

2024年 1月 1 日

此文件在 收到。城市規劃委員會
只會在收到所有必要的資料及文件後才正式確認收到
申請的日期。

Appendix I of RNTPC
Paper No. A/YL-PS/704

This document is received on 10 JAN 2024
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-III
表格第 S16-III 號

APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP. 131)

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of Land
and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas,
or Renewal of Permission for such Temporary Use or Development***

**適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行
為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議***

**Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.*

**其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。*

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.tpb.gov.hk/tc/plan_application/apply.html

General Note and Annotation for the Form

填寫表格的一般指引及註解

"Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a "✓" at the appropriate box 請在適當的方格內上加上「✓」號

2303248

19.12.2023

By Hand

Form No. S16-III 表格第 S16-III 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/TL-PS / 704
	Date Received 收到日期	10 JAN 2024

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☒ Ms. 女士 / ☐ Company 公司 / ☐ Organisation 機構)

CHEUNG KIN YUE 張建茹

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

全堅土地行政師行(香港)有限公司 ALLGAIN LAND ADMINISTRATORS (HONG KONG) LIMITED

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	新界元朗屏山丈量約份第122約地段第914號、第915號、第916號 (部分) 及第917號 (部分) Lots 914, 915, 916 (Part), and 917 (Part) in D.D. 122, Ping Shan, Yuen Long, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 2,780 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 1,560 sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	N/A sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Ping Shan Outline Zoning Plan No. S/YL-PS/20 屏山分區計劃大綱核准圖編號 S/YL-PS/20
(e) Land use zone(s) involved 涉及的土地用途地帶	「綠化地帶」 "Green Belt"
(f) Current use(s) 現時用途	臨時放置幾個空置的構築物和貨櫃 (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 -

- ☐ is the sole "current land owner" (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」(請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☒ is one of the "current land owners" (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」(請夾附業權證明文件)。
- ☐ is not a "current land owner".
並不是「現行土地擁有人」。
- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上(請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)".
根據土地註冊處截至 2023 年 12 月 18 日的記錄，這宗申請共牽涉 2 名「現行土地擁有人」。
- (b) The applicant 申請人 -
- ☒ has obtained consent(s) of "current land owner(s)".
已取得 1 名「現行土地擁有人」的同意。

Details of consent of "current land owner(s)" obtained 取得「現行土地擁有人」同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)
1	Lots 914, 915, 916, and 917 in D.D. 122	18/10/2023

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified "current land owner(s)"[#]
已通知 名「現行土地擁有人」[#]。

Details of the "current land owner(s)" [#] notified 已獲通知「現行土地擁有人」 [#] 的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on _____ (DD/MM/YYYY)[#]&
於_____ (日/月/年)向每一名「現行土地擁有人」[#]郵遞要求同意書&

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on _____ (DD/MM/YYYY)[&]
於_____ (日/月/年)在指定報章就申請刊登一次通知&
- ☐ posted notice in a prominent position on or near application site/premises on _____ (DD/MM/YYYY)[&]
於_____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知&
- ☐ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on _____ (DD/MM/YYYY)[&]
於_____ (日/月/年)把通知寄往相關的業主立案法團／業主委員會／互助委員會或管理處，或有關的鄉事委員會&

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別	
(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas 位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展 (For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B)) (如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)	
(a) Proposed use(s)/development 擬議用途/發展	Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) 擬議臨時康體文娛場所 (休閒農場) (Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)
(b) Effective period of permission applied for 申請的許可有效期	<input checked="" type="checkbox"/> year(s) 年 3 <input type="checkbox"/> month(s) 個月
(c) Development Schedule 發展細節表	
Proposed uncovered land area 擬議露天土地面積	1,220sq.m <input checked="" type="checkbox"/> About 約
Proposed covered land area 擬議有上蓋土地面積	1,560sq.m <input checked="" type="checkbox"/> About 約
Proposed number of buildings/structures 擬議建築物/構築物數目	8
Proposed domestic floor area 擬議住用樓面面積	0sq.m <input type="checkbox"/> About 約
Proposed non-domestic floor area 擬議非住用樓面面積	1,560sq.m <input checked="" type="checkbox"/> About 約
Proposed gross floor area 擬議總樓面面積	1,560sq.m <input checked="" type="checkbox"/> About 約
Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)	
Please refer to list of Structures	
Proposed number of car parking spaces by types 不同種類停車位的擬議數目	
Private Car Parking Spaces 私家車車位	2
Motorcycle Parking Spaces 電單車車位	0
Light Goods Vehicle Parking Spaces 輕型貨車泊車位	0
Medium Goods Vehicle Parking Spaces 中型貨車泊車位	0
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	0
Others (Please Specify) 其他 (請列明)	0
Proposed number of loading/unloading spaces 上落客貨車位的擬議數目	
Taxi Spaces 的士車位	0
Coach Spaces 旅遊巴車位	0
Light Goods Vehicle Spaces 輕型貨車車位	1
Medium Goods Vehicle Spaces 中型貨車車位	0
Heavy Goods Vehicle Spaces 重型貨車車位	0
Others (Please Specify) 其他 (請列明)	0

Proposed operating hours 擬議營運時間			
星期一至星期日上午九時至下午六時，包括公眾假期。			
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？	Yes 是	<input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) 由朗屏路經地區道路進入。	
	No 否	<input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度)	
(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。)			
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動？	Yes 是	<input type="checkbox"/> Please provide details 請提供詳情 	
	No 否	<input checked="" type="checkbox"/>	
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程？	Yes 是	<input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及/或範圍) <input type="checkbox"/> Diversion of stream 河道改道 <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約	
	No 否	<input checked="" type="checkbox"/>	
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響？	On environment 對環境 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> On traffic 對交通 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> On water supply 對供水 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> On drainage 對排水 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> On slopes 對斜坡 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> Affected by slopes 受斜坡影響 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> Landscape Impact 構成景觀影響 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> Tree Felling 砍伐樹木 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> Visual Impact 構成視覺影響 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> Others (Please Specify) 其他 (請列明) Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/> 		

	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>不需砍伐樹木；</p> <p>.....</p> <p>在申請地點做好排水工程</p> <p>.....</p> <p>.....</p> <p>.....</p>
--	--

(B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas
 位於鄉郊地區或受規管地區臨時用途/發展的許可續期

(a) Application number to which the permission relates 與許可有關的申請編號	A/ _____ / _____
(b) Date of approval 獲批給許可的日期 (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期 (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	
(e) Approval conditions 附帶條件	<p><input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件</p> <p><input type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件</p> <p><input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件：</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>Reason(s) for non-compliance: 仍未履行的原因：</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>(Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)</p>
(f) Renewal period sought 要求的續期期間	<p><input type="checkbox"/> year(s) 年</p> <p><input type="checkbox"/> month(s) 個月</p>

7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

請看附件的申請報告書

8. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.
本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署

☐ Applicant 申請人 ☒ Authorised Agent 獲授權代理人

Ms Hermose Chong

Manager

Name in Block Letters
姓名（請以正楷填寫）

Position (if applicable)
職位（如適用）

Professional Qualification(s) ☐ Member 會員 / ☐ Fellow of 資深會員

專業資格

☐ HKIP 香港規劃師學會 /

☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 /

☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 /

☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他

on behalf of
代表

ALLGAIN LAND ADMINISTRATORS (HONG KONG) LIMITED

☐ Company 公司 / ☒ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

18/12/2023

(DD/MM/YYYY 日/月/年)

**Remark 備註**

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置／地址	新界元朗屏山丈量約份第122約地段第914號、第915號、第916號(部分)及第917號(部分) Lots 914, 915, 916 (Part), and 917 (Part) in D.D. 122, Ping Shan, Yuen Long, New Territories
Site area 地盤面積	2,780 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 0 sq. m 平方米 <input type="checkbox"/> About 約)
Plan 圖則	Approved Ping Shan Outline Zoning Plan No. S/YL-PS/20 屏山分區計劃大綱核准圖編號 S/YL-PS/20
Zoning 地帶	「綠化地帶」 "Green Belt"
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期 <input checked="" type="checkbox"/> Year(s) 年 <u>3</u> <input type="checkbox"/> Month(s) 月 _____ <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____
Applied use/ development 申請用途/發展	Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) 擬議臨時康體文娛場所(休閒農場)

(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	0 <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0 <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	1,560 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.561 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	0	
	Non-domestic 非住用	8	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	0 m 米 <input type="checkbox"/> (Not more than 不多於)	
		0 Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)	
	Non-domestic 非住用	5 m 米 <input checked="" type="checkbox"/> (Not more than 不多於)	
		1 Storeys(s) 層 <input checked="" type="checkbox"/> (Not more than 不多於)	
(iv) Site coverage 上蓋面積	56.1 % <input checked="" type="checkbox"/> About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數		2
	Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____		2 0 0 0 0 0
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數		1
	Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____ _____		0 0 1 0 0 0

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	<u>Chinese</u> 中文	<u>English</u> 英文
<u>Plans and Drawings 圖則及繪圖</u>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Site Plan, Location Plan		
<u>Reports 報告書</u>		
Planning Statement/Justifications 規劃綱領/理據	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估（噪音、空氣及／或水的污染）	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input checked="" type="checkbox"/>	<input type="checkbox"/>
預計車輛進出流量報告		
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

根據《城市規劃條例》(第 131 章)

第 16 條遞交的許可申請

新界元朗屏山丈量約份第 122 約地段第 914 號、第 915 號、

第 916 號 (部分) 及第 917 號 (部分)

擬議臨時康體文娛場所 (休閒農場) (為期 3 年)

申請報告書及擬議發展的計劃細節

目 錄

1. 擬議發展細節-----P.1
2. 申請原因-----P.2
3. 擬議發展計劃的各方面影響-----P.3-4

擬議發展細節

1. 申請人現根據《城市規劃條例》(第 131 章) 第 16 條，提交有關新界元朗屏山丈量約份第 122 約地段第 914 號、第 915 號、第 916 號(部分) 及第 917 號(部分) 的規劃申請，擬在上述地段申請為期三年的臨時康體文娛場所 (休閒農場)。
2. 申請地點位於元朗屏山附近，在《屏山分區計劃大綱核准圖編號 S/YL-PS/20》上劃為「綠化地帶」用途。
3. 申請地盤面積為約 2,780 平方米，上蓋總面積為 1,560 平方米，露天地面積為 1,220 平方米，上蓋覆蓋率為 56.1%。
4. 申請地點的耕種面積 (包括 4 個溫室)，合共約 1720 平方米，佔申請地點面積約 62%。
5. 申請地點將設有 8 個構築物，用途及面積請參考附件的 List Of Structure。
6. 申請地點涉及 1 個輕型貨車上落貨車位，只作臨時上落貨用途，不會用作長期停泊車輛。
7. 申請地點涉及 2 個私家車停車位，提供給職員或訪客使用，訪客需預先預約車位。
8. 擬議發展的營運時間為星期一至星期日上午九時至下午六時，包括公眾假期。
9. 申請地點可從元朗朗屏路經一條鄉村地區道路前往。

申請原因

1. 申請地點是綠化地帶，而擬議用途為休閒農場，申請用途屬「綠化」中的「第二欄用途」，與規劃意向相符，和周邊環境及用途協調。
2. 在新農業政策下，休閒農場是指營運仍以商業務農為主，並以提供與其作業有關的有限度休閒活動為輔的農場，目的是擴大農民可推廣其農業產品和介紹其務農活動的平台。擬議發展能夠推廣可持續休閒耕種，符合政府推行的新農業政策，鼓勵市民參與綠化活動及透過種植活動提高綠化環保的意識。
3. 擬議發展只是臨時三年的性質，不會影響農業用途地帶的長遠規劃意向。
4. 擬議發展不會填土，不會破壞天然環境，不會砍伐樹木，不會對周邊地區及環境帶來負面影響。
5. 擬議休閒農莊的所有構築物都會由臨時物料搭建，是臨時性質的。

根據以上各點，申請人誠意懇求城市規劃委員會寬大批准新界元朗元朗屏山丈量約份第 122 約地段第 914 號、第 915 號、第 916 號（部分）及第 917 號（部分）作為期不超過三年的擬議臨時康體文娛場所（休閒農場）。

擬議發展計劃的各方面影響

1. 土地行政

申點地點涉及多個私家地段，不涉及任何政府土地。該地段為政府集體官契的農地，擬議發展涉及 8 個上蓋構築物，如申請獲城規會批准，申請人將會向地政處申請短期豁免書。

2. 擬議發展的入口

申請地點可從朗屏路經一條鄉村地區道路前往，入口設有約 6 米闊的大閘讓車輛駛進休閒農場。

3. 擬議發展的交通安排

申請用途提供一個輕型貨車的上落車位，及 2 個私家車停泊車位。

4. 環境方面

申請人會按照環保署對臨時露天農場及上蓋的技術指引，將對周邊環境的影響減到最低。

5. 空氣方面

申請地點是臨時休閒農場，不會對空氣造成污染。

6. 噪音方面

申請地點是臨時休閒農場，不會有重大的噪音影響。

7. 排污方面

申請用途涉及洗手間，申請人會建造合適容量的化糞池，並安排公司定期來吸糞。

8. 渠務方面

申請人會將按照渠務處的指引和要求建造排水渠，不會影響周邊環境。

9. 消防方面

申請人會將按照消防處的指引和要求放置消防裝置。

10. 綠化園景方面

申請人不會砍伐現存的樹木，並會好好打理保養它們。

申請人承諾如獲城規會批准擬議用途，將會盡力減少對周邊環境影響，
並承諾在規劃許可到期後，還原申請地點。

懇請城市規劃委員會寬大批准新界元朗屏山丈量約份第 122 約地段第 914 號、第 915 號、第 916 號（部分）及第 917 號（部分）作為期不超過三年的臨時康體文娛場所（休閒農場）。

List of Structures

Structure No.	Usage	Covered Area (m²)	GFA (m²)	Proposed Height
1	Greenhouse	300	300	Not Exceeding 5 m ; 1 Storey
2	Greenhouse	300	300	Not Exceeding 5 m ; 1 Storey
3	Greenhouse	400	400	Not Exceeding 5 m ; 1 Storey
4	Greenhouse	400	400	Not Exceeding 5 m ; 1 Storey
5	Storage	105	105	Not Exceeding 4 m ; 1 Storey
6	Site Office	35	35	Not Exceeding 3 m ; 1 Storey
7	Security and surveillance camera room	10	10	Not Exceeding 3 m ; 1 Storey
8	Meter Room	10	10	Not Exceeding 3 m ; 1 Storey
Total		1,560	1,560	

根據城市規劃條例第 16 條作出規劃許可申請
擬在新界元朗屏山丈量約份第 122 約地段第 914 號、第 915 號、
第 916 號（部分）及第 917 號（部分）
作為期三年的臨時康體文娛場所（休閒農場）

預計輕型貨車進出流量報告
（星期一至星期日及公眾假期）

時間	進入（輛）	離開（輛）
9：00－10：00	0	0
10：00－11：00	0	0
11：00－12：00	0	0
12：00－13：00	0	0
13：00－14：00	1	0
14：00－15：00	0	0
15：00－16：00	0	1
16：00－17：00	0	0
17：00－18：00	0	0
合計(輛)	1	1

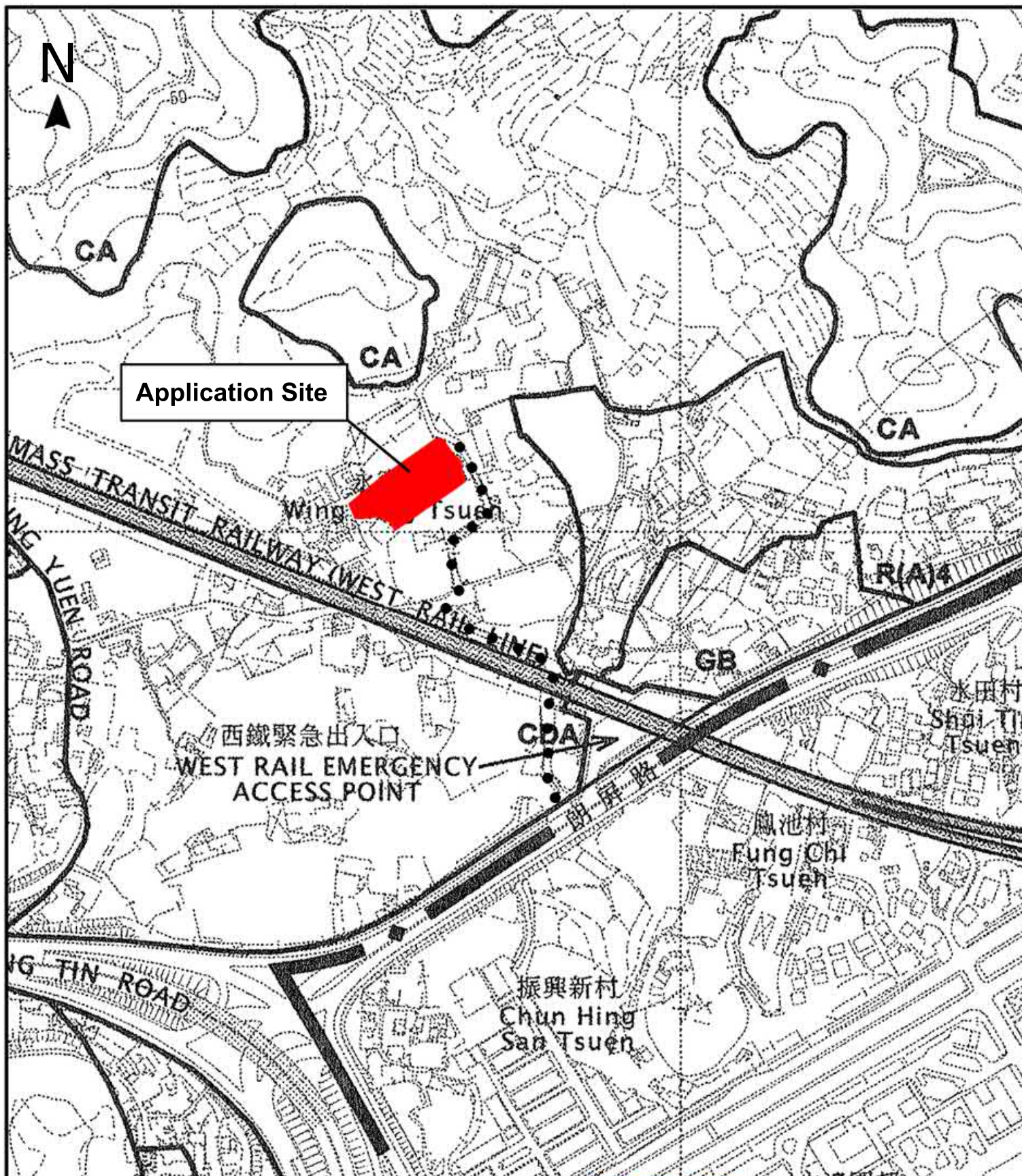
申請地點尚未發展，以上數字為預算車輛進出場地記錄。

根據城市規劃條例第 16 條作出規劃許可申請
擬在新界元朗屏山丈量約份第 122 約地段第 914 號、第 915 號、
第 916 號（部分）及第 917 號（部分）
作為期三年的臨時康體文娛場所（休閒農場）

預計私家車進出流量報告
(星期一至星期日及公眾假期)

時間	進入 (輛)	離開 (輛)
9 : 00 – 10 : 00	0	0
10 : 00 – 11 : 00	1	0
11 : 00 – 12 : 00	0	0
12 : 00 – 13 : 00	0	0
13 : 00 – 14 : 00	0	1
14 : 00 – 15 : 00	1	0
15 : 00 – 16 : 00	0	0
16 : 00 – 17 : 00	0	1
17 : 00 – 18 : 00	0	0
合計(輛)	2	2

申請地點尚未發展，以上數字為預算車輛進出場地記錄。



Project 項目名稱:

Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) for a Period of 3 Years at Lots 914, 915, 916 (Part), and 917 (Part) in D.D. 122, Ping Shan, Yuen Long, New Territories

Drawing Title 圖紙標題:

Location Plan



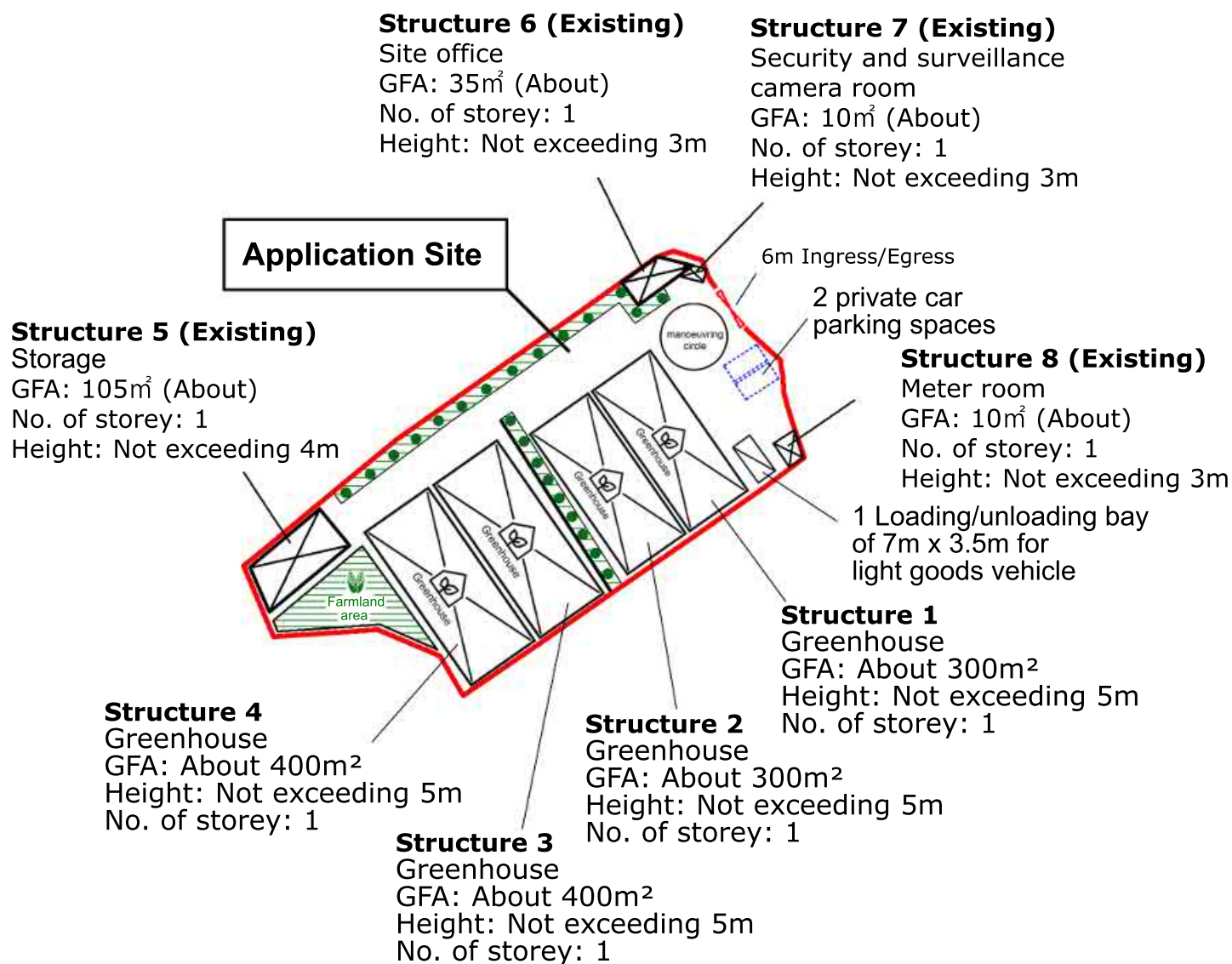
Drawing No. 圖號:

20231003

Remarks 備註:

... Vehicular access leading from Long Ping Road

Scale 比例:



Project 項目名稱:

Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) for a Period of 3 Years at Lots 914, 915, 916 (Part), and 917 (Part) in D.D. 122, Ping Shan, Yuen Long, New Territories

Drawing Title 圖紙標題:

Layout Plan

Drawing No. 圖號:

20231218



Remarks 備註:



Light goods vehicle



Structure



Private Car Parking



Existing Tree



Farmland Area

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy ☐Confidential

Max Yuet Lun WONG/PLAND

寄件者: tmylwdpo_pd/PLAND
寄件日期: 2024年02月23日星期五 16:23
收件者: Max Yuet Lun WONG/PLAND
副本: Alexander Weng Yip MAK/PLAND; Haidi Long Hei LAM/PLAND
主旨: 轉寄: 規劃申請：A/YL-PS/704：補充資料
附件: 申述.pdf; PS_704_Landscape_Proposal.pdf

From: tpbpd/PLAND <tpbpd@pland.gov.hk>
Sent: Friday, February 23, 2024 4:22 PM
To: tmylwdpo_pd/PLAND <tmylwdpo@pland.gov.hk>
Cc: Kiff Kit Fu YIU/PLAND <kkfyiu@pland.gov.hk>
Subject: Fw: 規劃申請：A/YL-PS/704：補充資料

From: Chong Hermose <[REDACTED]>
Sent: Friday, February 23, 2024 4:18 PM
To: tpbpd/PLAND <tpbpd@pland.gov.hk>
Cc: Max Yuet Lun WONG/PLAND <mylwong@pland.gov.hk>; Haidi Long Hei LAM/PLAND <hlhlam@pland.gov.hk>
Subject: 規劃申請：A/YL-PS/704：補充資料

城規會/規劃處：

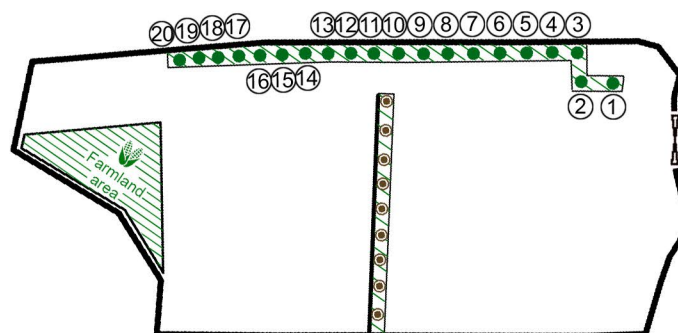
有關規劃申請：No. A/YL-PS/704，現申請人附上補充資料和回應部門意見（園境組）。

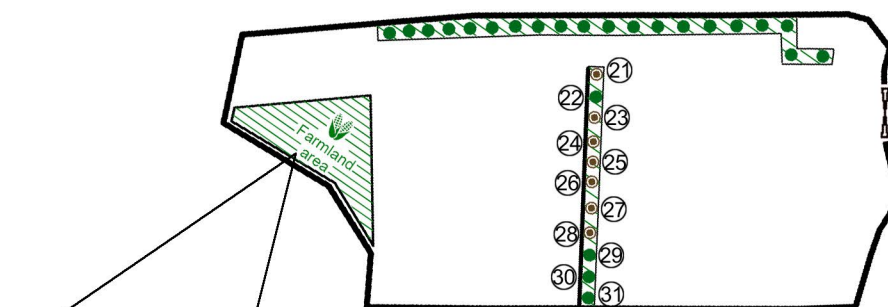
謝謝。

Ms Chong
([REDACTED])

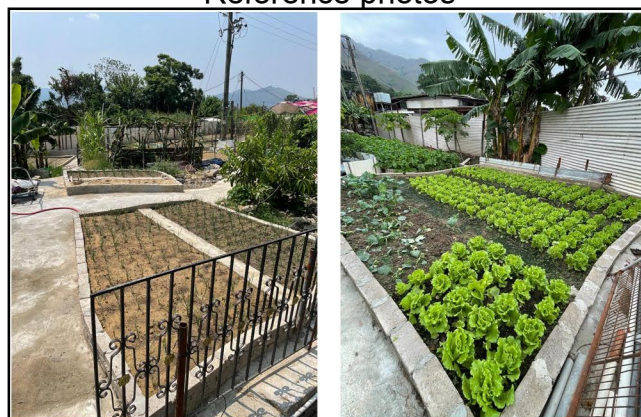
規劃申請編號：A/YL-PS/704

1. 申請人確認申請地點不會有任何填土工程。
2. 申請人預計擬議發展每天不超過 20 個訪客前來。

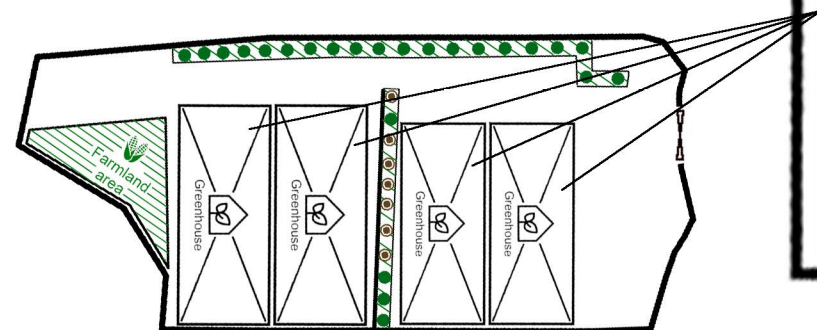




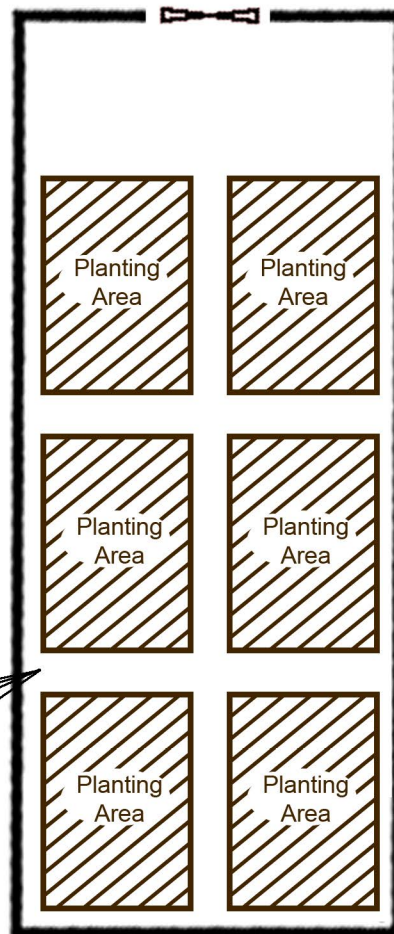
Reference photos



Reference Photos



Ingress/Egress



Reference Photos



Project 項目名稱:

Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) for a Period of 3 Years at Lots 914, 915, 916 (Part), and 917 (Part) in D.D. 122, Ping Shan, Yuen Long, New Territories

Drawing Title 圖紙標題:

Proposed Greenhouse Layout Plan

Drawing No. 圖號:

20240222

Remarks 備註:



Farmland Area



Existing Tree



Existing Tree in pot

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy ☐Confidential

Max Yuet Lun WONG/PLAND

寄件者: tmylwdpo_pd/PLAND
寄件日期: 2024年02月28日星期三 10:07
收件者: Max Yuet Lun WONG/PLAND
副本: Alexander Weng Yip MAK/PLAND; Haidi Long Hei LAM/PLAND
主旨: 轉寄: 規劃申請：A/YL-PS/704：補充資料
附件: A_YL-PS_704_回應部門意見.pdf

From: tpbpd/PLAND <tpbpd@pland.gov.hk>
Sent: Wednesday, February 28, 2024 9:34 AM
To: tmylwdpo_pd/PLAND <tmylwdpo@pland.gov.hk>
Cc: Kiff Kit Fu YIU/PLAND <kkfyiu@pland.gov.hk>
Subject: Fw: 規劃申請：A/YL-PS/704：補充資料

From: Chong Hermose <[REDACTED]>
Sent: Tuesday, February 27, 2024 10:00 PM
To: tpbpd/PLAND <tpbpd@pland.gov.hk>
Cc: Max Yuet Lun WONG/PLAND <mylwong@pland.gov.hk>; Haidi Long Hei LAM/PLAND <hlhlam@pland.gov.hk>
Subject: 規劃申請：A/YL-PS/704：補充資料

城規會/規劃處：

有關規劃申請：No. A/YL-PS/704，現申請人附上回應部門的意見（運輸處），請查收。

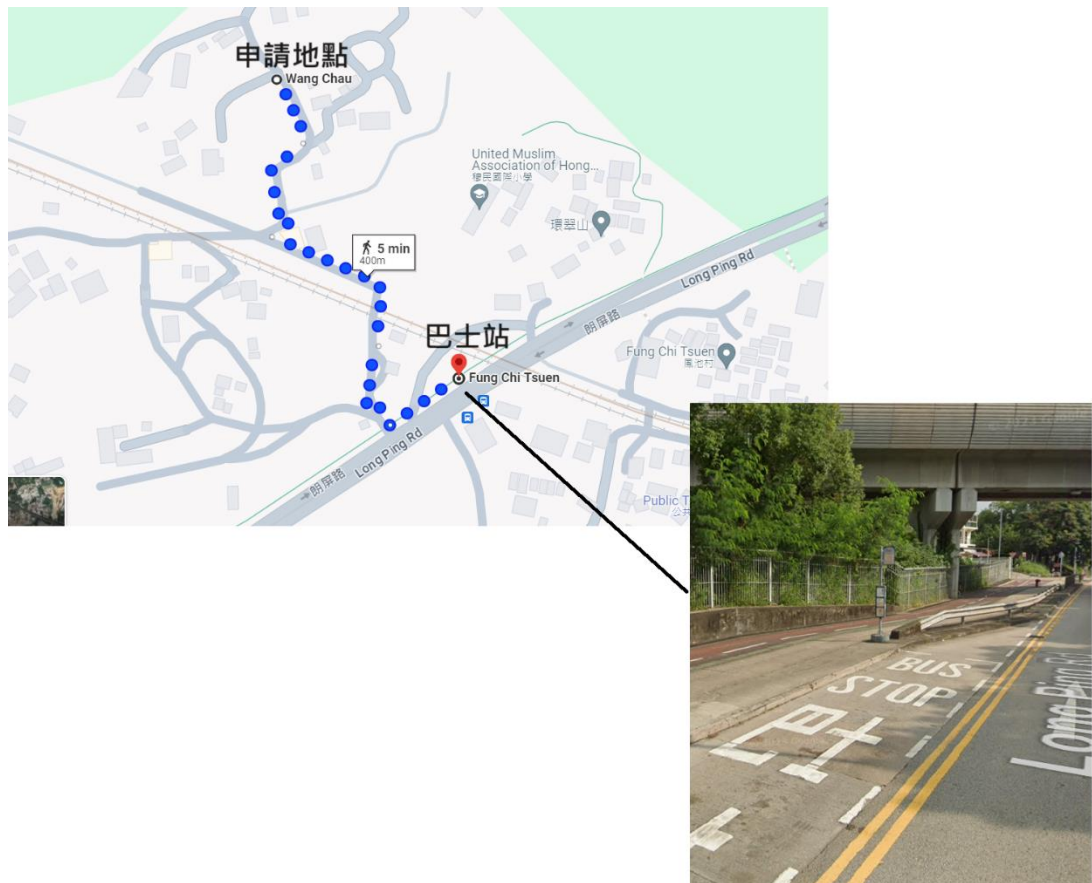
謝謝。

Ms Chong
([REDACTED])

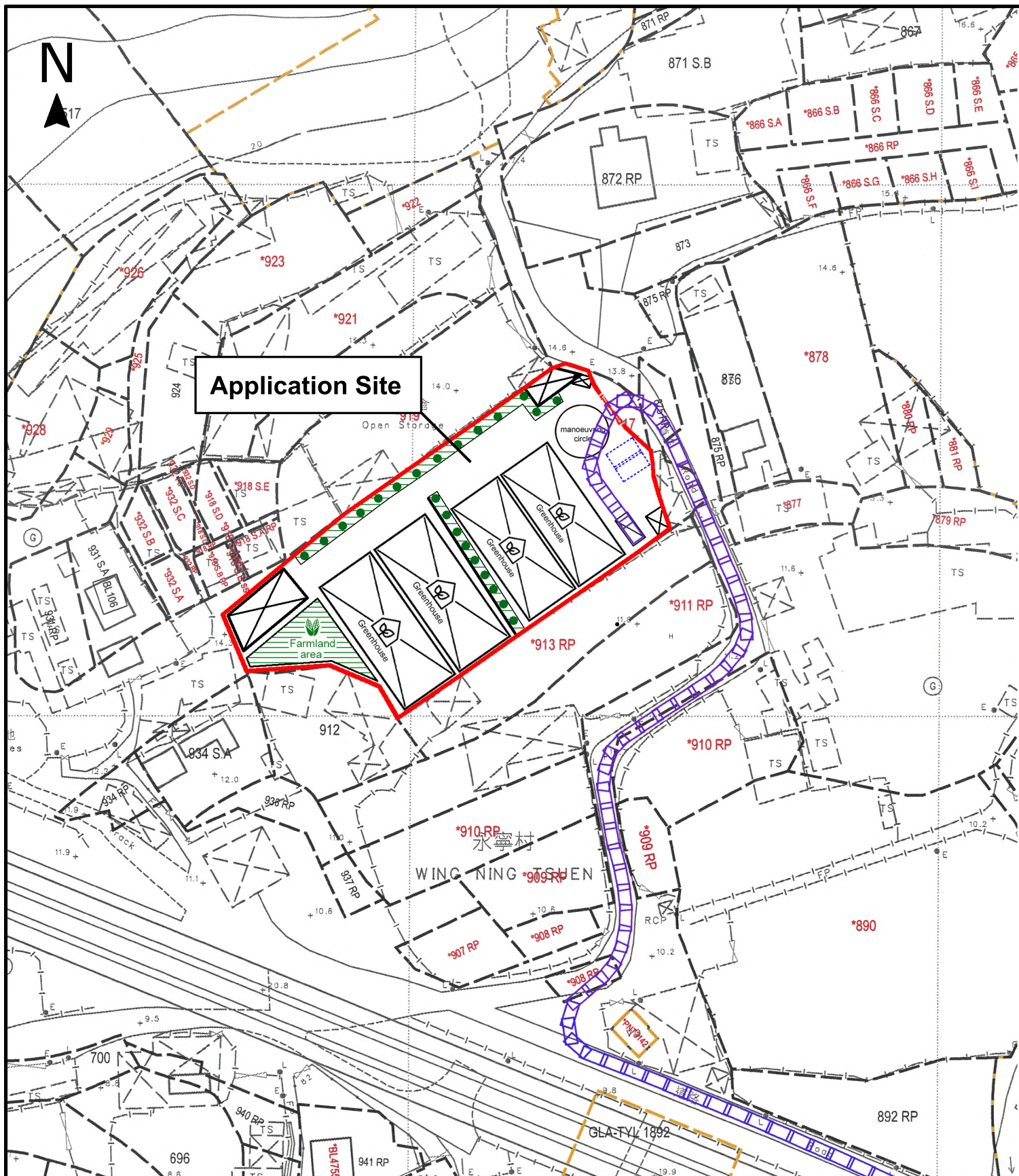
規劃申請編號：A/YL-PS/704

回應運輸處意見

1. 申請人預計大部份訪客會使用公共交通工具前往申請地點，從巴士站步行到申請地點只需約 5 分鐘，交通方便。



2. 申請地點設置 2 個私家車停車位，如訪客需駕車前來，需預先致電職員查詢看是否有空置的停車位。
3. 附件請看車輛的 Swept Path Analysis。



Project 項目名稱:

Proposed Temporary Place of Recreation,
Sports or Culture (Hobby Farm) for a
Period of 3 Years at Lots 914, 915,
916 (Part), and 917 (Part) in D.D. 122,
Ping Shan, Yuen Long, New Territories

Drawing Title 圖紙標題:

Swept Path
Analysis
(OUT)



Drawing No. 圖號:

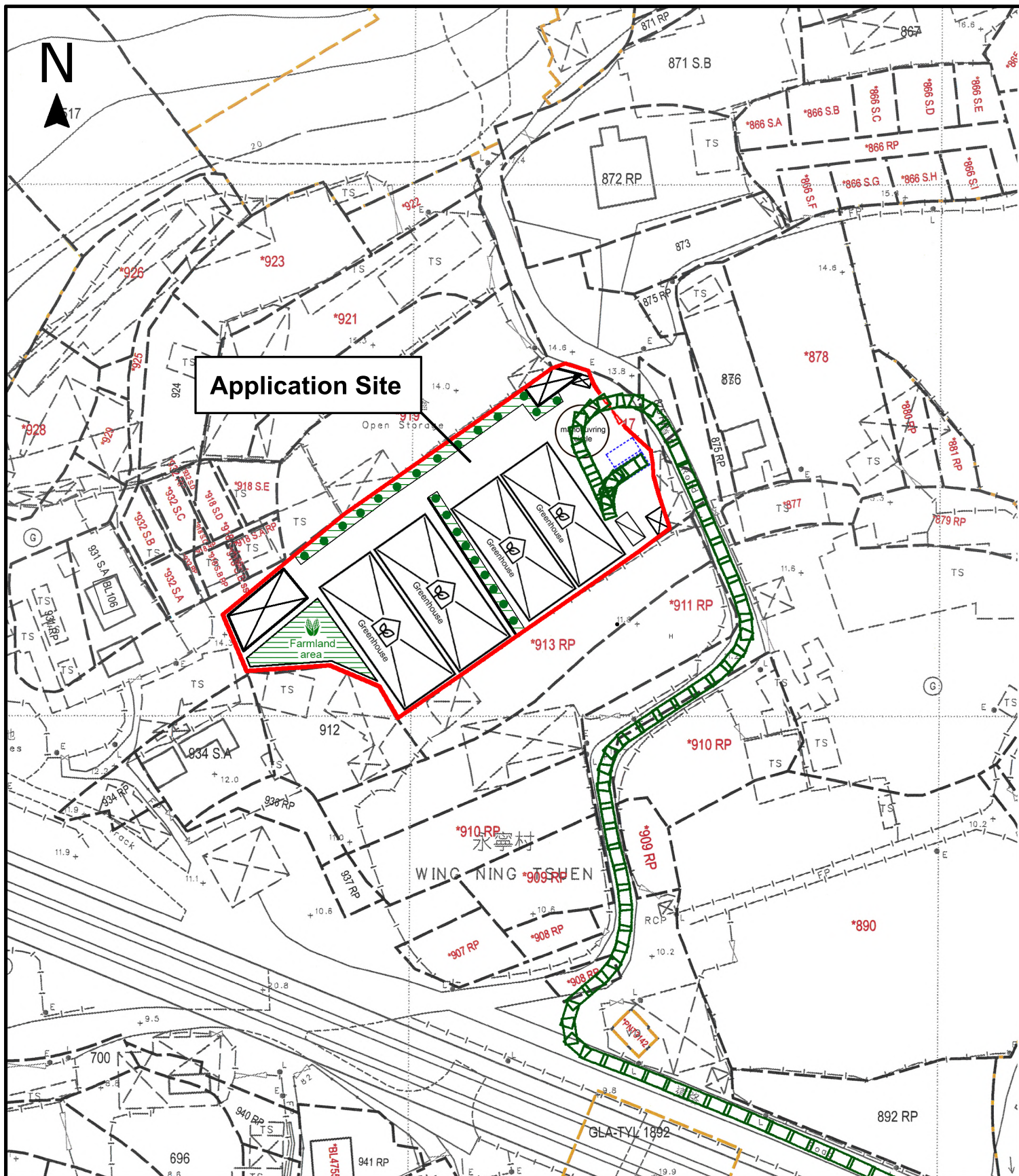
20240227

Remarks 備註:

Light goods vehicle In

Light goods vehicle Out

Scale 比例:



Project 項目名稱:

Proposed Temporary Place of Recreation,
Sports or Culture (Hobby Farm) for a
Period of 3 Years at Lots 914, 915,
916 (Part), and 917 (Part) in D.D. 122,
Ping Shan, Yuen Long, New Territories

Drawing Title 圖紙標題:

Swept Path
Analysis (IN)



Drawing No. 圖號:

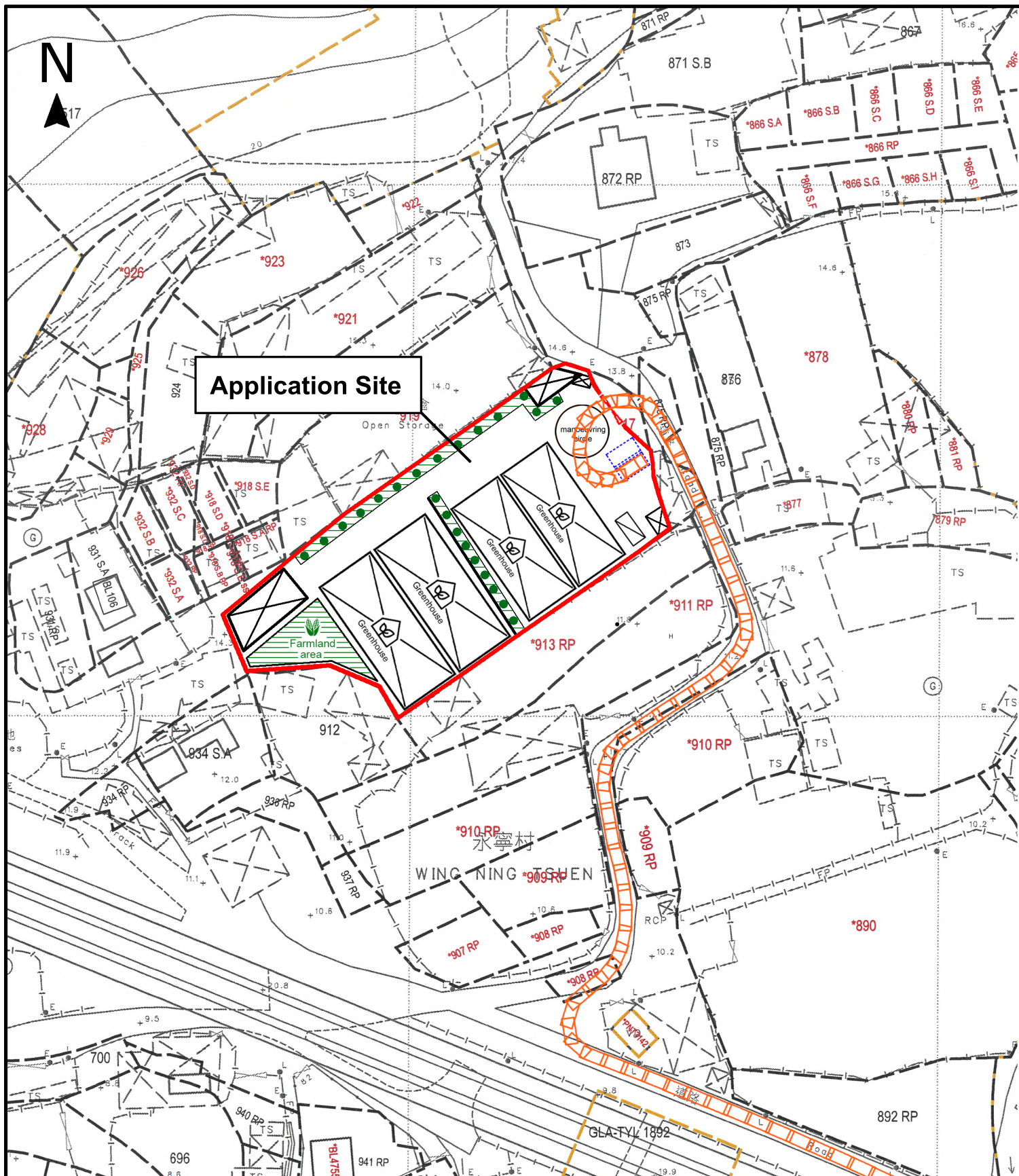
20240227

Remarks 備註:

Private car In

Private car Out

Scale 比例:



Project 項目名稱:

Proposed Temporary Place of Recreation,
Sports or Culture (Hobby Farm) for a
Period of 3 Years at Lots 914, 915,
916 (Part), and 917 (Part) in D.D. 122,
Ping Shan, Yuen Long, New Territories

Drawing Title 圖紙標題:

Swept Path
Analysis
(OUT)



Drawing No. 圖號:

20240227

Remarks 備註:

Private car In

Private car Out

Scale 比例:

**Extract of Town Planning Board Guidelines for
Application for Development within Green Belt Zone
under Section 16 of the Town Planning Ordinance
(TPB PG-No. 10)**

The relevant assessment criteria are as follows:

- (a) There is a general presumption against development (other than redevelopment) in a “Green Belt” (“GB”) zone. In general the Board will only be prepared to approve applications for development in the context of requests to rezone to an appropriate use.
- (b) An application for new development in a “GB” zone will only be considered in exceptional circumstances and must be justified with very strong planning grounds. The scale and intensity of the proposed development including the plot ratio, site coverage and building height should be compatible with the character of surrounding areas. With the exception of New Territories Exempted Houses, a plot ratio up to 0.4 for residential development may be permitted.
- (c) Applications for New Territories Exempted Houses with satisfactory sewage disposal facilities and access arrangements may be approved if the application sites are in close proximity to existing villages and in keeping with the surrounding uses, and where the development is to meet the demand from indigenous villagers.
- (d) Redevelopment of existing residential development will generally be permitted up to the intensity of the existing development.
- (e) Applications for government/institution/community (G/IC) uses and public utility installations must demonstrate that the proposed development is essential and that no alternative sites are available. The plot ratio of the development site may exceed 0.4 so as to minimize the land to be allocated for G/IC uses.
- (f) Passive recreational uses which are compatible with the character of surrounding areas may be given sympathetic consideration.
- (g) The design and layout of any proposed development should be compatible with the surrounding area. The development should not involve extensive clearance of existing natural vegetation, affect the existing natural landscape, or cause any adverse visual impact on the surrounding environment.
- (h) The vehicular access road and parking provision proposed should be appropriate to the scale of the development and comply with relevant standards. Access and parking should not adversely affect existing trees or other natural landscape features. Tree preservation and landscaping proposals should be provided.
- (i) The proposed development should not overstrain the capacity of existing and

planned infrastructure such as sewerage, roads and water supply. It should not adversely affect drainage or aggravate flooding in the area.

- (j) The proposed development must comply with the development controls and restrictions of areas designated as water gathering grounds.
- (k) The proposed development should not overstrain the overall provision of G/IC facilities in the general area.
- (l) The proposed development should not be susceptible to adverse environmental effects from pollution sources nearby such as traffic noise, unless adequate mitigating measures are provided, and it should not itself be the source of pollution.
- (m) Any proposed development on a slope or hillside should not adversely affect slope stability.

Previous Applications Covering the Site

Rejected Applications

<u>Application No.</u>	<u>Zoning</u> (at the time of consideration)	<u>Development/Use</u>	<u>Date of Consideration</u>	<u>Rejection Reasons</u>
A/YL-PS/108	“GB”	Temporary Open and Covered Storage of Waste Paper for a Period of 3 Years	5.7.2002 (TPB Review)	(1), (2), (3), & (4)
A/YL-PS/218	“GB”	Temporary Open Storage of Timber, Plastic and Metal for a Period of 3 Years	24.6.2005	(1), (2), (3), (4) & (5)
A/YL-PS/232	“GB”	Temporary Open Storage of Construction Materials (Iron, Steel and Stone) for a Period of 3 Years	21.4.2006 (TPB Review)	(1), (2), (3), (4) & (5)

Rejection Reasons

- (1) Not in line with planning intention of the area/the “GB” zone.
- (2) Not compatible with surrounding land uses.
- (3) It has not been demonstrated in the submission that the proposed development would not cause adverse traffic, drainage and environmental impacts on the surrounding areas.
- (4) The approval of the application would set an undesirable precedent for other similar applications.
- (5) The application was not in line with the general intention of Town Planning Board Guidelines No. 13C.

Similar s.16 Applications within the same “GB” Zone

Approved Applications

<u>Application No.</u>	<u>Development/Use</u>	<u>Date of Consideration</u>
A/YL-PS/655	Proposed Temporary Place of Recreation, Sports or Culture (Hobby Farm) with Ancillary Facilities for a Period of 5 Years and Land Filling	1.6.2022

Government Departments' General Comments

1. Land Administration

Comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD):

- he has no adverse comment on the application;
- the Site comprises Old Schedule Agricultural Lot Nos. 914, 915, 916 and 917 in D.D. 122 held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government; and
- If the planning application is approved the lot owner(s) shall apply to LandD for a Short Term Waiver (STW) to permit the structure(s) erected within the said private lots. The application for STW will be considered by the Government in its capacity as a landlord and there is no guarantee that it will be approved. The STW, if approved, will be subject to such terms and conditions including the payment of waiver fee and administrative fee as considered appropriate by LandsD. Besides, given the proposed use is temporary in nature, only erection of temporary structure(s) will be considered.

2. Traffic

Comments of the Commissioner for Transport (C for T):

He has no adverse comment on the application.

Comments of the Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD):

He has no adverse comment on the application.

3. Drainage

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD):

- he has no in-principle objection to the proposed application from a drainage point of view; and
- should the Town Planning Board consider that the application is acceptable from planning point of view, he would suggest that a condition requiring the applicant to submit a drainage proposal, to implement and maintain the proposed drainage facilities to the satisfaction of DSD should be stipulated.

4. **Fire Safety**

Comments of the Director of Fire Services (D of FS):

- he has no objection in principle to the proposal subject to fire service installations (FSIs) being provided to his satisfaction; and
- in consideration of the design/nature of the proposal, FSIs are anticipated to be required. Therefore, the applicant is advised to submit relevant layout plans incorporated with the proposal FSIs to his department for approval.

5. **Building Matters**

Comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD):

He has no objection to the application.

6. **Environment**

Comments of the Director of Environmental Protection (DEP):

He has no objection to the application.

7. **Other Departments**

The following departments has no comment on the application:

- Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD);
- Commissioner of Police (C of P);
- Project Manager (West), Civil Engineering and Development Department (PM(W), CEDD);
- Director of Agriculture, Fisheries and Conservation (DAFC); and
- Chief Engineer/Construction, Water Supplies Department (CE/C, WSD).

Recommended Advisory Clauses

- (a) to resolve any land issues relating to the development with the concerned owner(s) of the application site (the Site);
- (b) to note the comments of the Commissioner for Transport (C for T) that:
 - the applicant is reminded that sufficient space within the Site should be provided for maneuvering of vehicles;
 - no vehicle is allowed to queue back to or reverse onto/from public road at any time during the planning approval period; and
 - the Site is connected to Long Ping Road via a section of a local road which is not managed by his department. The land status of that local access road should be checked with LandsD. The management and maintenance responsibilities of that local access road should be clarified with the relevant lands and maintenance authorities accordingly;
- (c) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD) that:
 - adequate drainage measures shall be provided to prevent surface water running from the Site to the nearby public roads and drains; and
 - the access road connecting the Site with Long Ping Road is not and will not be maintained by his office;
- (d) to note the comments of the Director of Environmental Protection (DEP) that the applicant is reminded to follow the relevant mitigation measures and requirements in the latest “Code of Practice on Handling the Environmental Aspect of Temporary Uses and Open Storage Sites” issued by the Environmental Protection Department (EPD);
- (e) to note the comments of the Chief Town Planner/Urban Design and Landscape, Planning Department (CTP/UD&L, PlanD) that the applicant should note that approval of the s.16 application by the Town Planning Board does not imply approval of the tree works such as pruning, transplanting and/or felling under lease. Applicant is reminded to approach relevant authority / government department(s) direct to obtain the necessary approval on tree works;
- (f) to note the comments of the Director of Fire Services (D of FS) that:
 - the applicant is advised to submit relevant layout plans incorporated with the proposed Fire Service Installations (FSIs) to his department for approval;
 - the applicant should be advised on the following:
 - (i) the layout plans should be drawn to scale and depicted with dimensions and nature of occupancy; and
 - (ii) the location of where the proposed FSIs to be installed should be clearly

marked on the layout plans; and

- the applicant is reminded that if the proposed structure(s) is required to comply with the Buildings Ordinance (BO) (Cap. 123), detailed fire service requirements will be formulated upon receipt of formal submission of general building plans; and
- (g) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:
- the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
 - the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of B(P)R at building plan submission stage;
 - if the existing structures are erected on leased land without the approval of the Buildings Authority (BA), they are unauthorized building works (UBW) under the Buildings Ordinance (BO) and should not be designated for any proposed use under the captioned application;
 - for UBWs erected on lease land, enforcement may be taken by BD to effect their removal in accordance with the prevailing enforcement policy against UBWs as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBWs on the Site under BO;
 - before any new building works (including containers/open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent of BA should be obtained, otherwise they are UBWs. An Authorised Person should be appointed as the co-ordinator for the proposed building works in accordance with BO;
 - any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings are subject to the control of Part VII of B(P)R; and
 - detailed checking under BO will be carried out at building plan submission stage.

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

By e-mail : tpbpd@pland.gov.hk

有關的規劃申請編號 The application no. to which the comment relates.

A/YL-PS/704

意見詳情 (如有需要，請另頁說明)

Details of the Comment (use separate sheet if necessary)

本人強烈反對，申請編號 A/YL-PS/704。

由於經本村委員各主席成員反對在本村申請

休閒農場，太接近本村，村民，零都本村沒安靜

太多不知人是，在本出入，零都本太多車，有臭

不更，希望你門不批。(長村)啟。

「提意見人」姓名/名稱 Name of person/company making this comment

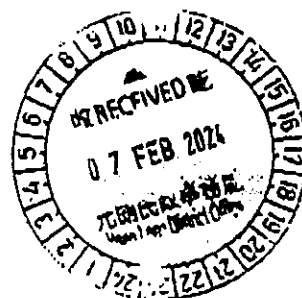
簽署 Signature

陳夢金

日期 Date

2024-2-4

元朗
屏山鄉
永寧村委員會
簽署: RAY 2024-2-4



就規劃申請/覆核提出意見 Making Comment on Planning Application / Review

參考編號

Reference Number:

240206-121216-98383

提交限期

Deadline for submission:

09/02/2024

提交日期及時間

Date and time of submission:

06/02/2024 12:12:16

有關的規劃申請編號

The application no. to which the comment relates:

A/YL-PS/704

「提意見人」姓名/名稱

Name of person making this comment:

小姐 Miss 黎

意見詳情

Details of the Comment :

本人反對上述的申請，以下是我的反對理由。

上述申請地段在早幾個月前經已申請規劃為寵物臨時宿舍，但在上述計劃還未確定下，同一位置有作出規劃申請休閒農莊，根據本人所知，上述位置為寶獅膠管廠所使用之土地，所述規劃申請根本為無稽之談，本人更覺得其申請為掩飾作其他用，據悉該位置草地上常常發出落貨的噪音，時常有大型車輛及貨運車輛在該位置運送出膠管，個位置傳為石屎路面，如何規劃成休閒農場？

希望貴處跟進及規管同該土地之申請，避免有人為逃避土地之法律責任而作出虛假規劃申請。