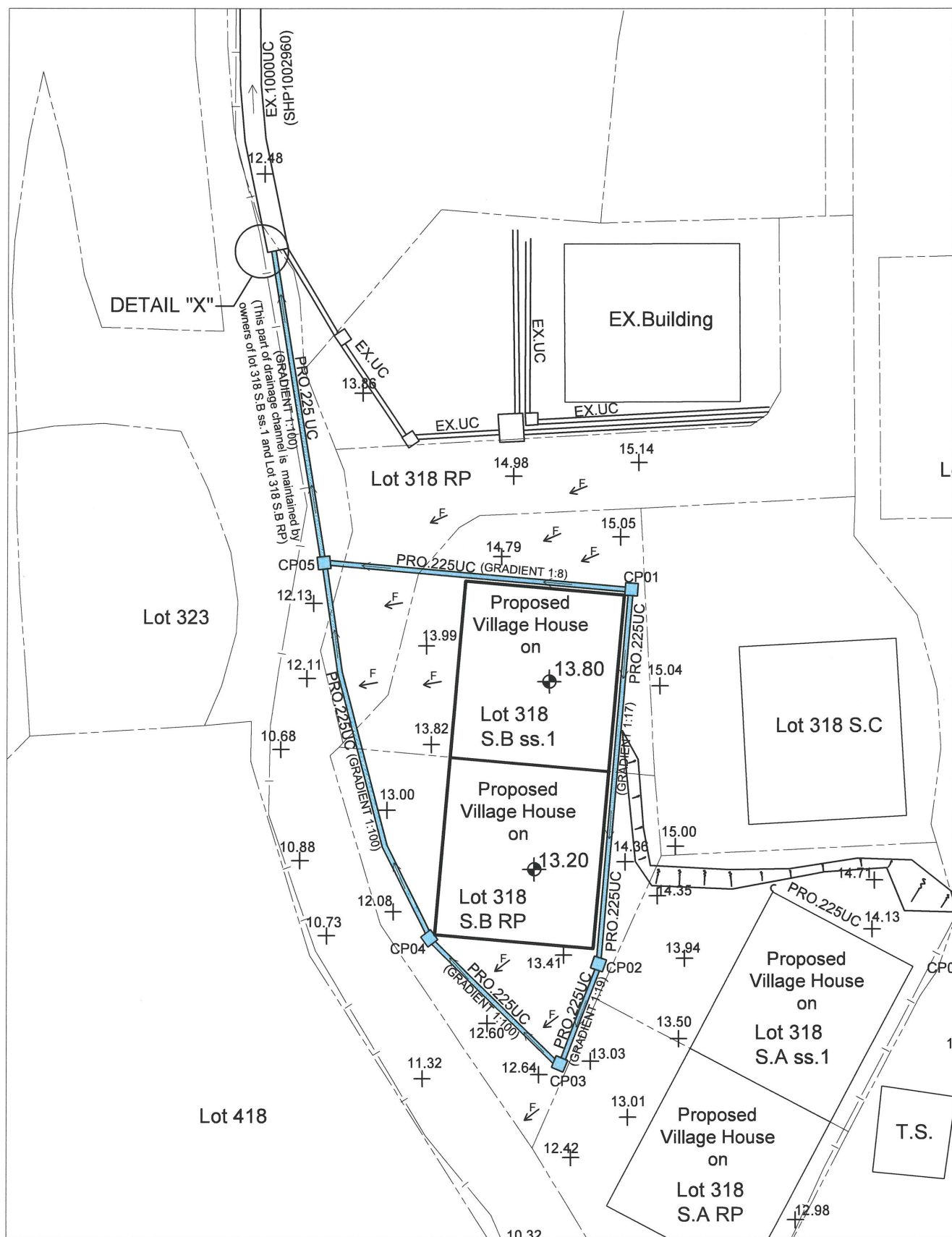
PROPOSED FILLING AND EXCAVATION OF LAND FOR PERMITTED HOUSE (NEW TERRITORIES EXEMPTED HOUSES) IN “VILLAGE TYPE DEVELOPMENT” ZONE AT LOTS 318 S.B SS.1 AND 318 S.B R.P. IN D.D. 122 PING SHAN
YUEN LONG
(Application No. A/YL-PS/656)

Departmental Comments	Response
<u>Email dated 14th April 2022 refers:</u> <u>DSD:</u>	
(i): Please demonstrate with hydraulic calculation that the proposed drainage facilities are adequate to collect, convey and discharge the surface runoff accrued on the application site and the overland flow intercepted from the adjacent lands. The applicant should also demonstrate the existing channel to be discharged to have sufficient capacity to cater for the additional flow generated by the application site.	The Attachment 1 provides the hydraulic calculation that the proposed drainage facilities are adequate to collect, convey and discharge to surface runoff accrued on the application site and the overland flow intercepted from the adjacent lands. The proposed drainage facilities also have sufficient capacity to cater for additional flow generated by the Site.
(ii): The ground to the north of the application site is generally higher. Since the overland flow from the adjacent lands shall be probably intercepted, external catchment shall be considered in the calculation.	Noted with thanks. External catchment (Area D) has been considered in the calculation.
(iii): Please indicate clearly the full alignment of the discharge path from the application site all the way down to the ultimate discharge point (e.g a well-established public drainage system).	Please see the drainage plan with full alignment of the discharge path in Attachment 1 for your information.
(iv): The existing channel, to which the applicant proposed to discharge the stormwater from the subject site was not maintained by this office. The applicant should identify the owner of the existing drainage facilities and obtain consent from the owner prior to commencement of the proposed works. In the case that it is a local village drains, DO/YL should be consulted.	DO/YL responded that they have no information about the concerned drainage facilities. They observed that the drainage facilities have adapted the CEDD's standard design and presumed they are managed by government bodies. The applicant would be happy to identify the owner of the existing drainage facilities at the construction stage and obtain consent from the owner prior the commencement of the

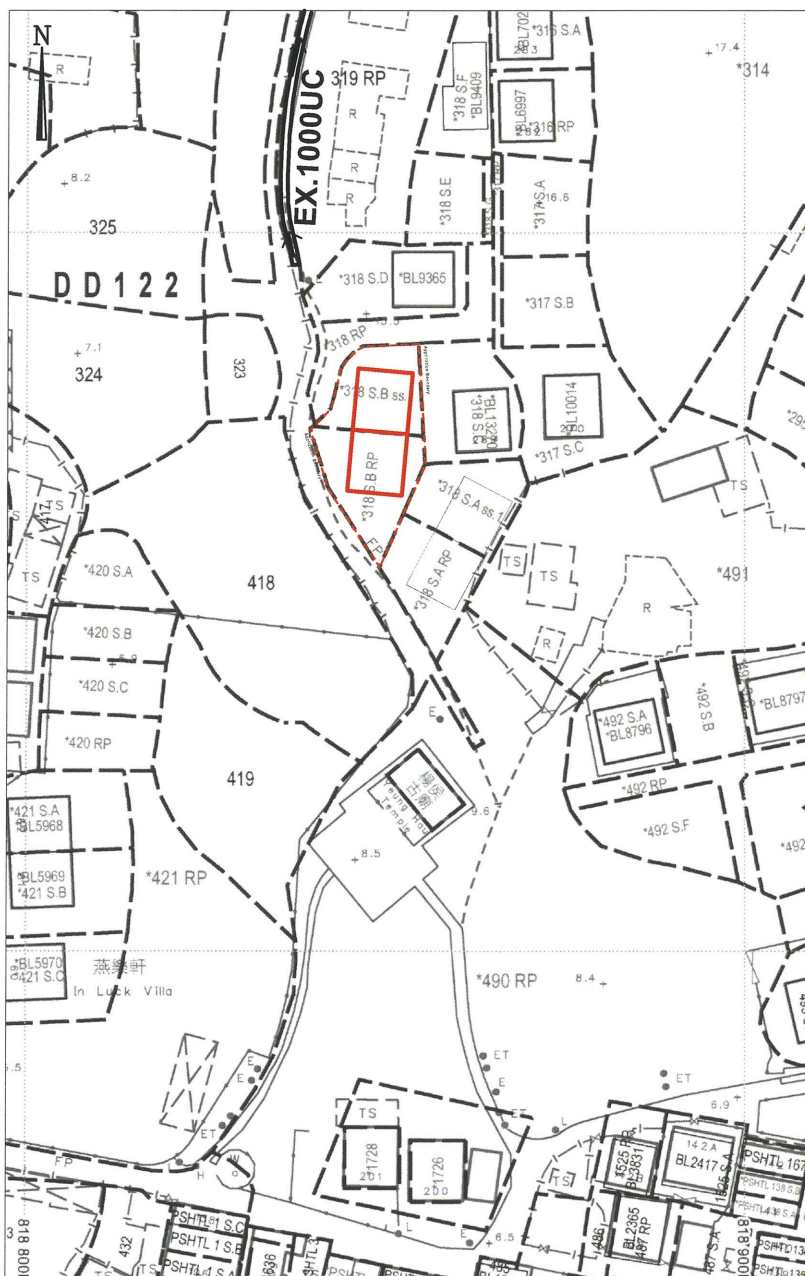
	proposed works.
(v): Further to (iv) above, since there is no record of the said discharge path, please provide site photos to demonstrate its presence and existing condition.	Please see the existing site photos in Attachment 1 for your information.
(vi): The gradients of the proposed U-channels should be shown on the drainage plan.	Please see the drainage plan with gradients of the proposed U-channels in Attachment 1 for your information.
(vii): Cross sections showing the existing and proposed ground levels of the captioned site with respect to the adjacent areas should be given.	Cross sections have been provided in the Appendix A (Plans and Drawings) from the original planning submission. Please note that the Site level will not be changed after the proposed work.
(viii): Sand trap or provision alike should be provided before the collected runoff is discharged to the public drainage facilities.	Please see the drainage plan with 'trap' (sand trap) annotated in Attachment 1 for your information.
(ix): Where walls or hoarding are erected are laid along the site boundary, adequate opening should be provided to intercept the existing overland flow passing through the site.	Noted with thanks.
(x): The development should neither obstruct overland flow nor adversely affect existing natural streams village drains, ditches and the adjacent areas, etc	Noted with thanks.
(xi): The applicant should consult DLO/YL and seek consent from the relevant owners for any drainage works to be carried out outside his lot boundary before commencement of the drainage works.	Noted with thanks.

Attachment 1

Proposed Drainage Plan with Hydraulic
Calculation and Existing Site Photos



APPLICATION SITE LOT NO. i) 318 S.B ss.1 ii) 318 S.B RP D.D.122 HANG TAU TSUEN, PING SHAN, YUEN LONG, N.T.	DRAWING TITLE STORMWATER DRAINAGE WORK	DRAWING NO. ST-1D	This drawings and all related information are property of Sino Chief Engineering Co Ltd, any use must be approved by the company.	S i n o C h i e f Engineering Co Ltd 盛上建设工程有限公司
		DRAWING DATE 17 MAY 2022		



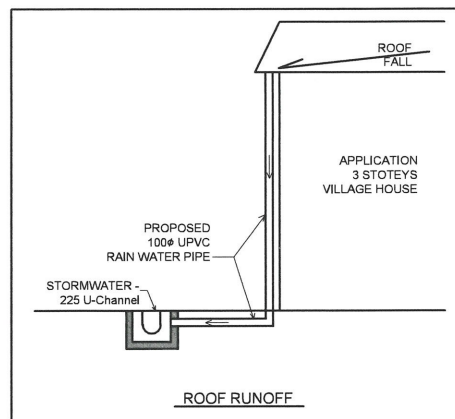
BLOCK PLAN
(SCALE 1 : 1000)

GENERAL NOTES

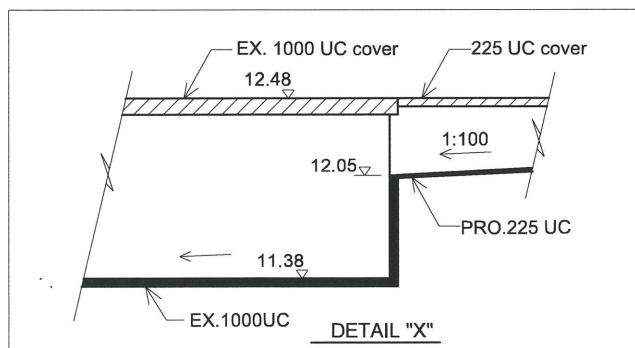
1. ALL DIMENSIONS ARE IN MILLIMETERS
2. CONCRETE MIX TO BE 30D/20 AND COMPLY WITH CS1.
3. BLINDING LAYER TO BE 15P MIX.
4. ALL NEW 225 CHANNEL ARE OF FALL GRADIENT 1:100
5. PROPOSED CONNECTION UNDERGROUND PIPE IS TO BE CONSTRUCTED UNDER FOOTPATH AND THE UPVC PIPE PROVIDED CONCRETE SURROUND MIN. 150MM THICK.
6. Proposed drainage channel on this plan is maintained by owners of lot 318 S.B ss1 and 318 S.B RP in D.D.122 .

LEGEND

	PRO.225UC
	225 U-Channel
	PROPOSED STORMWATER CATCHPIT
	LOT BOUNDARY
	BUILDING LINE
	SUBJECT BUILDING
	PLATFORM LEVEL IN mPD
	APPLICATION FOR STORMWATER DRAINAGE WORK



CATCHPIT	C L	A 1	A 2	X 1
CP1 (CEDD DRAWING NO. C2405/1)	15.01	-----	-----	14.41
CP2 (CEDD DRAWING NO. C2405/1)	13.67	13.42	-----	12.82
CP3 (CEDD DRAWING NO. C2405/1)	12.83	12.58	-----	12.43
CP4 (CEDD DRAWING NO. C2405/1)	12.60	12.35	-----	12.35
CP5 (WITH TRAP) (CEDD DRAWING NO. C2406/1)	12.60	12.18	12.35	12.18



APPLICATION SITE

LOT NO.
i) 318 S.B ss.1
ii) 318 S.B RP D.D.122
HANG TAU TSUEN, PING SHAN,
YUEN LONG, N.T.

DRAWING TITLE

STORMWATER
DRAINAGE WORK

DRAWING NO.

ST-2D

DRAWING DATE

17 MAY 2022

This drawings and all related information are property of Sino Chief Engineering Co Ltd, any use must be approved by the company.

Sino Chief Engineering Co Ltd

盛上建设工程有限公司

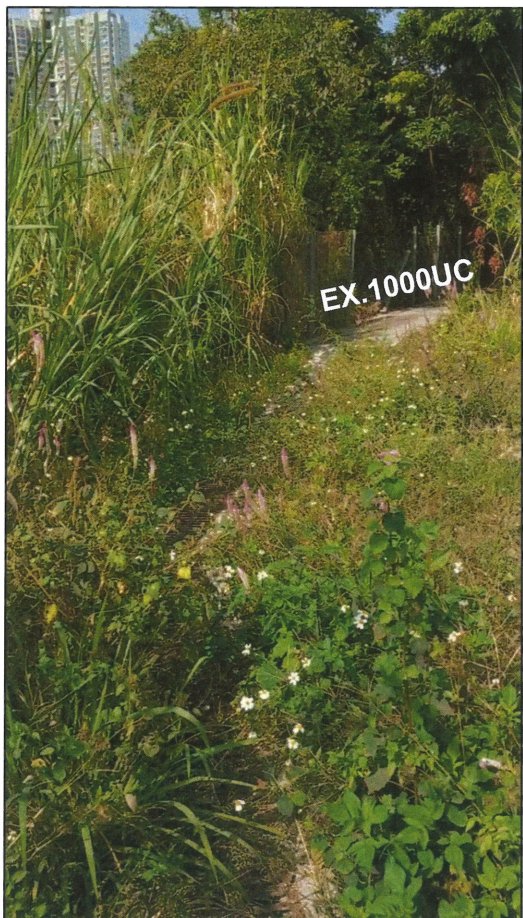


PHOTO - 01



PHOTO - 02



PHOTO - 03



PHOTO - 04

APPLICATION SITE LOT NO. i) 318 S.B ss.1 ii) 318 S.B RP D.D.122 HANG TAU TSUEN, PING SHAN, YUEN LONG, N.T.	DRAWING TITLE STORMWATER DRAINAGE WORK	DRAWING NO. ST-4D	This drawings and all related information are property of Sino Chief Engineering Co Ltd, any use must be approved by the company.	S i n o C h i e f Engineering Co Ltd 盛上建设工程有限公司
		DRAWING DATE 17 MAY 2022		

APPLICATION SITE

i) Lot 318 S.B ss.1 ii) Lot 318 S.B RP
D.D. 122 HANG TAU TSUEN, PING SHAN, YUEN LONG, N.T.

Design of Surface Drainage System**Design Statement**

- 1 Design Based on a 200 year return period storm
- 2 Maximum run-off estimation is based on the "Rational Method", i.e.

$$Q = K.I.A / 60$$

where,

Q = Max runoff (l / min)

K = Run-off mean intensity rainfall (mm/min) which depends on the time concentration t

$$t = 0.14465 * (L / H^{0.2} * A^{0.1})$$

H = Average fall (m per 100m) from summit of catchment to the point of design (δh/δL)/100

L = Distance in metres measured on the line of natural flow between the design section and that point of the catchment from which water would take the longest time to reach the design section.

- 3 Design channels referred to Chapter 8 of the Geotechnical Manual for Slopes, GEO.
- 4 Design of underground pipes referred to the Municipal Group Design Handbook, 1990.

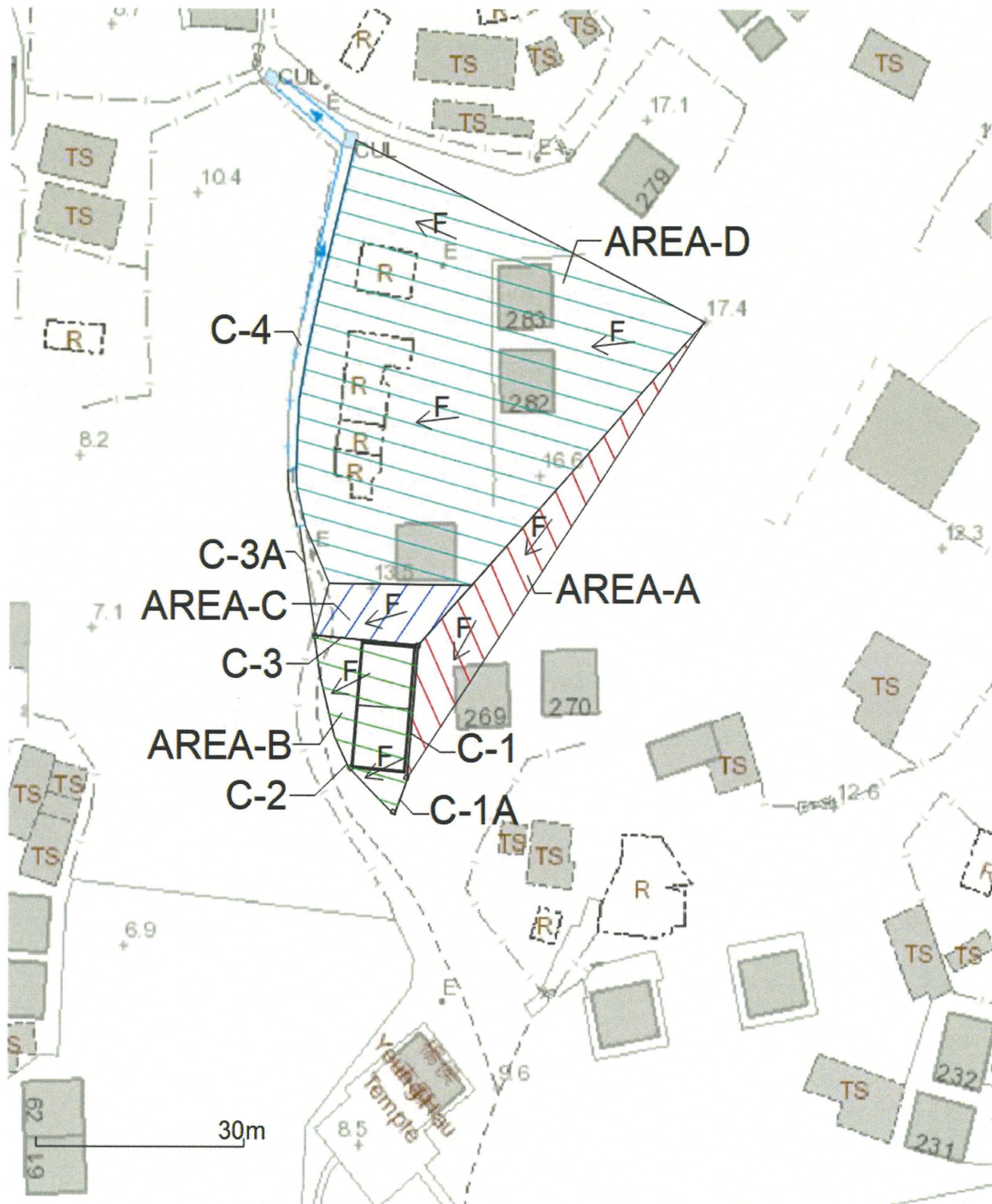
Discharge from Catchment

Area Ref no	Area (m ²)	L (m)	δh (m)	δL (m)	H ((δh / δL) / 100) (m/100m)	Time Conc t (min)	i. (mm/hr)	for Permanent drainage i x 1.138	Q (l/min)
AREA-A	337	78	3.73	76	0.0005	28.9	214	244	1368
AREA-B	243	41	2.41	15	0.0016	12.4	280	319	1291
AREA-C	139	26	2.45	23	0.0011	9.0	310	353	818
AREA-D	2164	117	5.05	56	0.0009	31.9	208	237	8538

Channel Ref	Area	Total Q (l/min)	Channel Size (mm)	Gradient	Capacity of Channel (l/min)	Velocity >1.3 & < 5 (m/s)	Check
C-1	A	1368	225	1 in 17	9000	3.40	OK
C-1A	A	1368	225	1 in 19	8500	3.20	OK
C-2	A+B	2659	225	1 in 100	3900	1.40	OK
C-3	C	818	225	1 in 8	20000	4.80	OK
C-3A	A+B+C	3477	225	1 in 100	3900	1.40	OK
C-4	A+B+C+D	12015	1000	1 in 100	>50000	N/A	OK

APPLICATION SITE

i) Lot 318 S.B ss.1 ii) Lot 318 S.B RP



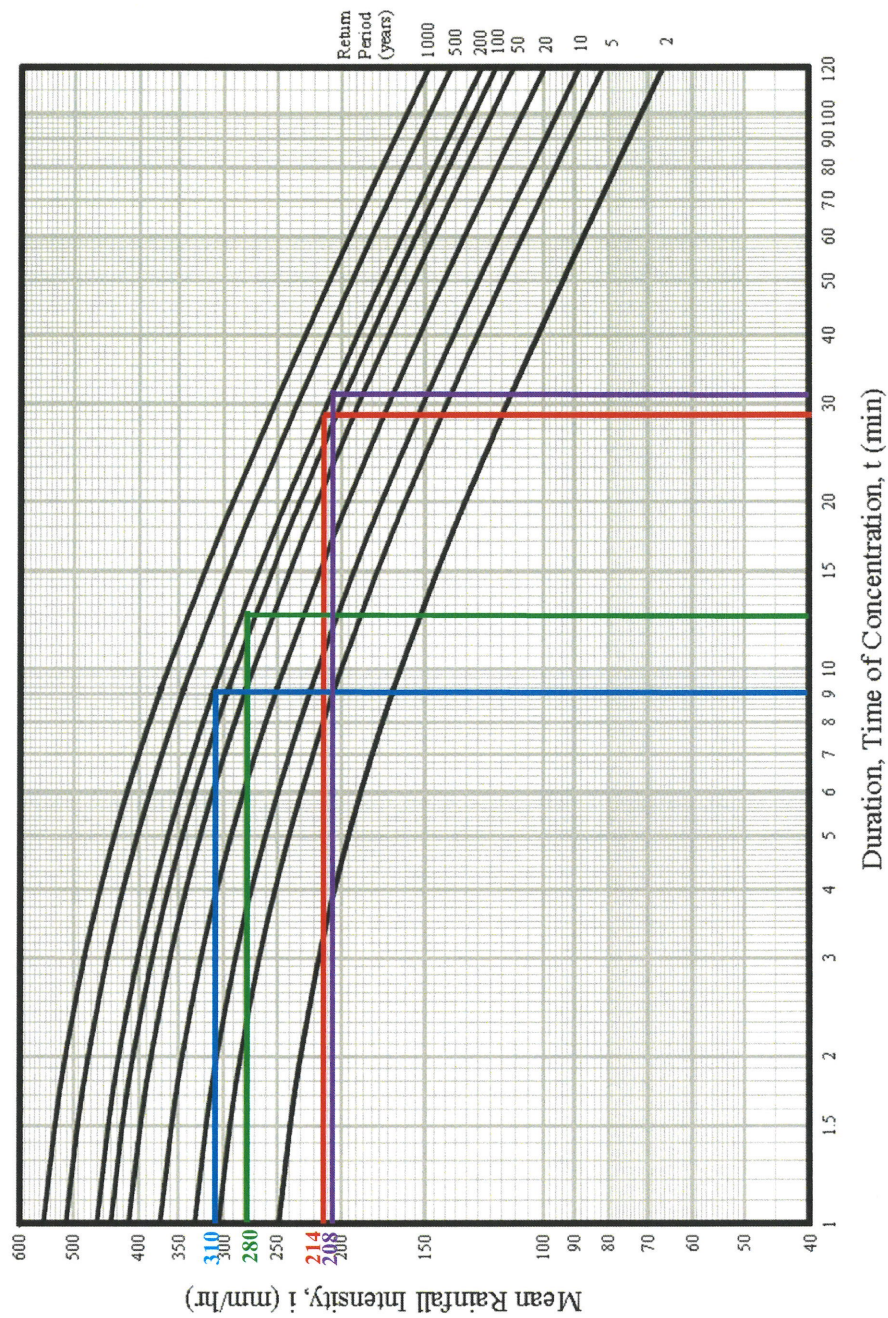
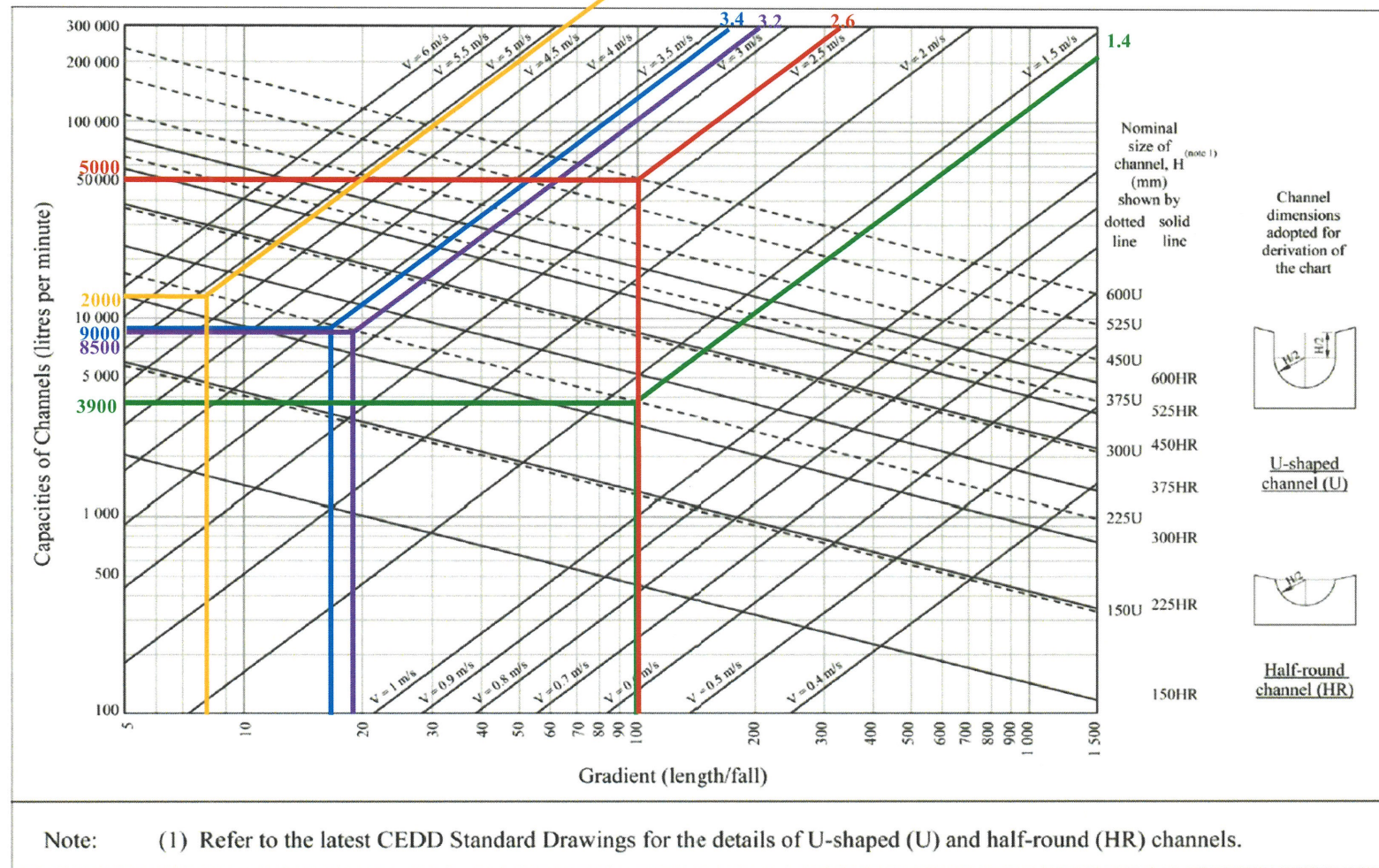
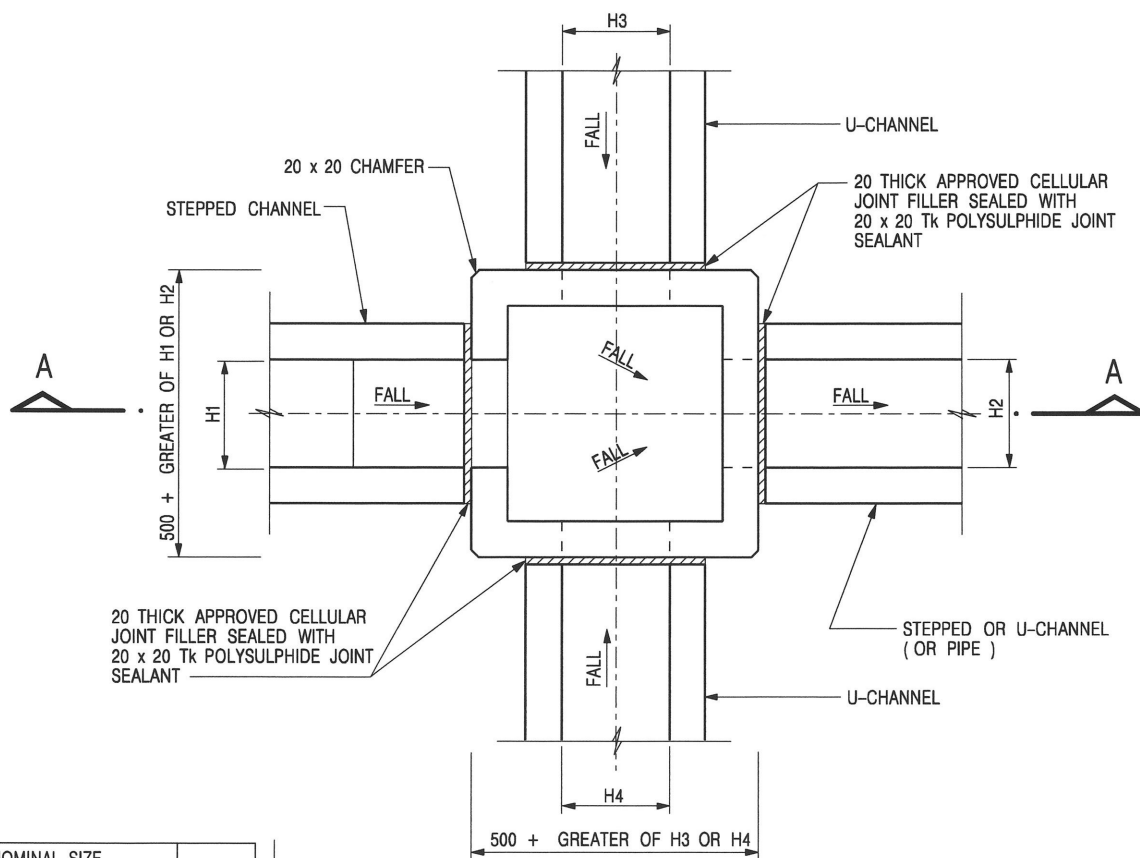


Figure 1 – Updated Intensity-Duration-Frequency Curves

- Notes:
1. These IDF curves are to supersede those given in Figure 8.2 of the Geotechnical Manual for Slopes (GCO, 1984).
 2. These IDF curves have not incorporated any projected climate change effects. Except for temporary slope drainage design, the mean rainfall intensity given by these IDF curves shall be increased by 13.8% for incorporating climate change effects.
 3. The mathematical formulae of these IDF curves are shown in Table 1 of Annex TGN 30 A1.

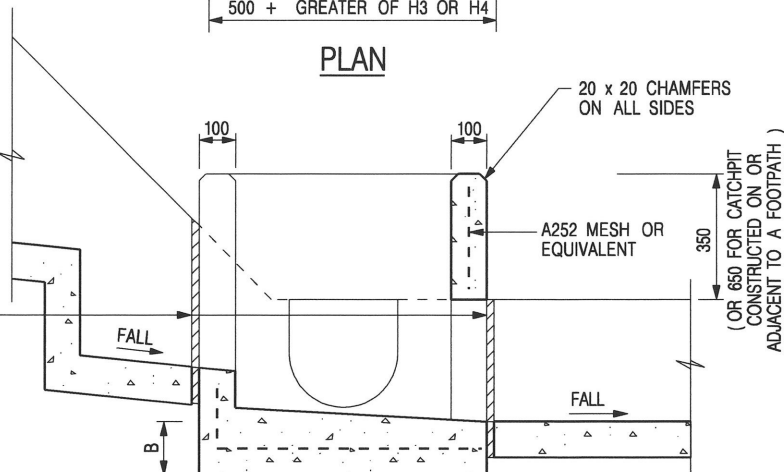
Figure 1 - Chart for the rapid design of U-shaped and half-round channels up to 600 mm



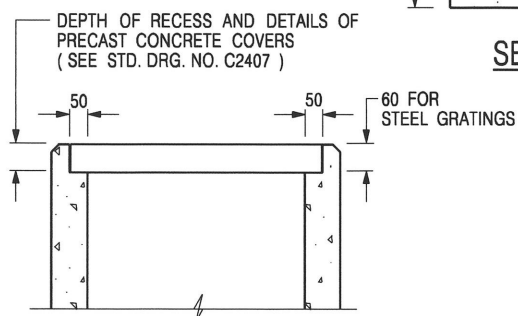


NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175

20 THICK APPROVED CELLULAR JOINT FILLER SEALED WITH 20 x 20 Tk POLYSULPHIDE JOINT SEALANT



SECTION A - A




ALTERNATIVE TOP SECTION FOR
PRECAST CONCRETE COVERS / GRATINGS

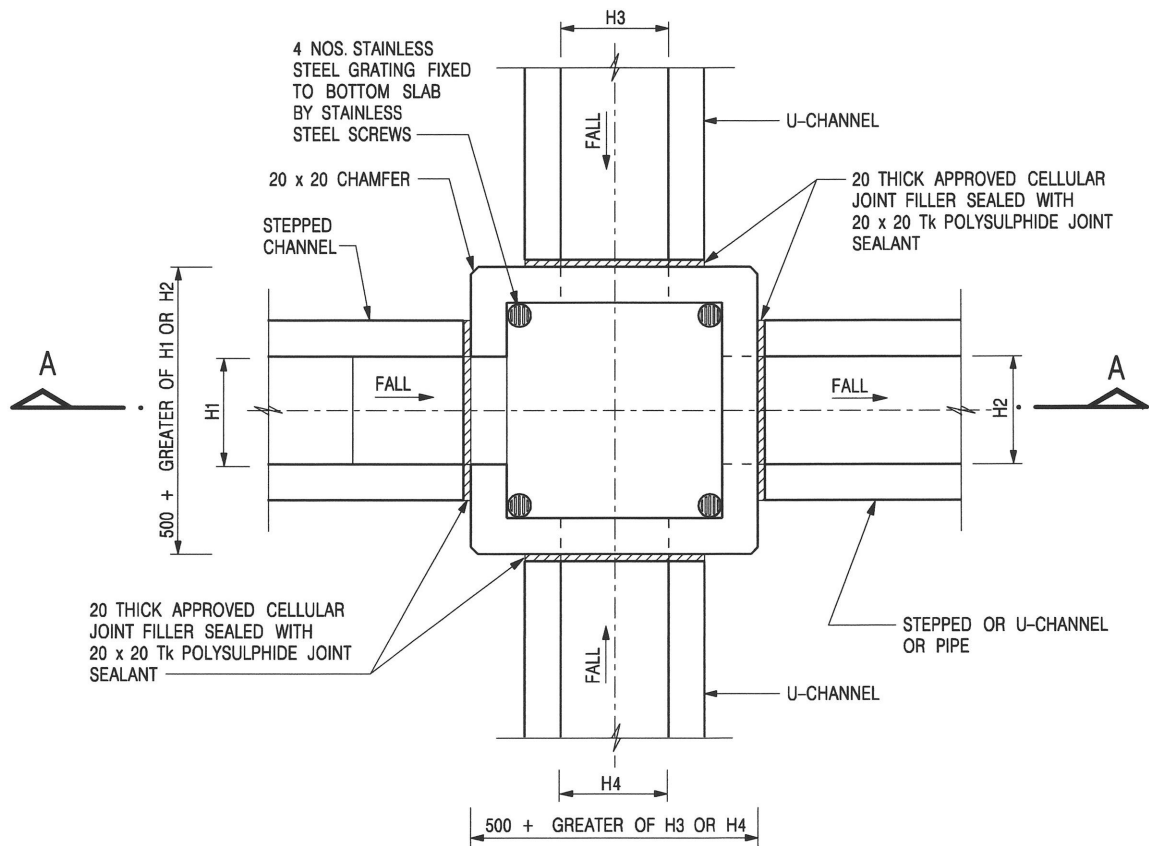
NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 5 FOR OTHER NOTES.

STANDARD CATCHPIT DETAILS
(SHEET 1 OF 5)

卓越工程 建設香港

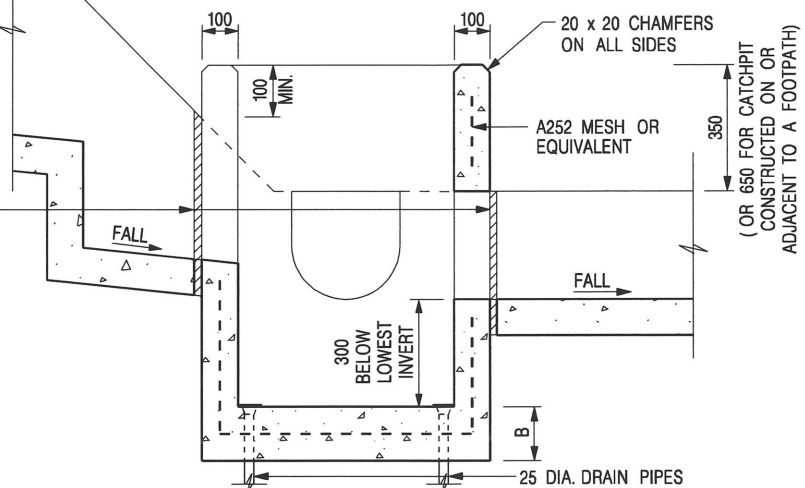
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REF.	REVISION	SIGNATURE	DATE
<div><div>CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT</div></div>			
SCALE 1 : 20		DRAWING NO. C2405 /1	
DATE JAN 1991			
We Engineer Hong Kong's Development			



PLAN

NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175

20 THICK APPROVED CELLULAR JOINT FILLER SEALED WITH 20 x 20 Tk POLYSULPHIDE JOINT SEALANT



SECTION A - A

NOTES:

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2. REFER TO SHEET 2 FOR OTHER NOTES.

**CATCHPIT WITH TRAP
(SHEET 1 OF 2)**

卓越工程 建設香港

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE



**CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT**

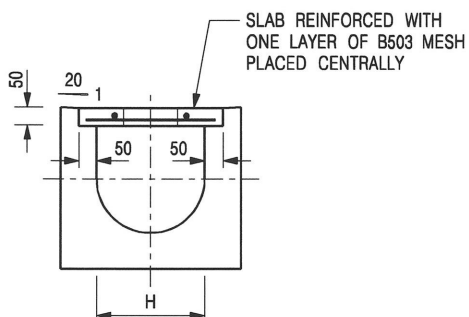
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DATE JAN 1991

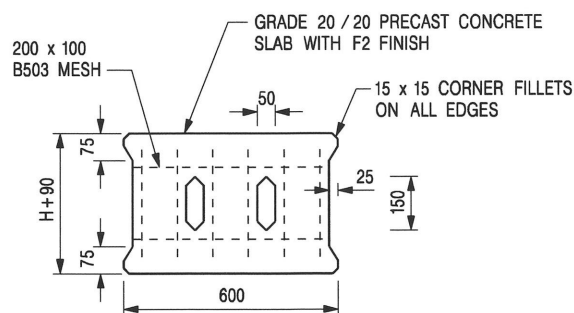
DRAWING NO.

C2406 /1

We Engineer Hong Kong's Development



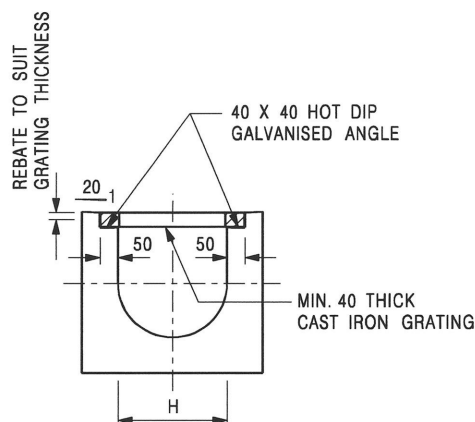
TYPICAL SECTION



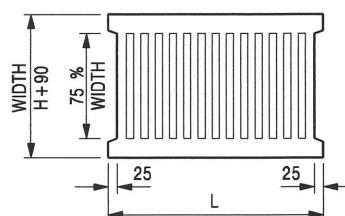
PLAN OF SLAB

U-CHANNELS WITH PRECAST CONCRETE SLABS

(UP TO H OF 525)



TYPICAL SECTION



L = 600mm FOR H ≤ 375mm
L = 400mm FOR H > 375mm

CAST IRON GRATING

(DIMENSIONS ARE FOR GUIDANCE ONLY, CONTRACTOR MAY SUBMIT EQUIVALENT TYPE)

U-CHANNEL WITH CAST IRON GRATING

(UP TO H OF 525)

NOTES:

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3. ALL CAST IRON FOR GRATINGS SHALL BE GRADE EN-GJL-150 COMPLYING WITH BS EN 1561.
4. FOR COVERED CHANNELS TO BE HANDED OVER TO HIGHWAYS DEPARTMENT FOR MAINTENANCE, THE GRATING DETAILS SHALL FOLLOW THOSE AS SHOWN ON HyD STD. DRG. NO. H3156.

E	NOTES 3 & 4 AMENDED.	Original Signed	12.2014
D	NOTE 4 ADDED.	Original Signed	06.2008
C	MINOR AMENDMENT. NOTE 3 ADDED.	Original Signed	12.2005
B	NAME OF DEPARTMENT AMENDED.	Original Signed	01.2005
A	CAST IRON GRATING AMENDED.	Original Signed	12.2002
REF.	REVISION	SIGNATURE	DATE

**COVER SLAB AND CAST IRON
GRATING FOR CHANNELS**



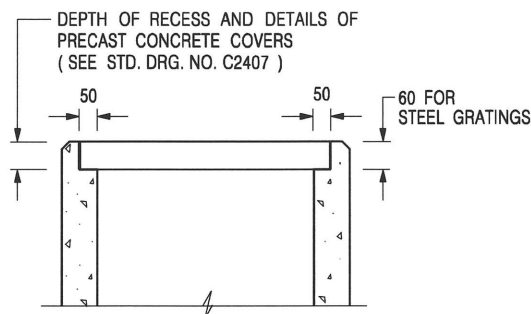
**CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT**

SCALE 1 : 20

DRAWING NO.

DATE JAN 1991

C2412E



ALTERNATIVE TOP SECTION FOR PRECAST CONCRETE COVERS / GRATINGS

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS (SEE DETAIL 'A' ON STD. DRG. NO. C2405 /2) OR CONCRETE COVERS (SEE STD. DRG. NO. C2407) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING (SEE DETAIL 'J' ON STD. DRG. NO. C2405 /5; EXCEPT ON THE UPSLOPE SIDE) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS (SEE DSD STD. DRG. NO. DS1043) AT 300 c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'G' ON STD. DRG. NO. C2405 /4.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

A	MINOR AMENDMENT.	Original Signed	04.2016
-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE

**CATCHPIT WITH TRAP
(SHEET 2 OF 2)**



**CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT**

SCALE 1 : 20

DRAWING NO.

DATE JAN 1991

C2406 /2A



Date: 20th May 2022

Pages: 1+1

BY EMAIL (tpbpd@pland.gov.hk)

Secretary, Town Planning Board
15/F, North Point Government Offices
333 Java Road, North Point, Hong Kong

Dear Sir/Madam,

SECTION 16 APPLICATION TPO (CHAPTER 131)
PROPOSED FILLING AND EXCAVATION OF LAND FOR PERMITTED HOUSE
(NEW TERRITORIES EXEMPTED HOUSES)
IN "VILLAGE TYPE DEVELOPMENT" ZONE
AT LOTS 318 S.B SS.1 AND 318 S.B R.P. IN D.D. 122 PING SHAN YUEN LONG
(Town Planning Application No. A/YL-PS/656 – Submission of Further Information 3)

References is made to the email dated 18th May 2022 from the Planning Department in relation to technical comment from Drainage Services Department.

In order to address the comment, please find attached response-to-comment (R to C) table.

Departmental Comment	Response
Email dated 18th May 2022 refers: DSD:	
It is noted that the applicant is proposed to discharge the runoff to 1000mm channel which is DSD's facilities. The applicant is requested to provide connection details for further vetting.	Please see the attached Drawing No. 1.

Please be invited to note that the attached table serves as a technical clarification/response to comments of relevant Government departments without any material change of the scheme. The overall proposed development parameters remain unchanged. This FI(3) does not affect the substance of the application and could be considered for exemption from the requirement of publication for public comments.

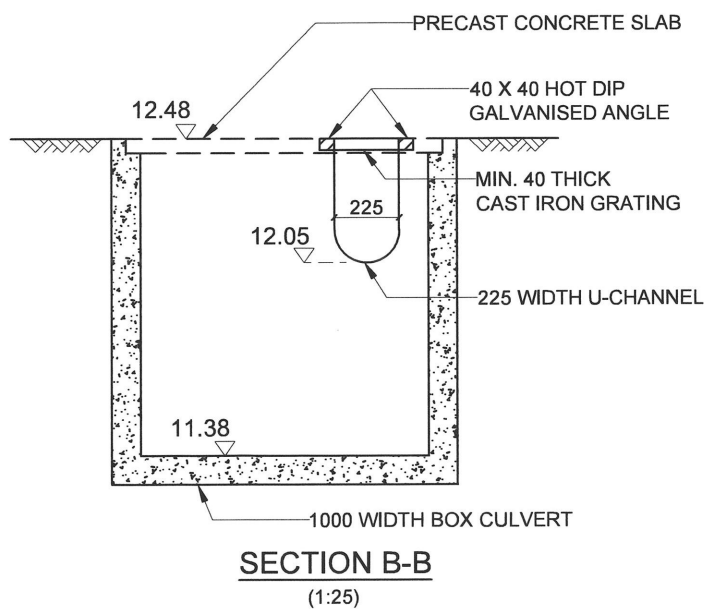
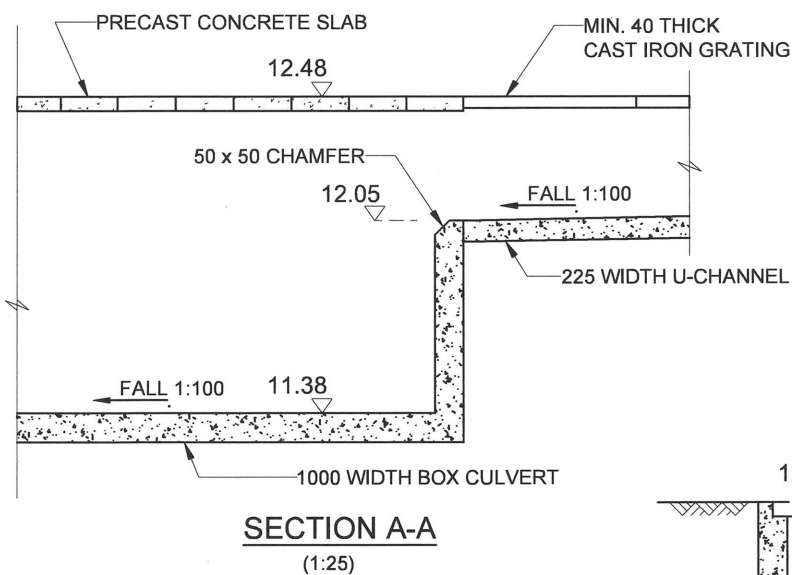
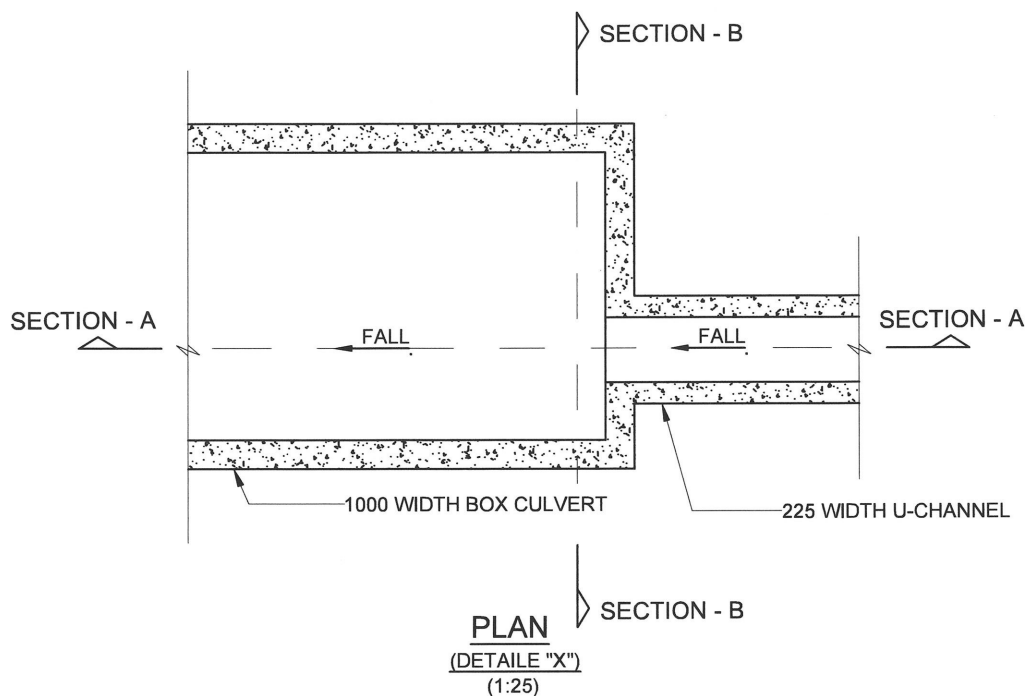
Should you have any queries, please feel free to contact Mr. Wilson LAW at 2493 3626 or undersigned at 3590 6333.

Yours faithfully,
FOR AND ON BEHALF OF
DeSPACE (INTERNATIONAL) LIMITED



Greg Lam

cc. Mr. LEE Ka Ho, Kent (TP/Tuen Mun 1), Email: kkhlee@pland.gov.hk



APPLICATION SITE

LOT NO.
i) 318 S.B ss.1
ii) 318 S.B RP D.D.122
HANG TAU TSUEN, PING SHAN,
YUEN LONG, N.T.

DRAWING TITLE

STORMWATER
DRAINAGE WORK
DETAIL "X"

DRAWING NO.

1

DRAWING DATE

19 MAY 2022

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information are property of
Sino Chief Engineering Co
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approved by the company.

S i n o C h i e f
Engineering Co Ltd

盛上建设工程有限公司



Date: 23th May 2022

Pages: 1 + 1

BY EMAIL (tpbpd@pland.gov.hk)

Secretary, Town Planning Board
15/F, North Point Government Offices
333 Java Road, North Point, Hong Kong

Dear Sir/Madam,

SECTION 16 APPLICATION TPO (CHAPTER 131)
PROPOSED FILLING AND EXCAVATION OF LAND FOR PERMITTED HOUSE
(NEW TERRITORIES EXEMPTED HOUSES)
IN "VILLAGE TYPE DEVELOPMENT" ZONE
AT LOTS 318 S.B SS.1 AND 318 S.B R.P. IN D.D. 122 PING SHAN YUEN LONG
(Town Planning Application No. A/YL-PS/656 – Submission of Further Information 4)

Reference is made to the Further Information 3 (FI3) submission dated 20th May 2022 in relation to technical comments from DSD. Please find attached this Further Information (4) (FI4) to supersede the FI3.

Please find attached response-to-comment (R to C) table and the updated drainage connection details in **Drawing No. 1.**

Departmental Comment	Response
Email dated 18th May 2022 refers: DSD:	
It is noted that the applicant is proposed to discharge the runoff to 1000mm channel which is DSD's facilities. The applicant is requested to provide connection details for further vetting.	Please see the attached Drawing No. 1.

Please be invited to note that the attached table serves as a technical clarification/response to the comment of DSD without any material change of the scheme. The overall proposed development parameters remain unchanged. This FI(3) does not affect the substance of the application and could be considered for exemption from the requirement of publication for public comments.

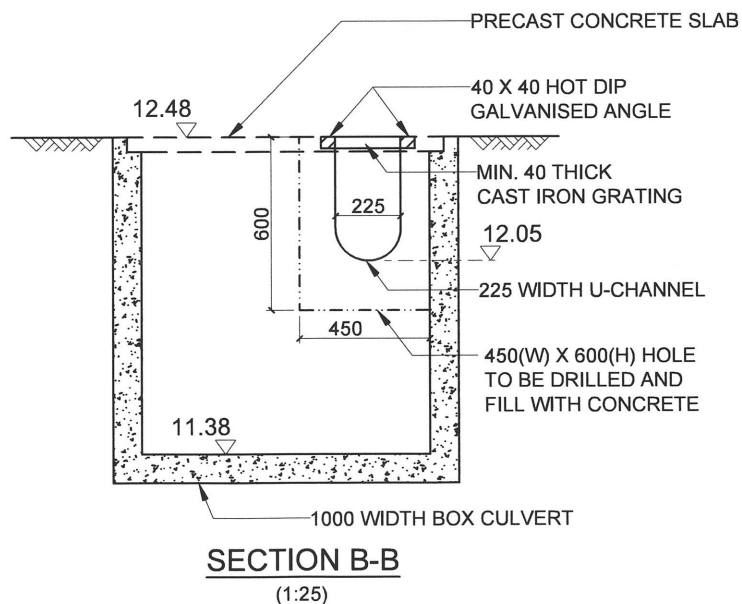
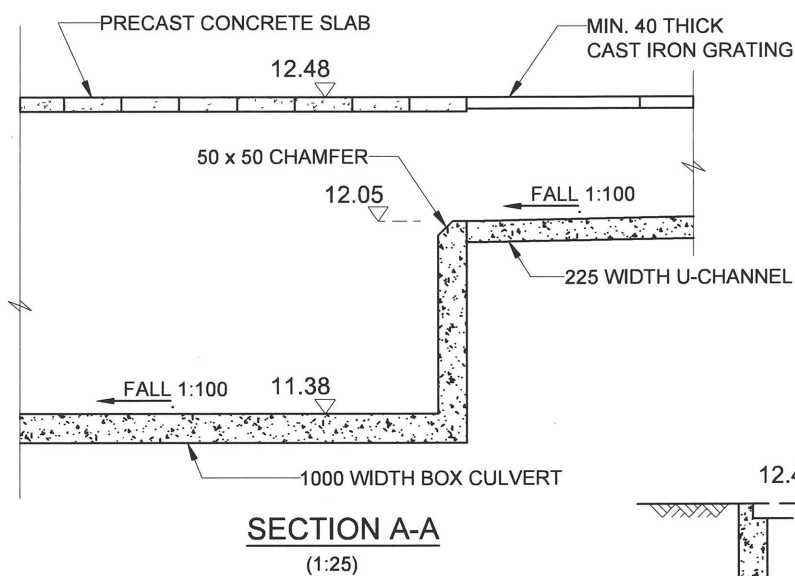
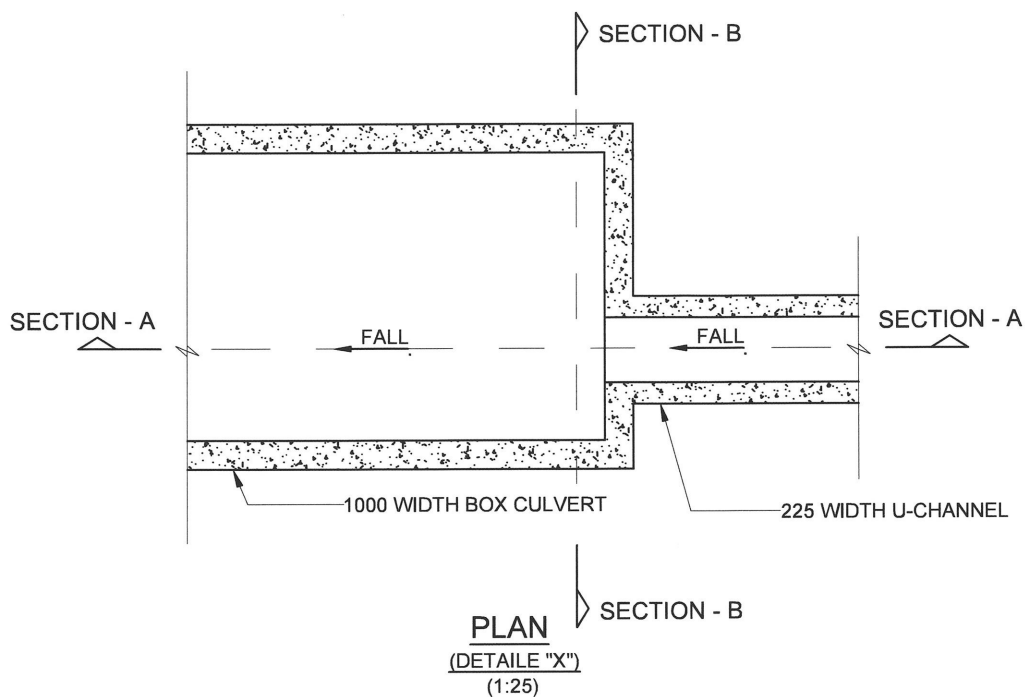
Should you have any queries, please feel free to contact Mr. Wilson LAW at 2493 3626 or undersigned at 3590 6333.

Yours faithfully,
FOR AND ON BEHALF OF
DeSPACE (INTERNATIONAL) LIMITED



Greg Lam

cc. Mr. LEE Ka Ho, Kent (TP/TM & YLW), Email: kkhlee@pland.gov.hk



APPLICATION SITE LOT NO. i) 318 S.B ss.1 ii) 318 S.B RP D.D.122 HANG TAU TSUEN, PING SHAN, YUEN LONG, N.T.	DRAWING TITLE STORMWATER DRAINAGE WORK DETAIL "X"	DRAWING NO. 1	This drawings and all related information are property of Sino Chief Engineering Co Ltd, any use must be approved by the company.	Sino Chief Engineering Co Ltd 盛上建设工程有限公司
		DRAWING DATE 21 MAY 2022		



DeSPACE (International) Limited

Date: 24th May 2022

Pages: 1 + 1

BY EMAIL (tpbpd@pland.gov.hk)

Secretary, Town Planning Board
15/F, North Point Government Offices
333 Java Road, North Point, Hong Kong

Dear Sir/Madam,

**SECTION 16 APPLICATION TPO (CHAPTER 131)
PROPOSED FILLING AND EXCAVATION OF LAND FOR PERMITTED HOUSE
(NEW TERRITORIES EXEMPTED HOUSES)
IN "VILLAGE TYPE DEVELOPMENT" ZONE
AT LOTS 318 S.B SS.1 AND 318 S.B R.P. IN D.D. 122 PING SHAN YUEN LONG
(Town Planning Application No. A/YL-PS/656 – Submission of Further Information 5)**

Reference is made to the Further Information 4 (FI4) submission dated 23rd May 2022 in relation to technical comments from DSD. Please find attached this Further Information (5) (FI5) to supersede the FI4.

Please find attached response-to-comment (R to C) table and the updated drainage connection details in **Drawing No. 1.**

Departmental Comment	Response
Email dated 18th May 2022 refers: DSD:	
It is noted that the applicant is proposed to discharge the runoff to 1000mm channel which is DSD's facilities. The applicant is requested to provide connection details for further vetting.	Please see the attached Drawing No. 1.

Please be invited to note that the attached table serves as a technical clarification/response to the comment of DSD without any material change of the scheme. The overall proposed development parameters remain unchanged. This FI5 does not affect the substance of the application and could be considered for exemption from the requirement of publication for public comments.

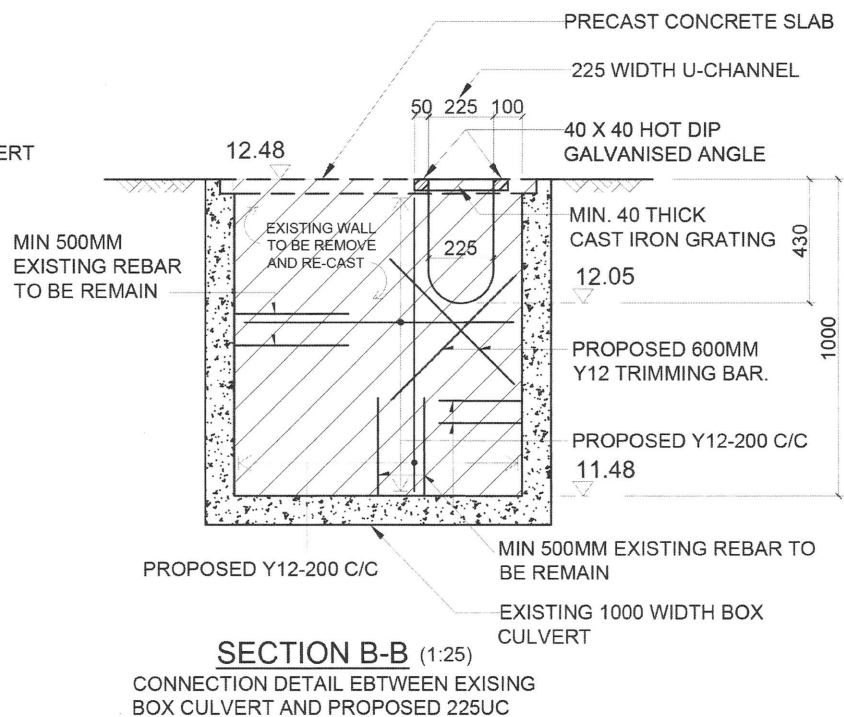
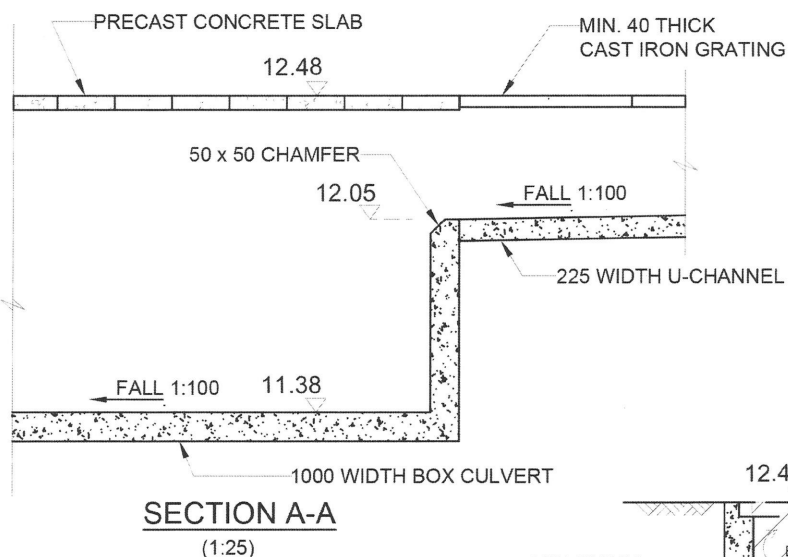
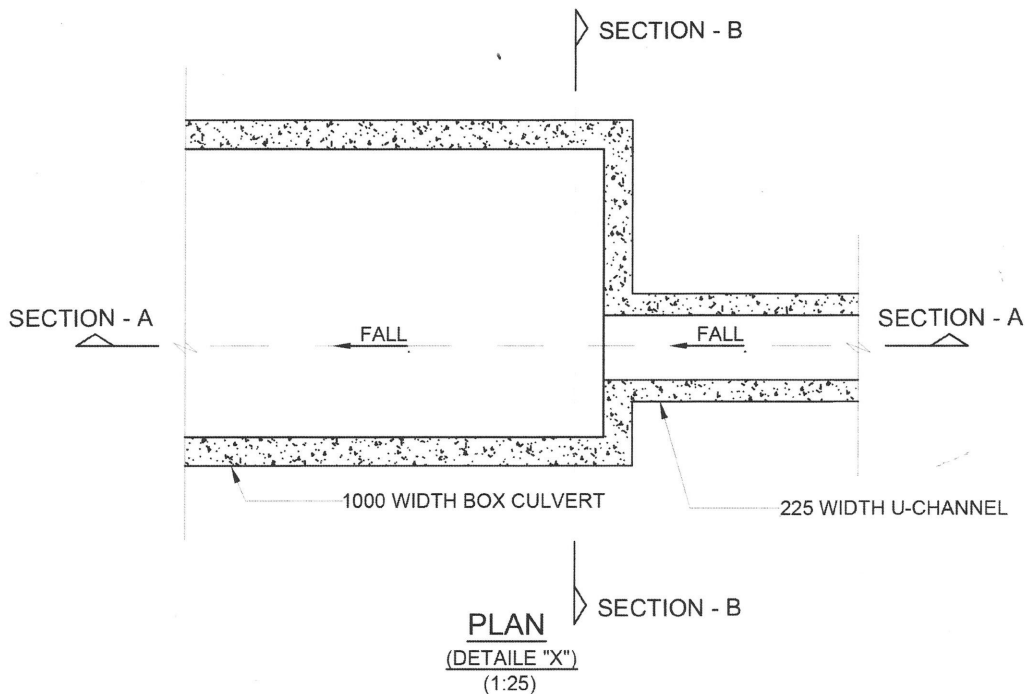
Should you have any queries, please feel free to contact Mr. Wilson LAW at 2493 3626 or undersigned at 3590 6333.

Yours faithfully,
FOR AND ON BEHALF OF
DeSPACE (INTERNATIONAL) LIMITED



Greg Lam

cc. Mr. LEE Ka Ho, Kent (TP/TM & YLW), Email: kkhlee@pland.gov.hk



APPLICATION SITE

LOT NO.
i) 318 S.B ss.1
ii) 318 S.B RP D.D.122
HANG TAU TSUEN, PING SHAN,
YUEN LONG, N.T.

DRAWING TITLE

STORMWATER
DRAINAGE WORK
DETAIL "X"

DRAWING NO.

1

DRAWING DATE

23 MAY 2022

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information are property of
Sino Chief Engineering Co
Ltd, any use must be
approved by the company.

**Sino Chief
Engineering Co Ltd**

盛上建设工程有限公司

Similar Applications within the same “V” zone

Approved Application

<u>Application No.</u>	<u>Zoning</u>	<u>Development/Use</u>	<u>Date of Consideration</u>	<u>Approval Conditions</u>
A/YL-PS/355	“V”	Filling and Excavation of Land for Development of New Territories Exempted Houses (NTEHs)	21.10.2011	(1) & (2)
A/YL-PS/644	“V”	Filling of Land for Development of New Territories Exempted Houses (NTEHs) and Footpath	24.9.2021	(1)

Approval Conditions

- (1) Submission and implementation of drainage proposal
- (2) Submission and implementation of landscape proposal

5-1

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review**參考編號****Reference Number:**

220311-144140-78369

提交限期**Deadline for submission:**

22/03/2022

提交日期及時間**Date and time of submission:**

11/03/2022 14:41:40

有關的規劃申請編號**The application no. to which the comment relates:**

A/YL-PS/656

「提意見人」姓名/名稱**Name of person making this comment:**

先生 Mr. Lam Ka Hing

意見詳情**Details of the Comment :**

反對，住屋過於密集，引至附近交通阻塞，環境污染，增加引發火警危機，影響村民安全、生活質數及生態環境。

Advisory Clauses

- (a) to note the comments of District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD) that the applicants are required to submit a geotechnical report for the Small House proposals prior to execution of the licence document and it will only be executed upon the report is accepted by the Geotechnical Engineering Office, Civil Engineering and Development Department (GEO, CEDD) or approval to Site Formation Plan is given by the Buildings Department (BD). No Certificates of Exemption have been issued for the two Small House applications;
- (b) to note the comments of the Commissioner for Transport (C for T) that the local track leading to the Site is not under his purview. The applicant shall obtain consent of the owners/managing departments of the local track for using it as the vehicular access to the Site;
- (c) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD) that excavation permit on GL should be obtained from DLO/YL, LandsD prior to the commencement of excavation works; adequate drainage measures shall be provided to prevent surface water running from the Site to the nearby public roads and drains. The applicant shall at his own cost and to the satisfaction of his office making good of any damages done to the public rods, street furniture, and structures maintained by his office arising from the works;
- (d) to note the comments of the Director of Environmental Protection (DEP) that to follow the Recommended Pollution Control Clauses for Construction Contracts to minimise the environmental impacts during the construction stage, and that it is the applicant's responsibility to comply with all relevant environmental legislations during the construction of the project;
- (e) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD) that:
 - (i) the existing channel, to which the applicant proposed to discharge stormwater from the Site is not maintained by his office. The applicant should identify the owner of the existing drainage facilities and obtain consent from the owner prior to commencement of the proposed works. In the case that it is a local village drains, DO/YL, HAD should be consulted;
 - (ii) the gradients of the proposed U-channels should be shown on the drainage plan;
 - (iii) cross-sections showing the existing and proposed ground levels of the Site with respect to the adjacent areas should be given;
 - (iv) sand trap or provision alike should be provided before the collected runoff is discharged to the public drainage facilities;
 - (v) where walls or hoarding are erected are laid along the site boundary, adequate opening should be provided to intercept the existing overland flow passing through the Site;

- (vi) the development should neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent areas, etc.; and
 - (vii) the applicant should consult DLO/YL, LandsD and seek consent from the relevant owners for any drainage works to be carried out outside the lot boundary before commencement of the drainage works;
- (f) to note the comments of the Director of Fire Services (D of FS) that the applicant should comply with “New Territories Exempted Houses – A Guide to Fire Safety Requirements” which is administered by LandsD. Detailed fire safety requirements would be formulated upon receipt of formal application via LandsD;
- (g) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:
- (i) before any new building works including filling of land are to be carried out on application site, prior approval and consent of the Building Authority should be obtained, otherwise they are unauthorised building works (UBW) under the Buildings Ordinance (BO). An Authorised Person should be appointed as the co-ordinator for the proposed building works in accordance with BO;
 - (ii) for UBW erected on leased land, enforcement action may be taken by the Buildings Department to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the application site under BO;
 - (iii) the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
 - (iv) the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at building plan submission stage;
 - (v) any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings are subject to the control of Part VII of the B(P)R; and
 - (vi) detailed checking under BO will be carried out at the building plan submission stage;
- (h) to note the comments of the Executive Secretary (Antiquities and Monuments), Antiquities and Monuments Office (ES (A&M), AMO) that:
- (i) Yeung Hau Temple in Sheung Cheung Wai, Ping Shan, which was accorded with Grade 3 status by the Antiquities Advisory Board in August 2010, is approximately 23m away from the Site. Given that the Temple is located in

close proximity of the Site, the applicant is advised to assess the possible impacts arising from the proposed development and to formulate appropriate mitigations, protective and/or monitoring measures to ensure that no adverse impacts, both visually and physically, will be made to the Temple; and

- (ii) the applicant is required to inform AMO immediately when any antiquities or supposed antiquities under the Antiquities and Monuments Ordinance (Cap. 53) are discovered in the course of works;
- (i) to note the comments of the Director of Electrical and Mechanical Services (DEMS) that in the interests of public safety and ensuring the continuity of electricity supply, the parties concerned with planning, designing, organizing and supervising any activity near the underground cable or overhead line under the mentioned works should approach the electricity supplier (i.e. CLP) for the requisition of cable plans (and overhead line alignment drawings, where applicable) to find out whether there is any underground cable and/or overhead line within and/or in the vicinity of the concerned site. They should also be reminded to observe the Electricity Supply Lines (Protection) Regulation and the “Code of Practice on Working near Electricity Supply Lines” established under the Regulation when carrying out works in the vicinity of the electricity supply lines; and
- (j) to note the comments of the Head of Geotechnical Engineering Office, Civil Engineering and Development Department (H(GEO), CEDD) that:
 - (i) the applicant is reminded to submit the proposed development and building works to DLO/YL, LandsD and BD for approval as required under the provisions of the Buildings Ordinance, as appropriate.; and
 - (ii) the applicant is reminded that the Site is located within Schedule Area No. 2 and may be underlain by cavernous marble. Depending on the nature of foundation, if necessary, of the new development at the Site, extensive geotechnical investigation may be required. Such investigation may require a high level of involvement of an experienced geotechnical engineer both in design and in the supervision of geotechnical aspects of the works required to be carried out on the Site.