

2024年10月14日  
此文件在 收到。城市規劃委員會  
只會在收到所有必要的資料及文件後才正式確認收到  
申請的日期。

This document is received on 14 OCT 2024.  
The Town Planning Board will formally acknowledge  
the date of receipt of the application only upon receipt  
of all the required information and documents.

Form No. S16-1  
表格第 S16-1 號

**APPLICATION FOR PERMISSION  
UNDER SECTION 16 OF  
THE TOWN PLANNING ORDINANCE  
(CAP. 131)**

根據《城市規劃條例》(第131章)  
第16條遞交的許可申請

**Applicable to proposals not involving or not only involving:**  
適用於建議不涉及或不祇涉及:

- (i) **Construction of “New Territories Exempted House(s)”;**  
興建「新界豁免管制屋宇」;
- (ii) **Temporary use/development of land and/or building not exceeding 3 years in rural areas or Regulated Areas; and**  
位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展;及
- (iii) **Renewal of permission for temporary use or development in rural areas or Regulated Areas**  
位於鄉郊地區或受規管地區的臨時用途或發展的許可續期

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:  
[https://www.tpb.gov.hk/en/plan\\_application/apply.html](https://www.tpb.gov.hk/en/plan_application/apply.html)

申請人如欲在本地報章刊登申請通知,以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟,請瀏覽以下網址有關在指定的報章刊登通知:  
[https://www.tpb.gov.hk/tc/plan\\_application/apply.html](https://www.tpb.gov.hk/tc/plan_application/apply.html)

**General Note and Annotation for the Form**  
**填寫表格的一般指引及註解**

# “Current land owner” means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made  
「現行土地擁有人」指在提出申請前六星期,其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill “NA” for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足,請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號



2402376

30/9

By hand

Form No. S16-I 表格第 S16-I 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/YESK 1313
	Date Received 收到日期	14 OCT 2024

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會 (下稱「委員會」) 秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).  
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.  
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

### 1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

機匯園藝

Millions Chances Gardening

### 2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☐ Organisation 機構)

### 3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable)  
詳細地址/地點/丈量約份及地段號碼 (如適用)

新界八鄉石崗機場路水流田  
丈量約份第 112 約地段第 460  
號, 第 459 S.B. RP 及第 459 S.B. SS 號

(b) Site area and/or gross floor area involved  
涉及的地盤面積及/或總樓面面積

☒ Site area 地盤面積 ..... 690 ..... sq.m 平方米 ☐ About 約  
☒ Gross floor area 總樓面面積 ..... 237.8 ..... sq.m 平方米 ☐ About 約

(c) Area of Government land included (if any)  
所包括的政府土地面積 (倘有)

..... sq.m 平方米 ☐ About 約



(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	分區計劃大綱圖, 編號: S/YL-SK19
(e) Land use zone(s) involved 涉及的土地用途地帶	農業
(f) Current use(s) 現時用途	農業  (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施, 請在圖則上顯示, 並註明用途及總樓面面積)

#### 4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 -

- ☐ is the sole "current land owner" (please proceed to Part 6 and attach documentary proof of ownership).  
是唯一的「現行土地擁有人」 (請繼續填寫第 6 部分, 並夾附業權證明文件)。
- ☐ is one of the "current land owners" (please attach documentary proof of ownership).  
是其中一名「現行土地擁有人」 (請夾附業權證明文件)。
- ☒ is not a "current land owner".  
並不是「現行土地擁有人」。
- ☐ The application site is entirely on Government land (please proceed to Part 6).  
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

#### 5. Statement on Owner's Consent/Notification 就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at ..... (DD/MM/YYYY), this application involves a total of ..... "current land owner(s)".  
根據土地註冊處截至 2024 年 9 月 26 日的記錄, 這宗申請共牽涉 3 名「現行土地擁有人」。

(b) The applicant 申請人 -

- ☒ has obtained consent(s) of ..... "current land owner(s)".  
已取得 3 名「現行土地擁有人」的同意。

Details of consent of "current land owner(s)" obtained 取得「現行土地擁有人」同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)
1	DD112 LOT 459 S.B. RP	20/5/2024
1	DD112 LOT 459 S.B. SS1	20/5/2024
1	DD112 LOT 460	20/5/2024

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足, 請另頁說明)



- ☐ has notified ..... "current land owner(s)"<sup>#</sup>  
已通知 ..... 名「現行土地擁有人」<sup>#</sup>。

Details of the "current land owner(s)" <sup>#</sup> notified 已獲通知「現行土地擁有人」 <sup>#</sup> 的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):  
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on \_\_\_\_\_ (DD/MM/YYYY)<sup>#&</sup>  
於 \_\_\_\_\_ (日/月/年)向每一名「現行土地擁有人」<sup>#</sup>郵遞要求同意書<sup>&</sup>

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於 \_\_\_\_\_ (日/月/年)在指定報章就申請刊登一次通知<sup>&</sup>
- ☐ posted notice in a prominent position on or near application site/premises on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於 \_\_\_\_\_ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知<sup>&</sup>
- ☐ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於 \_\_\_\_\_ (日/月/年)把通知寄往相關的業主立案法團／業主委員會／互助委員會或管理處，或有關的鄉事委員會<sup>&</sup>

Others 其他

- ☐ others (please specify)  
其他（請指明）

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Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料



**6. Type(s) of Application 申請類別**

- ☐ Type (i) Change of use within existing building or part thereof  
第(i)類 更改現有建築物或其部分內的用途
- ☒ Type (ii) Diversion of stream / excavation of land / filling of land / filling of pond as required under Notes of Statutory Plan(s)  
第(ii)類 根據法定圖則《註釋》內所要求的河道改道 / 挖土 / 填土 / 填塘工程
- ☐ Type (iii) Public utility installation / Utility installation for private project  
第(iii)類 公用事業設施裝置 / 私人發展計劃的公用設施裝置
- ☐ Type (iv) Minor relaxation of stated development restriction(s) as provided under Notes of Statutory Plan(s)  
第(iv)類 略為放寬於法定圖則《註釋》內列明的發展限制
- ☐ Type (v) Use / development other than (i) to (iii) above  
第(v)類 上述的(i)至(iii)項以外的用途 / 發展

Note 1: May insert more than one 「✓」.

註 1: 可在多於一個方格內加上「✓」號

Note 2: For Development involving columbarium use, please complete the table in the Appendix.

註 2: 如發展涉及靈灰安置所用途, 請填妥於附件的表格。

**(i) For Type (i) application 供第(i)類申請**

(a) Total floor area involved 涉及的總樓面面積	sq.m 平方米		
(b) Proposed use(s)/development 擬議用途/發展	(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施, 請在圖則上顯示, 並註明用途及總樓面面積)		
(c) Number of storeys involved 涉及層數		Number of units involved 涉及單位數目	
(d) Proposed floor area 擬議樓面面積	Domestic part 住用部分 .....		sq.m 平方米 <input type="checkbox"/> About 約
	Non-domestic part 非住用部分 .....		sq.m 平方米 <input type="checkbox"/> About 約
	Total 總計 .....		sq.m 平方米 <input type="checkbox"/> About 約
(e) Proposed uses of different floors (if applicable) 不同樓層的擬議用途(如適用) (Please use separate sheets if the space provided is insufficient) (如所提供的空間不足, 請另頁說明)	Floor(s) 樓層	Current use(s) 現時用途	Proposed use(s) 擬議用途



**(ii) For Type (ii) application 供第(ii)類申請**

<p>(a) Operation involved 涉及工程</p>	<p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘  Area of filling 填塘面積 ..... sq.m 平方米 <input type="checkbox"/> About 約  Depth of filling 填塘深度 ..... m 米 <input type="checkbox"/> About 約</p> <p><input checked="" type="checkbox"/> Filling of land 填土  Area of filling 填土面積 ..... 690 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約  Depth of filling 填土厚度 ..... 0.1 ..... m 米 <input checked="" type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土  Area of excavation 挖土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約  Depth of excavation 挖土深度 ..... m 米 <input type="checkbox"/> About 約</p> <p>(Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land)  (請用圖則顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍))</p>
<p>(b) Intended use/development 有意進行的用途/發展</p>	<p>擬議填土工程, 連附屬設施, 以作 准許的農業用途</p>

**(iii) For Type (iii) application 供第(iii)類申請**

<p>(a) Nature and scale 性質及規模</p>	<p><input type="checkbox"/> Public utility installation 公用事業設施裝置</p> <p><input type="checkbox"/> Utility installation for private project 私人發展計劃的公用設施裝置</p> <p>Please specify the type and number of utility to be provided as well as the dimensions of each building/structure, where appropriate  請註明有關裝置的性質及數量, 包括每座建築物/構築物(倘有)的長度、高度和闊度</p>		
	<p>Name/type of installation 裝置名稱/種類</p>	<p>Number of provision 數量</p>	<p>Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)</p>
<p>(Please illustrate on plan the layout of the installation 請用圖則顯示裝置的布局)</p>			



**(iv) For Type (iv) application 供第(iv)類申請**

- (a) Please specify the proposed minor relaxation of stated development restriction(s) and **also fill in the proposed use/development and development particulars in part (v) below** –  
請列明擬議略為放寬的發展限制並填妥於第(v)部分的擬議用途/發展及發展細節 –

- ☐ Plot ratio restriction 地積比率限制 From 由 ..... to 至 .....
- ☐ Gross floor area restriction 總樓面面積限制 From 由 .....sq. m 平方米 to 至 .....sq. m 平方米
- ☐ Site coverage restriction 上蓋面積限制 From 由 .....% to 至 ..... %
- ☐ Building height restriction 建築物高度限制  
From 由 .....m 米 to 至 ..... m 米  
From 由 ..... mPD 米 (主水平基準上) to 至 .....mPD 米 (主水平基準上)  
From 由 ..... storeys 層 to 至 ..... storeys 層
- ☐ Non-building area restriction 非建築用地限制 From 由 .....m to 至 ..... m
- ☐ Others (please specify) 其他 (請註明) .....

**(v) For Type (v) application 供第(v)類申請**

(a) Proposed use(s)/development  
擬議用途/發展

(Please illustrate the details of the proposal on a layout plan 請用平面圖說明建議詳情)

**(b) Development Schedule 發展細節表**

- Proposed gross floor area (GFA) 擬議總樓面面積 ..... sq.m 平方米 ☐About 約
- Proposed plot ratio 擬議地積比率 ..... ☐About 約
- Proposed site coverage 擬議上蓋面積 ..... % ☐About 約
- Proposed no. of blocks 擬議座數 .....
- Proposed no. of storeys of each block 每座建築物的擬議層數 ..... storeys 層  
☐ include 包括 ..... storeys of basements 層地庫  
☐ exclude 不包括 ..... storeys of basements 層地庫
- Proposed building height of each block 每座建築物的擬議高度 ..... mPD 米(主水平基準上) ☐About 約  
..... m 米 ☐About 約

☐ Domestic part 住用部分

GFA 總樓面面積 ..... sq. m 平方米 ☐ About 約  
 number of Units 單位數目 .....  
 average unit size 單位平均面積 .....sq. m 平方米 ☐ About 約  
 estimated number of residents 估計住客數目 .....

☐ Non-domestic part 非住用部分

## GFA 總樓面面積

☐ eating place 食肆 ..... sq. m 平方米 ☐ About 約  
☐ hotel 酒店 ..... sq. m 平方米 ☐ About 約

(please specify the number of rooms

請註明房間數目) .....

☐ office 辦公室 ..... sq. m 平方米 ☐ About 約

☐ shop and services 商店及服務行業 ..... sq. m 平方米 ☐ About 約

☐ Government, institution or community facilities

政府、機構或社區設施

(please specify the use(s) and concerned land area(s)/GFA(s) 請註明用途及有關的地面面積／總樓面面積)

.....  
 .....  
 .....

☐ other(s) 其他

(please specify the use(s) and concerned land area(s)/GFA(s) 請註明用途及有關的地面面積／總樓面面積)

.....  
 .....  
 .....

☐ Open space 休憩用地

(please specify land area(s) 請註明地面面積)

☐ private open space 私人休憩用地 ..... sq. m 平方米 ☐ Not less than 不少於

☐ public open space 公眾休憩用地 ..... sq. m 平方米 ☐ Not less than 不少於

## (c) Use(s) of different floors (if applicable) 各樓層的用途 (如適用)

[Block number] [座數]	[Floor(s)] [層數]	[Proposed use(s)] [擬議用途]
.....	.....	.....
.....	.....	.....
.....	.....	.....
.....	.....	.....
.....	.....	.....

## (d) Proposed use(s) of uncovered area (if any) 露天地方 (倘有) 的擬議用途

.....  
 .....  
 .....  
 .....  
 .....



## 7. Anticipated Completion Time of the Development Proposal 擬議發展計劃的預計完成時間

Anticipated completion time (in month and year) of the development proposal (by phase (if any)) (e.g. June 2023)

擬議發展計劃預期完成的年份及月份 (分期 (倘有)) (例: 2023 年 6 月)

(Separate anticipated completion times (in month and year) should be provided for the proposed public open space and Government, institution or community facilities (if any))

(申請人須就擬議的公眾休憩用地及政府、機構或社區設施 (倘有) 提供個別擬議完成的年份及月份)

取得批准後, 45天內完成

## 8. Vehicular Access Arrangement of the Development Proposal 擬議發展計劃的行車通道安排

<p>Any vehicular access to the site/subject building? 是否有車路通往地盤/有關建築物?</p>	<p>Yes 是</p> <p>No 否</p>	<p><input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用))</p> <p>石崗機場路</p> <p><input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示, 並註明車路的闊度)</p> <p><input type="checkbox"/></p>
<p>Any provision of parking space for the proposed use(s)? 是否有為擬議用途提供停車位?</p>	<p>Yes 是</p> <p>No 否</p>	<p><input checked="" type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示)</p> <p>Private Car Parking Spaces 私家車車位 _____</p> <p>Motorcycle Parking Spaces 電單車車位 _____</p> <p>Light Goods Vehicle Parking Spaces 輕型貨車泊車位 _____</p> <p>Medium Goods Vehicle Parking Spaces 中型貨車泊車位 _____</p> <p>Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 _____</p> <p>Others (Please Specify) 其他 (請列明) _____</p> <p>_____</p> <p>_____</p>
<p>Any provision of loading/unloading space for the proposed use(s)? 是否有為擬議用途提供上落客貨車位?</p>	<p>Yes 是</p> <p>No 否</p>	<p><input checked="" type="checkbox"/> (Please specify type(s) and number(s) and illustrate on plan) 請註明種類及數目並於圖則上顯示)</p> <p>Taxi Spaces 的士車位 _____</p> <p>Coach Spaces 旅遊巴車位 _____</p> <p>Light Goods Vehicle Spaces 輕型貨車車位 _____</p> <p>Medium Goods Vehicle Spaces 中型貨車車位 _____</p> <p>Heavy Goods Vehicle Spaces 重型貨車車位 _____</p> <p>Others (Please Specify) 其他 (請列明) _____</p> <p>_____</p> <p>_____</p> <p>26沒有固定車位</p>

## 9. Impacts of Development Proposal 擬議發展計劃的影響

If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures.

如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。

<p>Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> Please provide details 請提供詳情</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>																														
<p>Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程? (Note: where Type (ii) application is the subject of application, please skip this section. 註: 如申請涉及第(ii)類申請, 請跳至下一條問題。)</p>	<p>Yes 是</p> <p>No 否</p>	<p><input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍)</p> <p><input type="checkbox"/> Diversion of stream 河道改道</p> <p><input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 ..... m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 ..... m 米 <input type="checkbox"/> About 約</p> <p><input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 ..... m 米 <input type="checkbox"/> About 約</p>																														
<p>Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?</p>		<table border="0"> <tr> <td>On environment 對環境</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> </table> <p>.....</p> <p>.....</p> <p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible) 請註明盡量減少影響的措施。如涉及砍伐樹木, 請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>	On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
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Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																														



## 10. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.  
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

申請人從事園藝工作，於申請地點上已獲地政署批准興建兩座育苗構築物，及豁免渠務工程及地盤平整。現再向貴署申請下列填土工程及連附屬設施：

① 苗圃出入口，貨物上落區，申請鋪設水泥地，面積約 101 平方米

理由：花苗及樹苗會用中型貨車運送，故需要於上落貨區鋪設水泥地，避免雨天車輛打滑及將泥濘帶出公路

② 在兩個育苗室的周圍及通道，申請鋪設植草磚，面積約 261 平方米

理由：花苗及樹苗需要經常搬運出入，植草磚方便手推車的搬運。另外，植草磚為空心磚，疏水功能良好，可於其上種植草皮，有助整個花園降溫。

③及④ 為兩個已獲地政署批准的育苗構築物（一層，每個長 15 米，闊 6 米，高 4.3 米，總面積 180 平方米）申請於其內鋪設水泥地

理由：育苗構築物內，採用花架、花盆培植較貴重的花苗，水泥地有助固定花架設施。



10. Justifications 理由 續

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.  
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

- ⑤ 電掣房，申請建造一層不高於2.1米，  
的建築物，總面積33平方米  
理由：保護電纜及相關供電設施
- ⑥ 水泵房：申請建築一層不高於2.1米，長1米，闊0.5  
米的建築物，總面積0.5平方米  
理由：保護水泵設施，以作灌溉植物花草
- ⑦、⑧、⑨ 放置三個改裝貨櫃於植草磚上，不  
需加墊其他物料，三個總面積54平方米  
理由：需要放置肥料、改善土、打草機等  
農具，以防受雨水浸壞
- ⑩ 苗圃出入口，貨物上落區，申請鋪設水泥地，  
面積90平方米（沒有固定車位）  
理由：花苗及樹苗會用中型貨車運送，故需  
要於上落貨區鋪設水泥地，避免雨天  
車輛打滑及將泥濘帶出公路

另外陳明，兩個苗圃出入口都可以讓中型（9噸）  
貨車完全進入及在苗圃內掉頭，不會影響  
苗圃外面的交通。苗圃的出車時間一般為  
早上10時及下午4時，預計平均一日出入車各  
一次。



**10. Justifications 理由**

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.  
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

(空白)



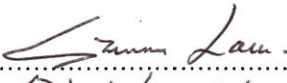
**11. Declaration 聲明**

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.  
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion. 本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature  
簽署

☒ Applicant 申請人 / ☐ Authorised Agent 獲授權代理人

  
.....  
劉錦松

Name in Block Letters  
姓名（請以正楷填寫）

  
.....  
東主

Position (if applicable)  
職位（如適用）

Professional Qualification(s)  
專業資格

☐ Member 會員 / ☐ Fellow of 資深會員

☐ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /


☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他 .....

on behalf of  
代表

  
.....

☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）



Date 日期

22 / 9 / 2024 (DD/MM/YYYY 日/月/年)

**Remark 備註**

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

**Warning 警告**

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

**Statement on Personal Data 個人資料的聲明**

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and

處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

- (b) facilitating communication between the applicant and the Secretary of the Board/Government departments.

方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。



**For Developments involving Columbarium Use, please also complete the following:**  
**如發展涉及靈灰安置所用途，請另外填妥以下資料：**

Ash interment capacity 骨灰安放容量<sup>@</sup>

Maximum number of sets of ashes that may be interred in the niches

在龕位內最多可安放骨灰的數量

Maximum number of sets of ashes that may be interred other than in niches

在非龕位的範圍內最多可安放骨灰的數量

Total number of niches 龕位總數

Total number of single niches

單人龕位總數

Number of single niches (sold and occupied)

單人龕位數目 (已售並佔用)

Number of single niches (sold but unoccupied)

單人龕位數目 (已售但未佔用)

Number of single niches (residual for sale)

單人龕位數目 (待售)

Total number of double niches

雙人龕位總數

Number of double niches (sold and fully occupied)

雙人龕位數目 (已售並全部佔用)

Number of double niches (sold and partially occupied)

雙人龕位數目 (已售並部分佔用)

Number of double niches (sold but unoccupied)

雙人龕位數目 (已售但未佔用)

Number of double niches (residual for sale)

雙人龕位數目 (待售)

Total no. of niches other than single or double niches (please specify type)

除單人及雙人龕位外的其他龕位總數 (請列明類別)

Number of niches (sold and fully occupied)

龕位數目 (已售並全部佔用)

Number of niches (sold and partially occupied)

龕位數目 (已售並部分佔用)

Number of niches (sold but unoccupied)

龕位數目 (已售但未佔用)

Number of niches (residual for sale)

龕位數目 (待售)

Proposed operating hours 擬議營運時間

<sup>@</sup> Ash interment capacity in relation to a columbarium means –

就靈灰安置所而言，骨灰安放容量指：

- the maximum number of containers of ashes that may be interred in each niche in the columbarium;  
每個龕位內可安放的骨灰容器的最高數目；
- the maximum number of sets of ashes that may be interred other than in niches in any area in the columbarium; and  
在該靈灰安置所並非龕位的範圍內，總共最多可安放多少份骨灰；以及
- the total number of sets of ashes that may be interred in the columbarium.  
在該骨灰安置所內，總共最多可安放多少份骨灰。

## Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置/地址	新界八鄉石崗機場路水流田丈量約份 第112約地段, 第460號及第459 S.B. RP 第459 S.B. 551號		
Site area 地盤面積	690	sq. m 平方米 <input checked="" type="checkbox"/> About 約	(includes Government land of 包括政府土地 sq. m 平方米 <input type="checkbox"/> About 約)
Plan 圖則	S1YL-SK19		
Zoning 地帶	農業		
Applied use/ development 申請用途/發展	擬議填土工程, 連附屬設施, 以作 准許的農業用途		
(i) Gross floor area and/or plot ratio 總樓面面積及/或 地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	<input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於 237.8	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用		
	Non-domestic 非住用	7	
	Composite 綜合用途		



(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用		m 米 <input type="checkbox"/> (Not more than 不多於)
			mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
			Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)  ( <input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括) <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Non-domestic 非住用	4.3	<input checked="" type="checkbox"/> (Not more than 不多於) m 米
			mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
		1	<input checked="" type="checkbox"/> (Not more than 不多於) Storeys(s) 層  ( <input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括) <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
	Composite 綜合用途		m 米 <input type="checkbox"/> (Not more than 不多於)
			mPD 米(主水平基準上) <input type="checkbox"/> (Not more than 不多於)
			Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)  ( <input type="checkbox"/> Include 包括 <input type="checkbox"/> Exclude 不包括) <input type="checkbox"/> Carport 停車間 <input type="checkbox"/> Basement 地庫 <input type="checkbox"/> Refuge Floor 防火層 <input type="checkbox"/> Podium 平台)
(iv) Site coverage 上蓋面積	34 % <input checked="" type="checkbox"/> About 約		
(v) No. of units 單位數目			
(vi) Open space 休憩用地	Private 私人	sq.m 平方米 <input type="checkbox"/> Not less than 不少於	
	Public 公眾	sq.m 平方米 <input type="checkbox"/> Not less than 不少於	

(vii) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數  Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____	
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數  Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____ _____	2個中型 貨車上落位 (不設固定車位)

### Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件

	Chinese 中文	English 英文
<b>Plans and Drawings 圖則及繪圖</b>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
位置圖、地政總署批准構築物結構圖、電單車水喉圖、 改變貨櫃圖樣、植草磚圖樣		
<b>Reports 報告書</b>		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
地政總署構築物批准函		

Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號



Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

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位置圖

申請地點

N  
↑

FP

SCALE 1:200 比例尺

米  
METRES

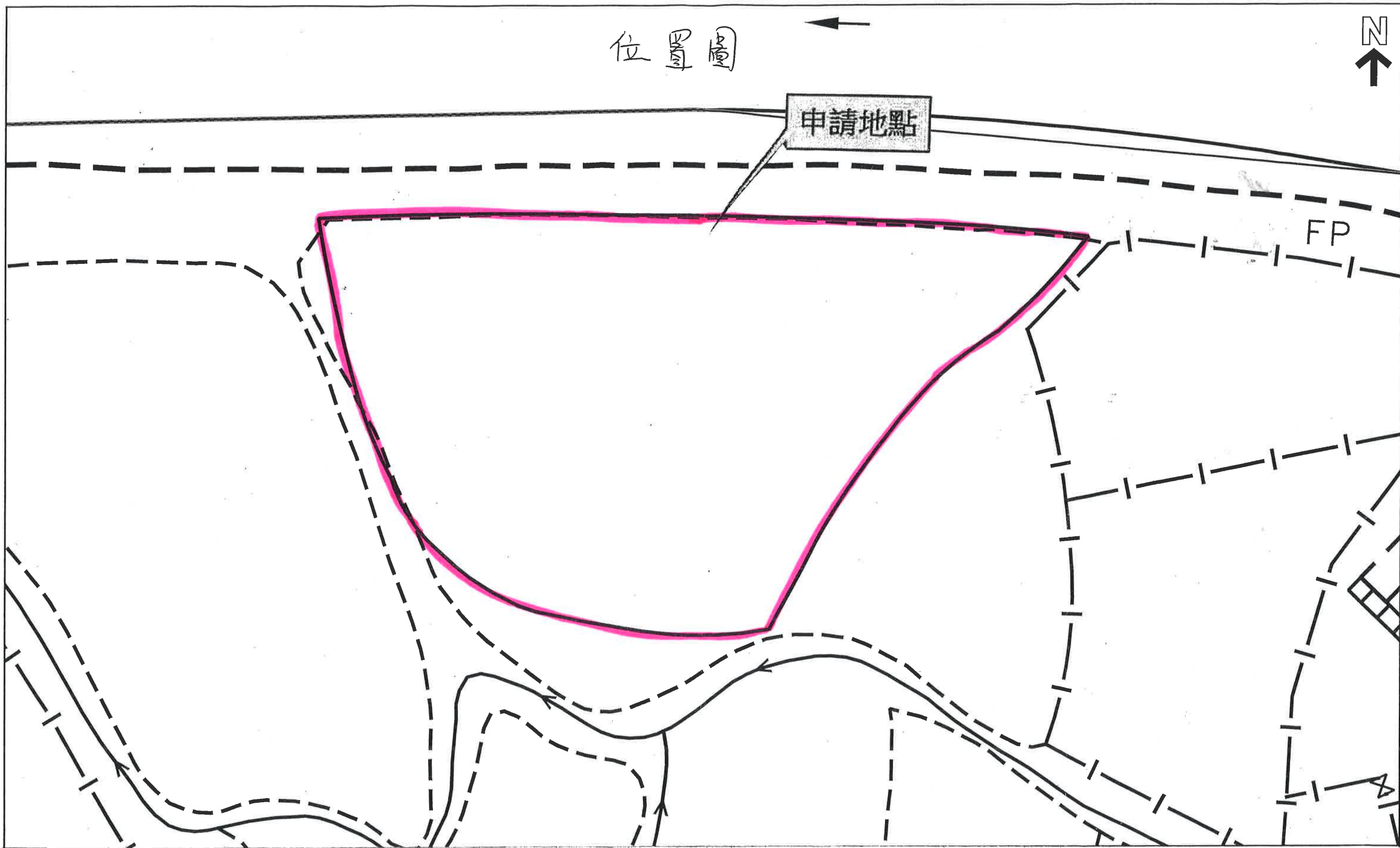
4

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4

8

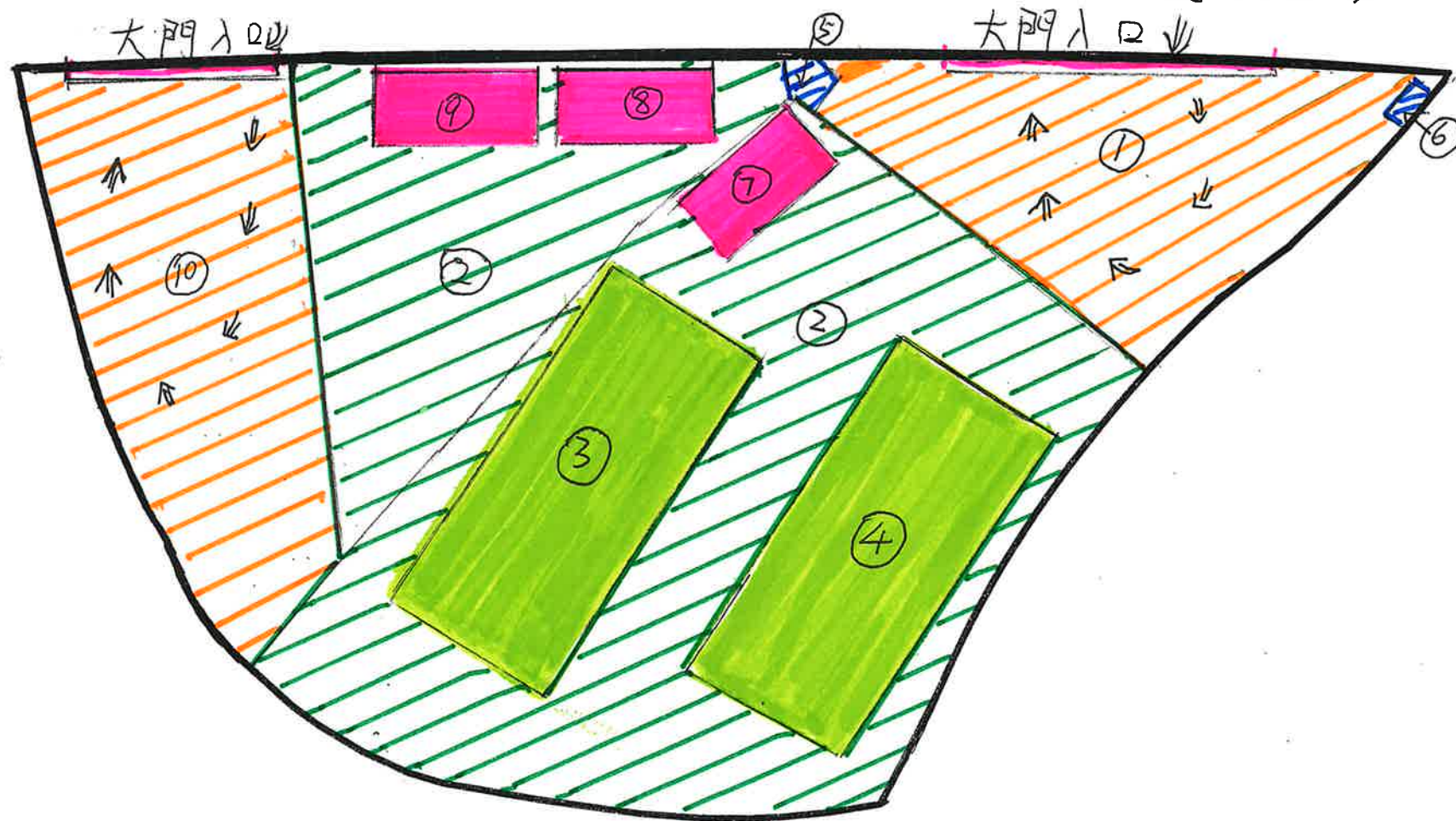
米  
METRES





← 石崗機場路

南慶西路 →



布局設計圖

SCALE 1:200 比例尺



## 布局設計圖

① 水泥地上落貨區 101 平方米 (沒有固定車位)

⇒ 中型貨車, 可於區內掉頭駛出公路

② 植草磚約 261 平方米

③、④ 水泥地, 每個長 15 米, 闊 6 米, 高 4.3 米, 總面積 180 米<sup>2</sup> (地政署批准構築物之地面)

⑤ 電掣房長 1.5 米, 闊 2.2 米, 高 2.1 米, 一層, 面積 3.3 米<sup>2</sup>

⑥ 水泵房長 1 米, 闊 0.5 米, 高 2.1 米, 一層, 面積 0.5 米<sup>2</sup>

⑦ 改裝貨柜 長 6 米, 闊 3 米, 高 3 米, 一層, 面積 18 米<sup>2</sup>

⑧ 改裝貨柜 長 6 米, 闊 3 米, 高 3 米, 一層, 面積 18 米<sup>2</sup>

⑨ 改裝貨柜 長 6 米, 闊 3 米, 高 3 米, 一層, 面積 18 米<sup>2</sup>

⑩ 水泥地, 上落貨區 90 平方米 (沒有固定車位)

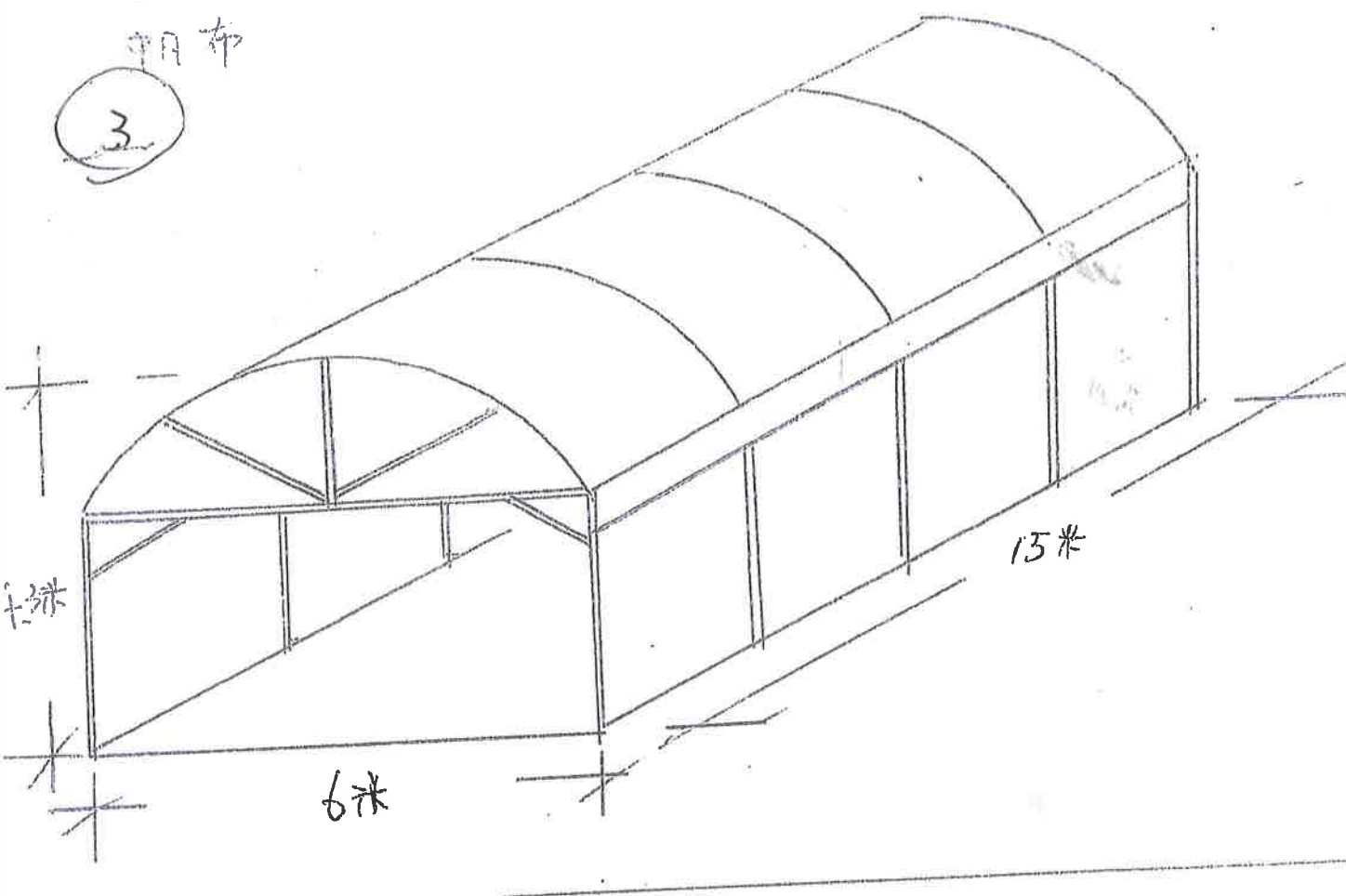
⇒ 中型貨車可於區內掉頭駛出公路

地政總署批准構築物結構圖

鉛水通支渠

帆布

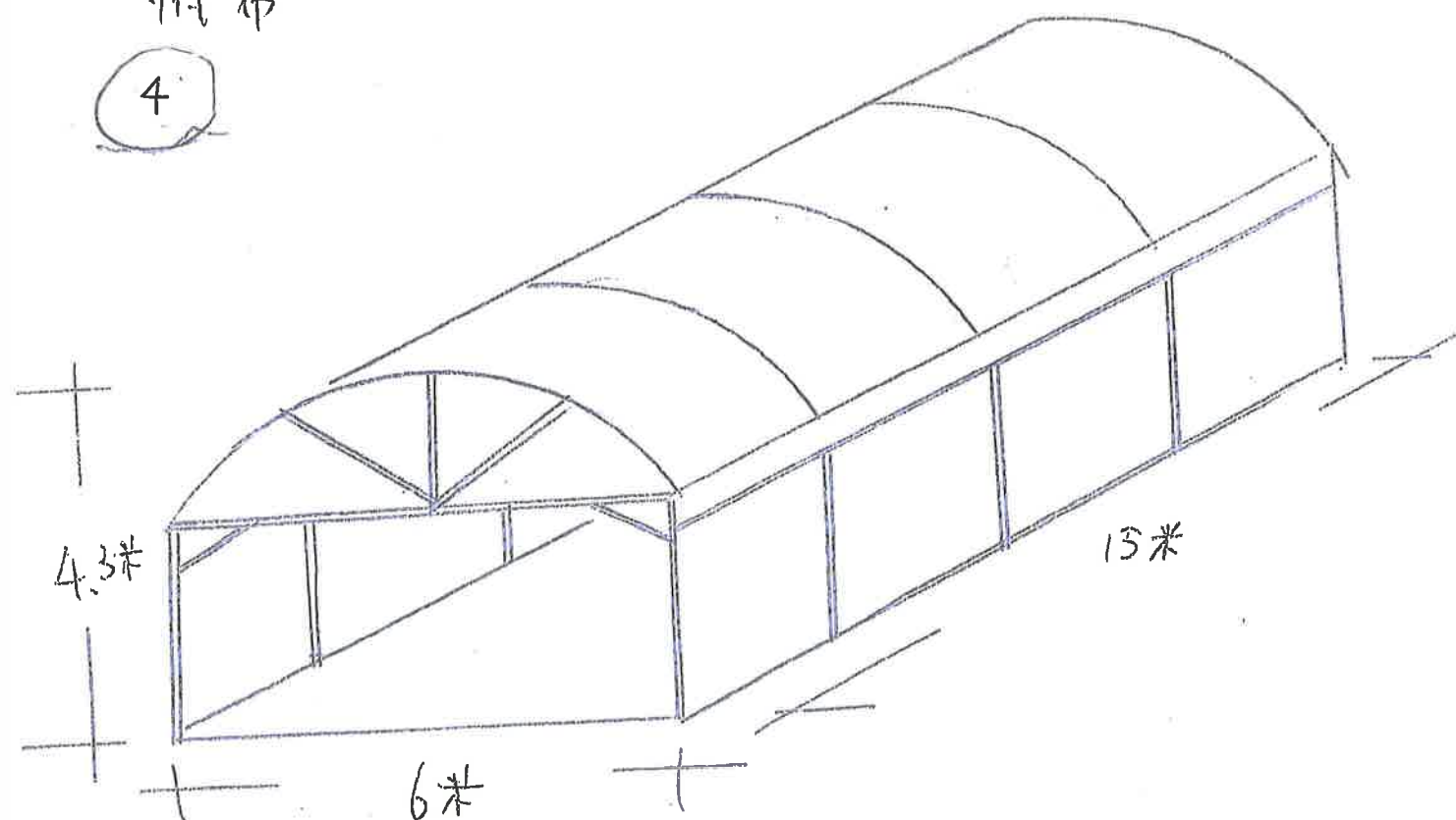
3



鉛水通支渠

帆布

4

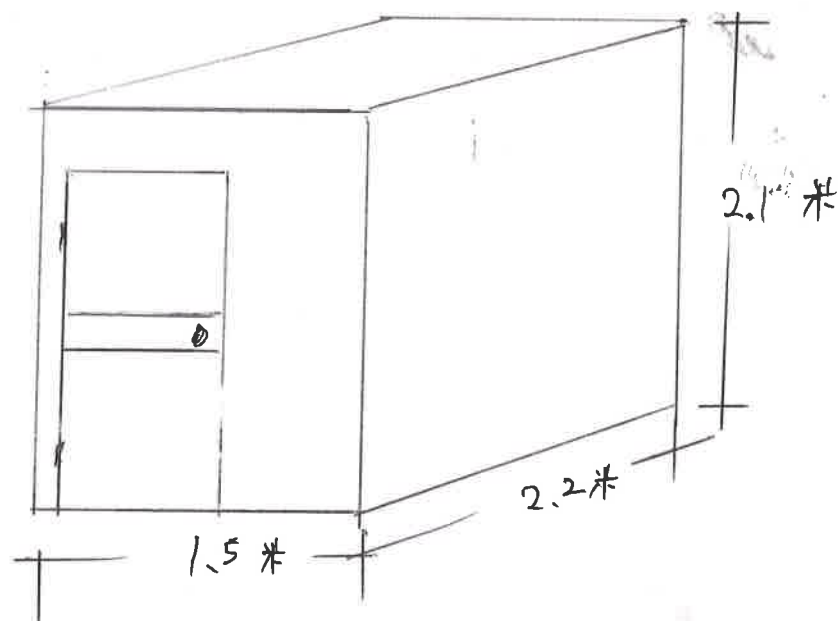




# 電掣房、水泵房圖樣

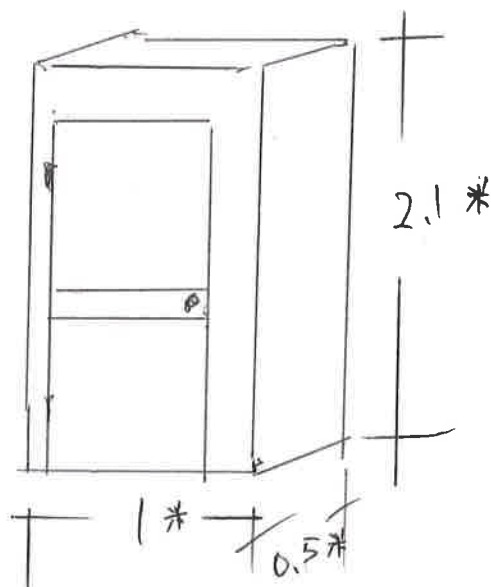
⑤ 電掣房

物料：鐵通、  
鐵板

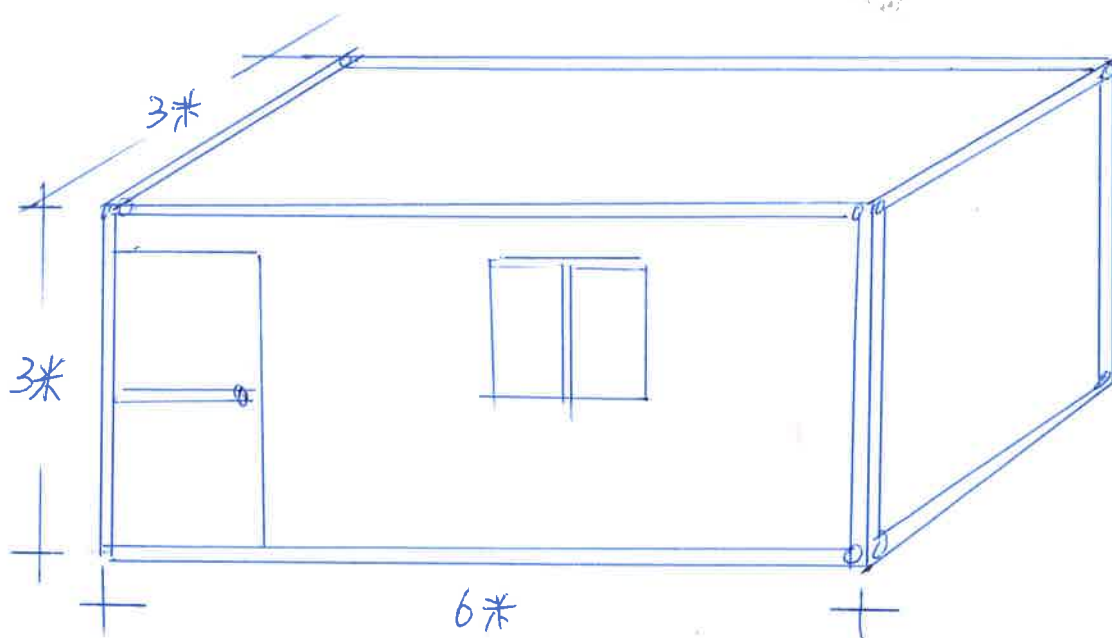


⑥ 水泵房

物料：鐵通  
鐵板



⑦、⑧、⑨ 改装货柜











地政總署  
元朗地政處  
DISTRICT LANDS OFFICE,  
YUEN LONG  
LANDS DEPARTMENT

電話 Tel : [REDACTED]  
圖文傳真 Fax : [REDACTED]  
電郵地址 Email : [REDACTED]  
本處檔號 Our Ref. : (31) in DLOYLMT/LM 16150  
來函檔號 Your Ref. :

我們矢志努力不懈，提供盡善盡美的土地行政服務。  
We strive to achieve excellence in land administration.  
新界元朗橋樂坊二號元朗政府合署七樓至十一樓  
7/F.-11/F., YUEN LONG GOVERNMENT OFFICES,  
NO. 2 KIU LOK SQUARE, YUEN LONG, N.T.

Millions Chances Gardening  
[REDACTED]

**BY REGISTERED SERVICE**

22 JAN 2024

Dear Sirs,

**Certificate of Exemption  
in respect of Site Formation Works  
Lots Nos. 459 S.B RP & 459 S.B ss.1 both in Demarcation District No. 112**

This Certificate of Exemption is given pursuant to Section 6(a) of the Buildings Ordinance (Application to the New Territories) Ordinance, Chapter 121 to exempt the buildings to be erected on the above lots from the provisions of the Buildings Ordinance, Chapter 123 and the regulations made thereunder in relation to site formation works subject to the following conditions:

- (a) No retaining walls or terrace walls higher than 1.5m shall be constructed. The combined height of retaining wall and slope constructed shall also not exceed 1.5m;
- (b) The retaining height to breadth ratio of retaining walls constructed shall not be greater than two. The retaining walls shall be constructed of masonry or concrete;
- (c) No slopes steeper than 30 degrees nor higher than 1.5m shall be constructed; and

The Government of the Hong Kong Special Administrative Region reserves the right to revoke and cancel this Certificate of Exemption in the event of any breach of the above conditions, in which case, you would be required formally to submit plans to the Building Authority under the terms of the Buildings Ordinance, Chapter 123 in respect of site formation works.

If you have any questions, please contact Land Executive Mr. [REDACTED] at [REDACTED].

Yours faithfully,

( [REDACTED] )

District Lands Officer, Yuen Long

(With Chinese Translation)

Certificate No. [REDACTED]

c.c. AFCD (Fax No. [REDACTED])





地政總署  
元朗地政處

DISTRICT LANDS OFFICE, YUEN LONG  
LANDS DEPARTMENT

(覆函時請註明本函檔號)

(Please quote our reference in response to this letter)

電話 Tel :

圖文傳真 Fax :

電郵地址 Email :

本處檔號 Our Ref : (33) in DLOYL MT/LM 16150

來函檔號 Your Ref :

我們矢志努力不懈，提供盡善盡美的土地行政服務。  
We strive to achieve excellence in land administration.

新界元朗橋樂坊二號元朗政府合署七樓至十一樓  
7/F - 11/F, YUEN LONG GOVERNMENT OFFICES,  
NO. 2 KIU LOK SQUARE, YUEN LONG, N.T.

網址 Website: www.landsd.gov.hk

**BY REGISTERED SERVICE**

25 JAN 2024

Millions Chances Gardening



Dear Sirs,

**Development**

**Lots Nos. 459 S.B RP & 459 S.B ss.1 both in Demarcation District No. 112**

I attach herewith Certificate(s) of Exemption for Building Works/  
Site Formation Works/Drainage Works dated 22 JAN 2024 in respect of the  
above development.

Please be informed that in the context of the Buildings Ordinance  
(Application to the New Territories) Ordinance, Chapter 121, the issue of a certificate for  
building works merely affords a statutory exemption from the provisions of the Buildings  
Ordinance, Chapter 123. It does not relieve you from obtaining any necessary approval  
under the Block Government Lease/New Grant No. \_\_\_\_\_ or from  
complying with other relevant legislation for the development of the above lot(s), or from  
complying with the conditions of grant.

The erection of a structure without approval would constitute a breach of  
the Block Government Lease/New Grant No. \_\_\_\_\_ which would give rise to  
a right of re-entry.

Yours faithfully,

( [Redacted Signature] )

for District Lands Officer, Yuen Long

**Encl.**

c.c. AFCD (Fax No.: [Redacted])

電話 Tel : [REDACTED]  
圖文傳真 Fax : [REDACTED]  
電郵地址 Email : [REDACTED]  
本處檔號 Our Ref. : (32) in DLOYLMT/LM 16150  
來函檔號 Your Ref. :



地政總署  
元朗地政處  
DISTRICT LANDS OFFICE,  
YUEN LONG  
LANDS DEPARTMENT

我們矢志努力不懈，提供盡善盡美的土地行政服務。  
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新界元朗橋樂坊二號元朗政府合署七樓至十一樓  
7/F.-11/F., YUEN LONG GOVERNMENT OFFICES,  
NO. 2 KIU LOK SQUARE, YUEN LONG, N.T.

**BY REGISTERED SERVICE**

Millions Chances Gardening  
[REDACTED]

22 JAN 2024

Dear Sirs,

**Certificate of Exemption  
in respect of Drainage Works  
Lots Nos. 459 S.B RP & 459 S.B ss.1 both in Demarcation District No. 112**

This Certificate of Exemption is given pursuant to Section 6(b) of the Buildings Ordinance (Application to the New Territories) Ordinance, Chapter 121 to exempt the buildings to be erected on the above lots from the provisions of the Buildings Ordinance, Chapter 123 and the regulations made thereunder in relation to drainage works.

The Government of the Hong Kong Special Administrative Region reserves the right to revoke and cancel this Certificate of Exemption should there be any breach of these requirements and in that event you would be required formally to submit plans to the Building Authority under the terms of the Buildings Ordinance, Chapter 123 in respect of the drainage works.

If you have any questions, please contact Land Executive Mr. [REDACTED] at [REDACTED].

Yours faithfully,

( [REDACTED] )

District Lands Officer, Yuen Long

**Encl.**

(With Chinese Translation)

Certificate No. [REDACTED]

c.c. AFCD (Fax No.: [REDACTED])



地政總署  
元朗地政處  
DISTRICT LANDS OFFICE,  
YUEN LONG  
LANDS DEPARTMENT

電話 Tel: [REDACTED]

圖文傳真 Fax: [REDACTED]

電郵地址 Email: [REDACTED]

本處檔號 Our Ref.: (30) in DLOYLMT/LM 16150

來函檔號 Your Ref.: [REDACTED]

我們矢志努力不懈，提供盡善盡美的土地行政服務。  
We strive to achieve excellence in land administration.

新界元朗橋樂坊二號元朗政府合署七樓至十一樓  
7/F.-11/F., YUEN LONG GOVERNMENT OFFICES,  
NO. 2 KIU LOK SQUARE, YUEN LONG, N.T.

Millions Chances Gardening  
[REDACTED]

22 JAN 2024

Dear Sirs,

**Certificate of Exemption  
in respect of Building Works  
Lots Nos. 459 S.B RP & 459 S.B ss.1 both in Demarcation District No. 112**

This Certificate of Exemption is given pursuant to Section 5 of the Buildings Ordinance (Application to the New Territories) Ordinance, Chapter 121 to exempt the buildings to be erected on the above lots from the provisions of the Buildings Ordinance, Chapter 123 and the regulations made thereunder in relation to building works, subject to the conditions contained in this Certificate of Exemption and contained or referred to in the attached Schedule of Conditions and the terms and conditions governing the lots.

2. The Government of the Hong Kong Special Administrative Region ("the Government") reserves the right to revoke and cancel this Certificate of Exemption in the event of any breach of any of the aforementioned conditions in the attached Schedule of Conditions in which case you would be required to apply formally to the Building Authority for approval of plans. The Government may also be entitled to take enforcement action under the lease of the lots.

3. You shall indemnify and keep indemnified the Government against all actions, proceedings, liabilities, demands, costs, expenses and claims whatsoever arising out of any development or redevelopment affecting the lots or part thereof or out of any other works which you are required to undertake in compliance with the conditions contained in this Certificate of Exemption and the attached Schedule of Conditions.

If you have any questions, please contact Land Executive Mr. [REDACTED] at [REDACTED].

Yours faithfully,

( [REDACTED] )

District Lands Officer, Yuen Long

(With Chinese Translation)

Certificate No. [REDACTED]

c.c. C of R&V (Attn:SCO/NT)

AFCD (Fax No.: [REDACTED])



**Schedule of Conditions  
Attached to Certificate of Exemption  
in respect of Building Works**

**Lots Nos. 459 S.B RP and 459 S.B ss.1 both in Demarcation District No. 112**

The agricultural buildings/structures when constructed, will be of a single storey of a height of not more than 4.3 metres for the cultivation rooms as permitted by Letter of Approval No. 16150.

The following structures only are included in this approval:

<b>No.</b>	<b>Usage</b>	<b>Dimension</b>
B 1	Cultivation room	15m (L) x 6m (W) x 4.3m (H)
B 2	Cultivation room	15m (L) x 6m (W) x 4.3m (H)

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy

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**From:** Jenny Lau <[REDACTED]>  
**Sent:** 2024-11-14 星期四 15:46:28  
**To:** tpbpd/PLAND <tpbpd@pland.gov.hk>  
**Cc:** [REDACTED]  
**Subject:** 申請編號：A/YL-SK/ 393 - 提交渠務報告  
**Attachment:** 布局圖 1 (1).pdf; 渠務報告 8-11-24.pdf

先生/女士

現提交渠務報告和修正佈局圖

機滙園藝  
劉錦松

朗賢顧問公司  
Sun Merit Consultants Company

Our Ref: 053/20/HC/hc

Your Ref:

Date: 1 November, 2024

Town Planning Board ,  
North Point Government Building,  
North Point, Hong Kong,

Dear Sir/ Madam,

Proposed Development of Agricultural Temporary Structures

at Lots. 459S.B RP, 459 S.B ss.1 & 460 both in D.D. 112

Shui Lau Tin, Pat Heung, N. T.

Drainage Proposal Submission


As per request, with the requirement for the drainage proposal for the proposed Development of Agricultural Temporary Structures. On behalf of the applicant, we submit herewith the Drainage System Proposal Report, one set with two copies, for your comment and approval.

Our drainage submission has considered the followings:-

1. Presently the storm-water runoff that induced in the proposed development lot is directly discharged into the existing nullah adjacent by. Hence, upon checking, we consider that the changing of land used from grassy land to this agricultural temporary structures site will likely not cause overload to the existing local drainage system.
2. We confirm that our applicant will bear the costs of the construction of all the drainage works which inside the lot or outside the lot boundary. For works to be undertaken outside the lot boundary, our applicant will obtain prior consent and agreement from DLOYL and relevant lot owners.

Thank you for your attention.

Yours faithfully,

  
.....  
H C Cho (RPE cvL)

Encl.

Email : [REDACTED]

TELEPHONE: [REDACTED]




Drainage Proposal Submission

For

Town Planning Application

at Lots Nos. 459S.B RP, 459 S.B ss.1 & 460 both in D.D. 112

Shui Lau Tin, Pat Heung, N. T.



Prepared by H. C. Cho (RPEcVL)

30 October 2024

**Shui Lau Tin Proposed Development of Agricultural Temporary Structures  
at Lots. 459S.B RP, 459 S.B ss.1 & 460 both in D.D. 112  
Shui Lau Tin, Pat Heung, N. T.**

**Site Stormwater Drainage Assessment Report for the Development Site,  
Due to the Erection of the agricultural temporary structures**

**1.0 Introduction**

It is proposed by the applicant, Millions Chances Gardening to develop a few temporary agricultural structures at Lots. 459S.B RP, 459 S.B ss.1 & 460 both in D.D. 112, Shui Lau Tin, Pat Heung, N. T. I have inspected the site and have taken the consideration of drainage and environmental aspects for the proposed building works.

**2.0 Basis of Assessment**

To assess the technical acceptability of the proposed site which located, as indicated in the proposed stormwater drainage plan attached in appendix IV, a number of analyses have been considered and they are presented below.

**3.0 The Site**

The site area presently is a vacuum grassy area. The total catchment area of the whole development site is approximate 900 m<sup>2</sup>. Appendix I refers. It is a general flat area site.

**4.0 Observation**

Presently, the proposed development lots is fenced out with metal fence wall cast in to the ground. The adjacent ground level is slightly lower than the proposed site level. All the induced stormwater in the site will be gradually fall into the proposed 225mm U-channel at north side inside the lot fence wall.

DSD's flooding Black spots Location Map is checked. This area is not on the list.

**5.0 Consideration and Recommendation**

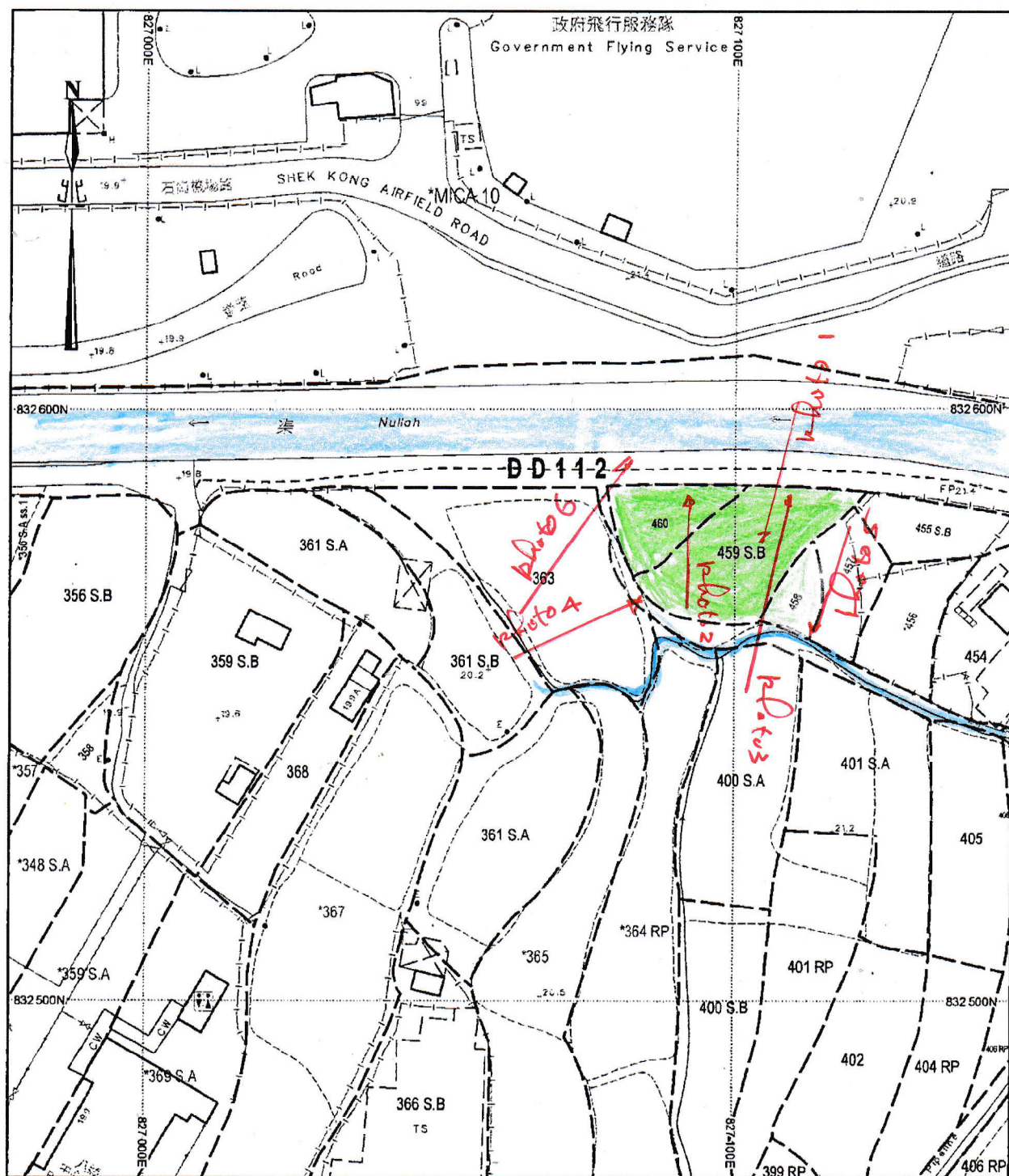
As indicated in the drainage layout plan in appendix IV, all the surface water induced in the site area and adjacent areas are discharged into the proposed 225mm U-channel at north side of the proposed lots, then is discharged the proposed 250mm diameter uPVC drain pipe. It is further discharged to the 7.0 meters nullah at further downstream.

## APPENDIX

- I Lot Indication Plan
- II Record Photos No.1 to no. 6
- III Topographic Survey Record Plan
- IV Proposed Drainage Layout Plan
- V Proposed Lots Section Plan
- VI Proposed Stormwater Drainage Detailed Plan
- VII General Notes



# 地段索引圖 LOT INDEX PLAN



地政總署測繪處 Survey and Mapping Office, Lands Department

比例尺 SCALE 1:1000

metres 10 0 10 20 30 40 50 metres



Locality : YUEN LONG

Lot Index Plan No. : YL0566052015

District Survey Office : Yuen Long

Date : 13-May-2015

Reference No. : 6-NE-13D,6-NE-14C

香港特別行政區政府 — 版權所有

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SMO-P01

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## 免責聲明

本圖則乃地段索引圖的複本，顯示地段界線的大概位置，包括根據政府撥地、臨時政府撥地、短期租約及政府土地租用牌照而臨時佔用土地的位置。臨時佔用土地的情況可憑藉短期通知出現或終止，因此應向有關的分區地政專員核證。本圖則所示的資料必須透過實地測量予以核實。當有更佳或新的地界證據時，地段索引圖可能會被修訂而無須事先通知。

## Disclaimer

This plan is a copy of the lot index plan showing the approximate location of lot boundaries, including the temporary occupation of land under Government Land Allocations, Temporary Government Land Allocations, Short Term Tenancies and Government Land Licences. The temporary occupation of land may be created or terminated at short notice and should be confirmed with the District Lands Officer. The information shown on this plan **MUST** be verified by field survey. The lot index plan may be revised without prior notification as better or new boundary evidence becomes available.



Lots. 459S.B RP, 459 S.B ss.1 & 460 both in D.D. 112 Shui Lau Tin, Pat Heung, N. T.  
Site Record Photos

30-10-2024



The proposed site

Photo no.1 Overall view of the present proposed development site. Presently the area is a flat grassy land. Ground level is around +20.8 mPD to +21.60 mPD.

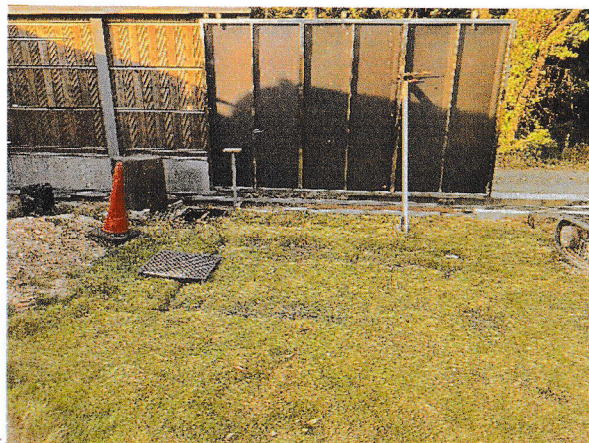


Photo no. 2 Along the lots boundary consisted with metal fence wall, which sealed up at the bottom.

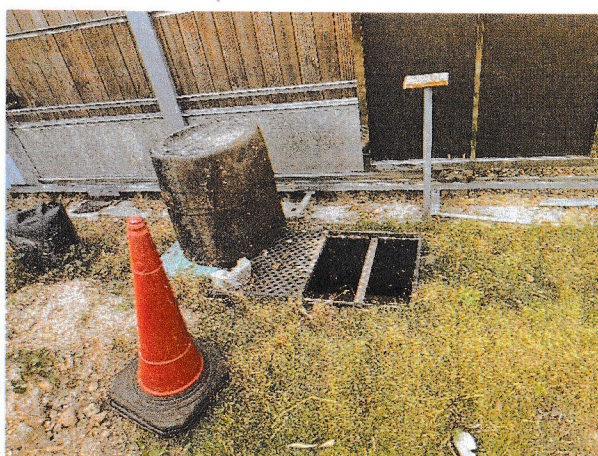


Photo no. 3 As indicated in the drainage layout plan there will be a proposed 225mm U-channel and two desilting pits to collect the stormwater that induced in the lots.



Lots. 459S.B RP, 459 S.B ss.1 & 460 both in D.D. 112 Shui Lau Tin, Pat Heung, N. T.  
Site Record Photos

30-10-2024



Photo no.4 As shown, the existing ground level of the proposed site is slightly higher than the outside village road.



Photo no.5 At the south side outside the lot boundary is a village road, further beyond is an existing 500mm ditch covered with grass.



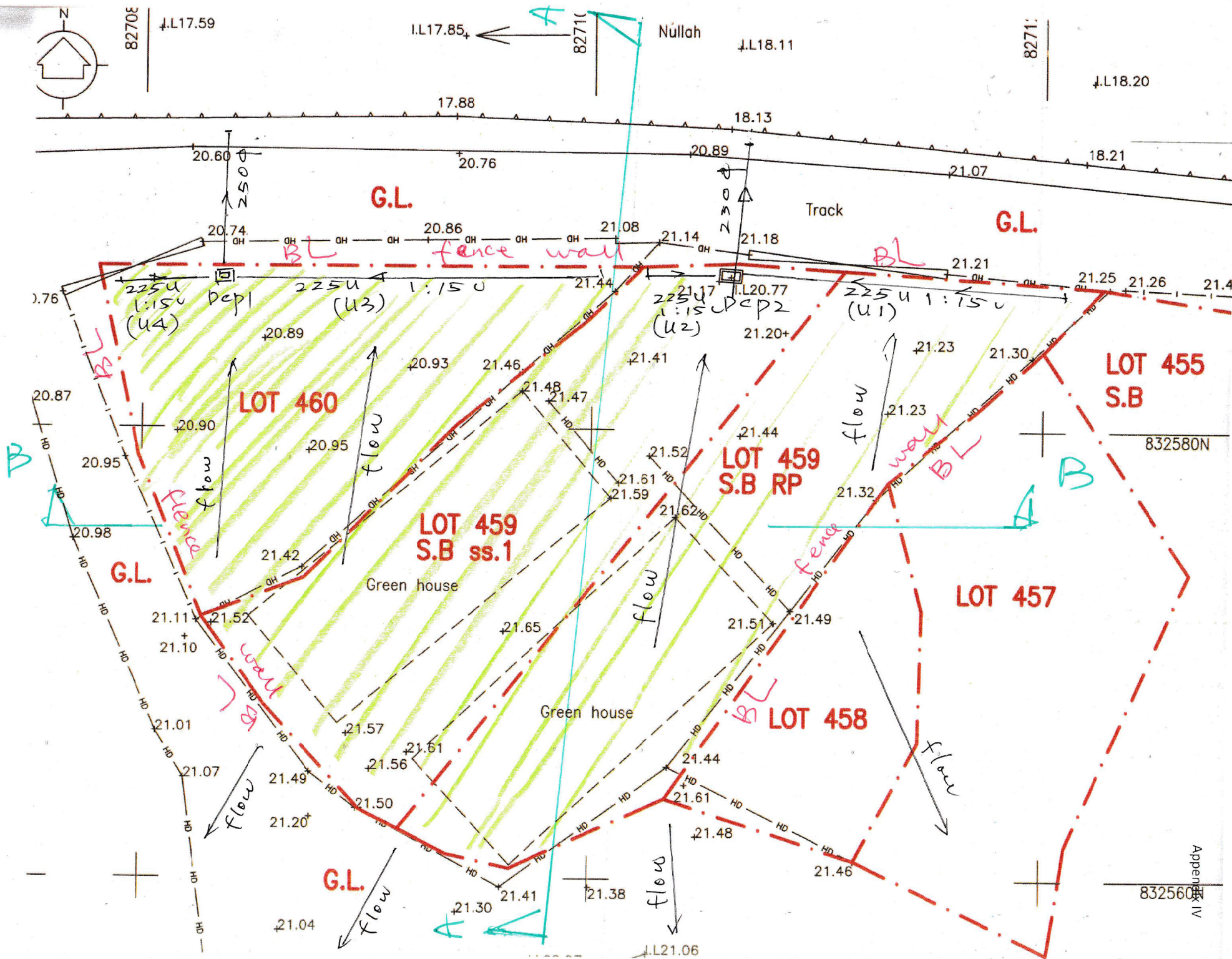
Photo No. 6 At north, in front of the proposed development site is a village driveway, further is an existing nullah (7.0 meters in width) flowing east to west.



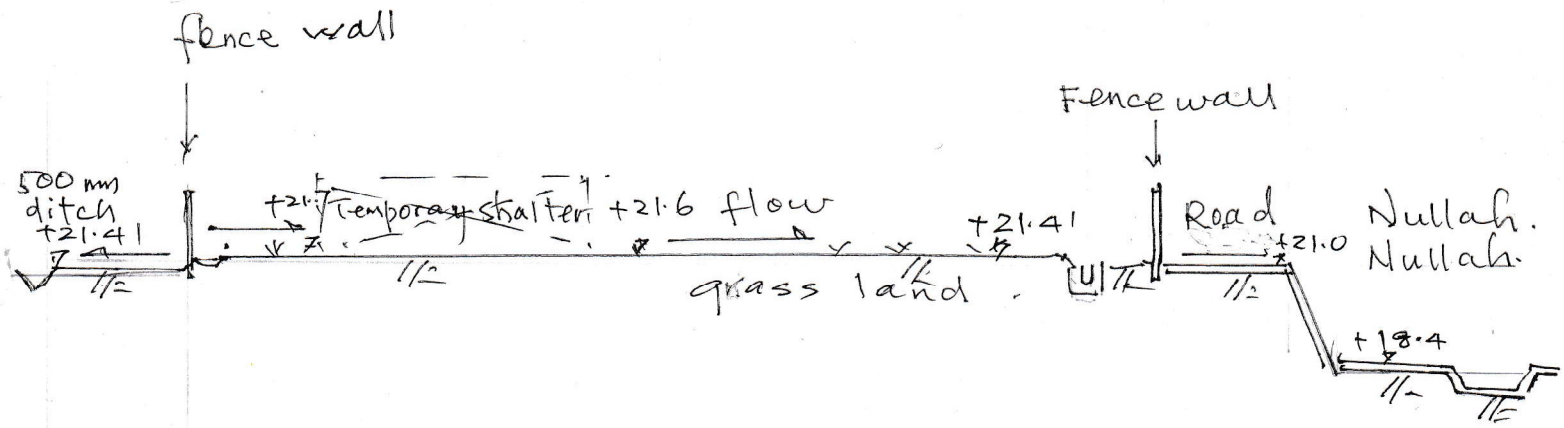




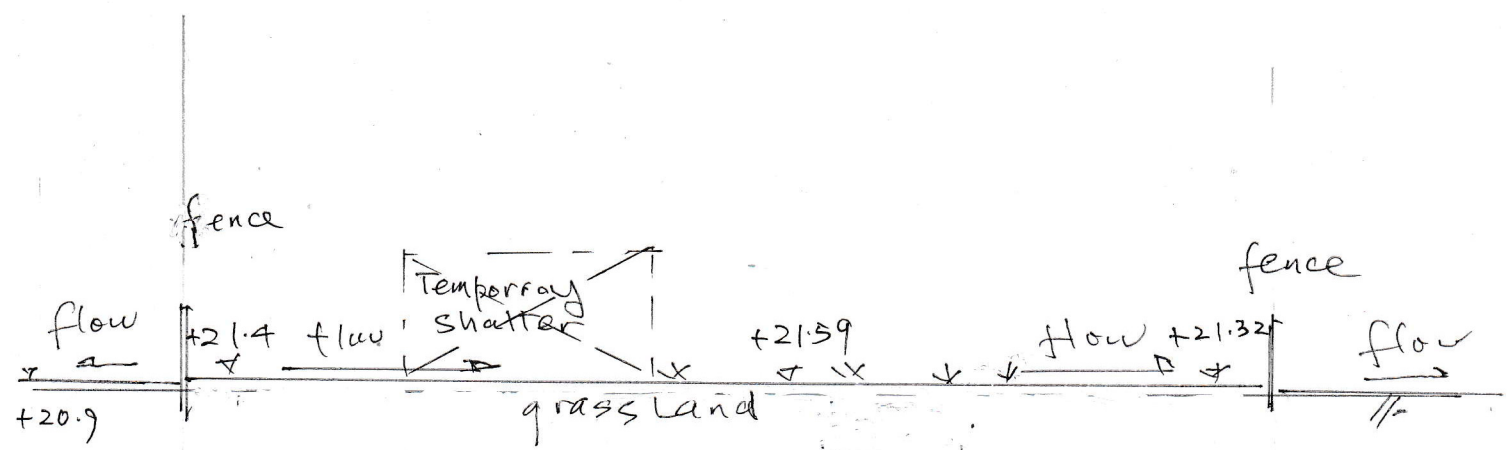
Lots. 459S.B RP, 459 S.B ss.1 & 460 both in D.D. 112 Shui Lau Tin, Pat Heung	Scale: 1:200	Date: 30-10-2024
Proposed Drainage Layout Plan	Drawn by: Cho	Drawing No. SWD-01





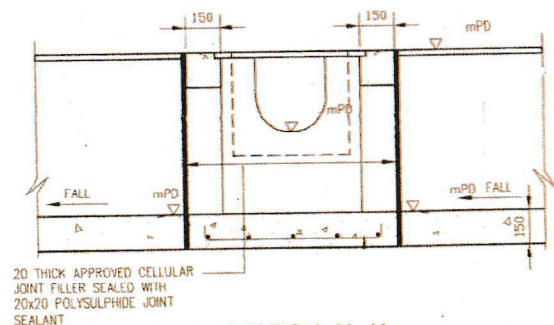
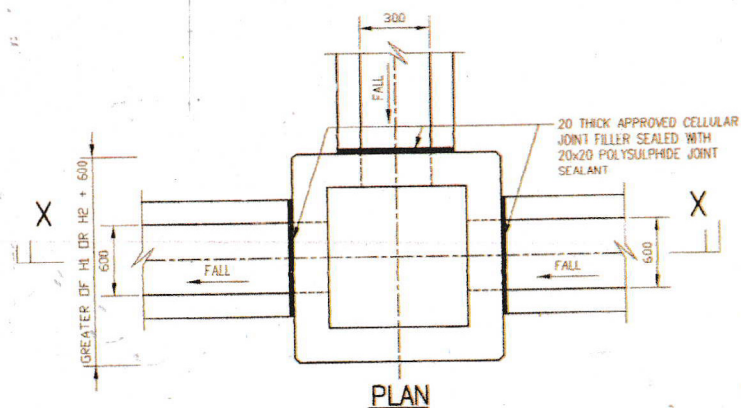


Section A-A

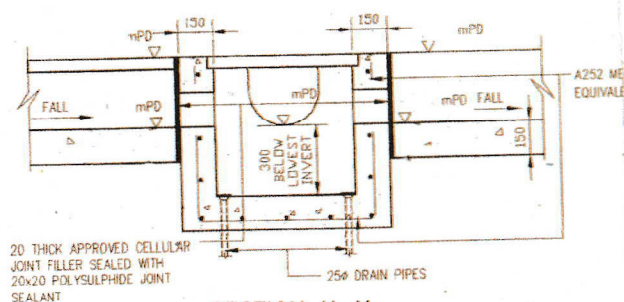
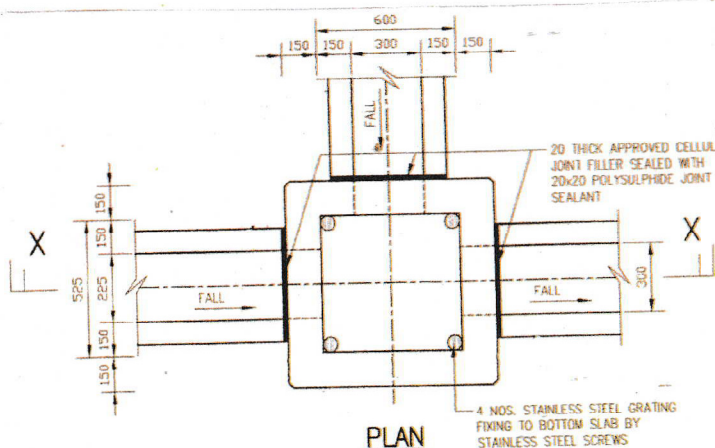


Section B-B

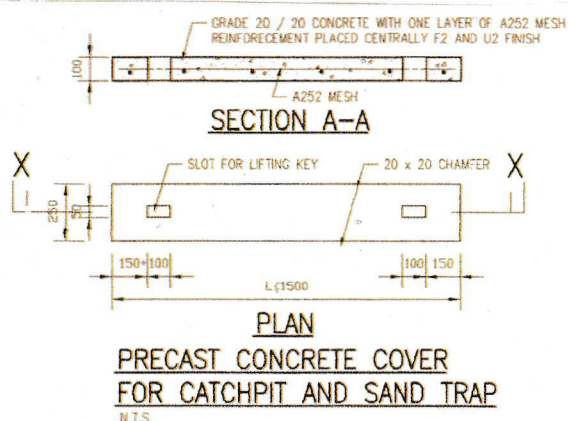
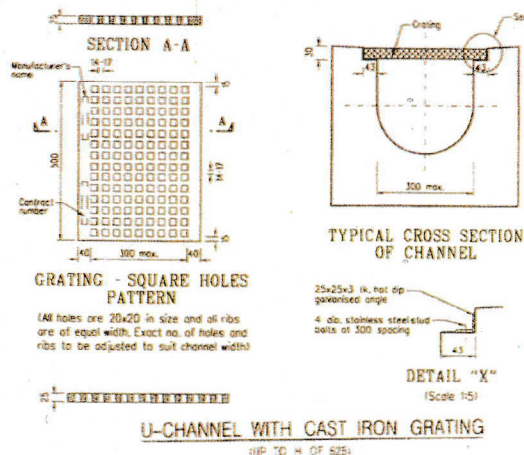
Lots. 459S.B RP, 459 S.B ss.1 & 460 both in D.D. 112 Shui Lau Tin, Pat Heung	Scale: 1:200	Date: 30-10-2024
Proposed Site Section Plan	Drawn by: Cho	Drawing No. SWD-02



STANDARD DETAIL OF CATCHPIT



CATCHPIT WITH TRAP DETAILS



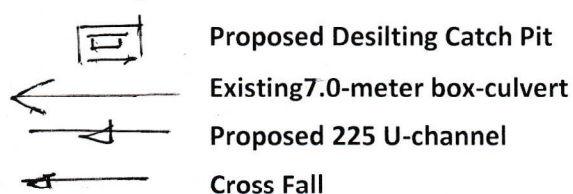
BEDDING AND SURROUNDS

## Notes:

1. All level shown in meter and refer to the principal Datum
2. The exact location of Catch Pits should be agreed with the Engineer (RPE) on site
3. All concrete used should be D30/20
4. U-channel details should refer to CEDD Drawing No.C2409I
5. U-channel cover should refer to HyD Standard Drawing H 3156A
6. CP details should refer to CEDD Drawing No.2405/1
7. DCP details should refer to CEDD Drawing No.2406/1
8. Catch pit concrete cover should refer to CEDD Drawing no.C2407B
9. All Proposed U-channel and Catch pit constructed in Govt. Land should gain consent from DLO.

Drainage System						
Catch pit No	C.L.+ mPD	I.L. +mPD	From	Length U	Size U	Fall
DCP2	21.30	20.77	U1	14.0 m	225 mm	1:150
DCP2	21.3	20.77	U2	3.0 m	225 mm	1:150
Nullah	20.89	20.40	DCP2	5.0 m	250 mm	1:75
DCP1	20.85	20.28	U3	15.0m	225 mm	1:150
DCP1	20.85	20.28	U4	4.0m	225 mm	1:150
Nullah	20.60	20.00	DCP1	5.0 m	250 mm	1:75

## Legend:-

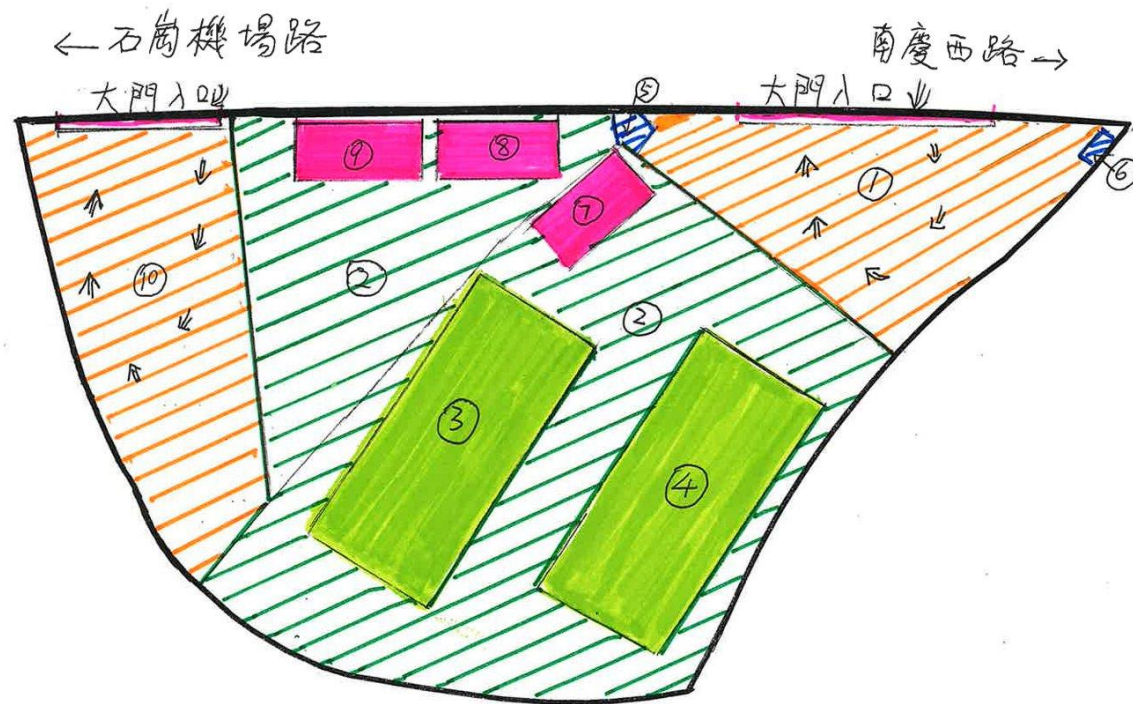


## Notes:

1. All level shown in meter and refer to the principal Datum.
2. The exact location of Catch Pits should be agreed with the Engineer (RPE) on site.
3. All concrete used should be D30/20
4. U-channel details should refer to CEDD Drawing No.C2409H
5. CP details should refer to CEDD Drawing No.2405/1
6. DCP details should refer to CEDD Drawing No.2406/1
7. U-channel cover should refer to HyD Standard Drawing H 3156A.
8. Catch pit concrete cover should refer to CEDD Drawing no.C2407B
9. All Proposed U-channel and Catch pit constructed in Gov. L. should gain consent from DLOYL

Lots. 459S.B RP, 459 S.B ss.1 & 460 both in D.D. 112 Shui Lau Tin, Pat Heung	Scale: N T S	Date: 30-10-2024
General Notes	Drawn by: Cho	Drawing No. SWD05














SCALE 1:200 比例尺

布局設計圖

布局設計圖

-  ① 水泥地上落貨區 101 平方米 (沒有固定車位)  
⇒ 中型貨車, 可於區內掉頭駛出公路
-  ② 植草磚約 261 平方米
-  ③、④ 水泥地, 每個長 15 米, 闊 6 米, 高 4.3 米, 總面積 180 米<sup>2</sup> (地政署批准構築物之地面)
-  ⑤ 電掣房長 1.5 米, 闊 2.2 米, 高 2.1 米, 一層, 面積 3.3 平方米
-  ⑥ 水泵房長 1 米, 闊 0.5 米, 高 2.1 米, 一層, 面積 0.5 平方米
-  ⑦ 改裝貨柜 長 6 米, 闊 3 米, 高 3 米, 一層, 面積 18 平方米
-  ⑧ 改裝貨柜 長 6 米, 闊 3 米, 高 3 米, 一層, 面積 18 平方米
-  ⑨ 改裝貨柜 長 6 米, 闊 3 米, 高 3 米, 一層, 面積 18 平方米
-  ⑩ 水泥地, 上落貨區 90 平方米 (沒有固定車位)  
⇒ 中型貨車可於區內掉頭駛出公路

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy

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**From:** Jenny Lau <[REDACTED]>  
**Sent:** 2025-02-05 星期三 12:27:17  
**To:** tpbpd/PLAND <tpbpd@pland.gov.hk>  
**Cc:** [REDACTED]  
**Subject:** A/YL-SK/393  
**Attachment:** 2025.1.30 letter to TPB amended with photo.pdf; 申請書 修改.pdf; 佈局圖.pdf; 汽車出入路線圖.pdf; 渠務報告 3.pdf; 意見回應 1.pdf; 意見回應 2-1.pdf

先生/女士

提交進一步資料

Regards,  
機滙園藝  
劉錦松

致：城市規劃署

有關規劃申請編號：A/YL-SK/393 意見回應。

申請人是從事園藝及花園保養的業務，主要的服務對象是，上門為私人花園、園林提供保養維修服務。需要經營一個苗圃，以儲備花苗及樹苗。

申請填土之苗圃主要是自用，不向公眾提供服務。

預計主要車輛出入時間是早上 10:00 ~ 11:30 平均每日（包括公眾假期及星期六、日）出入車一至兩次。

現在申請填土之地段狀況：有部份已鋪設植草磚約 120 平方米批發後，將會依申請內容將其規範化；另外，貨櫃下面現有的石屎板塊亦會移除；再者，第 460 號地段與第 459 號中間約 1 米圍牆會拆除。現在於 459 號地段上設有之木柱屏風，主要是美化作用，及阻擋風沙。



對漁護署意見回應:

申請地段之土地,曾用2米高圍板圍封,鋪設之水泥地面積最大101平方呎,厚0.1米並且已委任合資格顧問公司提供梁務報告,並不會對鄰近地區作出不當應响。

對運輸署意見回應

申請人使用之車輛為輕型貨車,且出入車次每日只有一至兩次,又在早上10:00~11:30時段,對石崗機場路之交通影响極為輕微。

申請地段第460號大門闊為5米,459號大門闊8.8米,輕型貨車可以完全進入上落貨及掉頭,絕不會阻塞石崗機場路之交通。

- 對公眾意見的回應：

申請人在申請地段進行苗圃工作，有需要平整土地以便放置花盆、花架，及陰棚。部份土地需要鋪設水泥地是方便車輛完全進入苗圃上落貨及掉頭，以免阻礙外圍交通通道。

車輛出入次數及車型對石崗機場路影响甚微，更不會使用剗錄上路。不會增加附近交通負擔。

再者，鋪設水泥地之面積最大為101平方米，總共374.8平方米，對附近環境影响極微。

苗圃營運屬農業用途，並無違反土地地帶使用規範。

致：城市規劃署

有關規劃申請編號：A1YL-SK/393意見回應  
(續一)

就運輸署意見，再一步回應如下：

1. 申請人了解石崗松場路有7米車長限制，故申請人只會使用不超過5米長的輕型貨車運送貨物、花苗。
2. 申請人所使用之運送路線，都只會使用石崗松場路來回。且每日出入車只有一至兩次，又在非繁忙時段，故對石崗松場路交通之影響極微。
3. 為釋除疑慮，申請人為地段第460號拍攝了九張圖片，展示輕型貨車由



由石崗私場路駛入,第460號地段5米闊的大門可以(一手遮天)順利暢駛入,絕不會做成石崗私場路的阻塞。



























← 回覆

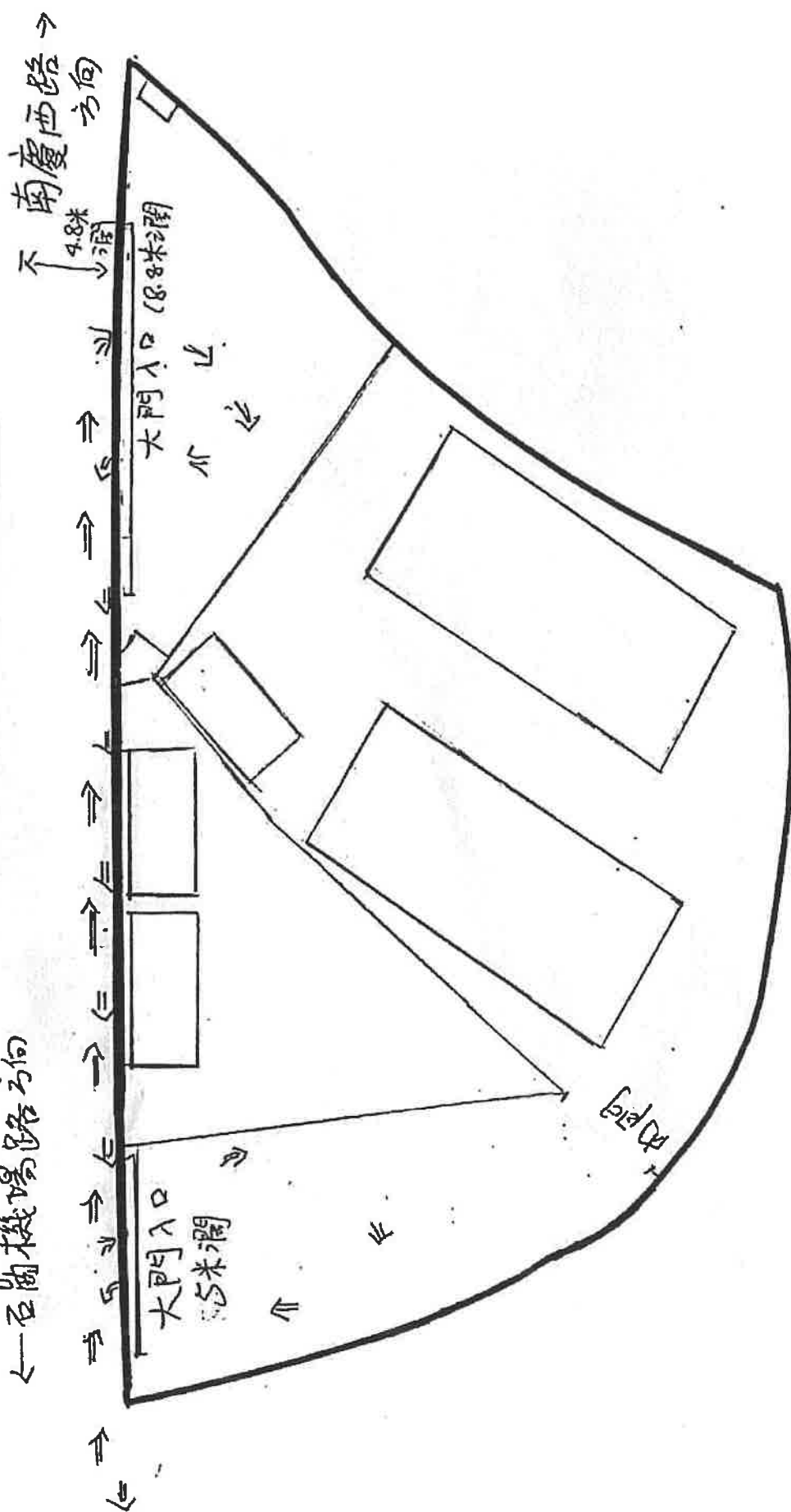






車庫出入路線圖

←石崗機場路方向



SCALE 1:200 比例尺

## (ii) For Type (ii) application 供第(ii)類申請

(a) Operation involved 涉及工程	<input type="checkbox"/> Diversion of stream 河道改道		
	<input type="checkbox"/> Filling of pond 填塘		
	Area of filling 填塘面積 .....	sq.m 平方米	<input type="checkbox"/> About 約
	Depth of filling 填塘深度 .....	m 米	<input type="checkbox"/> About 約
	<input checked="" type="checkbox"/> Filling of land 填土		
	Area of filling 填土面積 .....	690 .. sq.m 平方米	<input checked="" type="checkbox"/> About 約
	Depth of filling 填土厚度 .....	0.1 .. m 米	<input checked="" type="checkbox"/> About 約
	<input type="checkbox"/> Excavation of land 挖土		
	Area of excavation 挖土面積 .....	sq.m 平方米	<input type="checkbox"/> About 約
	Depth of excavation 挖土深度 .....	m 米	<input type="checkbox"/> About 約
(Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用圖則顯示有關土地/池塘界線, 以及河道改道、填塘、填土及/或挖土的細節及/或範圍))			
(b) Intended use/development 有意進行的用途/發展	擬議填土工程, 以作 准許的農業用途		

## (iii) For Type (iii) application 供第(iii)類申請

(a) Nature and scale 性質及規模	<input type="checkbox"/> Public utility installation 公用事業設施裝置												
	<input type="checkbox"/> Utility installation for private project 私人發展計劃的公用設施裝置												
	Please specify the type and number of utility to be provided as well as the dimensions of each building/structure, where appropriate 請註明有關裝置的性質及數量, 包括每座建築物/構築物(倘有)的長度、高度和闊度												
	<table border="1"> <thead> <tr> <th>Name/type of installation 裝置名稱/種類</th> <th>Number of provision 數量</th> <th>Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)									
	Name/type of installation 裝置名稱/種類	Number of provision 數量	Dimension of each installation /building/structure (m) (LxWxH) 每個裝置/建築物/構築物的尺寸 (米) (長 x 闊 x 高)										
(Please illustrate on plan the layout of the installation 請用圖則顯示裝置的布局)													



## 10. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.  
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

申請人從事園藝工作，於申請地點上已獲地政署批准興建兩座培育構築物，及豁免渠務工程及地盤平整。現再向貴署申請下列填土工程。

① 苗圃出入口貨物上落區，申請鋪設水泥地，面積約 101 平方米

理由：花苗及樹苗會用輕型貨車運送，故需要於上落貨區鋪設水泥地，避免雨天車輛打滑及將泥濘帶出公路

② 在兩個培育室的周圍及通道，申請鋪設植草磚，面積約 261 平方米

理由：花苗及樹苗需要經常搬運出入，植草磚方便手推車的搬運。另外，植草磚為空心磚，疏水功能良好，可於其上種植草皮，有助整個花園降溫。

③及④ 為兩個已獲地政署批准的培育構築物（一層），每個長 15 米，闊 6 米，高 4.3 米，總面積 186 平方米

申請於其內鋪設水泥地

理由：培育構築物內，採用花架、花盆培植較貴重的花苗，水泥地有助固定花架設施。

## 10. Justifications 理由 續

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.  
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明。

⑤ 電掣房，申請建造一層不高於2.1米、  
的建築物，總面積33平方米

理由：保護電纜及相關供電設施

⑥ 水泵房：申請建築一層不高於2.1米，長1米、闊0.5  
米的建築物，總面積0.5平方米

理由：保護水泵設施，以作灌溉植物花草

⑦、⑧、⑨ 放置三個改裝貨柜於植草磚上，不  
需加墊其他物料，三個總面積54平方米

理由：需要放置肥料、改善土、打草機等  
農具，以防受雨水浸壞

⑩ 苗圃出入口貨物上落區，申請鋪設水泥地，  
面積90平方米（沒有固定車位）

理由：花苗及樹苗會用輕型貨車運送，故需  
要於上落貨區鋪設水泥地，避免雨天  
車輛打滑及將泥濘帶出公路

另外陳明，兩個苗圃出入口都可以讓輕型（5噸）  
貨車完全進入及在苗圃內掉頭，不會影響  
苗圃外面的交通。苗圃的出車時間一般為  
早上10時至11時30分，預計平均一日出入車各  
一次至兩次（包括星期六日及公眾假期）。



## Gist of Application 申請摘要

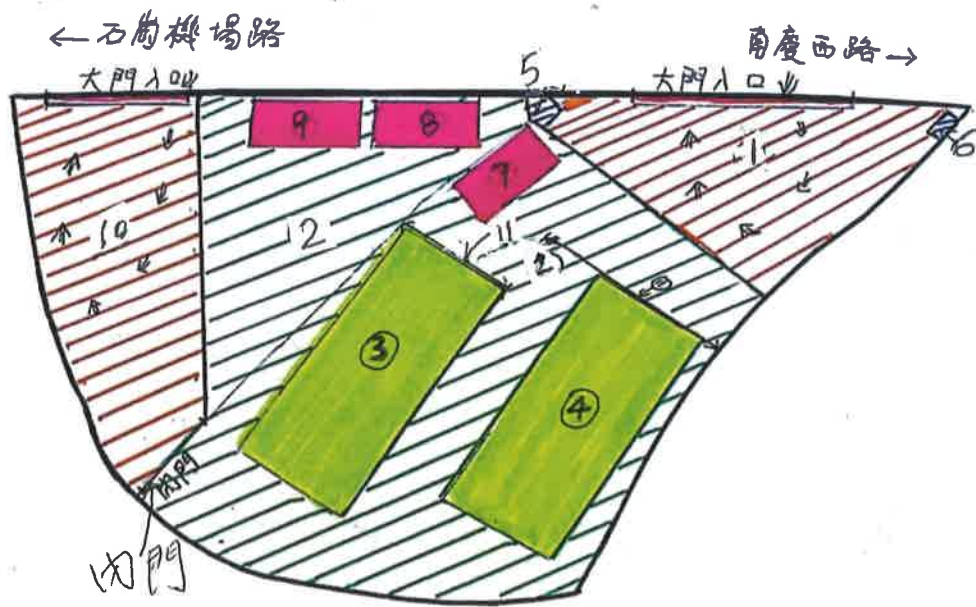
(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)  
(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)		
Location/address 位置/地址	新界八鄉石崗機場路水流田丈量約份 第112約地段, 第460號及第459 S.B. RP 第459 S.B. SS1 號		
Site area 地盤面積	690	sq. m 平方米	<input checked="" type="checkbox"/> About 約
	(includes Government land of 包括政府土地	sq. m 平方米	<input type="checkbox"/> About 約)
Plan 圖則	S1YL-SK19		
Zoning 地帶	農業		
Applied use/ development 申請用途/發展	擬議填土工程, 以作 准許的農業用途		
(i) Gross floor area and/or plot ratio 總樓面面積及/或 地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	237.8 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用		
	Non-domestic 非住用	7	
	Composite 綜合用途		





布局設計圖



布局設計圖



- (1) 水泥地上落貨區 101 平方米 (沒有固定車位)  
 → 輕型貨車可於區內掉頭駛出公路, 大門車積長  
 方便輕型貨車完全進入及掉頭



- 2 植草磚約 261 平方米



- 3, 4 水泥地, 每個長 15 米, 闊 6 米, 高 4.3 米, 總面積  
 180 米<sup>2</sup> (地政署批准構築物之地面)



- 5 電掣房長 1.5 米, 闊 2.2 米, 高 2.1 米, 一層, 面積 3.3 米<sup>2</sup>  
 電掣房之下為水泥地



- 6 水泵房長 1 米, 闊 0.5 米, 高 2.1 米, 一層, 面積 0.5 米<sup>2</sup>  
 水泵房之下為水泥地



- 7 改裝貨櫃 長 6 米, 闊 3 米, 高 3 米, 一層, 面積 18 米<sup>2</sup>  
 8 改裝貨櫃 長 6 米, 闊 3 米, 高 3 米, 一層, 面積 18 米<sup>2</sup>  
 9 改裝貨櫃 長 6 米, 闊 3 米, 高 3 米, 一層, 面積 18 米<sup>2</sup>  
 改裝貨櫃之下為植草磚



- 10 水泥地, 上落貨區 90 米<sup>2</sup> (沒有固定車位)  
 → 輕型貨車可於區內掉頭駛出公路

- 11 木棚, 作美化用 (高 2.5 米, 長 9 米及 7 米)

朗賢顧問公司  
Sun Merit Consultants Company

Our Ref: 007/25/HC/hc

Your Ref: A/YL-SK/393

Date: 30 January 2025

Town Planning Board ,  
North Point Government Building,  
North Point, Hong Kong,

Dear Sir/ Madam,

Filling of Land for Permitted Agricultural Use  
at Lots. 459S.B RP, 459 S.B ss.1 & 460 both in D.D. 112  
Shui Lau Tin, Pat Heung, N. T.  
Reply to A F & C comments

In reply to the comments from Director of Agricultures, Fisheries and Conservation to our submitted drainage proposal for the proposed Development of Agricultural Temporary Structures. On behalf of the applicant, we submit herewith the Supplementary Report, one set with two copies, for your comment and approval.

Our site works have considered the followings:-

1. As shown in the attached record photos, all around the proposed site is fenced up with metal fencing, which the bottom is all sealed up with concrete as to migrate any leakage to the area outside the site area. Also, there are two desilting catchpits already installed at locations for all the discharges before flowing to outside the site area into the public drains/ watercourses.
2. We also confirm that the filling works is only placing 100 mm thick concrete slabs for car parking and spaced floor tiles as indicated in the attached layout plan. Also the concrete placing /filling and spaced floor tile works will not carried out in rain days.

Hence, we ensure that our proposal works will not cause any condemnation to the near-by water course at north side of the site.

Thank you for your attention.

Yours faithfully,

*Cho Hin Cheung*

.....  
H C Cho (RPE cvL)

Encl.

Email : [REDACTED] TELEPHONE: [REDACTED]



The proposed site

Photo no.1 Overall view of the present proposed development site. Presently the area is a flat grassy land. Ground level is around +20.8 mPD to +21.60 mPD.



Photo no. 2 Along the lots boundary consisted with metal fence wall, which sealed up at the bottom.



Photo no. 3 As indicated in the drainage layout plan there will be a proposed 225mm U-channel and two desilting pits to collect the stormwater that induced in the lots.





Photo no.4 As shown, the existing ground level of the proposed site is slightly higher than the outside village road.



Existing 500 mm ditch

Photo no.5 At the south side outside the lot boundary is a village road, further beyond is an existing 500mm ditch covered with grass.



Photo No. 6 At north, in front of the proposed development site is a village driveway, further is an existing nullah (7.0 meters in width) flowing east to west.

朗賢顧問公司  
Sun Merit Consultants Company

Our Ref: 006/25/HC/hc

Your Ref: A/YL-SK/393

Date: 30 January 2025

Town Planning Board,  
North Point Government Building,  
North Point, Hong Kong,

Dear Sir/ Madam,

Filling of Land for Permitted Agricultural Use  
at Lots 459 S.B ss.1, 459S.S.B RP & 460 both in D.D. 112  
Shui Lau Tin, Pat Heung, N. T.  
Reply to DSD's comments

In reply to the comments from DSD regarding our submitted drainage proposal for the proposed Filling of land for permitted agricultural use. On behalf of the applicant, we re-submit herewith the drainage assessment report, one set with two copies, for your comment and approval.

For the comments of DSD, we reply in the same itemization as follows: -

- a) Noted. The Storm Constants for Different Return Periods of North District Area (a, b, c) are taken as recommended by The Stormwater Drainage Manual Corrigendum No. 1/2024 for the design calculations.
- b) As recommended by Stormwater Drainage Manual Corrigendum No. 1/2022, the rainfall increase due to climate change is taken as 11.1%, for the design calculations.
- c) 300 mm peripheral surface channels are provided for the proposed site. As calculated, the capacity is 900 % more than required.
- d) Noted. We will provide adequate opening to the fence wall for intercepting of the overland flow passing through the site.
- e) We confirm that the total catchment area of the two drainage system is 540 m<sup>3</sup>, sum of 270 m<sup>3</sup> and 270 m<sup>3</sup>.
- f) Noted. We will resolve any conflict/disagreement with relevant lot owners and seek LandsD's permission for laying new drains/channels and /or modifying/upgrading existing ones in other private lots or on Government land outside the application site.
- g) Noted, We will.
- h) Noted. We will.

Thank you for your attention.

Encl.

Yours faithfully,

  
H C Cho (RPE cvl)

Email : [REDACTED]

TELEPHONE: [REDACTED]

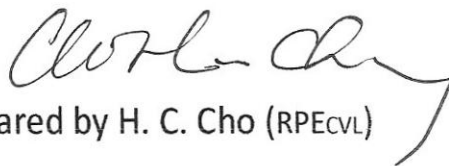
Drainage Proposal Submission

For

Filling of Land for Permitted Agricultural Use

at Lots Nos. 459S.B RP, 459 S.B ss.1 & 460 both in D.D. 112

Shui Lau Tin, Pat Heung, N. T.

A handwritten signature in black ink, appearing to read 'H. C. Cho', with a long horizontal stroke extending to the right.

Prepared by H. C. Cho (RPECVL)

30 January 2025



**Filling of Land for Permitted Agricultural Use  
at Lots. 459S.B RP, 459 S.B ss.1 & 460 both in D.D. 112  
Shui Lau Tin, Pat Heung, N. T.**

**Site Stormwater Drainage Assessment Report for the proposed Site,**

**1.0 Introduction**

It is proposed by the applicant Millions Chances Gardening to fill the land and install floor tiles for permitted agricultural use at Lots. 459S.B RP, 459 S.B ss.1 & 460 both in D.D. 112, Shui Lau Tin, Pat Heung, N. T. I have inspected the site and have taken the consideration of drainage and environmental aspects for the proposed works.

**2.0 Basis of Assessment**

To assess the technical acceptability of the proposed site, which is located, as indicated in the proposed stormwater drainage plan attached in appendix IV, several analyses have been considered, and they are presented below.

**3.0 The Site**

The site presently is a vacuum grassy area with spaced floor ties. The total catchment area of the whole development site is approximately  $40 \times 27 / 2 = 540 \text{ m}^2$ . Appendix I refers. The site is a general flat area.

**4.0 Observation**

Presently, the proposed development lots are fenced out with metal fence wall cast into the ground. The adjacent ground level is slightly lower than the proposed site level. All the induced stormwater in the site will gradually fall into the proposed 300 mm U-channel along the perimeter inside the lot fence wall.

DSD's flooding Black spots Location Map is checked. This area is not on the list.

**5.0 Consideration and Recommendation**

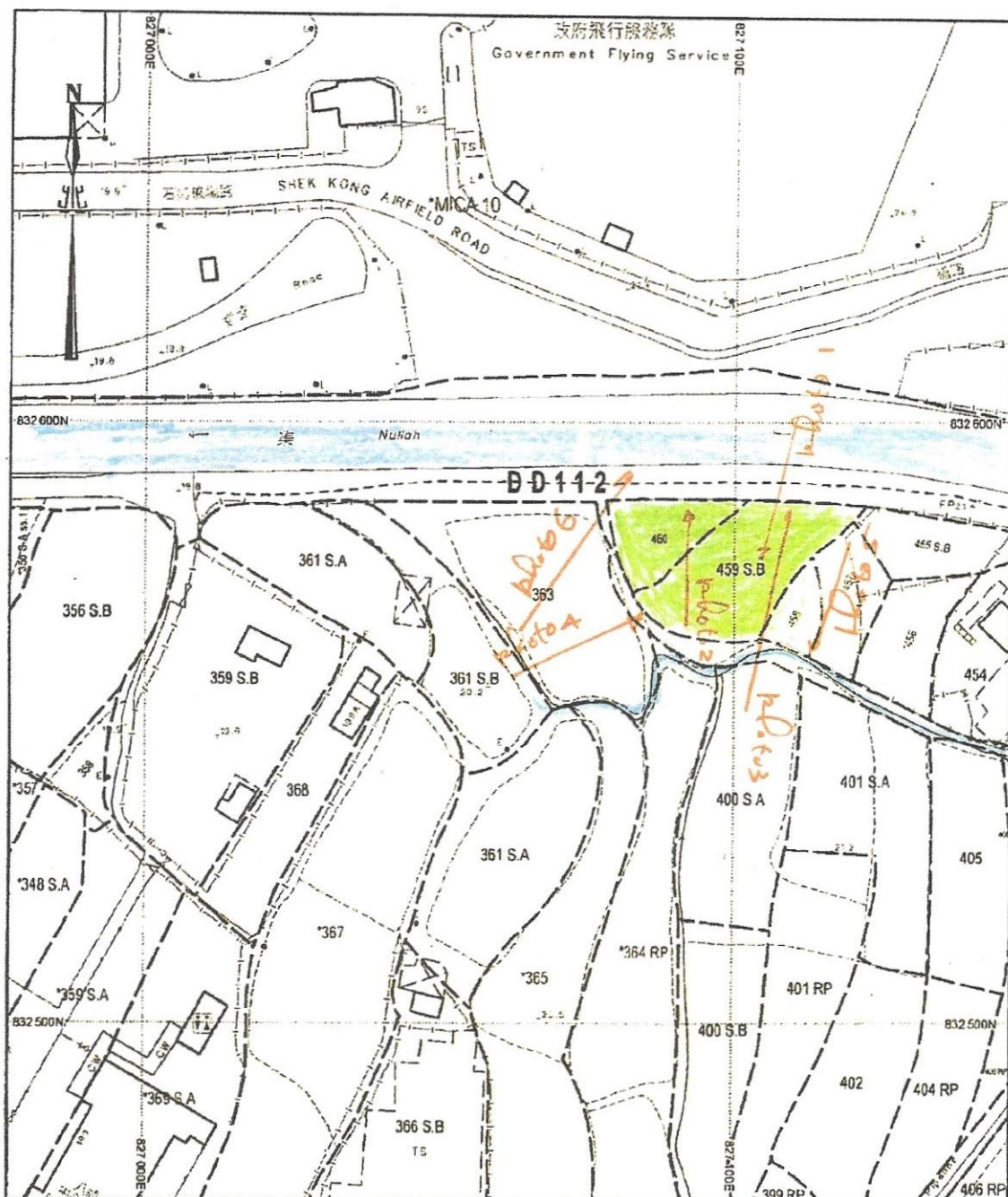
As indicated in the drainage layout plan in appendix IV, all the surface water induced in the site area and adjacent areas are discharged into the proposed 300mm U-channel along the perimeter inside the lot fence wall, then is discharged through the proposed 300mm diameter uPVC drainpipe, then further discharged to further downstream, the 7.0 meters nullah.

Adequate opening, 75mm diameter @1.0 meter C/C at the fence wall will be formed for intercepting of the overland flow passing through the site.

## APPENDIX

- I Lot Indication Plan
- II Record Photos No.1 to no. 6
- III Topographic Survey Record Plan
- IV Proposed Drainage Layout Plan
- V Proposed Lots Section Plan
- VI Proposed Stormwater Drainage Detailed Plan
- VII General Notes
- VIII Hydraulic Calculation Sheets
- IX Proposed Drainage Section Detailed Plan

# 地段索引圖 LOT INDEX PLAN



地政總署測繪處 Survey and Mapping Office, Lands Department

比例尺 SCALE 1:1000

米 metres 10 0 10 20 30 40 50 metres



Locality : YUEN LONG

Lot Index Plan No. : YL0566052015

District Survey Office : Yuen Long

Date : 13-May-2015

Reference No. : S-NE-13D,S-NE-14C

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SMO-P01

20150513093200 10

## 免責聲明

本圖則乃地段索引圖的複本，顯示地段界線的大概位置，包括根據政府撥地、臨時政府撥地、短期租約及政府土地租用牌照而臨時佔用土地的位置。臨時佔用土地的情況可隨時短期通知出現或終止，因此應向有關的分區地政專員核對。本圖則所示的資料必須透過實地測量予以核實，當有更佳或新的地界證據時，地段索引圖可能會被修訂而無須事先通知。

## Disclaimer

This plan is a copy of the lot index plan showing the approximate location of lot boundaries, including the temporary occupation of land under Government Land Allocations, Temporary Government Land Allocations, Short Term Tenancies and Government Land Licences. The temporary occupation of land may be created or terminated at short notice and should be confirmed with the District Lands Officer. The information shown on this plan MUST be verified by field survey. The lot index plan may be revised without prior notification as better or new boundary evidence becomes available.

Lots. 459S.B RP, 459 S.B ss.1 & 460 both in D.D. 112 Shui Lau Tin, Pat Heung

Scale: As Shown

Date: 28-01-2025

Lot Indication and Photo Indication Plan

Drawn by: Cho

Drawing No. SWD-01



Lots. 459S.B RP, 459 S.B ss.1 & 460 both in D.D. 112 Shui Lau Tin, Pat Heung, N. T.

Site Record Photos

30-10-2024



The proposed site

Photo no.1 Overall view of the present proposed development site. Presently the area is a flat grassy land. Ground level is around +20.8 mPD to +21.60 mPD.



Photo no. 2 Along the lots boundary consisted with metal fence wall, which sealed up at the bottom.



Photo no. 3 As indicated in the drainage layout plan there will be a proposed 225mm U-channel and two desilting pits to collect the stormwater that induced in the lots.



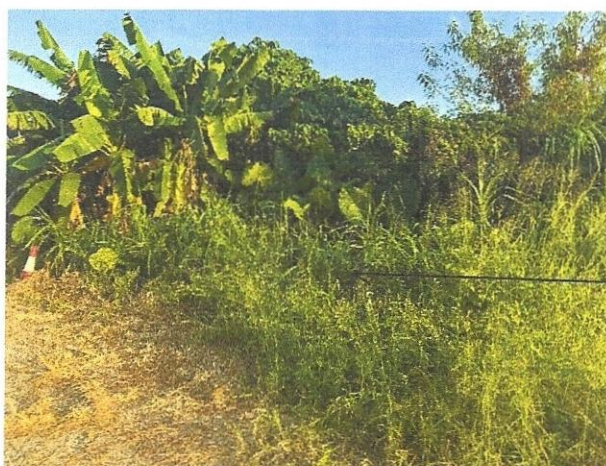
Lots. 459S.B RP, 459 S.B ss.1 & 460 both in D.D. 112 Shui Lau Tin, Pat Heung, N. T.

Site Record Photos

30-10-2024



Photo no.4 As shown, the existing ground level of the proposed site is slightly higher than the outside village road.



Existing 500 mm ditch

Photo no.5 At the south side outside the lot boundary is a village road, further beyond is an existing 500mm ditch covered with grass.

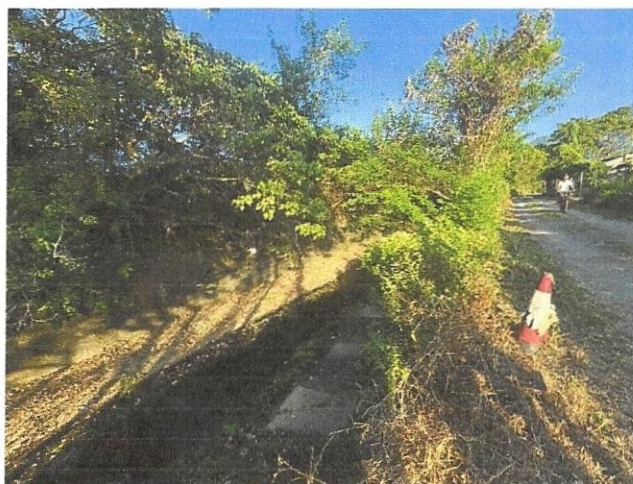
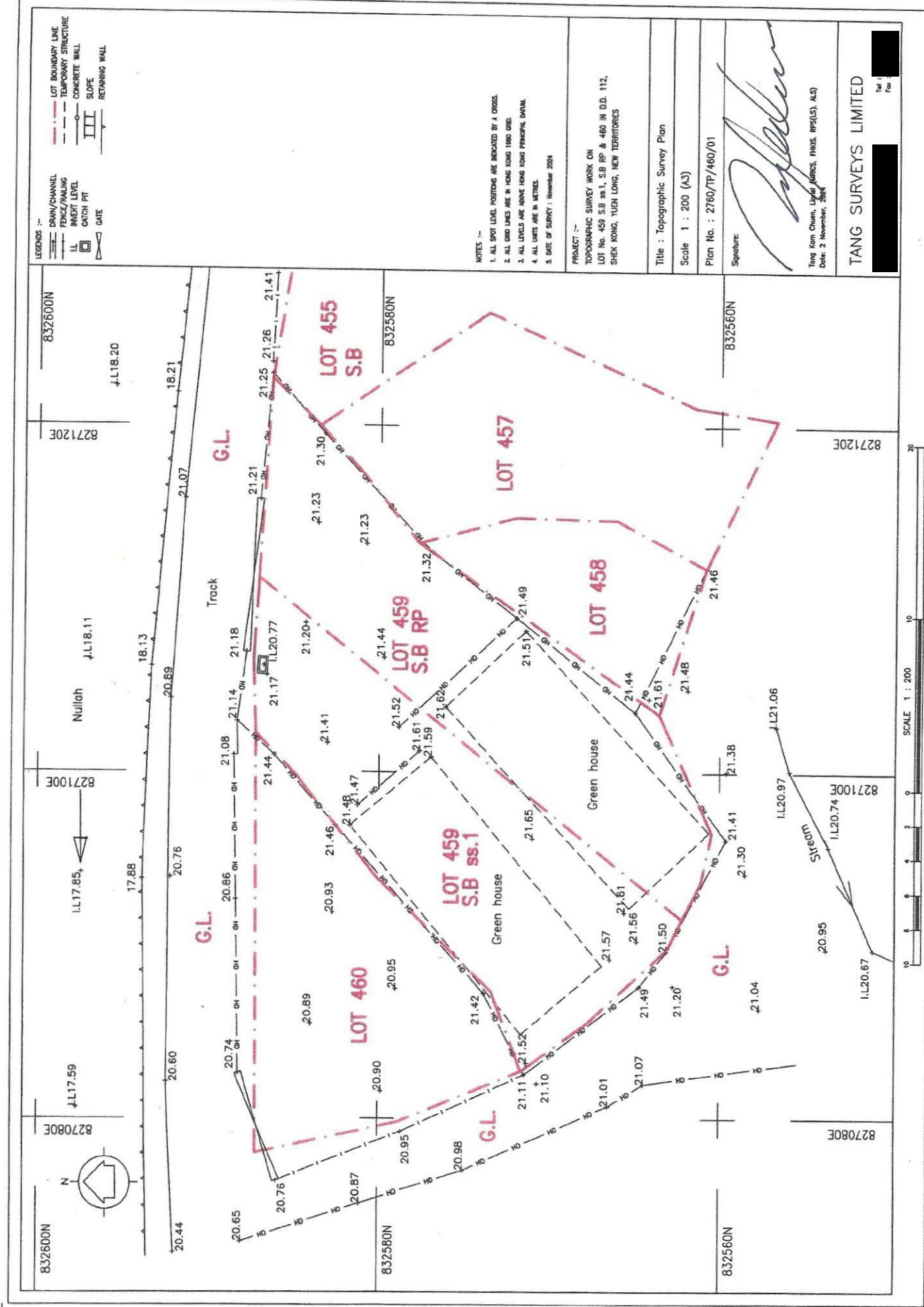
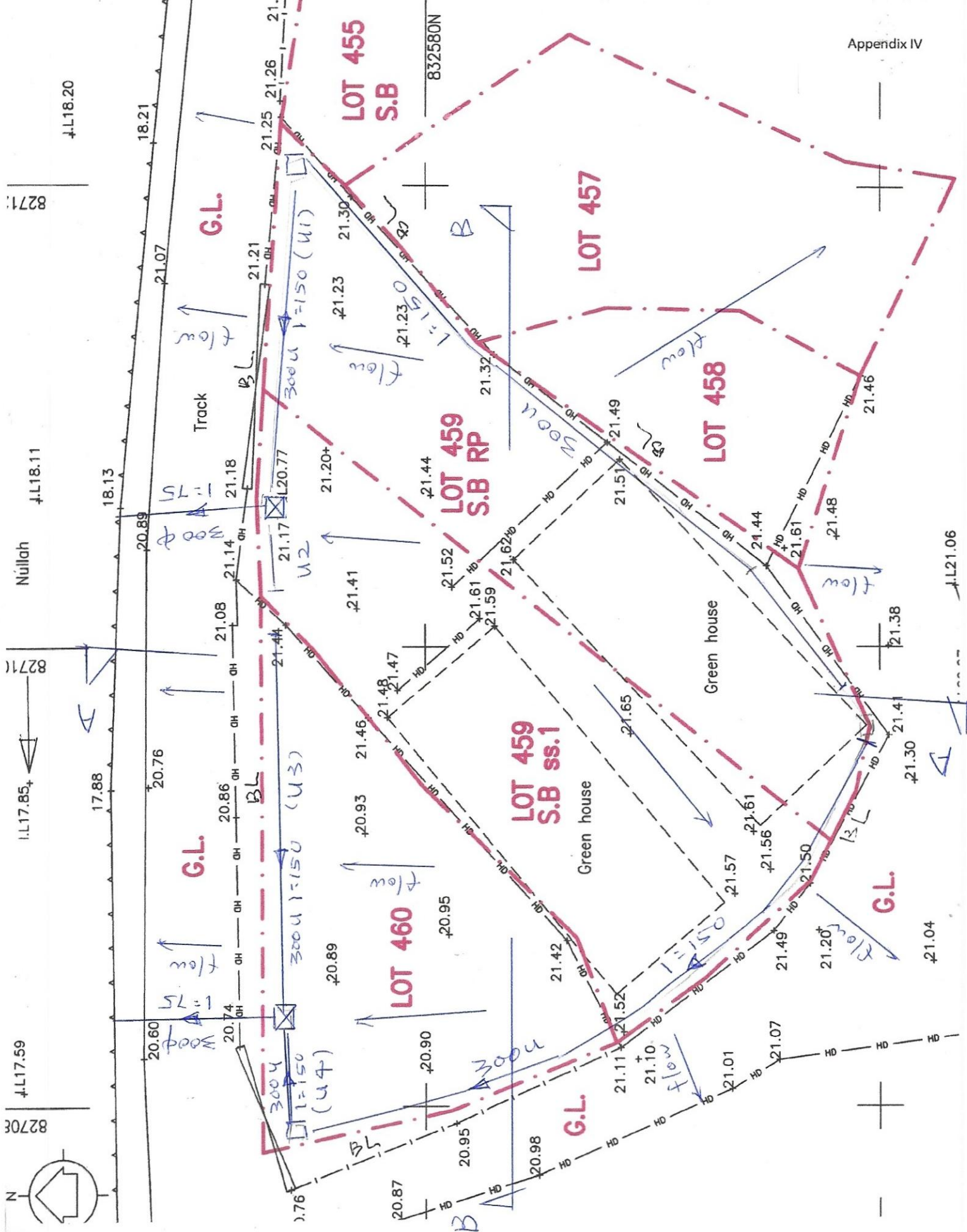


Photo No. 6 At north, in front of the proposed development site is a village driveway, further is an existing nullah (7.0 meters in width) flowing east to west.







Lots. 459S.B RP, 459 S.B ss.1 &amp; 460 both in D.D. 112 Shui Lau Tin, Pat Heung

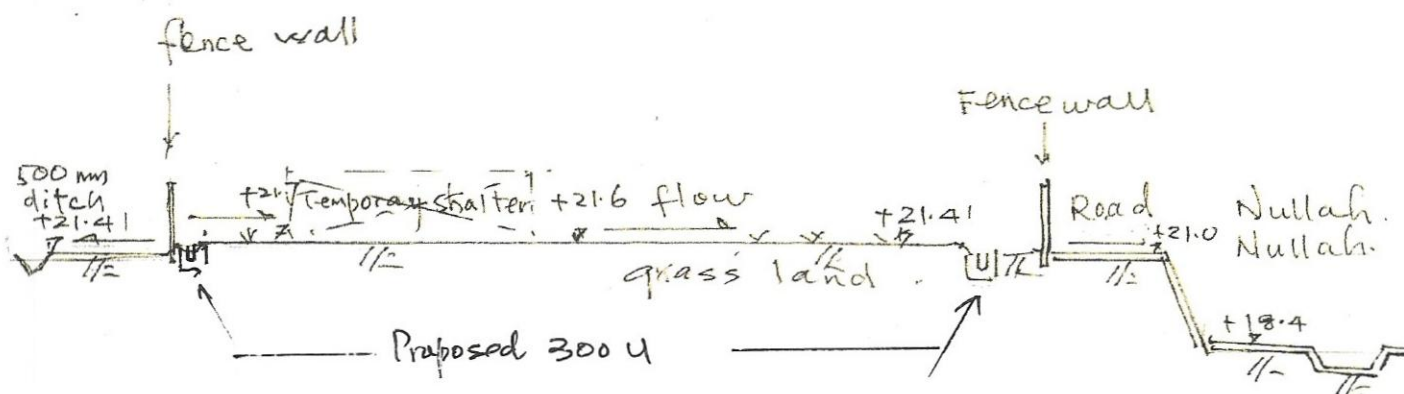
Scale: 1:200

Date: 28-01-2025

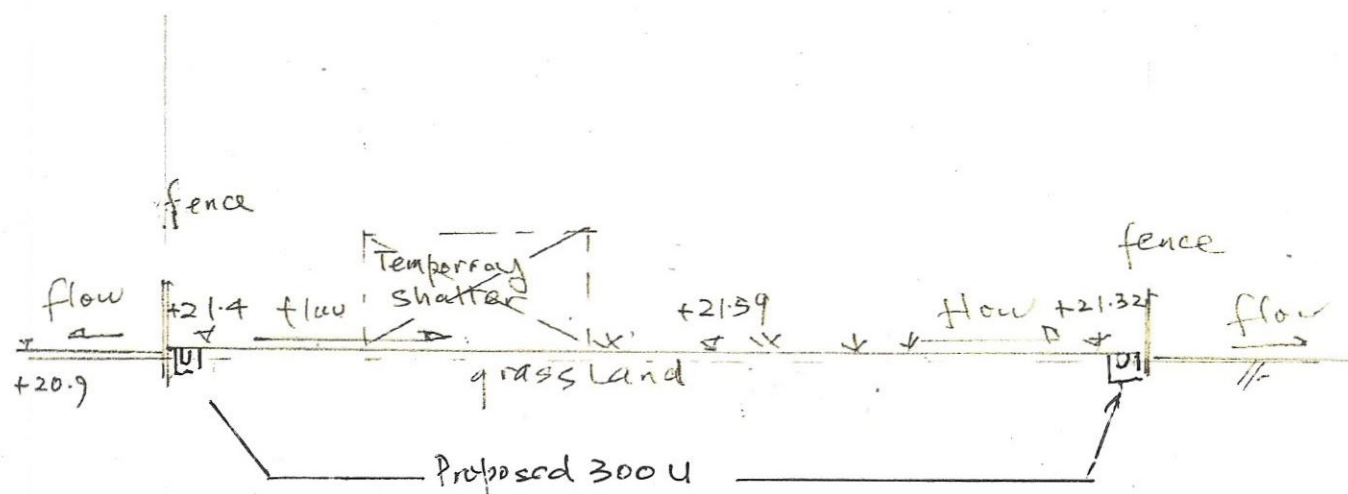
Proposed Drainage Layout Plan

Drawn by: Cho

Drawing No. SWD-02

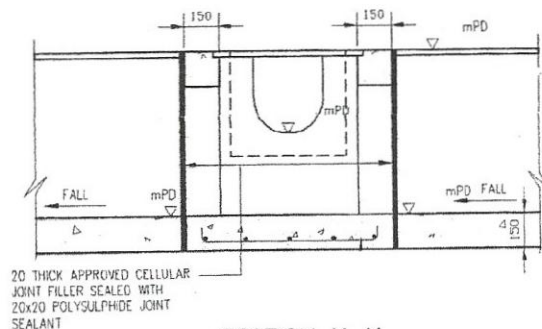
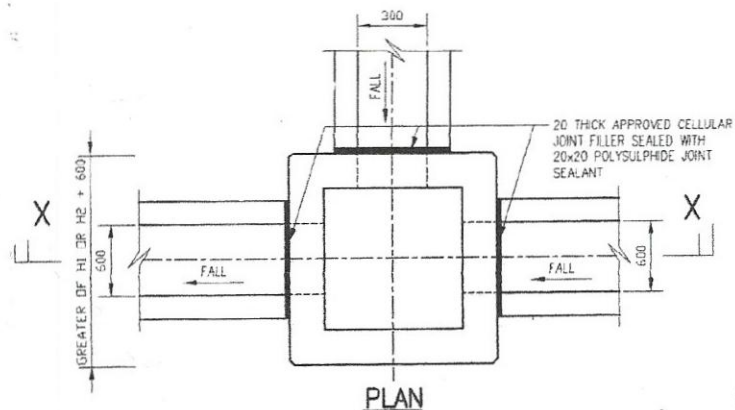


Section A-A

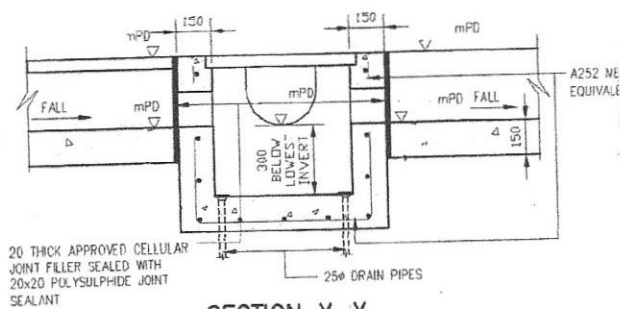
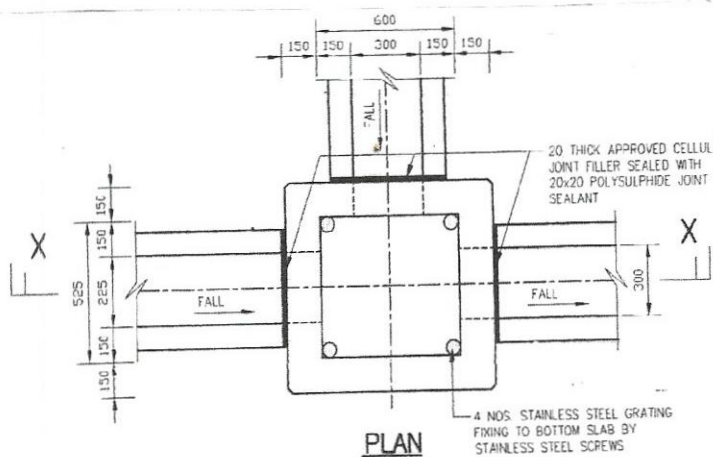


Section B-B

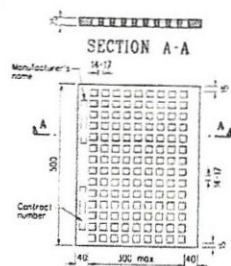
Lots. 459S.B RP, 459 S.B ss.1 & 460 both in D.D. 112 Shui Lau Tin, Pat Heung	Scale: 1:200	Date: 30-10-2024
Proposed Site Section Plan	Drawn by: Cho	Drawing No. SWD-3



STANDARD DETAIL OF CATCHPIT

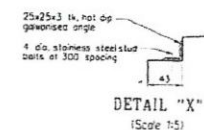
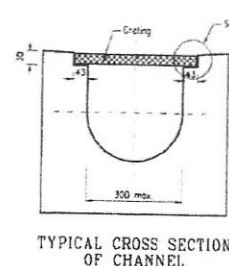


CATCHPIT WITH TRAP DETAILS



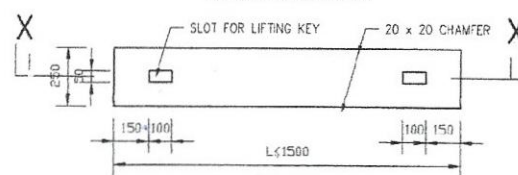
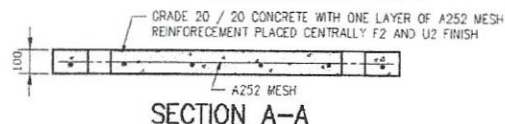
GRATING - SQUARE HOLES PATTERN

(All holes are 20x20 in size and all ribs are of equal width. Exact no. of holes and ribs to be adjusted to suit channel width)



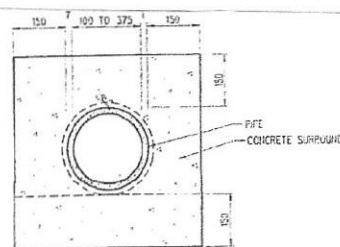
U-CHANNEL WITH CAST IRON GRATING

(300 mm x 40 mm)



PRECAST CONCRETE COVER FOR CATCHPIT AND SAND TRAP

N.T.S.



BEDDING AND SURROUNDS






## Notes:

1. All level shown in meter and refer to the principal Datum
2. The exact location of Catch Pits should be agreed with the Engineer (RPE) on site
3. All concrete used should be D30/20
4. U-channel details should refer to CEDD Drawing No.C2409I
5. U-channel cover should refer to HyD Standard Drawing H 3156A
6. CP details should refer to CEDD Drawing No.2405/1
7. DCP details should refer to CEDD Drawing No.2406/1
8. Catch pit concrete cover should refer to CEDD Drawing no.C2407B
9. All Proposed U-channel and Catch pit constructed in Govt. Land should gain consent from DLO.



Drainage System						
Catch pit No	C.L.+ mPD	I.L. +mPD	From	Length U	Size U	Fall
CP2	21.30	20.80	300U (U1)	36.0 m	300 mm	1:150
DCP2	21.17	20.70	CP2	14.0 m	300 mm	1:150
DCP2	21.17	20.70	300U (U2)	3.0 m	300 mm	1:150
Nullah	20.89	19.99	DCP2	5.0 m	300 mm $\Phi$	1:75
CP1	20.90	20.45	300U (U3)	32.0 m	300 mm	1:150
DCP1	20.85	20.28	CP1	17.0m	300 mm	1:150
DCP1	20.85	20.28	300U (U4)	4.0m	300 mm	1:150
Nullah	20.60	19.70	DCP1	5.0 m	300 mm $\Phi$	1:75

## Legend:-

-  Proposed Standard Catch Pit  
 Proposed Desilting Catch Pit  
 Existing 7.0-meter box-culvert  
 Proposed 300 mm U-channel  
 Cross Fall

## Notes:

1. All level shown in meter and refer to the principal Datum.
2. The exact location of Catch Pits should be agreed with the Engineer (RPE) on site.
3. All concrete used should be D30/20
4. U-channel details should refer to CEDD Drawing No.C2409H
5. CP details should refer to CEDD Drawing No.2405/1
6. DCP details should refer to CEDD Drawing No.2406/1
7. U-channel cover should refer to HyD Standard Drawing H 3156A.
8. Catch pit concrete cover should refer to CEDD Drawing no.C2407B
9. All Proposed U-channel and Catch pit constructed in Gov. L. should gain consent from DLOYL

Lots. 459S.B RP, 459 S.B ss.1 & 460 both in D.D. 112 Shui Lau Tin, Pat Heung	Scale: N T S	Date: 28-01-2025
General Notes	Drawn by: Cho	Drawing No. SWD05

## Analysis of the Surface Drainage Channels

- (1) Proposed Surface Channel (U1) for 300 U-channel  
 (2) Proposed Surface Channel (U2) for 300 U-channel

FLU- Formation Level (Upstream)    FLD- Formation Level (Downstream)  
 USIL- Upstream Invert Level        DSIL- Downstream Invert Level  
 Lu- Channel Length                    S- Channel Gradient

Type	From	To	FLU	USIL	FLD	DSIL	Lu(m)	S	n
U(U1)	CP2	DCP2	21.300	20.800	21.170	20.700	14.00	0.0067	0.014
U(U2)	CP1	DCP1	20.900	20.450	20.850	20.280	17.00	0.0067	0.014

### Manning Equation

$$Q = Af * (V = (R^{0.667} * (s^{0.5}) / n)$$

Channel	Width(mm)	A1(m <sup>2</sup> )	A2(m <sup>2</sup> )	Af	Pw	R	S	Q	V
U(U1)	300	0.0353	0.0885	0.1238	1.0612	0.1167	0.0067	0.1717	1.39
U(U2)	300	0.0353	0.1185	0.1538	1.2612	0.1220	0.0067	0.2197	1.43

A1= Area of the circular section (m<sup>2</sup>)

A2= Area of the rectangular section (m<sup>2</sup>)

Af= (A1+A2) area of Channel (m<sup>2</sup>)

Pw= Perimeter of wetted Area (m<sup>2</sup>)

R= Hydraulic Radius (m)

S= Gradien of Channel

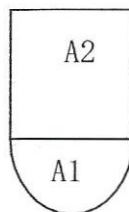
n= Nanning coefficient of Roughness

Q= Flow Capacity of the Channel (m<sup>3</sup>/s)

V= Cross-sectional Average Velocity (m/s)

d1 (mm) 300

d2 (mm) 300

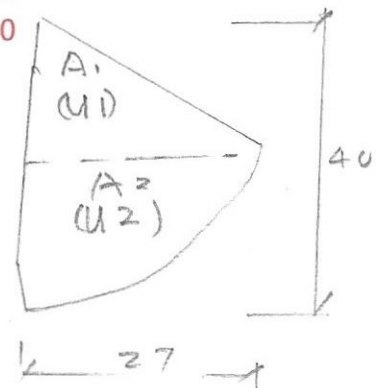


U1(mm) 295.00 ( minus 25mm )

U2(mm) 395.00 ( minus 25mm )

U1(mm) 150.00

U2(mm) 150.00



### (3) Runoff Estimation

- (i) Time of Concentration

Tc= to + tf

Inlet time

Brandsby William's Equation

$$to = 0.14465 * L * (H^{-0.2}) * (A^{-0.1})$$

where to= inlet time(min)

A= Catchment Area (m<sup>2</sup>)

H= Average slope (m/100m), measured along the line of natural flow, from the summit of the catchment to the point under consideration.

L= Distance (on plan) measured on the line of natural flow between the summit and the point under consideration (m)

Consider Average Gradient (m) per 100 meters

H11=mPD	21.410	H12=mPD	21.300
H21=mPD	21.410	H22=mPD	20.900

Platform	L(m)	H(m)	A(m <sup>2</sup> )	to	Lu	V	Q
P(U1)	36.00	0.31	270.0	3.7711	14.00	1.39	0.1717
P(U2)	32.00	1.59	270.0	2.4091	17.00	1.43	0.2197

#### Channel Traveling Time

$$t_f = L_u / 60 * V$$

where  $L_u$  = Length of Channel Traveled

$V$  = Cross-section average velocity (m/s)

$t_f$  = Flow time (minutes)

#### Extreme Mean Rainfall Intensity

$$i = a / (t_d + b)^c * 1.111$$

1 in  $t$  years

t	a	b	c
50	474.6	2.9	0.371

$i$  = extreme man intensity in mm/hr.

$t_d$  = duration in minutes ( $t_d < 59.1$ ), and

$a, b, c$  = storm constants given in Table 3 of SWM.

Type	From	To	Lu	V	$t_f$	$t_o$	$T_c = t_d$	$i$ (mm/hr)
U(U1)	CP2	DCP2	60.00	1.39	0.3235	3.7711	4.0945	256.23
U(U2)	CP1	DCP1	80.00	1.43	0.4046	2.4091	2.8137	276.20

#### (4) Rational Method

$$Q_p = 0.278 * C * i * A$$

where  $Q_p$  = Peak runoff in m<sup>3</sup>/s

$C$  = runoff coefficient (dimensionless)

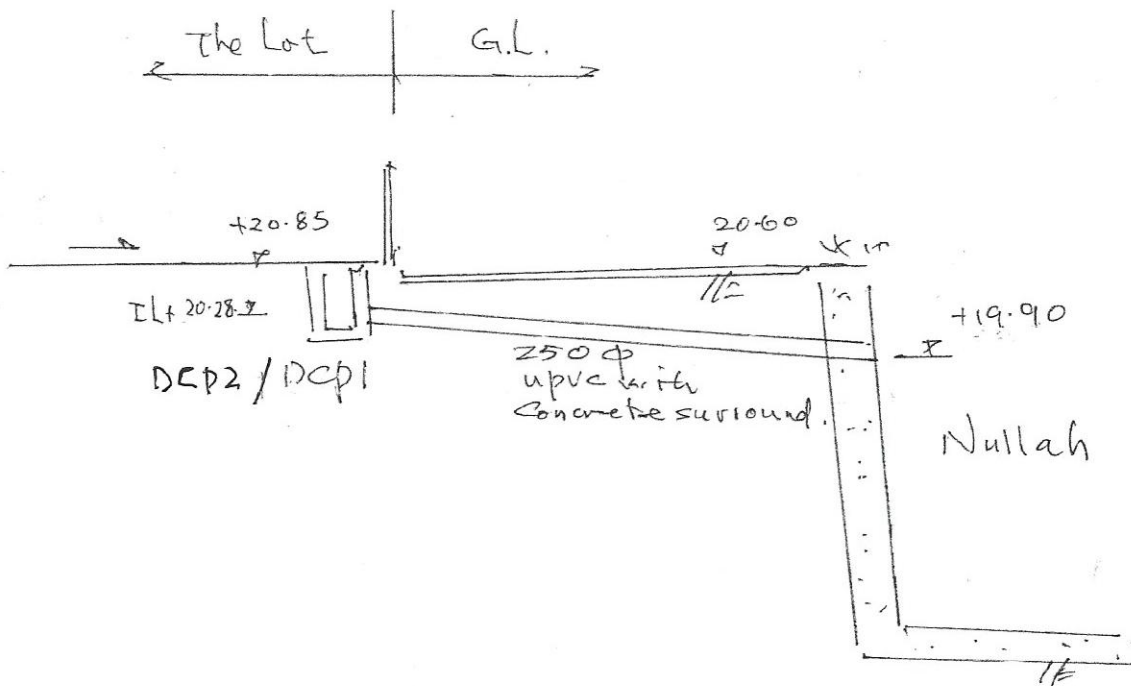
$i$  = rainfall intensity in mm/hr.

$A$  = catchment area in km<sup>2</sup>

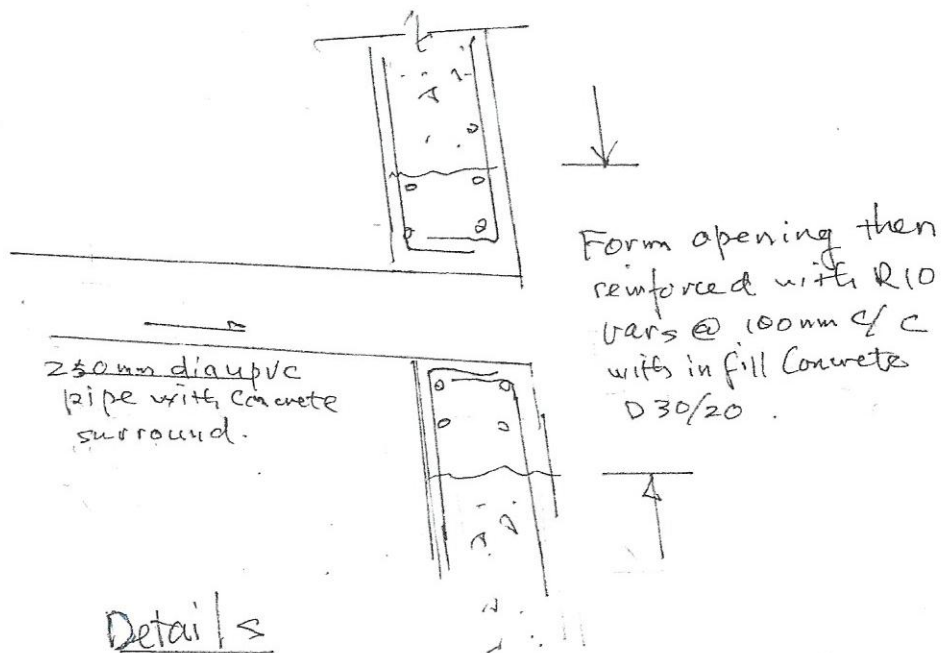
Value of Runoff Coefficient  $C$  for use in the Rational Method : 0.9

Type	$i$ (mm/hr)		$C$	$A$ (m <sup>2</sup> )	$Q_p$ (m <sup>3</sup> )	$Q$ (m <sup>3</sup> )	Spare %	
U(U1)	256.23	0.278	0.9	270.0	0.0173	0.1717	891.7962	$Q_p < Q$ , OK
U(U2)	276.20	0.278	0.9	270.0	0.0187	0.2197	1077.3805	$Q_p < Q$ , OK





Section Detail.



Detail 1

**Recommended Advisory Clauses**

- (a) to resolve any land issues relating to the development at the application site (the Site) with the concerned owner(s);
- (b) prior planning permission should have been obtained before commencing the development at the Site;
- (c) to note the comments of District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD) that:
  - the lot owner(s) shall apply to his office for a Short Term Waiver (STW) to permit the structure(s) erected within the concern private lots. The application for STW will be considered by the Government in its capacity as a landlord and there is no guarantee that it will be approved. The STW, if approved, will be subject to such terms and conditions including the payment of waiver fee and administrative fee as considered appropriate by LandsD. Only erection of temporary structure(s) will be considered;
- (d) to note the comments of Commissioner for Transport that:
  - the Site is connected to the public road network via a section of a local access road which is not managed by Transport Department. The land status of the local access road should be checked with LandsD. Moreover, the management and maintenance responsibilities of the local access road should be clarified with the relevant lands and maintenance authorities accordingly. Sufficient manoeuvring space shall be provided within the Site. No vehicle is allowed to queue back to or reverse onto/from public road at any time;
- (e) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (HyD) that:
  - the Site is adjoining to a local access road which is not maintained by HyD. HyD shall not be responsible for the maintenance of the access road between the Site and Shek Kong Airfield Road; and
  - adequate drainage measures shall be provided to prevent surface water running from the Site to the nearby public roads and drains;
- (f) to note the comments of the Chief Engineer/Mainland North, Drainage Services Department that:
  - to implement the drainage facilities on the Site in accordance with the agreed drainage proposal;
  - to maintain all the drainage facilities in good condition and ensure that the proposed development would neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent areas, etc.; and
  - to rectify the drainage system at the applicant's own expense to the satisfaction of government parties concerned if they are found to be inadequate or ineffective during operation;

~~(g) to note the comments of the Director of Fire Services that:~~

- ~~• in consideration of the design/nature of the proposal, fire service installations (FSIs) are anticipated to be required. Therefore, the applicant is advised to submit relevant layout plans incorporated with the proposed FSIs to his department for approval. In addition, the applicant should also be advised that (a) the layout plans should be drawn to scale and depicted with dimensions and nature of occupancy; and (b) the location of where the proposed FSIs to be installed should be clearly marked on the layout plans; and~~
- ~~• if the proposed structures are required to comply with the Buildings Ordinance (BO) (Cap. 123), detailed fire service requirements will be formulated upon receipt of formal submission of general building plans;~~

- (h) (g) to note the comments of the Director of Environmental Protection that the applicant is advised to:
- follow the good engineering practice set out in “Recommended Pollution Control Clauses for Construction Contracts”;
  - follow the relevant guidelines and requirements in relevant Professional Persons Environmental Consultative Committee Practice Notes (ProPECCPNs), in particular the ProPECC PN 1/23 “Drainage Plans subject to Comment by the Environmental Protection Department”;
  - provide adequate supporting infrastructure/facilities for proper collection, treatment and disposal of waste/wastewater generated;
  - meet the statutory requirements under relevant environmental legislation;
  - implement the relevant mitigation measures set out in the “Recommended Pollution Control Clauses for Construction Contracts” in particular those related to air pollution and noise control so as to minimise potential environmental impacts; and
  - meet the statutory requirements under relevant environmental pollution ordinances, in particular the Cap. 311 Air Pollution Control Ordinance and the Cap. 400 Noise Control Ordinance;
- (i) (h) to note the comments of the Director of Agriculture, Fisheries and Conservation that:
- to enable the Site zoned “Agriculture” to be used for open field cultivation on a long-term basis, the applicant is advised to reinstate the Site to a condition that allows agricultural use including open field cultivation when the farm ceases operation;
- (j) (i) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department that:
- it is noted that seven structures are proposed and two of them are built for agriculture use with certificates of exemption issued by LandsD, which may be exempted under Part 2 of Schedule Condition of the Buildings Ordinance (Application to the New Territories) Ordinance (BO(ANT)O). For the structures which are not exempted under Part 2 of Schedule Condition of the BO(ANT)O, the applicant is advised that before any new building works (including containers/open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent of the Building Authority should be obtained, otherwise they are



unauthorised building works (UBW) under the BO. An Authorised Person should be appointed as the co-ordinator for the proposed building works to accord with the BO in this regard;

- the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
- the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at building plan submission stage;
- for UBW erected on leased land, enforcement action may be taken by the Buildings Department to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;
- any temporary shelters or converted containers for office, storage, washroom or other uses are considered as temporary buildings are subject to the control of Part VII of the B(P)R; and
- detailed checking under the BO will be carried out at building plan submission stage;

~~(f)~~ (j) to note the comments of the Director of Electrical and Mechanical Services that:

- in the interests of public safety and ensuring the continuity of electricity supply, the parties concerned with planning, designing, organizing and supervising any activity near the underground cable or overhead line under the mentioned document should approach the electricity supplier (i.e. CLP Power) for the requisition of cable plans (and overhead line alignment drawings, where applicable) to find out whether there is any underground cable and/or overhead line within and/or in the vicinity of the Site; and
- the applicant should also be reminded to observe the Electricity Supply Lines (Protection) Regulation and the “Code of Practice on Working near Electricity Supply Lines” established under the Regulation when carrying out works in the vicinity of the electricity supply lines.

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

**To : Secretary, Town Planning Board**

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

By e-mail : tpbpd@pland.gov.hk

有關的規劃申請編號 **The application no. to which the comment relates**  
**A/YL-SK/393**

意見詳情 (如有需要, 請另頁說明)

**Details of the Comment** (use separate sheet if necessary)

本辦事處收到村代表反對規劃署擬就著 DD112 Lot 459B1, 459B RP 和 469 進行改變土地用途。理由如下：

1. 現時錦上路交通已經不勝負荷，早晚繁忙時間交通阻塞尤為嚴重，此發展及工程將會加重交通負擔，影響本區交通。
2. 填土工程對附近村落及郊野環境衛生，造成污染及影響。
3. 將會加重附近村落的水浸情況。
4. 由於村情複雜，令到臨時商店開設後有關政府部門難以監管。

「提意見人」姓名/名稱 **Name of person/company making this comment**

李靜儀

簽署 **Signature**

日期 **Date**

29-10-2024



## 八鄉 蓮花地

2



敬啟者：

反對石崗丈量 DD112 Lot 459 B1, 459B RP 及 469  
(申請編號：A/YL-SK/393)

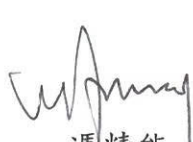

見規劃署於日期：22-10-2024 展示通知啟示，在上述地點擬進行改變土地用途，申請填土工程以作准許的農業用途，吾等一致反對，理由如下：

- (1) 現時錦上路交通已經不勝負荷，早晚繁忙時間交通阻塞尤為嚴重，此發展及工程必會加重交通負擔，影響本區交通。
- (2) 填土工程對本村及郊野環境衛生，造成重大污染及影響。
- (3) 工程進行及完成後，會對本區交通及環境帶來壞的影響。
- (4) 將會加重本村的水浸風險。
- (5) 甚麼准許的農業用途，只是巧立名目，使有關當局無從監管。

基於上述反對理由，懇請署長否決此申請！

此致

城市規劃署署長

   
馮精能 郭惠新  
八鄉蓮花地原居民村代表 謹呈

2024 年 10 月 24 日

副本：

元朗民政事務專員  
元朗地政專員  
八鄉鄉事委員會主席  
八鄉南區區議員



# 八鄉鄉事委員會



PAT HEUNG RURAL COMMITTEE

3

本會檔號:082/PHRC/2024/27/02

城市規劃委員會秘書

香港北角渣華道 333 號北角政府合署 15 樓

(傳真: 2877 0245 及 電郵: [www.tpbpd@pland.gov.hk](mailto:www.tpbpd@pland.gov.hk))

反對新界元朗石崗丈量約份第 112 約地段第 459S.Bss.1 及 459S.DRP 號

擬議填土工程以作准許的農業用途

(申請編號: A/YL-SK/393)

執事先生/女士:

本會接獲眾多八鄉居民的投訴和求助，就上標申請提出強烈反對。

申請項目位於八鄉中心小學附近，毗連錦田河(石崗機場段)。交通依賴石崗機場路、水流田行車橋再接連錦田河河邊的一條鄉村道路到達申請地段前方。近年大量人口遷入水流田村，大多住戶都自駕汽車出入，這條狹窄的鄉村道路單線雙程行車，又缺乏避車處，經常出現阻塞及道路使用者的爭執情況。

相關發展地段位置偏遠，座落錦田河(石崗機場段)側，發展商為了個人利益，在錦田防洪渠邊緣開闢行車通道，砍伐防洪渠邊緣的樹木，損害防洪渠的結構，我們對破壞公眾利以謀取個人利益的行為是不能容忍的話。

再者，相關發展項目涉及在「農業地帶」興建 7 幢樓高 4.3 米的建築物，樓面面積達 237 平方米，而申請地毗鄰錦田河石崗機場段，大量罕有雀鳥在附近棲息覓食，吸引眾多觀鳥愛好者。相關申請項目定必嚴重破壞當地獨特的生態環境，帶來不可逆轉的「生態災難」！

本會懇請城市規劃委員會正視發展項目對水流田村帶來的交通問題、對當地生態環境造成的破壞，否決相關申請，造福八鄉居民及維護自然生態的平衡！

八鄉鄉事委員會主席：郭永昌

副主席：鄧志光

黎永添

2024 年 11 月 12 日

通訊地址：

聯絡電話：



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**From:** [REDACTED]  
**Sent:** 2024-11-12 星期二 03:13:33  
**To:** tpbpd/PLAND <tpbpd@pland.gov.hk>  
**Subject:** A/YL-SK/393 DD 112 Shek Kong

A/YL-SK/393

Lots 459 S.B ss.1, 459 S.B RP and 460 in D.D. 112, Shek Kong

Site area: About 690sq.m

Zoning: "Agriculture"

Applied use: Filling of Land for Permitted Agricultural Use / 2 Vehicle Parking

Dear TPB Members,

363 was withdrawn. Back with a larger footprint.

Previous objections relevant and upheld.

Mary Mulvihill

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**From:** [REDACTED]  
**To:** tpbpd <tpbpd@pland.gov.hk>  
**Date:** Wednesday, 13 March 2024 2:41 AM HKT  
**Subject:** A/YL-SK/363 DD 112 Shek Kong

A/YL-SK/363

Lots 459 S.B ss.1 and 459 S.B RP in D.D. 112, Shek Kong

Site area: About 480sq.m

Zoning: "Agriculture"

Applied use: Filling of Land for Permitted Agricultural Use / 1 Vehicle Parking

Dear TPB Members,

Agricultural use??? Give over, the site was slathered in cement ages ago. The land has been rendered unfit for farming use.

Clearly an excuse to gain approval for brownfield operation.

☐Urgent ☐Return receipt ☐Expand Group ☐Restricted ☐Prevent Copy

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Members should not reward mendacity.

Mary Mulvihill



The Secretary,  
Town Planning Board,  
15/F, North Point Government Offices,  
333, Java Road, North Point,  
Hong Kong.  
(Email: tpbpd@pland.gov.hk)



12th November, 2024.

By email only

Dear Sir/ Madam,

**Proposed Filling of Land for Permitted Agricultural Use**  
**(A/YL-SK/393)**

1. We refer to the captioned.
2. The application site is already within Agriculture (AGR) zone and within the same AGR zone there are active farmlands. We urge the Board to discuss with relevant authorities/ parties as to whether/ why the proposed filling of land is necessary for agricultural use.
3. We also urge the Board to look at an aerial photo taken in February 2024 showing the site below.



4. We urge the Board to investigate with relevant authorities as to what is going on within the site (has the site already been paved with concrete?) and whether there are ongoing enforcement cases/ unauthorised activities/ uses covering the application site; if yes, then to consider whether it is appropriate to approve the application.
5. We would like the Town Planning Board to seriously consider whether the planning application regime should be an 'apply first, develop later (after planning permission granted)' mechanism.
6. According to the application form, more than half of the site is proposed to be paved with concrete (i.e.,  $101+180+90=371 \text{ m}^2$  (total site area =  $690 \text{ m}^2$ )). We urge the Board to also consider whether this would permanently affect the arability of the site and whether the site needs to be reinstated (i.e., removal of the paved concrete) after this proposed use ceases operation; if the site does not need to be reinstated, we urge the Board to consider whether it is appropriate.
7. Finally, we urge the Board to consider whether the approval of the application may result in security concerns, as the site is in close proximity to the Shek Kong Barracks.
8. Thank you for your attention.

Ecological Advisory Programme  
Kadoorie Farm and Botanic Garden