

22/10
此文件在 2023年11月10日收到。城市規劃委員會
只會在收到所有必要的資料及文件後才正式確認收到
申請的日期。

This document is received on - 6 NOV 2023
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-III
表格第 S16-III 號

APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP. 131)

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of Land
and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas,
or Renewal of Permission for such Temporary Use or Development***

**適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行
為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議***

*Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.

*其他土地上及/或建築物內的臨時用途/發展(例如位於市區內的臨時用途或發展)及有關該等臨時用途/發展的許可續期,應使用表格第S16-I號。

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知,以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟,請瀏覽以下網址有關在指定的報章刊登通知:
https://www.tpb.gov.hk/zh/plan_application/apply.html

General Note and Annotation for the Form

填寫表格的一般指引及註解

"Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made

「現行土地擁有人」指在提出申請前六星期,其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足,請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2302754 19/10 by hand

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/YL-TYST/1246
	Date Received 收到日期	- 6 NOV 2023

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Hong Kong Concrete Company Limited

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Townland Consultants Limited

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lots 1290 S.C RP, 1293 S.C and 2019 in D.D 121 and adjoining Government Land, San Fui Street, Tong Yan San Tsuen, Yuen Long, New Territories	
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積	Approx. 2,457 sq.m 平方米 <input checked="" type="checkbox"/> About 約
	<input checked="" type="checkbox"/> Gross floor area 總樓面面積	1,447 sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	303 sq.m 平方米 <input checked="" type="checkbox"/> About 約	

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Tong Yan San Tsuen Outline Zoning Plan No. S/YL-TYST/14
(e) Land use zone(s) involved 涉及的土地用途地帶	Industrial
(f) Current use(s) 現時用途	Concrete Batching Plant (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☐ is the sole "current land owner" (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」(請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☒ is one of the "current land owners" (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」(請夾附業權證明文件)。
- ☐ is not a "current land owner".
並不是「現行土地擁有人」。

- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上(請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at 16.10.2023 (DD/MM/YYYY), this application involves a total of 2 "current land owner(s)".
根據土地註冊處截至 2023 年 10 月 16 日的記錄，這宗申請共牽涉 2 名「現行土地擁有人」。

(b) The applicant 申請人 –

- ☐ has obtained consent(s) of "current land owner(s)".
已取得 2 名「現行土地擁有人」的同意。

Details of consent of "current land owner(s)" obtained 取得「現行土地擁有人」同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☒ has notified1..... "current land owner(s)"[#]
已通知 名「現行土地擁有人」[#]。

Details of the "current land owner(s)" [#] notified 已獲通知「現行土地擁有人」 [#] 的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)
1	Section C of Lot No. 1293 in D.D. 121 and the Remaining Portion of Section C of Lot No. 1290 in D.D. 121	18.10.2023

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on _____ (DD/MM/YYYY)^{#&}
於_____ (日/月/年)向每一名「現行土地擁有人」[#]郵遞要求同意書[&]

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on _____ (DD/MM/YYYY)[&]
於_____ (日/月/年)在指定報章就申請刊登一次通知[&]
- ☐ posted notice in a prominent position on or near application site/premises on _____ (DD/MM/YYYY)[&]
於_____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知[&]
- ☐ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on _____ (DD/MM/YYYY)[&]
於_____ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會[&]

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別**(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas**

位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展

(For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B))

(如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)

(a) Proposed use(s)/development
擬議用途/發展

(Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)

(b) Effective period of permission applied for
申請的許可有效期☐ year(s) 年☐ month(s) 個月**(c) Development Schedule 發展細節表**Proposed uncovered land area 擬議露天土地面積sq.m ☐ About 約Proposed covered land area 擬議有上蓋土地面積sq.m ☐ About 約

Proposed number of buildings/structures 擬議建築物/構築物數目

Proposed domestic floor area 擬議住用樓面面積sq.m ☐ About 約Proposed non-domestic floor area 擬議非住用樓面面積sq.m ☐ About 約Proposed gross floor area 擬議總樓面面積sq.m ☐ About 約

Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)

.....

.....

.....

.....

Proposed number of car parking spaces by types 不同種類停車位的擬議數目

Private Car Parking Spaces 私家車車位

Motorcycle Parking Spaces 電單車車位

Light Goods Vehicle Parking Spaces 輕型貨車泊車位

Medium Goods Vehicle Parking Spaces 中型貨車泊車位

Heavy Goods Vehicle Parking Spaces 重型貨車泊車位

Others (Please Specify) 其他 (請列明)

Proposed number of loading/unloading spaces 上落客貨車位的擬議數目

Taxi Spaces 的士車位

Coach Spaces 旅遊巴車位

Light Goods Vehicle Spaces 輕型貨車車位

Medium Goods Vehicle Spaces 中型貨車車位

Heavy Goods Vehicle Spaces 重型貨車車位

Others (Please Specify) 其他 (請列明)

Proposed operating hours 擬議營運時間			
.....			
.....			
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？	Yes 是	<input type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用))	
	No 否	<input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度) <input type="checkbox"/>	
(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。)			
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動？	Yes 是	<input type="checkbox"/> Please provide details 請提供詳情	
	No 否	<input type="checkbox"/> N/A	
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程？	Yes 是	<input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍) <input type="checkbox"/> Diversion of stream 河道改道 <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約	
	No 否	<input type="checkbox"/>	
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響？	On environment 對環境 On traffic 對交通 On water supply 對供水 On drainage 對排水 On slopes 對斜坡 Affected by slopes 受斜坡影響 Landscape Impact 構成景觀影響 Tree Felling 砍伐樹木 Visual Impact 構成視覺影響 Others (Please Specify) 其他 (請列明)		Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/> Yes 會 <input type="checkbox"/> No 不會 <input type="checkbox"/>

	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p style="text-align: center;">N/A</p>
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(B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas
位於鄉郊地區或受規管地區臨時用途/發展的許可續期

(a) Application number to which the permission relates 與許可有關的申請編號	A/ <u>YL-TYST</u> / <u>1069</u>
(b) Date of approval 獲批給許可的日期	<u>05/02/2021</u> (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期	<u>17/02/2024</u> (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途／發展	Temporary "Concrete Batching Plant" use for a Period of 3 Years
(e) Approval conditions 附帶條件	<input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件 <input checked="" type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件 <input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件： Reason(s) for non-compliance: 仍未履行的原因： (Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)
(f) Renewal period sought 要求的續期期間	<input checked="" type="checkbox"/> year(s) 年 <u>3</u> <input type="checkbox"/> month(s) 個月

7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明）。

Please refer to the attached Supplementary Planning Statement.

8. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.
本人現准許委員會酌情將本人就此申請所提交的資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署




DELIUS WONG

Name in Block Letters
姓名（請以正楷填寫）

☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Associate / Project & Quality Manager

Position (if applicable)
職位（如適用）

Professional Qualification(s)
專業資格

☒ Member 會員 / ☐ Fellow of 資深會員

☐ HKIP 香港規劃師學會 /

☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 /

☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 /

☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他 MPIA, MPMI

on behalf of
代表

Townland Consultants Limited

☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

19/10/2023

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

(a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and

處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.

方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置／地址	Lots 1290 S.C RP, 1293 S.C and 2019 in D.D 121 and adjoining Government Land, San Fui Street, Tong Yan San Tsuen, Yuen Long, New Territories 新界元朗唐人新村新灰街丈量約份第121約地段第1290號C分段餘段、第1293號C分段及第2019號和毗連政府土地
Site area 地盤面積	2457 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 303 sq. m 平方米 <input checked="" type="checkbox"/> About 約)
Plan 圖則	Approved Tong Yan San Tsuen Outline Zoning Plan No. S/YL-TYST/14 唐人新村分區計劃大綱核准圖編號 S/YL-TYST/14
Zoning 地帶	Industrial 工業
Type of Application 申請類別	<input type="checkbox"/> Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____ <input checked="" type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 <input checked="" type="checkbox"/> Year(s) 年 3 <input type="checkbox"/> Month(s) 月 _____
Applied use/ development 申請用途/發展	Temporary "Concrete Batching Plant" use for a period of 3 years 臨時混凝土配料廠能夠繼續營運3年

(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	1,447 <input type="checkbox"/> About 約 <input checked="" type="checkbox"/> Not more than 不多於	0.59 <input type="checkbox"/> About 約 <input checked="" type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用		
	Non-domestic 非住用	6 (structures)	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	m 米 <input type="checkbox"/> (Not more than 不多於)	
		Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)	
	Non-domestic 非住用	17.4 m 米 <input checked="" type="checkbox"/> (Not more than 不多於)	
		Storeys(s) 層 <input type="checkbox"/> (Not more than 不多於)	
(iv) Site coverage 上蓋面積	48 % <input checked="" type="checkbox"/> About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數		1
	Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____		1
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數		14
	Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____ _____		14

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	Chinese 中文	English 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input type="checkbox"/>
<hr/>		
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估（噪音、空氣及／或水的污染）	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<hr/>		
Existing Drainage Plan, Fire Service Installations Layout Plans		
<hr/>		
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

SECTION 16 PLANNING APPLICATION TOWN PLANNING ORDINANCE (CAP. 131)

**RENEWAL OF PLANNING APPROVAL FOR
TEMPORARY CONCRETE BATCHING PLANT UNDER
APPLICATION NO. A/YL-TYST/1069 FOR A PERIOD OF 3 YEARS
IN “INDUSTRIAL” ZONE, LOTS 1290 S.C RP, 1293 S.C AND 2019 IN DD121 AND
ADJOINING GOVERNMENT LAND, SAN FUI STREET, TONG YAN SAN TSUEN,
YUEN LONG**

- Supplementary Planning Statement -

TOWNLAND CONSULTANTS LIMITED

**RENEWAL OF PLANNING APPROVAL FOR
TEMPORARY CONCRETE BATCHING PLANT UNDER
APPLICATION NO. A/YL-TYST/1069 FOR A PERIOD OF 3 YEARS
IN "INDUSTRIAL" ZONE, LOTS 1290 S.C RP, 1293 S.C AND 2019
IN DD121 AND ADJOINING GOVERNMENT LAND,
SAN FUI STREET, TONG YAN SAN TSUEN,
YUEN LONG**

**SECTION 16 PLANNING APPLICATION
SUPPLEMENTARY PLANNING STATEMENT**

Applicant

Hong Kong Concrete Company Limited

Planning Consultant and Submitting Agent

Townland Consultants Limited

File Reference: SHTSSFS/4(v)

For and on behalf of Townland Consultants Ltd.

Approved by : Delia

Position : Associate

Date : 19/10/2023

19 October 2023

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EXECUTIVE SUMMARY

This Application for Renewal of Planning Permission (“**RPP**”) is submitted on behalf of the Applicant, Hong Kong Concrete Company Limited (“**HKC**” / the “**Applicant**”) to seek permission from the Town Planning Board (the “**TPB**” / “**BOARD**”) to enable the continued operation of an existing Temporary Concrete Batching Plant (“**CBP**”) for a further 3 years. The Temporary CBP is located at Lots 1290 S.C RP, 1293 S.C and 2019 in DD121 and adjoining Government Land, San Fui Street, Tong Yan San Tsuen, Yuen Long (the “**Application Site**” / “**Site**”). The Site is zoned “Industrial” (“**I**”) under the Approved Tong Yan San Tsuen Outline Zoning Plan No. S/YL-TYST/14 (the “**Approved OZP**”). Under the “I” zoning, a “Concrete Batching Plant” is listed as a Column 2 Use which requires permission from the TPB.

The Application Site is subject of eight (8) previous planning Approvals (No. A/YL-TYST/50, 181, 306, 410, 568, 710, 863 & 1069) for CBP, including one (1) approval for amendment and extension of the originally approved CBP with minor relaxation of maximum building height restriction and six (6) renewal of planning approvals for Temporary CBP use respectively. There is no alteration to the size, capacity or operational procedures of the existing Plant under this RPP.

This Supplementary Planning Statement (“**SPS**”) has demonstrated the following:

- The Temporary CBP is in line with the statutory planning intention for industrial uses. The renewal period sought is 3 years, which is made with respect to the Approved OZP;
- There has been no change to the statutory planning context since approval of the previous six (6) Applications for renewal of Temporary CBP on the Application Site;
- The Temporary CBP is compatible with adjoining land uses given the immediate vicinity of the Site is pre-dominantly industrial in nature. The Temporary CBP will also be compatible with industrial uses within the planned Employment Belt South of Yuen Long Highway. The Applicant will adhere to the stringent environmental controls imposed through Planning Approval Conditions and separate licensing procedures;
- Current and future demand for concrete has been identified. The Temporary CBP can ensure provision of concrete for existing and future developments especially in The Northern Metropolis;
- The Approval Conditions under the previous RPP approval have been satisfied. Excellent management and efficient operation in terms of the mitigation of environmental impacts and traffic concerns have been practised by the Applicant. The Applicant will ensure the continuation of good practices should approval be granted under this RPP; and
- The existing Temporary CBP located on the Application Site is a readily available resource for concrete provision. No new Sites have to be identified to meet the existing and future demand for concrete.

Members of the BOARD are therefore sincerely requested to give favourable consideration to the Application.

行政摘要
(內文如有差異，應以英文版本為準)

港九混凝土有限公司（下稱「申請人」）根據城市規劃第16條向城市規劃委員會（下稱「城規會」）呈交規劃申請續期，使位於新界元朗唐人新村新灰街丈量約份第121約地段第1290號C分段餘段、第1293號C分段及第2019號和毗連政府土地（下稱「申請地點」）的臨時混凝土配料廠能夠繼續營運3年。根據唐人新村分區計劃大綱核准圖編號 S/YL-TYST/14（以下簡稱「大綱核准圖」），申請地點現被規劃為「工業」地帶。由於「混凝土配料廠」在「工業」地帶上屬於第二欄的用途，所以要向城規會呈交規劃申請。

申請地點有8個先前個案 (No. A/YL-TYST/50, 181, 306, 410, 568, 710, 863 & 1069) 其中包括修訂許可混凝土配料廠、放寬高度限制以擴充混凝土配料廠及6次規劃許可續期的申請。是次規劃許可續期申請並不會改變混凝土配料廠的大小、容量或運作程序。

此補充規劃文件已證明：

- 臨時混凝土配料廠符合工業用途的法定規劃意向。而續期的時間為3年，是符合大綱核准圖訂明的臨時用途所准許的最長時間；
- 自從之前七次已批准的臨時混凝土配料廠規劃許可續期的申請至今，此地點的規劃景況沒有任何改變；
- 因鄰近範圍主要是工業性質，所以臨時混凝土配料廠與毗鄰土地用途是協調的。臨時混凝土配料廠也將與元朗高速公路南面的就業帶計劃內的工業用途兼容。而且申請人將嚴格遵守規劃許可附帶條件及有關牌照訂下的環境控制，因此不會對環境造成任何不良影響；
- 現時及未來對混凝土的需求已被確定，而此臨時混凝土配料廠可確保現時及未來發展，特別是北部都會區的混凝土供應；
- 先前的規劃許可附帶條件已被履行。申請人亦採取優秀管理及有效的運作以減輕對環境和交通的影響。如此申請獲批准，申請人將確保繼續遵守規劃許可附帶條件；及
- 現時位於申請地點的混凝土配料廠是一個現成供應混凝土的資源，因此不需要開發新地點以滿足現時及未來對混凝土的需求。

有見及此，我們懇請城市規劃委員會委員批准本規劃申請。

Our Reference: SHTSSFS/4(v)/DEL/06
Date: 19 October 2023

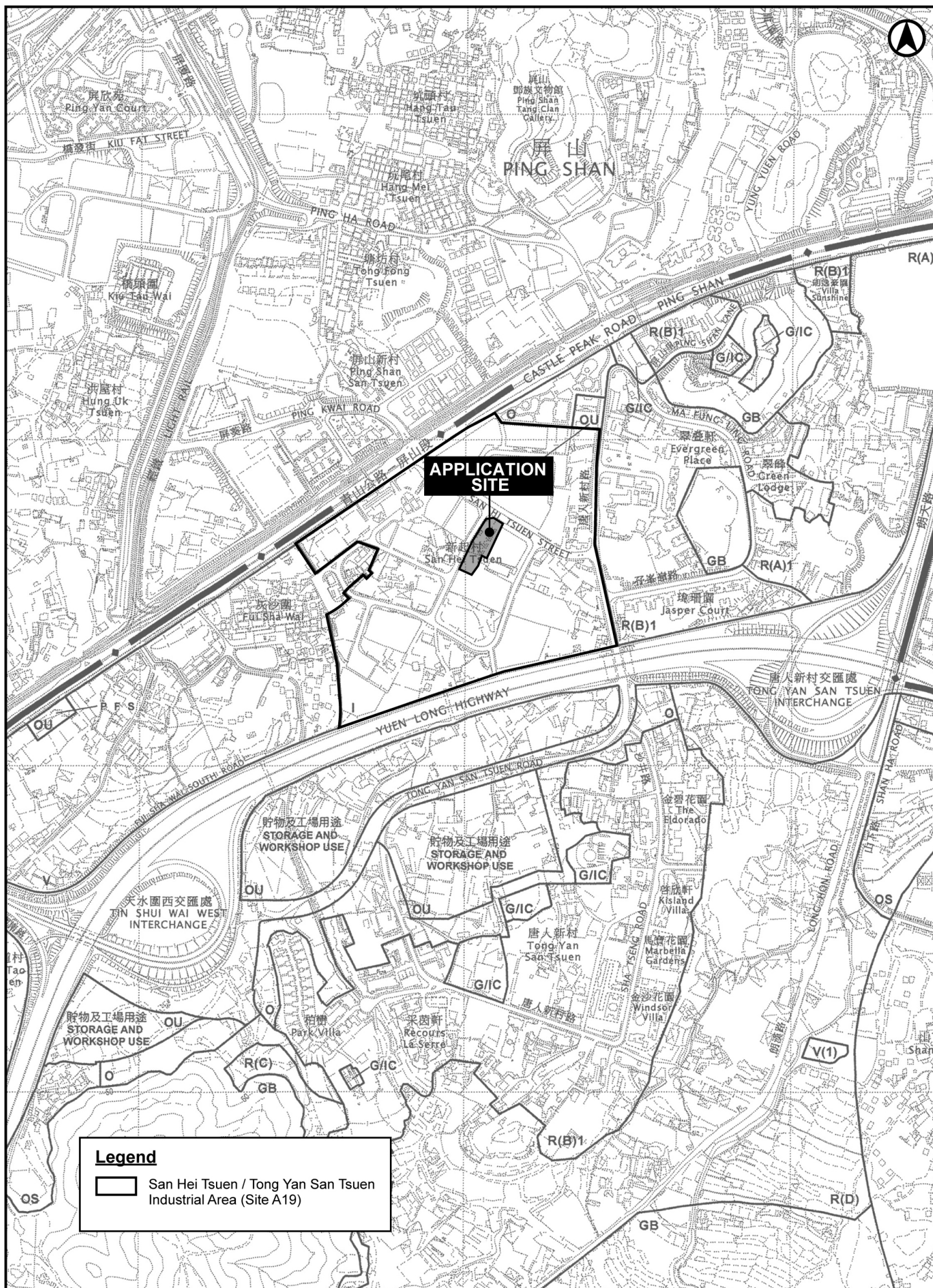
TO THE TOWN PLANNING BOARD:

**SECTION 16 PLANNING APPLICATION
TOWN PLANNING ORDINANCE (CHAPTER 131)
SUPPLEMENTARY PLANNING STATEMENT**

**RENEWAL OF PLANNING APPROVAL FOR
TEMPORARY CONCRETE BATCHING PLANT
UNDER APPLICATION NO. A/YL-TYST/1069 FOR A PERIOD OF 3 YEARS
IN “INDUSTRIAL” ZONE, LOTS 1290 S.C RP, 1293 S.C AND 2019 IN DD121 AND
ADJOINING GOVERNMENT LAND, SAN FUI STREET,
TONG YAN SAN TSUEN, YUEN LONG**

1 INTRODUCTION

- 1.1 Townland Consultants Limited has been engaged by Hong Kong Concrete Company Limited (“**HKC**”/ the “**Applicant**”) to submit this application for Renewal of Planning Permission (“**RPP**”) for a Temporary (3 years) Concrete Batching Plant (“**CBP**”) at Lots 1290 S.C RP, 1293 S.C and 2019 in DD121 and adjoining Government Land, San Fui Street, Tong Yan San Tsuen, Yuen Long (the “**Application Site/ Site**”).
- 1.2 The Application Site is zoned “Industrial” (“**I**”) under the Approved Tong Yan San Tsuen Outline Zoning Plan No. S/YL-TYST/14 (the “**Approved OZP**”) gazetted on 20 August 2021. Under the “**I**” zoning, “Concrete Batching Plant” is listed as a Column 2 Use which requires permission from the Town Planning Board (“**TPB/ BOARD**”) (*Figures 1.1 and 1.2* refer).
- 1.3 The Applicant intends to continue the operation of the Temporary CBP on the Application Site for a further 3 years as they have identified a sustained demand for concrete in the area. Continuation of the existing plant will maintain the viability of the facility in this location and will ensure a non-interrupted supply of concrete to existing customers. HKC has complied with all relevant approval conditions and will ensure that the facility maintains compliance with any further conditions which may be imposed with TPB approval of the current Application.



SHTSSFS/4(v)

FIGURE 1.1 THE APPROVED TONG YAN SAN TSUEN
OUTLINE ZONING PLAN NO. S/YL-TYST/14
SCALE 1 : 7,500

INDUSTRIAL

Column 1 Uses always permitted	Column 2 Uses that may be permitted with or without conditions on application to the Town Planning Board
<p>Ambulance Depot</p> <p>Arts Studio (excluding those involving direct provision of services or goods)</p> <p>Bus Depot</p> <p>Cargo Handling and Forwarding Facility (not elsewhere specified)</p> <p>Eating Place (Canteen, Cooked Food Centre only)</p> <p>Government Refuse Collection Point</p> <p>Government Use (not elsewhere specified)</p> <p>Industrial Use (not elsewhere specified)</p> <p>Information Technology and Telecommunications Industries</p> <p>Office (Audio-visual Recording Studio, Design and Media Production, Office Related to Industrial Use only)</p> <p>Public Convenience</p> <p>Public Transport Terminus or Station</p> <p>Public Utility Installation</p> <p>Public Vehicle Park (excluding container vehicle)</p> <p>Radar, Telecommunications Electronic Microwave Repeater, Television and/or Radio Transmitter Installation</p> <p>Recyclable Collection Centre</p> <p>Research, Design and Development Centre</p> <p>Shop and Services (Motor-vehicle Showroom on ground floor, Service Trades only)</p> <p>Utility Installation for Private Project</p> <p>Vehicle Repair Workshop</p> <p>Warehouse (excluding Dangerous Goods Godown)</p>	<p>Broadcasting, Television and/or Film Studio</p> <p>Cargo Handling and Forwarding Facility (Container Freight Station, free-standing purpose-designed Logistics Centre only)</p> <p>Concrete Batching Plant</p> <p>Container Vehicle Park/Container Vehicle Repair Yard</p> <p>Dangerous Goods Godown</p> <p>Eating Place (not elsewhere specified) (in wholesale conversion of an existing building only)</p> <p>Educational Institution (in wholesale conversion of an existing building only)</p> <p>Exhibition or Convention Hall</p> <p>Industrial Use (Bleaching and Dyeing Factory, Electroplating/Printed Circuit Board Manufacture Factory, Metal Casting and Treatment Factory/Workshop only)</p> <p>Institutional Use (not elsewhere specified) (in wholesale conversion of an existing building only)</p> <p>Off-course Betting Centre</p> <p>Offensive Trades</p> <p>Office (not elsewhere specified)</p> <p>Petrol Filling Station</p> <p>Place of Entertainment (in wholesale conversion of an existing building only)</p> <p>Place of Recreation, Sports or Culture (not elsewhere specified)</p> <p>Private Club</p> <p>Public Clinic (in wholesale conversion of an existing building only)</p> <p>Religious Institution (in wholesale conversion of an existing building only)</p> <p>Shop and Services (not elsewhere specified) (ground floor only, except in wholesale conversion of an existing building and Ancillary Showroom[#] which may be permitted on any floor)</p>

(Please see next page)

INDUSTRIAL (cont'd)

Column 1 Uses always permitted	Column 2 Uses that may be permitted with or without conditions on application to the Town Planning Board
	<p>Training Centre (in wholesale conversion of an existing building only)</p> <p>Vehicle Stripping/Breaking Yard</p> <p>Wholesale Trade</p>
<p>In addition, the following uses are always permitted in the purpose-designed non-industrial portion on the lower floors (except basements and floors containing wholly or mainly car parking, loading/unloading bays and/or plant room) of an existing building, provided that the uses are separated from the industrial uses located above by a buffer floor or floors and no industrial uses are located within the non-industrial portion:</p>	<p>In addition, the following use may be permitted with or without conditions on application to the Town Planning Board in the purpose-designed non-industrial portion on the lower floors (except basements and floors containing wholly or mainly car parking, loading/unloading bays and/or plant room) of an existing building, provided that the use is separated from the industrial uses located above by a buffer floor or floors and no industrial uses are located within the non-industrial portion:</p>
<p>Eating Place</p> <p>Educational Institution</p> <p>Exhibition or Convention Hall</p> <p>Institutional Use (not elsewhere specified)</p> <p>Off-course Betting Centre</p> <p>Office</p> <p>Place of Entertainment</p> <p>Place of Recreation, Sports or Culture</p> <p>Private Club</p> <p>Public Clinic</p> <p>Religious Institution</p> <p>Shop and Services</p> <p>Training Centre</p>	<p>Social Welfare Facility (excluding those involving residential care)</p>

Ancillary Showroom requiring planning permission refers to showroom use of greater than 20% of the total usable floor area of an industrial firm in the same premises or building.

Planning Intention

This zone is intended primarily for general industrial uses to ensure an adequate supply of industrial floor space to meet demand from production-oriented industries. Information technology and telecommunications industries, office related to industrial use, and selected uses akin to industrial production and would not compromise building and fire safety are also always permitted in this zone.

(Please see next page)

INDUSTRIAL (cont'd)

Remarks

- (a) No new development, or addition, alteration and/or modification to or redevelopment of an existing building shall result in a total development and/or redevelopment in excess of a maximum plot ratio of 3 and a maximum building height of 4 storeys (15m), or the plot ratio and height of the building which was in existence on the date of the first publication in the Gazette of the notice of the draft development permission area plan, whichever is the greater.
- (b) Based on the individual merits of a development or redevelopment proposal, minor relaxation of the plot ratio and building height restrictions stated in paragraph (a) above may be considered by the Town Planning Board on application under section 16 of the Town Planning Ordinance.
- (c) In determining the maximum plot ratio for the purposes of paragraph (a) above, any floor space that is constructed or intended for use solely as car park, loading/unloading bay, plant room and caretaker's office, provided such uses and facilities are ancillary and directly related to the development or redevelopment, may be disregarded.

2 THE SITE CONTEXT

2.1 Site Location

- 2.1.1 The Application Site is located at the junction of San Fui Street and San Hi Tsuen Street, Yuen Long. It is situated within the San Hei Tsuen/ San Hei Tsuen Industrial Area (“SHT/SHTIA”) in Tong Yan San Tsuen, Yuen Long which is an established industrial area (**Figures 2.1 and 2.2** refer).

2.2 Land Status

- 2.2.1 The Application Site is registered as Lots 1290 S.C RP, 1293 S.C and 2019 in DD121 and adjoining Government Land, with an area of approximately 2,457m².
- 2.2.2 Lots 1290 S.C RP and 1293 S.C which comprises 57% (approximately 1,405m²) of the Application Site Area is under Block Government Lease for agricultural use. Lot 2019 (approx. 749m² or 31% of the total Site Area) is for industrial and/or godown uses with a non-offensive trade clause. Approx. 303m² or 12% of the total Site Area is Government Land.
- 2.2.3 The Applicant is one of the two owners (besides the Government) of the Application Site and owns approx. 31% (i.e. Lot 2019) of the total Application Site Area.

2.3 Existing and Surrounding Uses

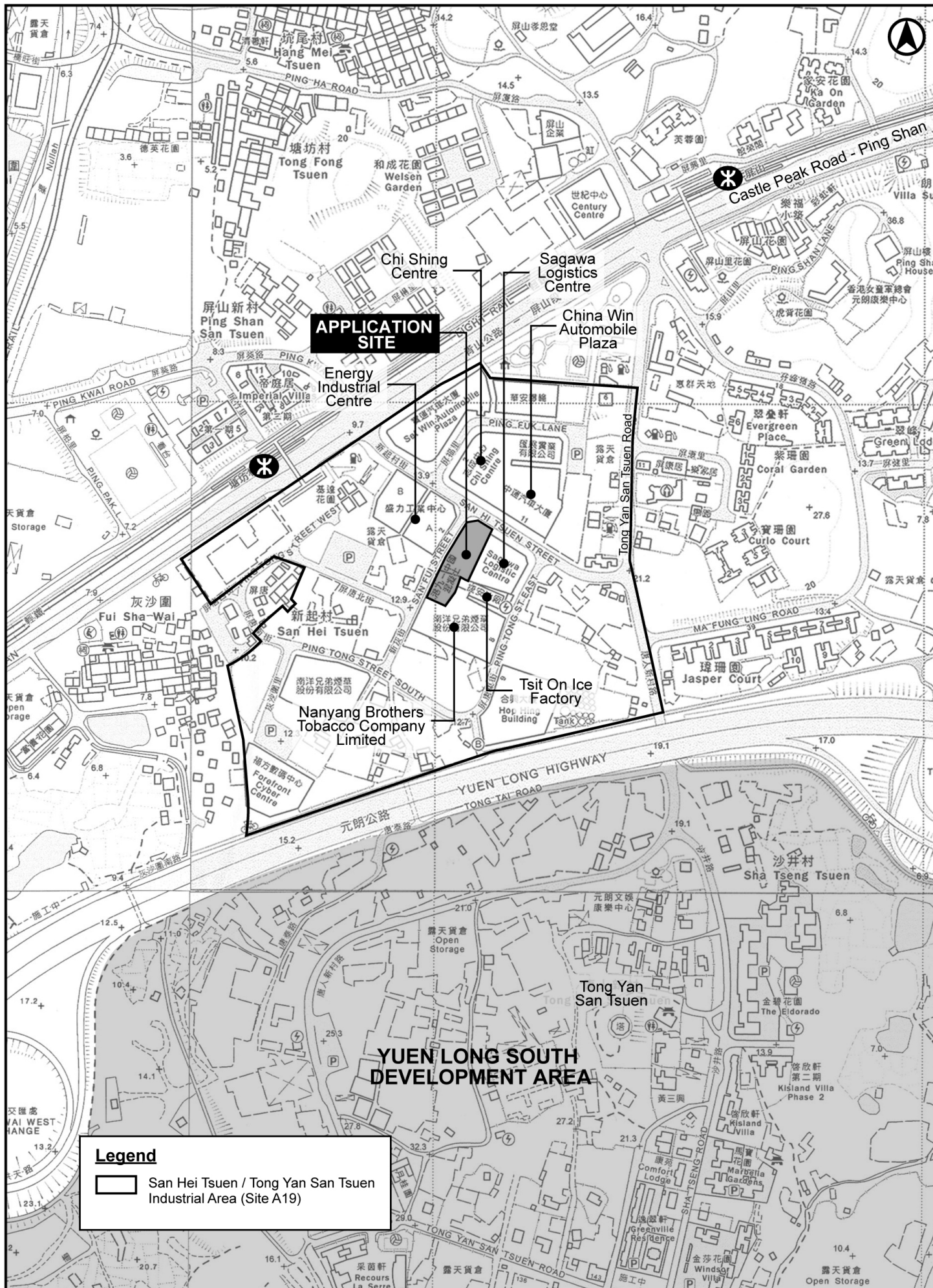
- 2.3.1 The Application Site is currently occupied by an approved and fully operational CBP. It is surrounded by other industrial uses commensurate with the local zoning. Industrial uses immediately surrounding the Application Site include China Win Automobile Plaza and Chi Shing Centre to the north, Sagawa Logistics Centre and Tsit On Ice Factory to the east, Energy Industrial Centre to the west and Nanyang Brothers Tobacco Co. Limited to the south (**Figure 2.1** refers).
- 2.3.2 Other than the industrial uses in the immediate vicinity, some residential uses are located further away from this industrial area. Clusters of residential developments are located to the north of Castle Peak Road – Ping Shan namely Ping Shan San Tsuen, Tong Fong Tsuen and Welsen Garden, to the east of Tong Yan San Tsuen Road are Coral Garden, Curio Court and Jasper Court and further south of Yuen Long Highway (“YLH”) is Sha Tseung Tsuen and Tong Yan San Tsuen. Reasonable distance is maintained between these residential developments and the CBP.

2.4 Accessibility

- 2.4.1 The run in/out of the Application Site is located on San Fui Street which is connected to the main trunk road i.e. Castle Peak Road – Ping Shan via San Hi Tsuen Street. The Application Site is served by buses and mini buses transverse to Yuen Long MTR Station. Tong Fong Tsuen Light Rail Station and Ping Shan Light Rail Station are located at walking distance around 350m and 550m from the Site respectively (**Figure 2.2** refers).



FIGURE 2.1 SITE LOCATION PLAN
SCALE 1 : 1,000



SHTSSFS/4(v)

FIGURE 2.2 SITE LOCATION PLAN
SCALE 1 : 5,000

3 PLANNING CONTEXT

3.1 Statutory Planning Context

Approved Tong Yan San Tsuen Outline Zoning Plan No. S/YL-TYST/14

- 3.1.1 The Application Site is zoned “I” under the Approved OZP which was gazetted on 20 August 2021. Under the “I” zoning, “Concrete Batching Plant” is listed as a Column 2 Use which requires permission from the TPB (**Figures 1.1** and **1.2** refer). Development within this zone is subject to a maximum Plot Ratio (“PR”) of 3 and a maximum building height (“BH”) of 4 storeys (15m). Minor Relaxation of PR and BH Restrictions may be considered by the TPB on application under S16 Planning Application. Development within this zone is also guided by the Tong Yan San Tsuen North Layout Plan No. L/YL-TN/3 adopted on 25 April 2000.
- 3.1.2 The Planning Intention of the “I” zone is *“intended primarily for general industrial uses to ensure an adequate supply of industrial floor space to meet demand from production-oriented industries. Information technology and telecommunications industries, office related to industrial use, and selected uses akin to industrial production and would not compromise building and fire safety are also always permitted in this zone.”*
- 3.1.3 According to para. 11(b) of the Notes attached to the Approved OZP, temporary use or development of any land or building not exceeding 3 years requires permission from TPB.
- 3.1.4 There has been no change in the statutory context since approval of the six (6) previous applications for renewal of temporary planning permission.

3.2 Non-Statutory Planning Context

Hong Kong Planning Standards and Guidelines (“HKPSG”)

- 3.2.1 Chapter 9 of the HKPSG provides guidance to uses which may cause dust nuisance. The HKPSG states that such uses are more desirable to be situated in areas which are not yet fully developed. A buffer distance of at least 100m from other uses is also required. Transportation routes to and from the Sites should be designed and the necessary protective measures to minimise dust nuisance should also be incorporated.

Planning and Engineering Study for Housing Sites in Yuen Long South - Investigation

- 3.2.2 The Planning and Engineering Study for Housing Sites in Yuen Long South (“YLS Study”) – Investigation was commissioned by Planning Department (“PlanD”) and the Civil Engineering and Development Department (“CEDD”) in November 2012 to examine and optimise the development potential of the degraded brownfield land in YLS for housing purpose and other uses with supporting infrastructure and community facilities. The Application Site is located inside the Study Area although outside of the Potential Development Areas (“PDA”s).
- 3.2.3 According to the Revised Recommended Outline Development Plan (“RODP”) in the Executive Summary (“ES”) revised in May 2020, the Application Site is located approx. 225m north of the planned Employment Belt (south of YLH) which is intended for the consolidation of existing open storage and rural industrial operations within YLS PDA. The proximity to YLH allows quick access of freight traffic to the strategic highway network and reduces the interface problem with residential communities (**Para. 6.2.6** of YLS Study Executive Summary refers). No land use conflicts are anticipated between the continued operation of the Temporary CBP and the planned Employment Belt which is industrial in nature.

Report on Area Assessments 2020 of Industrial Land in the Territory

- 3.2.4 In December 2021, the PlanD completed a “Report on 2020 Area Assessments of Industrial Land in the Territory” (“**2020 Area Assessments**”) which aims to update the snapshot of the existing private buildings (IBs) in terms of their utilisation, review their progress of transformation and consider future planning of industrial land to meet the changing needs. San Hei Tsuen and Tong Yan Shan Tsuen were delineated as Site A19 in the 2020 Area Assessments, which is one of 19 areas selected for assessment. When compared to the 2014 Area Assessment, the total Industrial Gross Floor Area (“**GFA**”) of Site A19 has slightly increase from about 113,368m² to 116,585m². Warehouse/ Storage uses remained as the largest user which accounted for 80.9% of the GFA, followed by Manufacturing/ Workshop (11.4%), Others (5.7%), Vacant/ under renovation (1.1%) and Office (0.9%). The observed rate of vacant/under renovation of Site A19 is 1.1% which is much lower than the district average vacancy of 16.0% of Yuen Long and the average of New Territories (5.6%).
- 3.2.5 The 2020 Area Assessments recommended Site A19 be maintained for “I” use as the area has a very low vacancy rate but high usage for industrial uses (in particular Warehouse/Storage). In addition, it is noted that quite a number of the IBs as well as the sites occupied by the temporary structures have not been developed to its maximum permissible PR. Together with the forthcoming transformation of the surrounding areas in Hung Shui Kiu (“**HSK**”) / Ha Tsuen (“**HA**”) New Development Area (“**NDA**”) and YLS Development Area, this will put development pressure on Site A19, and thus recommended to retain the planning intention of Site A19 as “I” providing local employment centre for the existing and new population in the area (**Appendix 3, Site A19 San Hei Tsuen/ Tong Yan San Tsuen “I” Area of 2020 Area Assessments** refers).

Town Planning Board Planning Guidelines No. 34D on Renewal of Planning Approval and Extension of Time for Compliance with Planning Conditions for Temporary Use or Development (the “Guidelines”)

- 3.2.6 The Guidelines set out the application procedures and the assessment criteria for the renewal of planning approvals and extension of time for compliance with planning conditions for temporary use or development by TPB. According to the Guidelines, the Applicant is required to provide reasons for the application, time period for the renewal of the temporary use and whether the provision of facilities under the previous approval are in compliance with the approval conditions/ are to the satisfaction of the concerned Government Departments.
- 3.2.7 As there is no change in planning circumstances since approval of the previous RPP in 2021, no new technical assessment is required.

3.3 Planning History

- 3.3.1 The Application Site is the subject of eight (8) previous Planning Approvals:

TPB Ref:	Subject of Application	Date of Approval
A/YL-TYST/50	Proposed Temporary CBP	16 October 1998
A/YL-TYST/181	Amendment and extension of the Temporary CBP with minor relaxation of maximum building height restriction	28 February 2003 (Section 17 Review)
A/YL-TYST/306	Renewal of planning approval for Temporary CBP use for 3 years	17 February 2006
A/YL-TYST/410	Renewal of planning approval for Temporary CBP use for 3 years	19 December 2008
A/YL-TYST/568	Renewal of planning approval for Temporary CBP use for 3 years	10 February 2012
A/YL-TYST/710	Renewal of planning approval for Temporary CBP use for 3 years	6 February 2015
A/YL-TYST/863	Renewal of planning approval for Temporary CBP use for 3 years	8 December 2017
A/YL-TYST/1069	Renewal of planning approval for Temporary CBP use for 3 years	5 February 2021

3.3.2 A review of Rural New Territories Planning Committee ("**RNTPC**") Paper No. A/YL-TYST/1069 (for the currently valid Approval) identifies that there was no Departmental objection to the continuation of the CBP subject to the following Approval Conditions:

- (a) no operation between 7:30 p.m. and 7:30 a.m., as proposed by the applicant, is allowed on the site during the planning approval period;*
- (b) no vehicle is allowed to queue back to or reverse onto/from public road at any time during the planning approval period;*
- (c) the existing trees within the site shall be maintained at all times during the planning approval period;*
- (d) the existing drainage facilities on the Site shall be maintained at all times during the planning approval period;*
- (e) the submission of a condition record of the existing drainage facilities on the site within 3 months from the date of commencement of the renewed planning approval to the satisfaction of the Director of Drainage Services or of the TPB by 18.5.2021;*
- (f) the existing fire service installations implemented on the site shall be maintained in efficient working order at all times during the planning approval period;*
- (g) if any of the above planning condition (a), (b), (c), (d) or (f) is not complied with during the planning approval period, the approval hereby given shall cease to have effect and shall be revoked immediately without further notice; and*
- (h) if the above planning condition (e) is not complied with by the specified date, the approval hereby given shall cease to have effect and shall on the same date be revoked without further notice.*

3.3.3 It is confirmed by the Applicant that all Conditions have been complied with and can continue to be satisfied should approval be granted under this RPP. Details and evidence on how the Applicant has achieved the previous conditions can be found under **Section 5.4**.

4 CONTINUATION OF THE EXISTING TEMPORARY CONCRETE BATCHING PLANT

4.1 Continuation of the Existing Temporary CBP

- 4.1.1 The Applicant seeks a RPP under the Approved OZP to extend the operation approval of the Temporary CBP for a further three (3) years.
- 4.1.2 There are *no changes or alterations* to the size, capacity or operational procedures of the existing Plant. The operational hours, which are from 7:30am to 7:30pm, Monday to Sunday, will also remain unchanged.
- 4.1.3 HKC have identified a continued demand for concrete services which will maintain the viability of the current operations in this location (**Section 5.3** refers). Maintaining the same operational procedures will minimise any disruption to the local environment and minimise construction waste that would otherwise be required as a result of relocating or changing the existing plant.
- 4.1.4 For ease of reference, the development parameters of the existing CBP are as follows:

Development Parameters	Approved Temporary Use (A/YL-TYST/1069)	Current Renewal
Site Area	2,457m ²	2,457m ²
Gross Floor Area	1,447m ²	1,447m ²
Plot Ratio	0.59	0.59
Site Coverage	48%	48%
Built-over Area	1,176m ²	1,176m ²
Building Height	17.4m	17.4m

- 4.1.5 An elevation and a layout plan of the existing CBP are included in **Appendix 1**. The following structures and on-site transport provisions are provided:

Structures (6 nos.):

- 1 storage unit;
- 1 conveyor belt unit spanning across the site;
- 1 cement / concrete production structure;
- 1 ice storage unit;
- 1 structure consisting of recycle water and fresh water tanks; and
- 1 slump stand structure

Provisions for Heavy Goods Vehicles ("HGVs") (Total of 14 nos. of parking and waiting spaces):

- 2 concrete loading spaces for trucks;
- 6 waiting spaces;
- 2 slump test spaces;
- 1 aggregate truck space;
- 1 cement truck space;
- 1 ice truck space; and
- 1 dump truck space

Provisions for private cars (Total of 1 no.)

- 1 small private car parking space in the "parking area (admin)"

4.2 Access

- 4.2.1 The run in/out of the Application Site will remain on San Fui Street. San Fui Street is connected to the main trunk road i.e. Castle Peak Road – Ping Shan via San Hi Tsuen Street.

5 PLANNING JUSTIFICATIONS

5.1 In Line with the Statutory and Non-Statutory Planning Context

Approved Tong Yan San Tsuen Outline Zoning Plan

- 5.1.1 The Site is zoned “I” on the Approved OZP (**Figure 1.1** refers). As stated on the Statutory Notes of the Approved OZP, the planning intention in respect of “I” zone is *“intended primarily for general industrial uses to ensure an adequate supply of industrial floor space to meet demand from production-oriented industries. Information technology and telecommunications industries and office related to industrial use are also always permitted in this zone.”* As this RPP is to ensure adequate supply of concrete, it is fully in line with the statutory planning intention in the “I” zone given that it is also a form of production-oriented industry.

HKPSG

- 5.1.2 The Temporary CBP is in line with the HKPSG – Chapter 9 for dusty uses. The Application Site complies with the statement that *“Siting of dusty uses in main urban areas or near to residential developments should be avoided as far as possible”* (Para. 3.3.10 of Chapter 9, HKPSG refers). There are no sensitive uses, such as village houses/ temporary domestic structures, falling within 100 metres of the Site. Appropriate mitigation measures have been in place since the commencement of the Temporary CBP to ensure there is no adverse air/noise impact imposed on any sensitive receivers.

2020 Area Assessment

- 5.1.3 The Application Site is (a) located within SHT/SHTIA in Tong Yan San Tsuen; (b) fronts onto an existing cluster of other low/medium-density industrial developments; and (c) is being used by the Temporary CBP which is industrial in nature. Thus, the RPP of CBP is compatible with the retained “I” zone as recommended by the 2020 Area Assessments.

5.2 Compatible with Adjoining Land Uses

- 5.2.1 The existing uses and developments in the immediate vicinity of the Site are predominantly industrial in nature and are not considered environmentally sensitive. The Site is surrounded by industrial sites in active use, including workshops, open storage yards and warehouses. The continuation of the Temporary CBP is therefore compatible with the surrounding uses. In particular, the Temporary CBP has already adapted environmentally sensitive design. Trees have been planted around the Application Site and are well-maintained ((**Photo 5.3(a)** and **5.3(b)** refers). A protective boundary wall has been installed and the building has been painted in suitable colours to match with the surrounding developments. The Temporary CBP is also low-rise in nature which fits in with the surrounding built context.
- 5.2.2 In particular, the Application Site is subject to stringent environmental control. Environmental Protection Department (“EPD”) has granted the renewal of a Licence for the Conduct of a Specified Process. Hence, the Applicant is required to comply with the licensing conditions to ensure no adverse air quality impact will occur from the operation of the CBP. This Licence has been renewed and is effective from 17 June 2022 to 16 June 2025.
- 5.2.3 As such, the proposed Temporary CBP is also in line with the HKPSG – Chapter 9 for dusty uses. The number of sensitive uses, such as village houses/ temporary domestic structures falling within 100m of the Site is minimal, and in any event well segregated by other uses. Also, the CBP will continue to comply with the licensing conditions to ensure no adverse air quality impact or dust nuisance caused.

5.3 Meeting the Current and Future Demand for Concrete

- 5.3.1 There is a clear and continued strong demand for concrete in the Northern New Territories in the foreseeable future in accordance with the Northern Metropolis Development Strategy (“**The Development Strategy**”) published on 6 October 2021. The Development Strategy is focused on connecting Hong Kong more closely with Greater Bay Area which was spearheaded by ex-Chief Executive Carrie Lam and continued with current Chief Executive John Lee. The Northern Metropolis generally covers two (2) district administration areas including Yuen Long District and Northern District which comprises the New Territories North (“**NTN**”) New Town; HSK/HT NDA; YLS Development Area; proposed Kwu Tung North (“**KTN**”) NDA and Fanling North (“**FLN**”) NDA; San Tin Technopole including Hong Kong-Shenzhen Innovation and Technology Park (“**HSITP**”), etc. These developments will all generate persistent local demand for concrete in the future due to construction of new housings, community facilities and infrastructure. A sufficient and continuous supply of concrete will assist the Government to meet the implementation programme of planned and proposed developments and to avoid any construction delays to various public and private sector projects.
- 5.3.2 All of the above foreseeable, committed and planned construction activities are located within reasonable distance of the Temporary CBP which not only assures the timely and viable delivery of concrete, but also reduced environmental impact and carbon footprint associated with transport.

5.4 Compliance With the Planning Conditions Under Previous Approval

- 5.4.1 Since initial approval and construction of the CBP, the Applicant has maintained compliance with all approval conditions and will continue to operate the facility in this regard and any requirements of the current Licence for the conduct of a Specified Process issued by the EPD under the Air Pollution Control Ordinance. This will ensure that all measures are undertaken to mitigate any adverse impacts on the surrounding urban and ecological environments. The following paragraphs and illustrations demonstrate the Applicant’s effort in satisfying the planning conditions under the previous approval(s).

Planning Conditions

(a) *no operation between 7:30 p.m. and 7:30 a.m., as proposed by the applicant, is allowed on the site during the planning approval period;*

- 5.4.2 The Applicant has strictly adhered to this planning condition. There is no operation recorded between 7:30 p.m. and 7:30 a.m. (Monday to Sunday) during the approval period since 18.2.2021. There are NO complaints and objections received from nearby residents or Government Departments on operating outside of abovementioned hours.

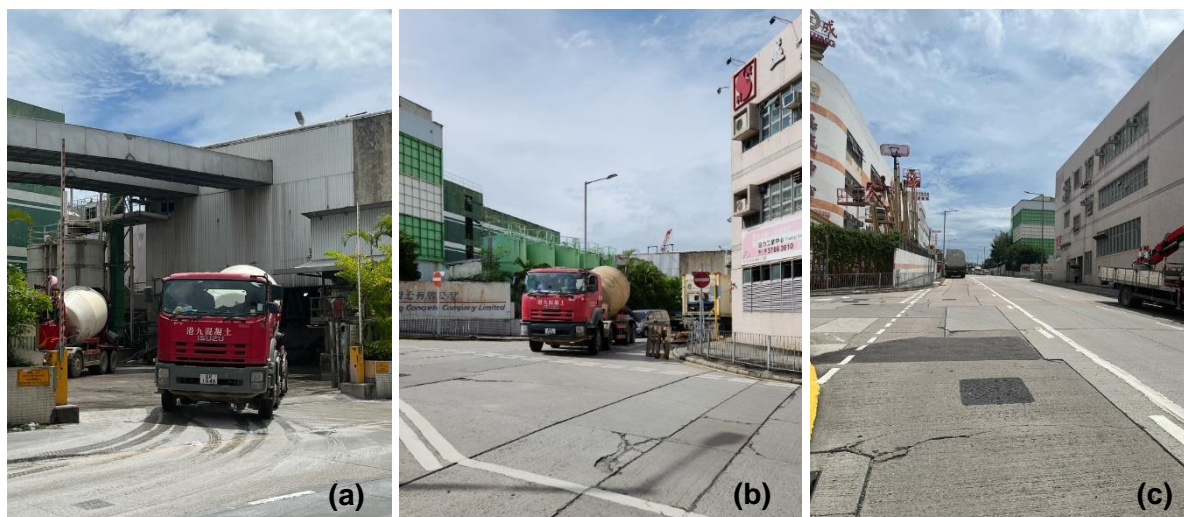
Photo 5.1 – Photo showing truck in idle and not in operation at 7:30 p.m.



(b) no vehicle is allowed to queue back to or reverse onto/from public road at any time during the planning approval period;

5.4.3 As illustrated in **Photos 5.2(a), (b) and (c)**, vehicles are only moving in a forward direction from the public road and there is no vehicle queuing or reversing onto/from the public road.

Photos 5.2(a), (b) and (c) – Vehicles moving in a forward direction from the public road



(c) the existing trees on the Site shall be maintained at all times during the planning approval period;

5.4.4 As demonstrated in **Photos 5.3(a) & 5.3(b)** below, the existing landscape planting including trees planted around the Application Site are well-maintained.

Photo 5.3(a) – Well-maintained landscape planting fronting San Hi Tsuen Street/ San Fui Street



Photo 5.3(b) – Well-maintained landscape planting fronting San Fui Street



- (d) *the existing drainage facilities on the site shall be maintained at all times during the planning approval period;*
- (e) *the submission of a condition record of the existing drainage facilities on the Site within 3 months from the date of commencement of the renewed planning approval to the satisfaction of the Director of Drainage Services or of the TPB by 21.5.2021.*
- 5.4.5 The Applicant has strictly adhered to these planning conditions and submitted a Drainage Plan of the Temporary CBP in a letter dated 7 May 2021 to the TPB, demonstrating the condition record of the existing drainage facilities on location which have been approved by the Building Authority since 14 April 2004. On 10 May 2021, PlanD issued their acceptance that the Approval Condition (e) has been complied with. In addition, please note that the Water License has not been renewed as currently there is zero discharge from Plant. Industrial wastewater is recycled on-site and used for cleaning of mixer trucks, conveyor belts and ground to reduce dust emission.
- 5.4.6 The existing drainage facilities are well maintained by the Applicant. A copy of the existing Drainage Plan is attached at **Appendix 2** and it is noted that there is no change to the existing drainage facilities since the previous approved RPP.
- (f) *the existing fire service installations implemented on the site shall be maintained in efficient working order at all times during the planning approval period;*
- 5.4.7 The existing fire service installations are regularly updated and maintained via Certificates of Fire Service Installations (“FSI”) and Equipment obtained from the Fire Services Department (“FSD”) under the Fire Service (Installations and Equipment) Regulations (Regulation 9(1)). The latest Certificates obtained on 14 July 2023 (Serial no. 10059628143 and 10059628144) prove that FSIs and Equipment at the Application Site are in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. The Applicant will continue to renew prior to the expiry of the Certificate. Photos 5.4(a) and (b) demonstrates that the existing fire services implemented are well maintained.

Photo 5.4(a) and (b) – Well-maintained Fire Service Installations



(g) if any of the above planning conditions (a), (b), (c), (d) or (f) is not complied with during the planning approval period, the approval hereby given shall cease to have effect and shall be revoked immediately without further notice; and

(h) if the above planning conditions (e) is not complied with by the specified date, the approval hereby given shall cease to have effect and shall on the same date be revoked without further notice.

5.4.8 The Applicant has complied with all the approval conditions listed above and is in accordance with the requirements under the TPB Guidelines 34D.

5.5 Readily Available Site for Concrete Provision

5.5.1 The continued operation of the Temporary CBP is efficient, economical and sustainable. Given there is existing and future demand for concrete (**Para 5.3.1** refers), especially in The Northern Metropolis, it is reasonable to allow the continuation of operation of the Temporary CBP to ensure a steady supply of concrete. No new Sites have to be identified to meet the demand for concrete, and there is no need for relocation of the existing operations.

5.5.2 In addition, the Temporary CBP has demonstrated excellent management and operation ethics in terms of complying with all the approval conditions.

6 CONCLUSION

- 6.1 HKC seeks a RPP for their existing Temporary CBP at Tong Yan San Tsuen. There is no change or alteration to the size, capacity or operational procedures of the CBP. The RPP will not have any additional impact on the local environment. Approval will effectively sustain the status quo of the Temporary CBP for a further 3 years.
- 6.2 This Supplementary Planning Statement has demonstrated the following:
- The Temporary CBP is in line with the statutory planning intention for industrial uses. The renewal period sought is 3 years, which is made with respect to the Approved OZP;
 - There has been no change to the statutory planning context since approval of the previous six (6) Applications for renewal of the Temporary CBP on the Application Site;
 - The Temporary CBP is compatible with adjoining land uses given the immediate vicinity of the Site is pre-dominantly industrial in nature. The Temporary CBP will also be compatible with industrial uses within the planned Employment Belt South of Yuen Long Highway. The Applicant will adhere to the stringent environmental controls imposed through Planning Approval Conditions and separate licensing procedures;
 - Current and future demand for concrete has been identified. The Temporary CBP can ensure provision of concrete for existing and future developments especially in The Northern Metropolis;
 - The Approval Conditions under the previous RPP approval have been satisfied. Excellent management and efficient operation in terms of the mitigation of environmental impacts and traffic concerns have been practised by the Applicant. The Applicant will ensure the continuation of good practices should approval be granted under this RPP; and
 - The existing Temporary CBP located on the Application Site is a readily available resource for concrete provision. No new Sites have to be identified to meet the existing and future demand for concrete.
- 6.3 In view of the above, we trust that the BOARD will see fit to give favourable consideration to this Application.

Edited &

Approved by: Delius Wong

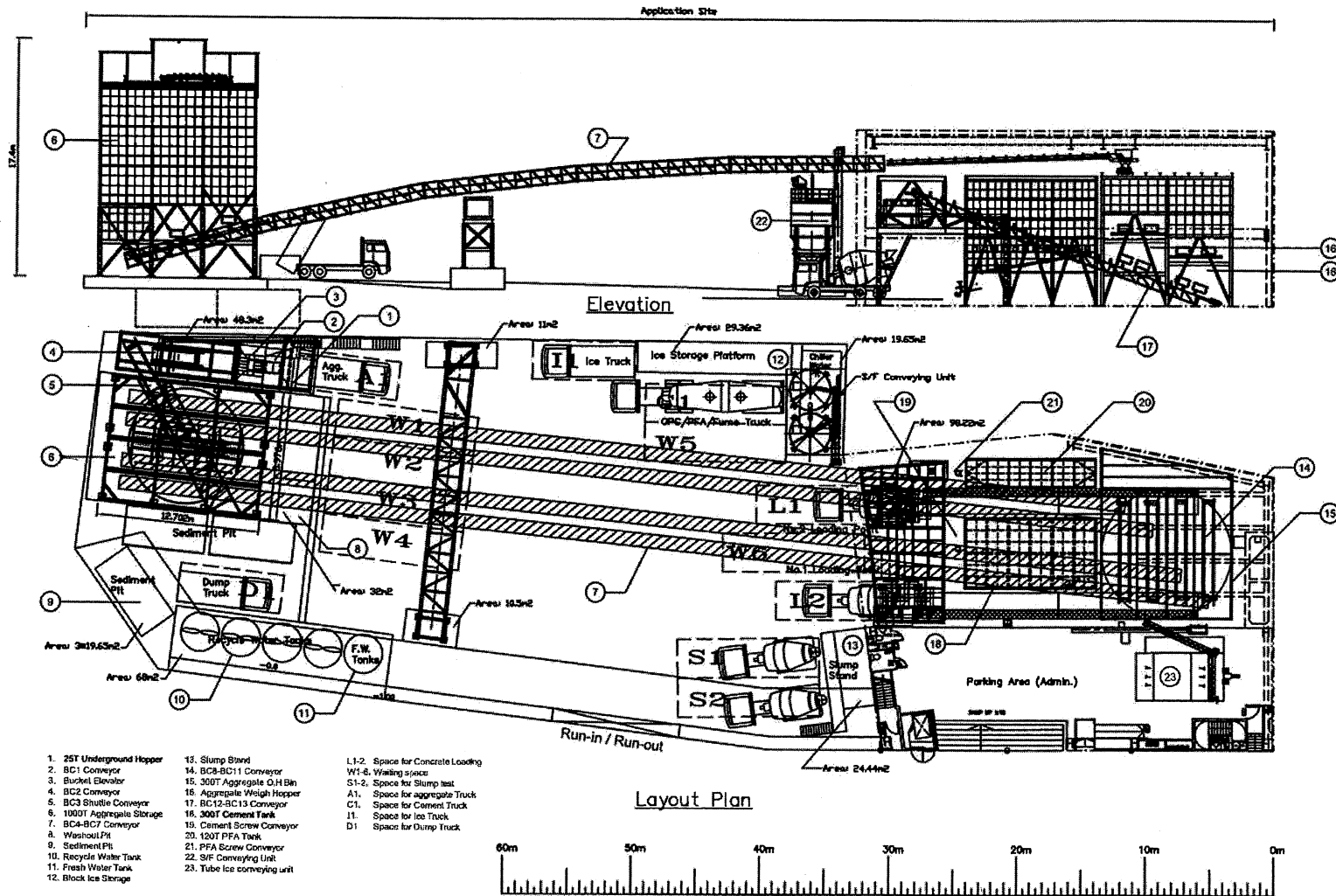
Prepared by: Kelvin Chung

Date: 19 October 2023

File Ref: SHTSSFS/4(v)

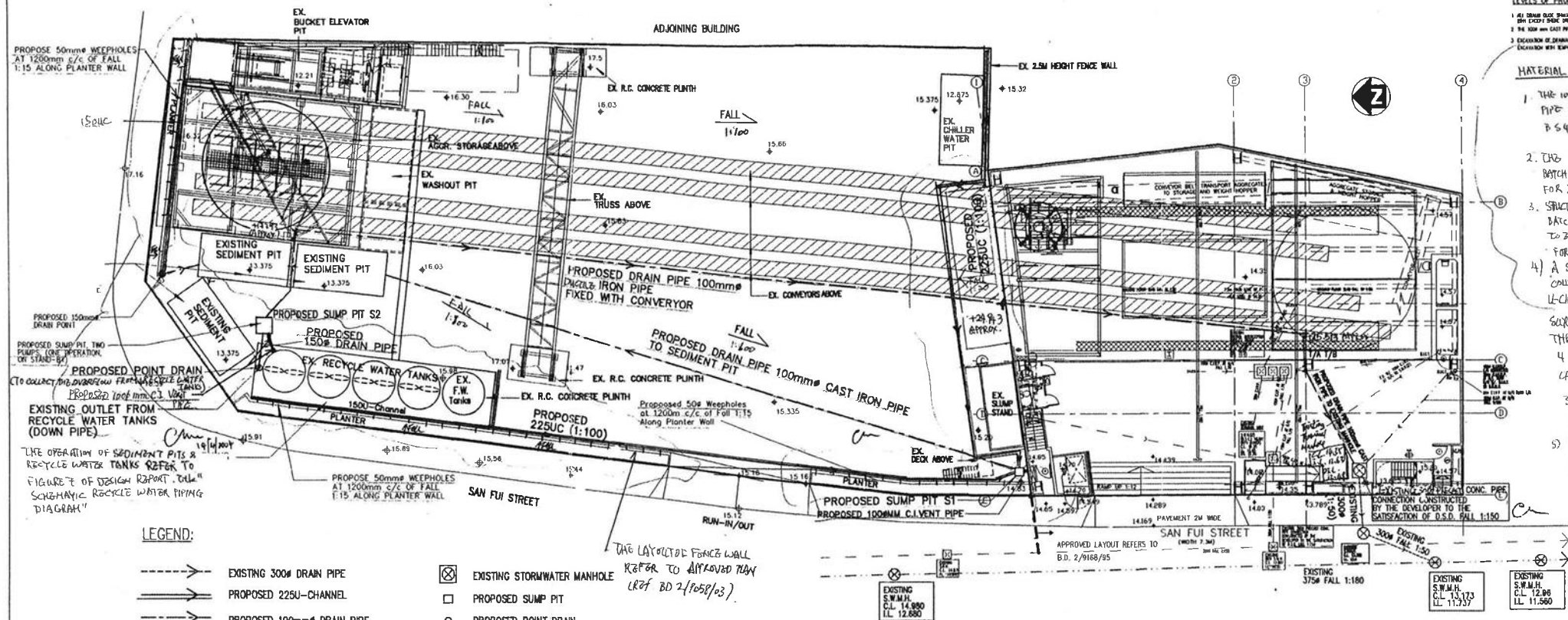
Appendix 1

ELEVATION AND LAYOUT PLAN OF
THE CONCRETE BATCHING PLANT

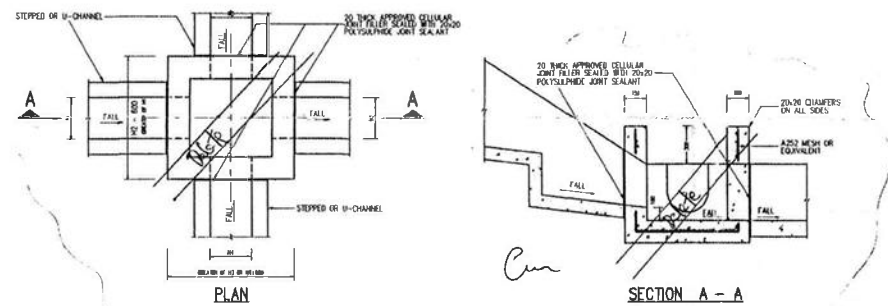


Appendix 2

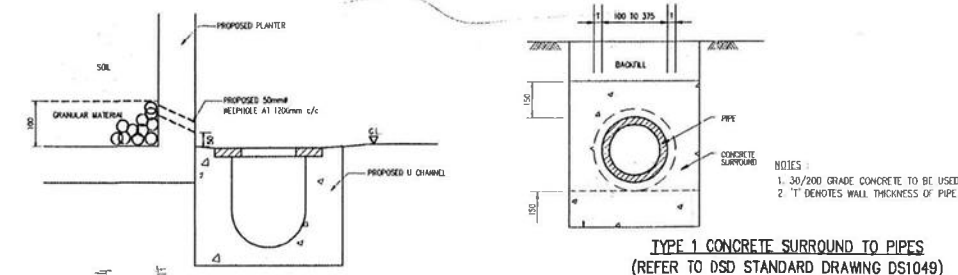
EXISTING DRAINAGE PLANS



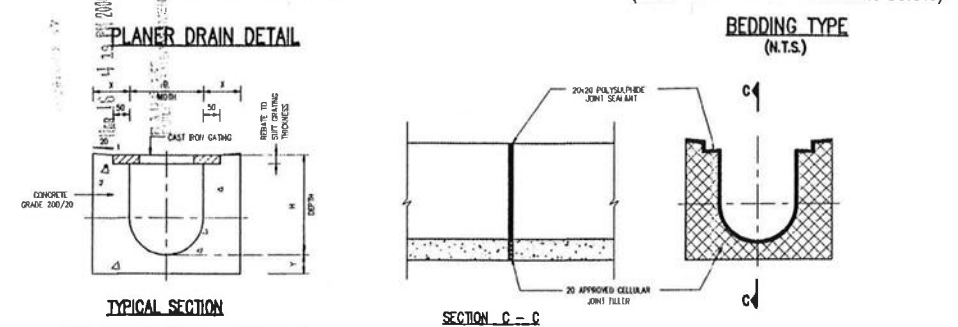
PROPOSED DRAINAGE LAYOUT PLAN
(1:200)



CONNECTION DETAILS OF STEPPED CHANNEL AND CATCHPIT

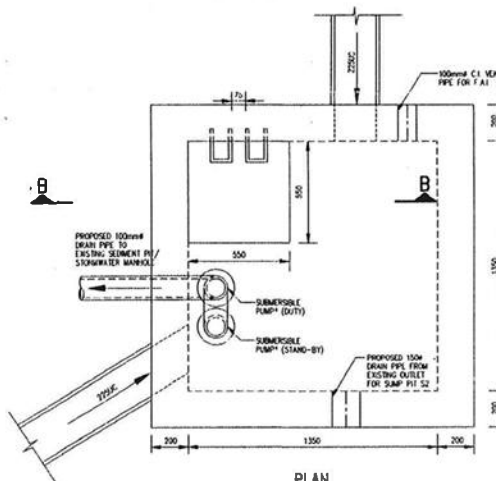


TYPE 1 CONCRETE SURROUND TO PIPES
(REFER TO DSD STANDARD DRAWING DS1049)

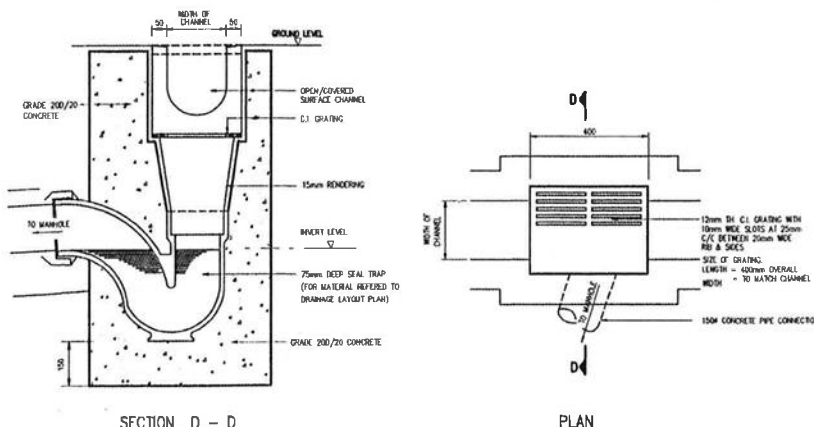
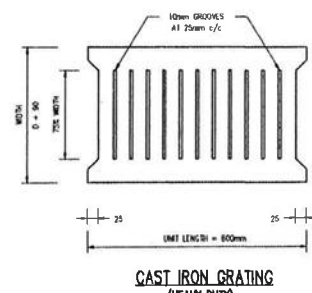


- NOTES:**
- EXPANSION JOINTS SHALL BE PROVIDED AT A MAXIMUM INTERVAL OF 10 METRES.
 - CAST IRON SHALL BE MADE IN LENGTH AND SHAPE TO SUIT SITE CONDITIONS.

PROPOSED CAST IRON GRATING FOR U-CHANNEL
(N.T.S.)



SUMP PIT DETAILS
(N.T.S.)

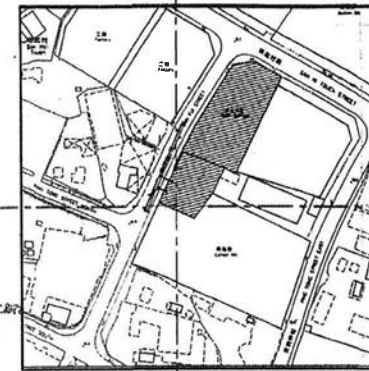


- NOTES:**
- ANY TYPE OF CONC. TO BE OF GRADE 20/20.
 - LEGEND OF '103' TO BE MARKED ON DRAINAGE LAYOUT PLAN.

CONNECTION DETAILS BETWEEN POINT DRAIN AND U-CHANNEL INSTALLATION
(N.T.S.)

- LEVELS OF PROPOSED MANHOLES AND PIPES**
- ALL LEVELS SHALL BE PRELIMINARY AND SUBJECT TO THE FINAL SURVEYING REPORT.
 - THE 100mm CAST IRON PIPE SHALL COMPLY WITH B.S. 5937.
 - THE LAYOUT OF CONCRETE BEDDING SHALL BE INDICATED FOR INFORMATION ONLY.
 - STRUCTURAL APPRAISAL REPORT FOR CONCRETE BEDDING HAS BEEN SUBMITTED TO EXISTING BUILDING DIVISION FOR PROCEEDING.
 - A SUMP PIT IS PROPOSED TO RECEIVE THE COLLECTED SURFACE RUNOFF FROM THE PROPOSED U-CHANNELS AND OPEN TRINCH, COLLECTED SURFACE RUNOFF WILL BE PUMPED TO 2 NOS. OF SEDIMENT PITS THROUGH A PROPOSED 100mm DRAIN PIPE AND THEN STORED IN 4 NOS. OF RECYCLE WATER TANKS FOR RECYCLE USE. THE CAPACITY OF SEDIMENT PITS AND RECYCLE WATER TANKS IS 300m³ WHICH HAS ADEQUATE CAPACITY FOR THE CALCULATED SURFACE RUNOFF.
 - THE DUSTILE IRON PIPE SHALL COMPLY WITH B.S. EN 545.

MATERIAL SCHEDULE



SITE LOCATION PLAN
(1:2000)

FOR B.D. APPROVAL

Craig K.T. Ma-Authored Person (Architect)

16 MAY 2004

Plan Approved
M.C. NG
Senior Building Surveyor
for BUILDING AUTHORITY
14 APR 2004

B.O.D. Ref. No.	
F.S.D. Ref. No.	
D.L.O. Ref. No.	
W.W.O. Ref. No.	
E.D. Ref. No.	
CAD. Ref. No. 0304001A	
Notes	
NOTES:	
1. ALL DIMENSIONS ARE IN METRES UNLESS OTHERWISE STATED.	
2. ALL LEVELS ARE IN METRES ABOVE PRINCIPAL DATUM (APD).	
3. ALL CONCRETE SHALL BE OF GRADE 20/20 UNLESS OTHERWISE STATED.	
4. ALL DIMENSIONS OF CONCRETE SHALL BE TO THE FACE UNLESS OTHERWISE STATED.	
5. ALL DIMENSIONS OF STEEL SHALL BE TO THE FACE UNLESS OTHERWISE STATED.	
6. ALL DIMENSIONS OF REINFORCEMENT SHALL BE TO THE FACE UNLESS OTHERWISE STATED.	
7. ALL DIMENSIONS OF CAST IRON SHALL BE TO THE FACE UNLESS OTHERWISE STATED.	
8. ALL DIMENSIONS OF STEEL SHALL BE TO THE FACE UNLESS OTHERWISE STATED.	
9. ALL DIMENSIONS OF REINFORCEMENT SHALL BE TO THE FACE UNLESS OTHERWISE STATED.	
10. ALL DIMENSIONS OF CAST IRON SHALL BE TO THE FACE UNLESS OTHERWISE STATED.	
11. ALL DIMENSIONS OF STEEL SHALL BE TO THE FACE UNLESS OTHERWISE STATED.	
12. ALL DIMENSIONS OF REINFORCEMENT SHALL BE TO THE FACE UNLESS OTHERWISE STATED.	
13. ALL DIMENSIONS OF CAST IRON SHALL BE TO THE FACE UNLESS OTHERWISE STATED.	
14. ALL DIMENSIONS OF STEEL SHALL BE TO THE FACE UNLESS OTHERWISE STATED.	
15. ALL DIMENSIONS OF REINFORCEMENT SHALL BE TO THE FACE UNLESS OTHERWISE STATED.	
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Our Ref SHTSSFS/4(v)/DEL/08
Date 8 December 2023

BY HAND and EMAIL

Secretary, Town Planning Board
c/o Planning Department
15/F North Point Government Offices
333 Java Road, North Point, HONG KONG

Dear Sir,

**SECTION 16 PLANNING APPLICATION
TOWN PLANNING ORDINANCE (CHAPTER 131)**

**RENEWAL OF PLANNING APPROVAL FOR
TEMPORARY CONCRETE BATCHING PLANT UNDER
APPLICATION NO. A/YL-TYST/1069 FOR A PERIOD OF 3 YEARS IN "INDUSTRIAL" ZONE,
LOTS 1290 S.C RP, 1293 S.C AND 2019 IN DD121 AND ADJOINING GOVERNMENT LAND,
SAN FUI STREET, TONG YAN SAN TSUEN, YUEN LONG**

We refer to the captioned Section 16 Planning Application submitted to the Town Planning Board ("TPB"/"BOARD") on 6 November 2023 and correspondence from Tuen Mun & Yuen Long West District Planning Office of Planning Department ("PlanD") providing comments from Transport Department ("TD").

Please find our responses below to TD's comments received on 7 December 2023:

TD's Comment (a):

The applicant should provide hourly trip generation and trip attraction of the proposed development.

Applicant's Response:

In accordance with the documentation submitted for the planning approval (A/YL-TYST/181) granted on 28 February 2003, the following table sets out the estimation of Peak Hour Traffic Movements when the Proposed Temporary Concrete Batching Plant is operating at its maximum capacity:

MAIN HONG KONG OFFICE :

2801, 28th Floor, 148 Electric Road, North Point, Hong Kong
Telephone : (852) 2521 2911 Facsimile : (852) 2521 6631
E-mail address : tcld@townland.com Website : www.townland.com

CHINA OFFICE :

Room 1111, Building 1, Yagang Industry and Trade Building, No.18 Fuan Avenue,
Hehua Community, Pinghu Street, Longgang District, Shenzhen, PRC. Postal Code 518111
Telephone : (86) 181 2417 9366
E-mail address : tcld@townland.com

INDIA OFFICE :

Coworking Space Ministry of New, 3rd Floor, Kitab Mahal,
192 Dr Dadabhai Naoroji Road, Azad Maidan, Fort, Mumbai, India
Telephone : (91) 9819919804
E-mail address : tcpl@townland.com

INDONESIA OFFICE :

Gedung Menara Anugrah, Lantai 21
Kantor Taman E.3.3, Jl. DR. Ide Anak Agung Gde Agung Lot.8.6-8.7
Kawasan Mega Kuningan, Jakarta Selatan 12950, Indonesia
Telephone : (62 21) 2941 0621
E-mail address : tcjkt@townland.com

ASSOCIATED COMPANIES :

TOWNLAND CONSULTANTS (INTERNATIONAL) LIMITED (International)
TOWNLAND CONSULTANTS (SHENZHEN) LIMITED (China)
TOWNLAND CONSULTANTS PVT. LIMITED (India)
PT TOWNLAND INTERNATIONAL (Indonesia)
HOWARD & SEDDON PARTNERSHIP (United Kingdom)



ISO 9001:2015
Certificate No.: CC844

Our Ref SHTSSFS/4(v)/DEL/08
Date 8 December 2023

Secretary, Town Planning Board

Vehicle Type	Peak Hour Traffic Movements (each direction)
Concrete mixer	19 vehicles/ hour
Aggregate delivery truck	8 vehicles/ hour
Cement tanker truck	2 vehicles /hour
Admixture truck	1 vehicle /hour
Total	30 vehicles/hour (equivalent to 60 pcu/hr)

The above maximum hourly traffic pattern reflects the worst case scenario where all of the above vehicles would enter the proposed plant within the same hour. Additionally, an ice truck and dump truck will make irregular trips to the plant, hence these are not included in the peak hour calculations. There is also 1 small private car parking space provided on site which will result in one trip in and out per day outside peak hours.

There has been no change to the above figures since the 2003 approval and there will be no change as a result of the current application for renewal of Planning Permission for a further term of 3 years.

TD's Comment (b):

The applicant should clarify whether there is traffic complaint/allegation due to the proposed development in the previous planning approval period and provide the details if so.

Applicant's Response:

There is **no** traffic complaint/allegation due to the proposed development in the previous planning approval period.

TD's Comment (c):

Layout plan with dimensions showing the run-in/out arrangement and its correlation with the public road should be provided.

Applicant's Response:

An updated Layout Plan is attached showing the dimension of the run-in/out and access to the Site from San Fui Street for consideration (**Attachment 1** refers).

TD's Comment (d):

Sufficient space should be provided within the application site for manoeuvring of vehicles. In addition, no parking, queuing and reverse movement of vehicles on public road are allowed.

Our Ref SHTSSFS/4(v)/DEL/08
Date 8 December 2023

Secretary, Town Planning Board

Applicant's Response:

In accordance with the planning condition (b) of the Approved Planning Application No. A/TL-TYST/1069, no vehicle is allowed to queue back to or reverse onto/from public road at any time during the planning approval period. As demonstrated in the Supplementary Planning Statement ("**SPS**") (**Para. 5.4.3** refers), the Applicant has complied with the planning condition (b) under previous approval. In addition, there is sufficient space provided within the Application Site for manoeuvring of vehicles as illustrated in the SPS (**Photos 5.2(a), (b) & (c)** refer).

Furthermore, the Applicant wishes to supplement the latest Fire Services Installation ("**FSI**") Certificate dated July 2023 and FSI Layout Plans for consideration. Please see **Attachment 2** and **Attachment 3**.

Should there be any queries, please do not hesitate to contact the undersigned or Mr. Kelvin Chung.

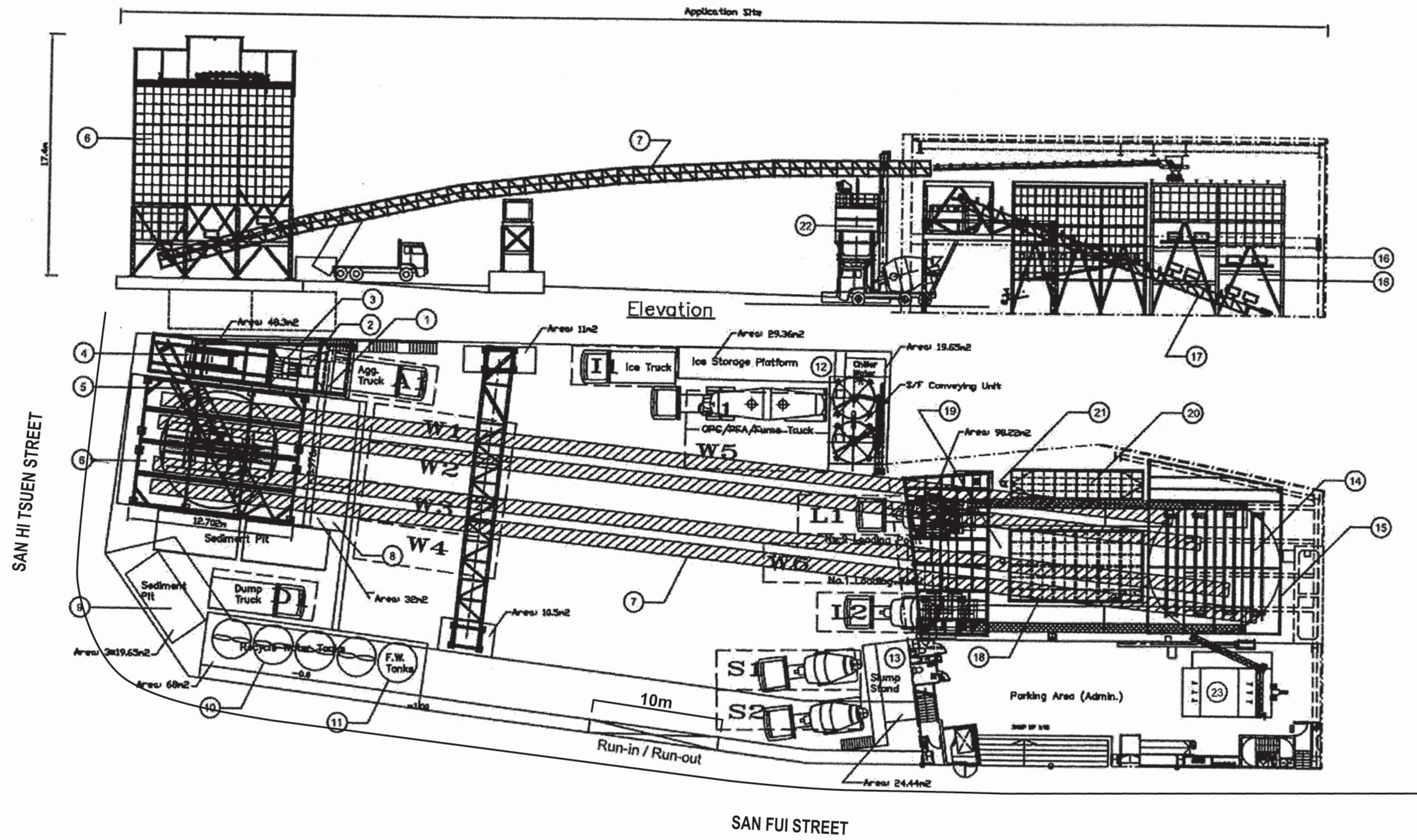
Yours faithfully
FOR AND ON BEHALF OF
TOWNLAND CONSULTANTS LIMITED



Delius Wong
Associate / Project & Quality Manager

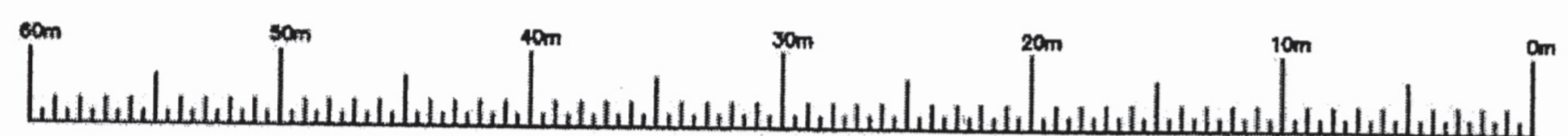
DEL/KELVINHC

Enc Updated Layout Plan & FSI Certificate & Layout



- | | | |
|----------------------------|-----------------------------|----------------------------------|
| 1. 25T Underground Hopper | 13. Slump Stand | L1-2. Space for Concrete Loading |
| 2. BC1 Conveyor | 14. BC8-BC11 Conveyor | W1-5. Waiting space |
| 3. Buckel Elevator | 15. 300T Aggregate O.H Bin | S1-2. Space for Slump test |
| 4. BC2 Conveyor | 16. Aggregate Weigh Hopper | A1. Space for aggregate Truck |
| 5. BC3 Shuttle Conveyor | 17. BC12-BC13 Conveyor | C1. Space for Cement Truck |
| 6. 1000T Aggregate Storage | 18. 300T Cement Tank | I1. Space for Ice Truck |
| 7. BC4-BC7 Conveyor | 19. Cement Screw Conveyor | D1. Space for Dump Truck |
| 8. Washout Pit | 20. 120T PFA Tank | |
| 9. Sediment Pit | 21. PFA Screw Conveyor | |
| 10. Recycle Water Tank | 22. S/F Conveying Unit | |
| 11. Fresh Water Tank | 23. Tube ice conveying unit | |
| 12. Block Ice Storage | | |

Layout Plan



FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

消防(裝置及設備)規例

(Regulation 9(1))

(第九條(1)款)

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

FSD Ref.:
消防處檔號

Serial Number

10059 628143

Name of Client 顧客姓名

Hong Kong Concrete Company Limited

Address 地址

DD121 Lot2019 Tong Yan Sun Tsuen, Yuen Long, NT

Type of Building 樓宇類型: ☒ Industrial 工業 ☐ Commercial 商業 ☐ Domestic 住宅 ☐ Composite 綜合 ☐ Licensed premises 持牌處所 ☐ Institutional 社團**Part 1 Annual Maintenance ONLY**
第一部 只適用於年檢事項

In accordance with Regulation 8(b) of the Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)	Next Due Date 下次到期日 (DD/MM/YYYY)

Part 2 第二部 Installation / Modification / Repair / Inspection works 裝置/改裝/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)
13	Fire Alarm System	G/F	Replace 2 sets x batter for FS Panel	Conforms with FSD requirement	14/07/2023
13	Fire Alarm System	G/F 洗車區	Replace 1 no. x breakglass unit	Conforms with FSD requirement	14/07/2023

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述

Remark 備註

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈的最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

如證書涉及年檢事項, 應張貼於大廈或處所當眼處以供消防處人員查核**This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.**

Authorized

Signature:

受權人簽署

Name:

姓名

Ho Chi Kee

FSD/RC No.:

消防處註冊號碼

Company Name:

公司名稱

RC1 / 0059 RC2 / 0087

Wing Kai Engineering Co.

Telephone:

聯絡電話

27561728

Date:

日期

14/07/2023

For FSD
use only

Inspected

Key-in

Verified



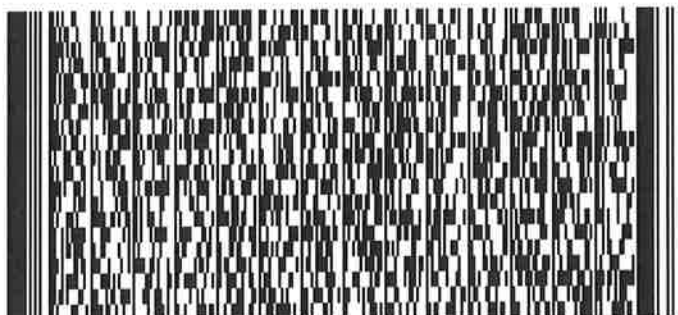
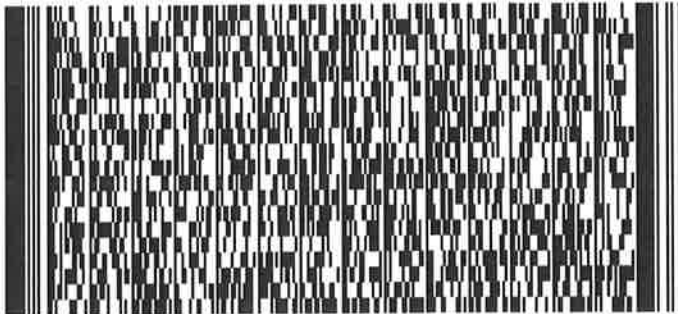
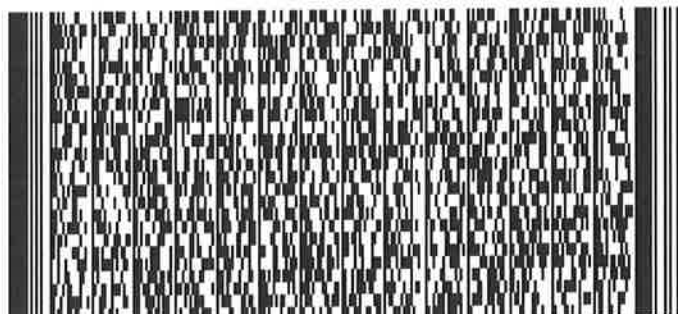
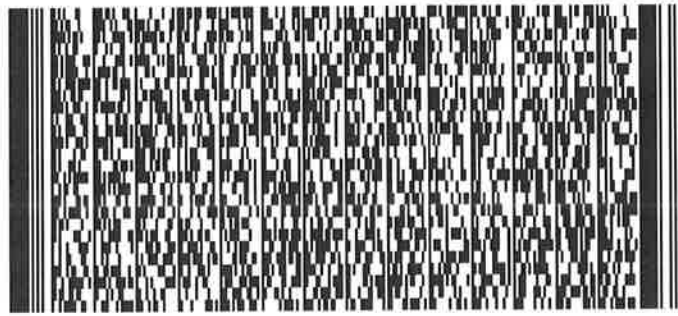
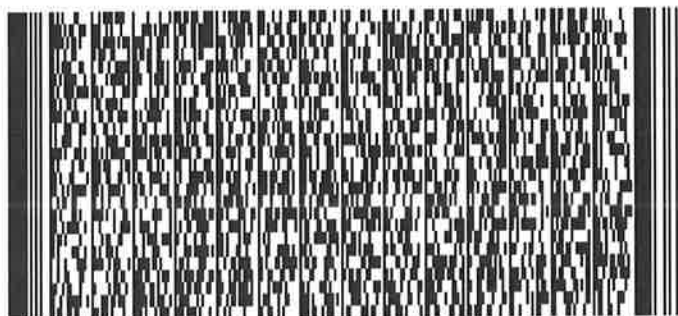
Serial Number

10059628143

Name of Client 顧客姓名

Hong Kong Concrete Company Limited

Part 2 第二部 Installation / Modification / Repair / Inspection works 裝置/改裝/修理/檢查工作					
Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)
16	FH / HR System	G/F	Detail inspected 1no. x F.S. inlet	Conforms with FSD requirement	14/07/2023
28	Sprinkler System	G/F	Detail inspected Spr. control valve set c/w Spr. inlet	Conforms with FSD requirement	14/07/2023
28	Sprinkler System	G/F	Replace 1 no. x water alarm gong	Conforms with FSD requirement	14/07/2023

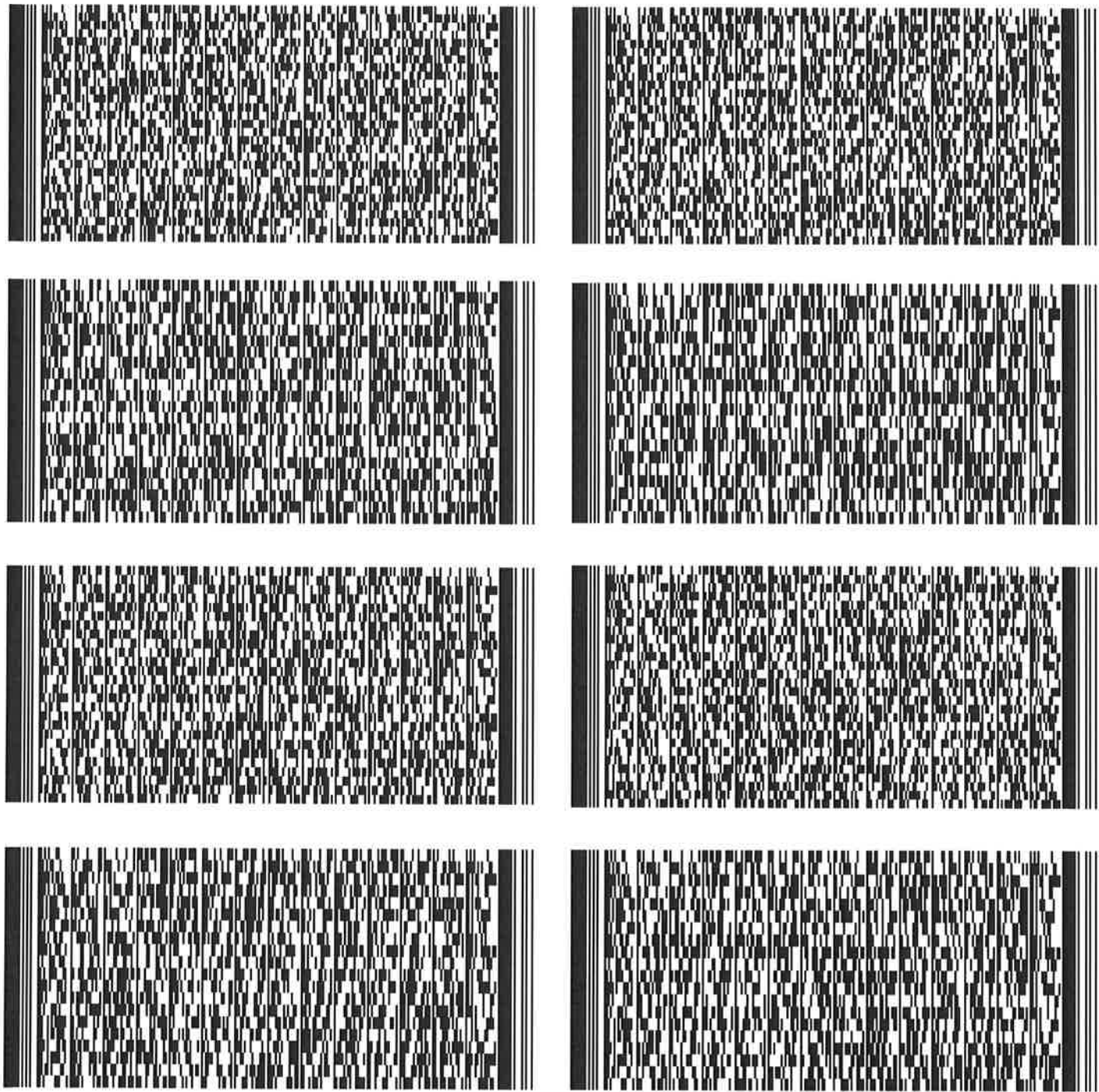


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Hong Kong Concrete Company Limited



FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

消防(裝置及設備)規例

(Regulation 9(1))

(第九條(1)款)

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

FSD Ref.:

消防處檔號

Serial Number

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28	Sprinkler System	G/F Sprinkler Pump Room	Replace 1 no. x direct reading flow meter	Conforms with FSD requirement	14/07/2023
28	Sprinkler System	G/F Sprinkler Pump No.1&2	Replace 3 no. x pressure gauge Replace 2 no. x pressure switch	Conforms with FSD requirement	14/07/2023

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述

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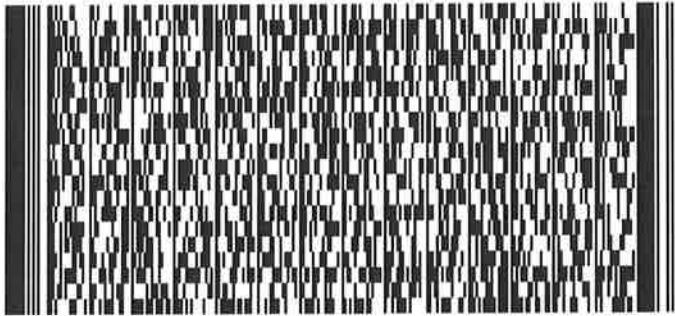
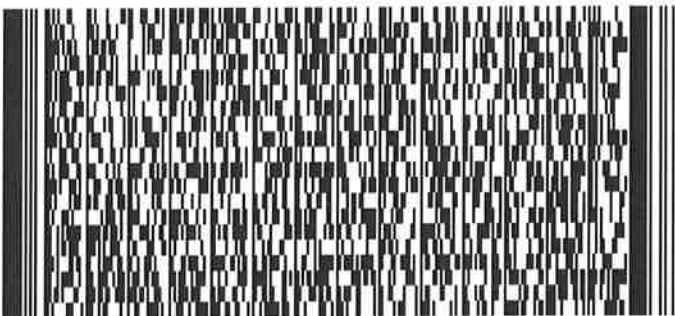
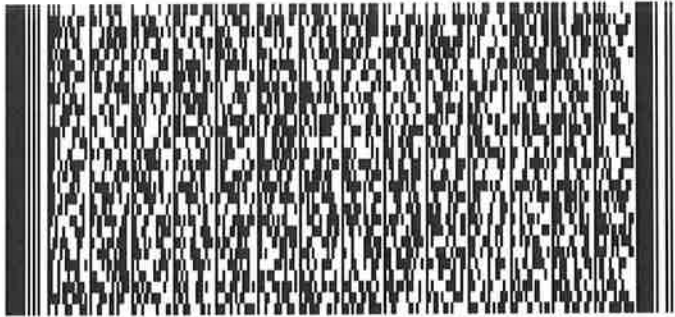
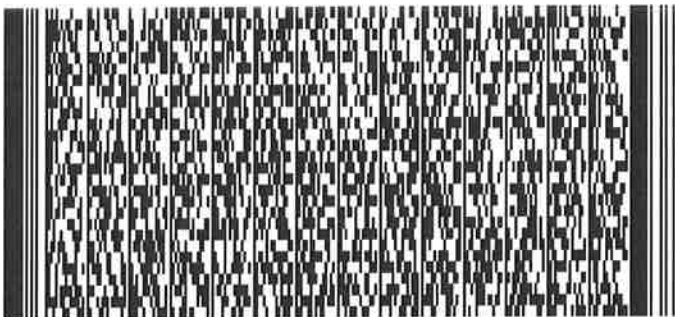
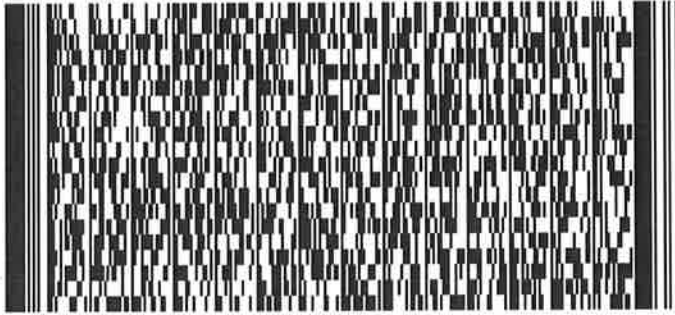
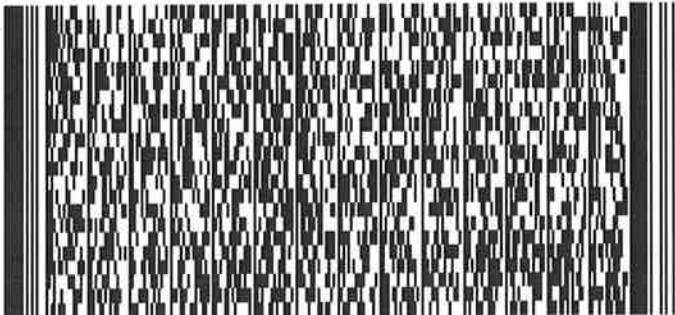
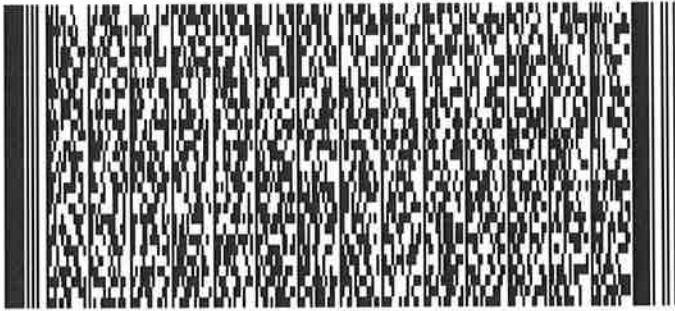
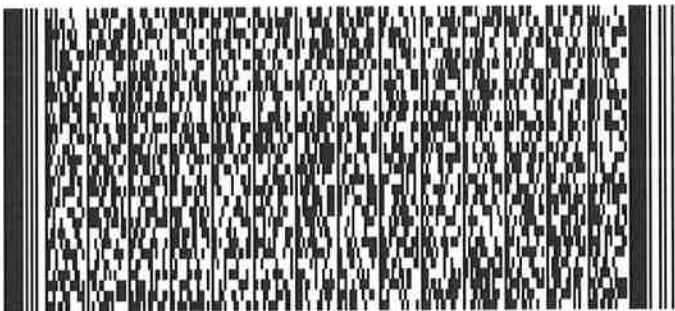


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Hong Kong Concrete Company Limited

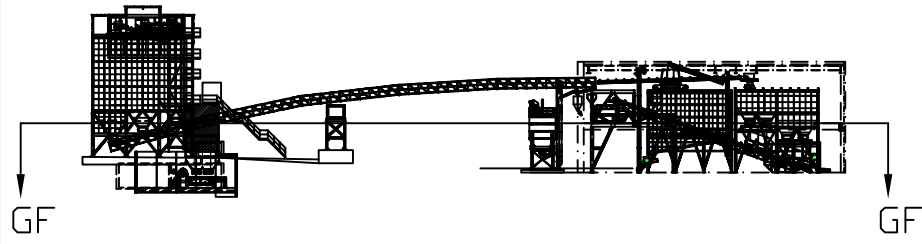
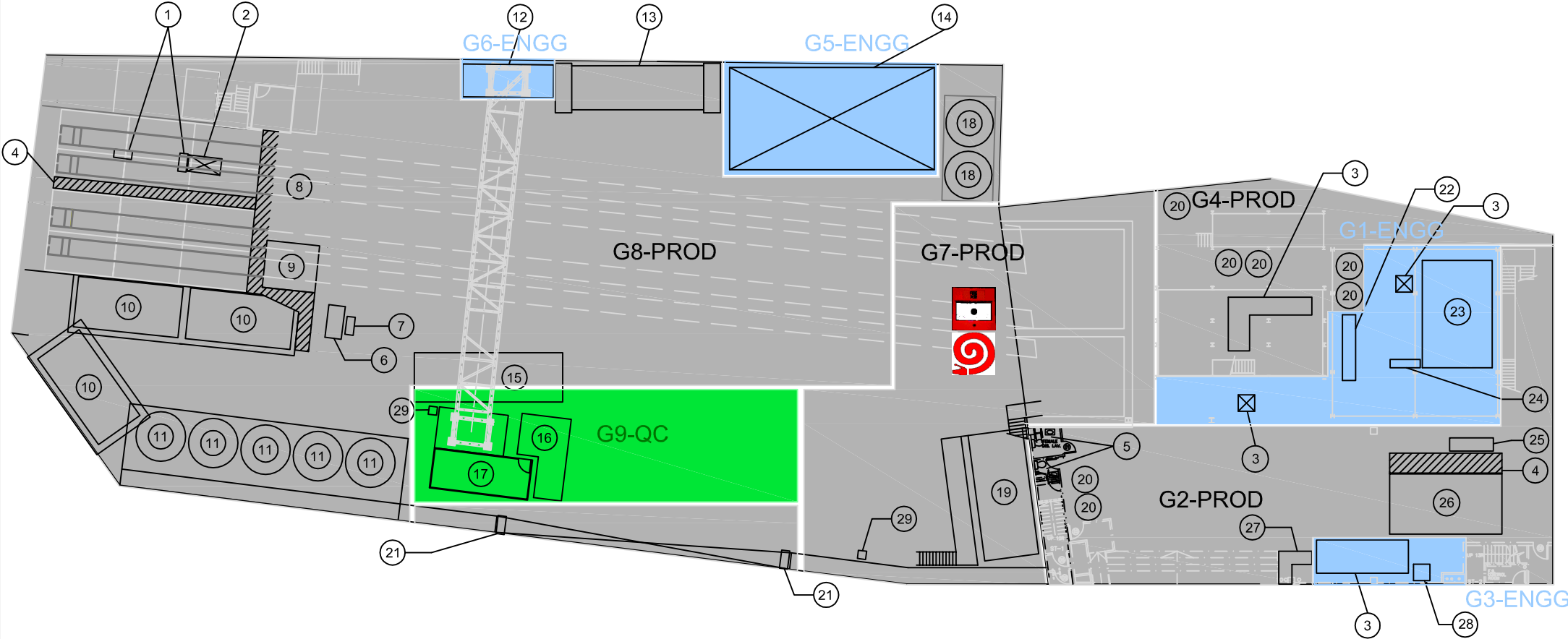


- G1-ENGG 陳偉新
- G2-PROD 陳錦祥
- G3-ENGG 陳偉新
- G4-PROD 陳錦祥
- G5-ENGG 陳偉新
- G6-ENGG 陳偉新
- G7-PROD 陳樹法
- G8-PROD 梁偉旗
- G9-QC 巫來有

LEGEND:

- 生產部運作區
- 工程部運作區
- 技術部運作區

File: 元朗廠平面圖：GF部份
Drawn by: BenSiu
Date: 29,Nov,2017



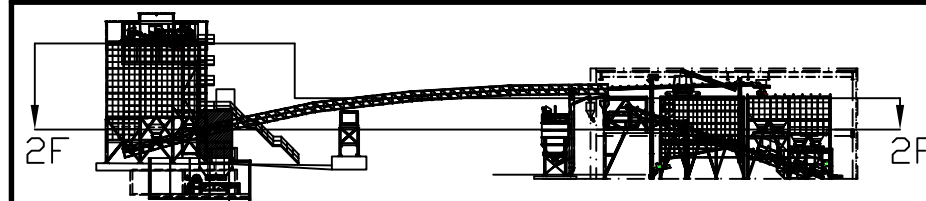
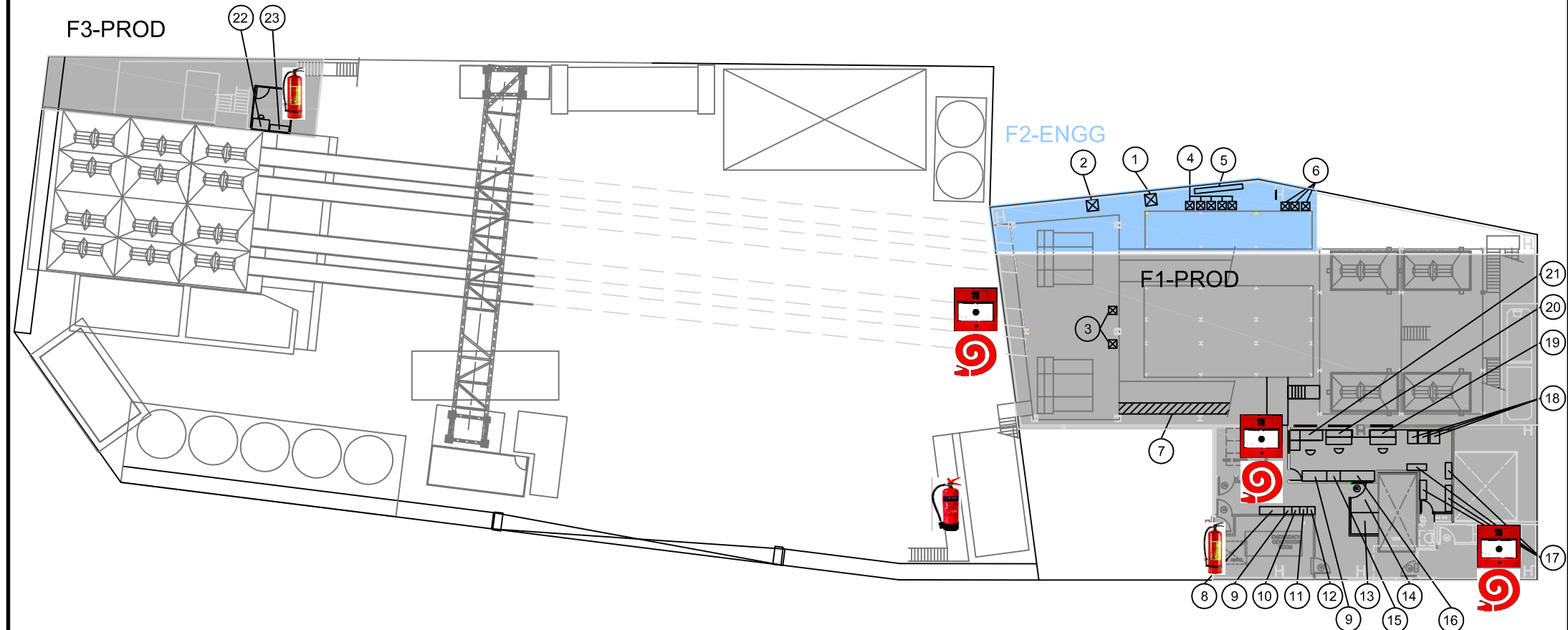
- | | | | |
|----------|---------------|---------------|---------|
| 1. 空氣壓縮機 | 9. 曬泥池 | 17. 技術部及樣本儲存處 | 25. 碎冰機 |
| 2. 樣本箱 | 10. 沉澱池 | 18. 硅粉缸 | 26. 冰倉 |
| 3. 備品存放處 | 11. 水缸 | 19. 塌落度監測臺 | 27. 花槽 |
| 4. 行人路 | 12. 混凝土結構 | 20. 外加劑缸 | 28. 油桶 |
| 5. 廁所 | 13. 臨時儲冰處 | 21. 閘門 | 29. 垃圾桶 |
| 6. 濾水機 | 14. 運帶及備品存放處 | 22. 車床 | |
| 7. 水槽 | 15. 鏟車泊位 | 23. 工程部 | |
| 8. 洗車池 | 16. 混凝土現場測試位置 | 24. 工作桌 | |

F1-PROD 楊國龍
F2-ENGG 陳偉新
F3-PROD 梁偉旗

LEGEND:

■ 生產部運作區
■ 工程部運作區
■ 技術部運作區

File: 元朗廠平面圖：2F部份
Drawn by: BenSiu
Date: 29,Nov,2017



1. 備品存放處
2. 梯子
3. 水喉位
4. 螺絲桶
5. 硅粉系統控制箱
6. 手拉駁落
7. 行人路
8. 員工櫃

9. 文件櫃
10. 飲用水樽架
11. 工具架
12. 樣板架
13. 伺服器房
14. 廠長室
15. 雪櫃
16. 執飛櫃

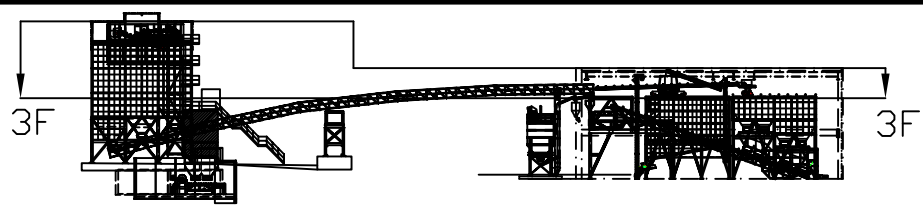
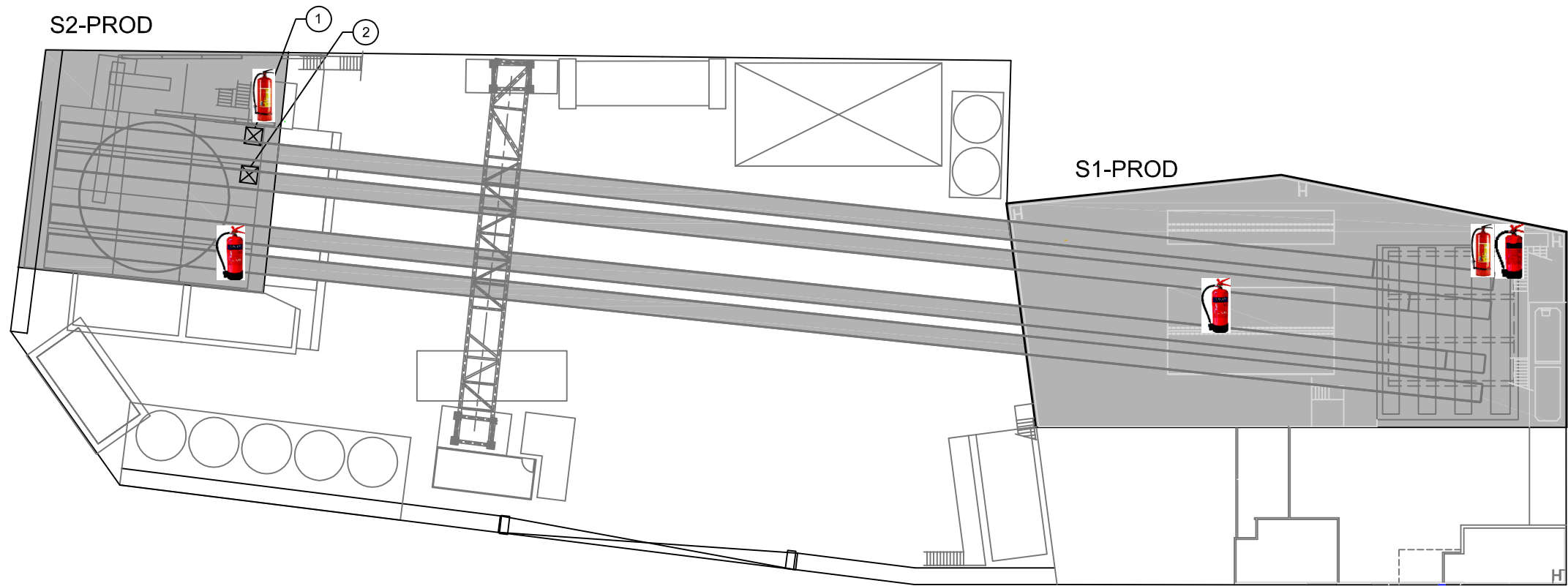
17. 系統控制箱
18. 伺服器
19. B磅控制檯
20. A磅控制檯
21. 出飛檯
22. 桌子
23. 石料上料系統控制櫃

S1-PROD 楊發超
S2-PROD 梁偉旗

LEGEND:

- 生產部運作區
- 工程部運作區
- 技術部運作區

File: 元朗廠平面圖：3F部份
Drawn by: BenSiu
Date: 29,Nov,2017



1. 工具櫃

2. 備品存放處



Our Ref SHTSSFS/4(v)/DEL/10
Date 18 December 2023

BY HAND and EMAIL

Secretary, Town Planning Board
c/o Planning Department
15/F North Point Government Offices
333 Java Road, North Point, HONG KONG

Dear Sir,

**SECTION 16 PLANNING APPLICATION
TOWN PLANNING ORDINANCE (CHAPTER 131)**

**RENEWAL OF PLANNING APPROVAL FOR
TEMPORARY CONCRETE BATCHING PLANT UNDER
APPLICATION NO. A/YL-TYST/1069 FOR A PERIOD OF 3 YEARS IN "INDUSTRIAL" ZONE,
LOTS 1290 S.C RP, 1293 S.C AND 2019 IN DD121 AND ADJOINING GOVERNMENT LAND,
SAN FUI STREET, TONG YAN SAN TSUEN, YUEN LONG**

This letter supercedes our letter dated 14 December 2023 (ref: SHTSSFS/4(v)/DEL/09) which was emailed to the TPB the same date.

We refer to the captioned Section 16 Planning Application submitted to the Town Planning Board ("TPB"/"BOARD") on 6 November 2023 and correspondence from Tuen Mun & Yuen Long West District Planning Office of Planning Department ("PlanD") providing comments from Transport Department ("TD").

Please find our responses below to TD's comments received on 8 December 2023:

TD's Comment (1):

60pcu/hr is a considerable amount of traffic generation. The applicant should provide review on the traffic impact induced to the traffic network.

Applicant's Response:

As indicated in our Further Information ("FI") submission dated 8 December 2023 in response to TD's comment (a), the 60pcu/hr trip generation reflects the worst case scenario where all of the vehicles including Concrete Mixer, Aggregate Delivery Trucks, Cement Tanker Trucks and Admixture Truck would enter and leave the Plant within the same hour.

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Kantor Taman E.3.3, Jl. DR. Ide Anak Agung Gde Agung Lot.8.6-8.7
Kawasan Mega Kuningan, Jakarta Selatan 12950, Indonesia
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E-mail address : tcjkt@townland.com

ASSOCIATED COMPANIES :

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TOWNLAND CONSULTANTS (SHENZHEN) LIMITED (China)

TOWNLAND CONSULTANTS PVT. LIMITED (India)

PT TOWNLAND INTERNATIONAL (Indonesia)

HOWARD & SEDDON PARTNERSHIP (United Kingdom)



ISO 9001: 2015
Certificate No.: CC844

Our Ref SHTSSFS/4(v)/DEL/10
Date 18 December 2023

Secretary, Town Planning Board

According to the Approved Traffic Impact Assessment (“TIA”) under Planning Application (TPB Ref: A/YL-TYST/181), the number of trips generated by a concrete batching plant is dependent on the demand for concrete and would be controlled by its production rate. Please note that there is no change to the concrete production rate of 130m³/hr and a concrete mixer capacity of 7m³ as stated in the Approved TIA. The maximum number of concrete mixers generated at the Site is maintained at 19 based on a maximum concrete production rate of 130m³/hour and a concrete mixer capacity of 7m³ (130/7 = 19). The numbers of Aggregate delivery trucks (8), Cement tanker trucks (2) and Admixture truck (1) reflected in the previous FI are also based on the peak demand and are reflected in the Approved TIA. Given there is no change to the production volume estimated since the Approved TIA, it is not expected to generate adverse traffic impact since the existing use of the plant in 1998. In addition, there has been no complaints received from the public or TD during the current approval period of 3 years.

To support the above statement, we have prepared two (2) video clips (each 15-minute video clip split into 3-parts due to file sizes) of vehicles coming in/out of the Plant at the junction of San Fui Street and San Hi Tsuen Street. The video clips were taken during the peak hours of 15 December 2023 at approximately 6:00 pm and 16 December 2023 at approximately 8:30 am. The video demonstrated that there is no traffic impact induced to the traffic network due to the operation of the existing concrete batching plant. The soft copies of the video clips are uploaded to the SharePoint link provided for your review.

Furthermore, the Applicant wishes to supplement further Fire Services Installation (“FSI”) Certificates dated 30 April 2023 and 14 December 2023 for your consideration. Please see **Attachment 1**.

Should there be any queries, please do not hesitate to contact the undersigned or Mr. Kelvin Chung.

Yours faithfully,
FOR AND ON BEHALF OF
TOWNLAND CONSULTANTS LIMITED



Delius Wong
Associate / Project & Quality Manager

DEL/KELVINHC

Enc FSI Certificates

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

消防(裝置及設備)規例

(Regulation 9(1))

(第九條(1)款)

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

A 9100526

FSD Ref.:

消防處檔號

Name of Client:

顧客姓名

Hong Kong Concrete Company Limited

Name of Building:

樓宇名稱

Street No./Town Lot:

門牌號數/市地段

DD 121 Lot 2019

Street/Road/Estate Name:

街道/屋苑名稱

Tong Yan Sun Tsuen

Block:

座

District:

分區

Yuen Long

Area:

地區

☐ HK

香港

☐ K

九龍

☐ NT

新界

Type of Building 樓宇類型:

☐ Industrial 工業☐ Commercial 商業☐ Domestic 住宅☐ Composite 綜合☐ Licensed premises 持牌處所☐ Institutional 社團Part 1 Annual Inspection ONLY
第一部 只適用於年檢事項

In accordance with Regulation 8(b) of Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款，擁有裝置在任何處所內的任何消防裝置或設備的人，須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)	Next Due Date 下次到期日(DD/MM/YY)
24	7 no x 5kg CO2 gas	G/F-M/F, R/F	Conforms with FSD requirements	25/04/2023	24/04/2024
	7 no x 5kg dry powder		Defects see part 3		
25	3 no x sand bucket	G/F-M/F, R/F	Conforms with FSD requirements	25/04/2023	24/04/2024
			Defects see part 3		

Part 2 第二部 Installation / Modification / Repair / Inspection work 裝置/改裝/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)
			-----NA-----		

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述
24	1 no x 5kg CO2 gas	1/F	over 5 years	Need to replace
	2 no x 5kg dry powder	2/F	over 5 years	Need to replace
	1 no x 5kg dry powder	1/F	Missed	Need to install
25	1 no x sand bucket	G/F	Missed	Need to install

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗，證明性能良好，符合消防處處長不時公佈的最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格，損壞事項列於第三部。

如證書涉及年檢事項，應張貼於大廈或處所當眼處以供消防處人員查核

This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

Authorized Signature:

受權人簽署

Name:

姓名

FSD/RC No.:

消防處註冊號碼

Company Name:

公司名稱

Telephone:

聯絡電話

Date:

日期

Ho Chi Kee

RC1/59 RC2/87 RC3/81

Wing Kai Engineering Co.

27561728

30/04/2023

For FSD use only:

Inspected

Key-in

Verified

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

FSD Ref.:
消防處檔號

消防(裝置及設備)規例

(Regulation 9(1))

(第九條(1)款)

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

A 9317593

Name of Client:

顧客姓名

Hong Kong Concrete Company Limited

Name of Building:

樓宇名稱

Street No./Town Lot:

門牌號數/市地段

DD 121 Lot 2019

Street/Road/Estate Name:

街道/屋苑名稱

Tong Yan Sun Tsuen

Block:

座

District:

分區

Yuen Long

Area:

地區

☐ HK

香港

☐ K

九龍

☒ NT

新界

Type of Building 樓宇類型: ☐ Industrial 工業☐ Commercial 商業☐ Domestic 住宅☐ Composite 綜合☐ Licensed premises 持牌處所☐ Institutional 社團Part 1 Annual Inspection ONLY
第一部 只適用於年檢事項

In accordance with Regulation 8(b) of Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)	Next Due Date 下次到期日(DD/MM/YY)
			-----NA-----		

Part 2 第二部 Installation / Modification / Repair / Inspection work 裝置/改裝/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)
24	Portable fire extinguisher	1/F	Replace 1 no x 5kg CO2 gas	Conforms with FSD requirements	14/12/2023
		2/F	Replace 2 no x 5kg dry powder		
25	Portable Hand-operated Approved Appliance	1/F	Replace 1 no x 5kg dry powder	Conforms with FSD requirements	14/12/2023
		G/F	Replace 1 no x sand bucket		

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述
			-----NA-----	

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈的最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

如證書涉及年檢事項, 應張貼於大廈或處所當眼處以供消防處人員查核

This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

Authorized Signature:
授權人簽署

Name:

Ho Chi Kee

FSD/RC No.:

消防處註冊號碼

RC1/59 RC2/87 RC3/87

Company Name:
公司名稱

Wing Kai Engineering

Telephone:
聯絡電話

27561728

Date:
日期

14/12/2023

For FSD use only:

Inspected

Key-in

Verified

Our Ref SHTSSFS/4(v)/DEL/12
Date 15 January 2024

BY HAND and EMAIL

Secretary, Town Planning Board
c/o Planning Department
15/F North Point Government Offices
333 Java Road, North Point, HONG KONG

Dear Sir,

**SECTION 16 PLANNING APPLICATION
TOWN PLANNING ORDINANCE (CHAPTER 131)**

**RENEWAL OF PLANNING APPROVAL FOR
TEMPORARY CONCRETE BATCHING PLANT UNDER
APPLICATION NO. A/YL-TYST/1069 FOR A PERIOD OF 3 YEARS IN "INDUSTRIAL" ZONE,
LOTS 1290 S.C RP, 1293 S.C AND 2019 IN DD121 AND ADJOINING GOVERNMENT LAND,
SAN FUI STREET, TONG YAN SAN TSUEN, YUEN LONG**

We refer to the captioned Section 16 Planning Application submitted to the Town Planning Board ("TPB"/"BOARD") on 6 November 2023 and correspondence from Tuen Mun & Yuen Long West District Planning Office of Planning Department ("PlanD") providing comments from Transport Department ("TD") on the submitted Further Information (2).

Please find our responses below to TD's comments received on 19 December 2023:

- Though the applicant stated that there was no change since 1998, but the traffic situation at the concerned area may change. The applicant shall review the updated traffic situation.
- The applicant shall provide traffic assessment at San Hi Tsuen St/CPR – Ping Shan section junction with the additional 60 pcu/hr.
- The video shall cover San Hi Tsuen St/CPR – Ping Shan section junction.
- The angle of the video taken is too narrow and show insufficient information for review.
- The video duration is too short. The video should be at least 2 hours long at peak hours.

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TOWNLAND CONSULTANTS PVT. LIMITED (India)
PT TOWNLAND INTERNATIONAL (Indonesia)
HOWARD & SEDDON PARTNERSHIP (United Kingdom)



ISO 9001:2015
Certificate No.: CC844

Our Ref SHTSSFS/4(v)/DEL/12
Date 15 January 2024

Secretary, Town Planning Board

Applicant's Response:

To address TD's concerns with respect to the traffic conditions at the concerned area, a total of twelve (12) video clips have been further prepared at three (3) different locations during peak hours (i.e. 7am – 9am and 5pm – 7pm) on 4 & 5 January 2024 to demonstrate the traffic flow. These locations include:

- Run in/out of the Site at San Fui Street (Junction 1);
- Junction of San Fui Street and San Hi Tsuen Street (Junction 2); and
- Junction of San Hi Tsuen Street and Castle Peak Road – Ping Shan (Junction 3).

Please find **Attachment 1** with hyperlinks for the video clips for your review. A summary table of vehicles entering and leaving the Site and the highest Traffic Movements of the Site during the peak hours of the two sample days in January 2024 could be referred in **Attachment 2**.

As demonstrated, the vehicles entering and leaving the Site including Concrete Mixer Truck, Aggregate Delivery Trucks, Cement Tanker Trucks and Admixture Truck do not cause any adverse impact on the traffic flow at the specific location mentioned above. Furthermore, as stated in our Supplementary Information Paper submitted on 18 December 2023, the number of trips generated by a concrete batching plant is dependent of the demand for concrete and would be controlled by its production rate. Hence, there is potential of a maximum 30 vehicles (equivalent to 60pcu/hour) of Peak Hour Traffic Movements as indicated in the Approved Traffic Impact Assessment ("TIA") under Planning Application (TPB Ref: A/YL-TYST/181). Given there is no change to the production volume estimated since the Approved TIA, it is not expected to generate further traffic impact as demonstrated above.

The Applicant wishes to supplement the following points:

- A majority of the Plants' jobs (approx. 90%) are Government projects including public housings developments in the Northern Metropolis ("NM"). A steady and on-demand supply of locally produced concrete is crucial for construction of these targeted housing developments and infrastructures to meet the Government's current Policy for Initiatives to increase housing supply. In line with this Policy, the Applicant wishes to continue supply of concrete and support the public developments in Hong Kong to avoid delay and adverse impact to Government implementation programmes.
- The Applicant has made considerable and strenuous efforts in close liaison with relevant Government Departments to address their concerns and to ensure that impacts, if any, are minimised or maintained at an acceptable level.
- With the expiry of the Temporary Renewal of the Planning Application is fast approaching (i.e. 17.2.2024), the Applicant urge the Board to give favourable consideration to allow continuous operation of the Temporary Concrete Batching Plant to avoid disruption of concrete supply to ongoing construction developments.

In addition, please find the Fire Services Installation ("FSI") Certificates dated 25 April 2023 and 30 April 2023 for your consideration. Please see **Attachment 3**.

Our Ref SHTSSFS/4(v)/DEL/12
Date 15 January 2024

Secretary, Town Planning Board

Should there be any queries, please do not hesitate to contact the undersigned or Mr. Kelvin Chung.

Yours faithfully,
FOR AND ON BEHALF OF
TOWNLAND CONSULTANTS LIMITED



Delius Wong
Associate / Project & Quality Manager

DEL/KELVINHC

Enc Hyperlinks for Video Clips
 Summary Table of Vehicles Run In/out of the Site
 FSI Certificates

Attachment 1

4/1/2024

Junction 1 (Morning)

Junction 2 (Morning)

Junction 3 (Morning)

Junction 1 (Afternoon)

Junction 2 (Afternoon)

Junction 3 (Afternoon)

5/1/2024

Junction 1 (Morning)

Junction 2 (Morning)

Junction 3 (Morning)

Junction 1 (Afternoon)

Junction 2 (Afternoon)

Junction 3 (Afternoon)

Hong Kong Concrete Run In/out Table

04 January 2024 (7am – 9am)		
Vehicle Type	Peak Hour Traffic Movements (each direction)	
	7am – 8am (vehicles/hour)	8am – 9am (vehicles/hour)
Concreate mixer	1	4
Aggregate delivery truck	0	3
Cement tanker truck	0	0
Admixture truck	0	0
Total	1 (equivalent to 2pcu/hour)	7 (equivalent to 14pcu/hour)
04 January 2024 (5pm – 7pm)		
Vehicle Type	Peak Hour Traffic Movements (each direction)	
	5pm – 6pm (vehicles/hour)	6pm – 7pm (vehicles/hour)
Concreate mixer	5	6
Aggregate delivery truck	2	0
Cement tanker truck	1	0
Admixture truck	0	0
Total	8 (equivalent to 16pcu/hour)	6 (equivalent to 12pcu/hour)
05 January 2024 (7am – 9am)		
Vehicle Type	Peak Hour Traffic Movements (each direction)	
	7am – 8am (vehicles/hour)	8am – 9am (vehicles/hour)
Concreate mixer	7	15
Aggregate delivery truck	0	4
Cement tanker truck	0	2
Admixture truck	0	0
Total	7 (equivalent to 14pcu/hour)	21 (equivalent to 42pcu/hour)
05 January 2024 (5pm – 7pm)		
Vehicle Type	Peak Hour Traffic Movements (each direction)	
	5pm – 6pm (vehicles/hour)	6pm – 7pm (vehicles/hour)
Concreate mixer	5	1
Aggregate delivery truck	1	0
Cement tanker truck	0	0
Admixture truck	0	0
Total	6 (equivalent to 12pcu/hour)	1 (equivalent to 2pcu/hour)

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

消防(裝置及設備)規例

(Regulation 9(1))

(第九條(1)款)

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

FSD Ref.:

消防處檔號

Serial Number

10059 628132

Name of Client 顧客姓名

Hong Kong Concrete Company Limited

Address 地址

DD121 Lot2019 Tong Yan Sun Tsuen, Yuen Long, NT



Type of Building 樓宇類型:

☐ Industrial 工業☐ Commercial 商業☒ Domestic 住宅☐ Composite 綜合☐ Licensed premises 持牌處所☐ Institutional 社團

Part 1 Annual Maintenance ONLY

第一部 只適用於年檢事項

In accordance with Regulation 8(b) of the Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)	Next Due Date 下次到期日 (DD/MM/YYYY)
10	Emergency Generators	M/F	Conforms with FSD requirement	25/04/2023	24/04/2024
11	Emergency Lighting	G/F - M/F, R/F	Conforms with FSD requirement	25/04/2023	24/04/2024

Part 2 第二部 Installation / Modification / Repair / Inspection works 裝置/改裝/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)

Part 3 第三部 Defects 損壞事項

Code 編碼 (5)	Type of FSI 裝置類型	Location(s)位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述
13	Fire Alarm System	G/F	FS panel battery x 2 set Malfunction	need to replace
13	Fire Alarm System	G/F 洗車區	Breakglass unit x 1 no. Malfunction	need to replace

Remark 備註

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈的最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

如證書涉及年檢事項, 應張貼於大廈或處所當眼處以供消防處人員查核

This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

Authorized

Signature:

受權人簽署

Name:

姓名

Ho Chi Kee

FSD/RC No.:

消防處註冊號碼

RC1 / 0059 RC2 / 0087

Company Name:

公司名稱

Wing Kai Engineering Co.

Telephone:

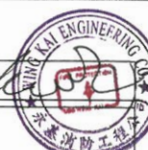
聯絡電話

27561728

Date:

日期

30/04/2023



For FSD use only

Inspected

Key-in

Verified



Serial Number

10059628132

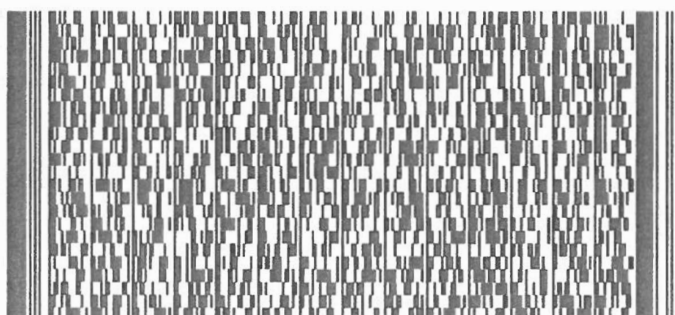
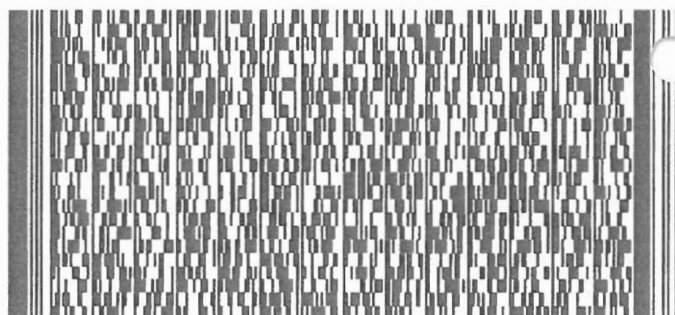
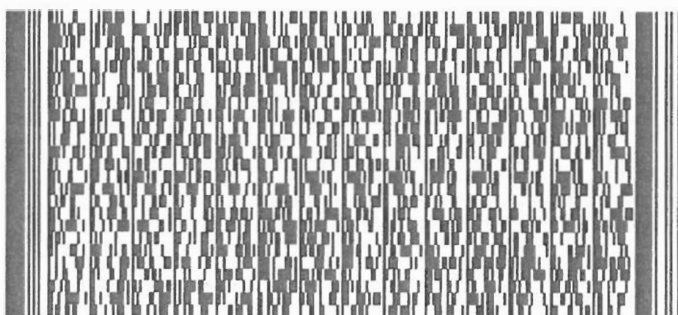
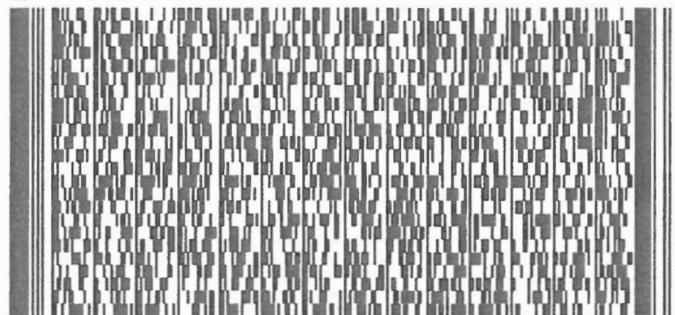
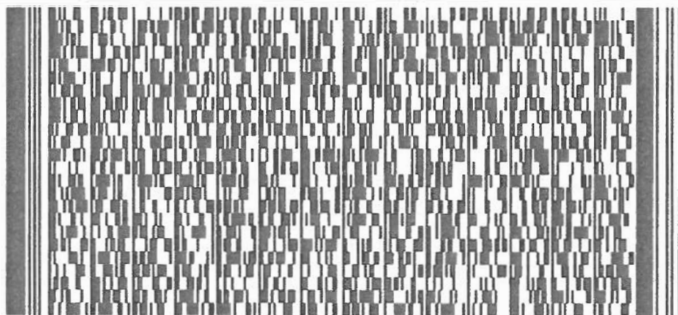
Name of Client 顧客姓名

Hong Kong Concrete Company Limited

Part 1 Annual Maintenance ONLY**第一部 只適用於年檢事項**

In accordance with Regulation 8(b) of the Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)	Next Due Date 下次到期日 (DD/MM/YYYY)
12	Exit Signs	G/F - M/F, R/F	Conforms with FSD requirement	25/04/2023	24/04/2024
13	Fire Alarm System	G/F - M/F, R/F	Defects see part 3	25/04/2023	24/04/2024
15	Fire Detection System	G/F - M/F, R/F	Conforms with FSD requirement	25/04/2023	24/04/2024
16	FH / HR System	G/F - M/F, R/F	Defects see part 3	25/04/2023	24/04/2024
28	Sprinkler System	G/F - M/F, R/F	Defects see part 3	25/04/2023	24/04/2024



Serial Number

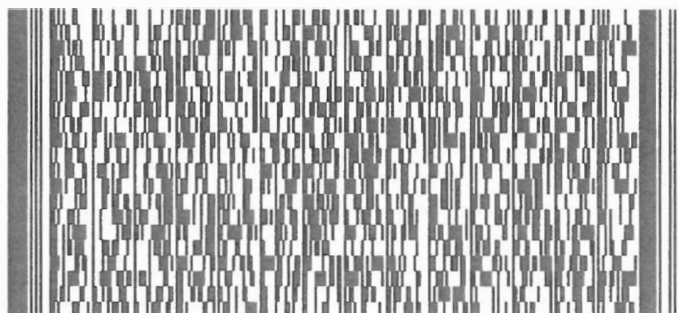
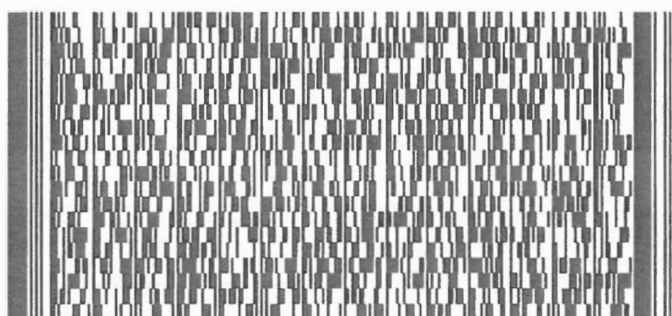
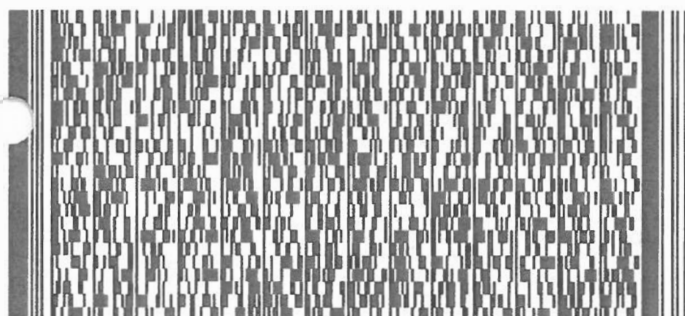
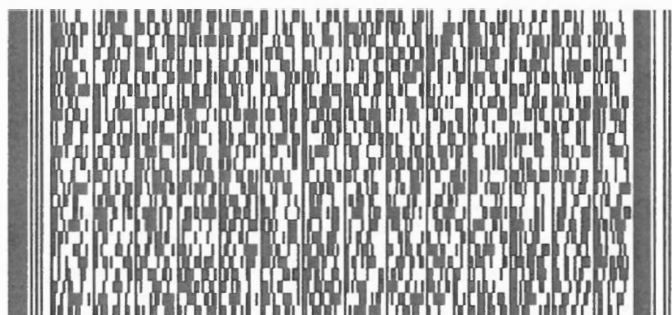
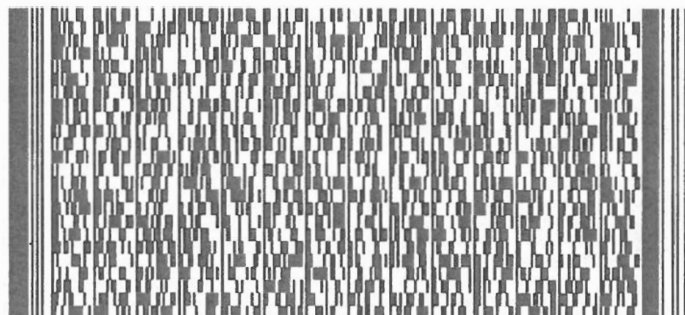
10059628132

Name of Client 顧客姓名

Hong Kong Concrete Company Limited

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述
16	FH / HR System	G/F	FS inlet x 1 - over 4 years without detail inspected	need to inspect
28	Sprinkler System	G/F	Spr. inlet & Spr. control valve set - over 4 years without detail inspected	need to inspect
28	Sprinkler System	G/F	Water alarm gong x 1 no. Malfunction	need to replace

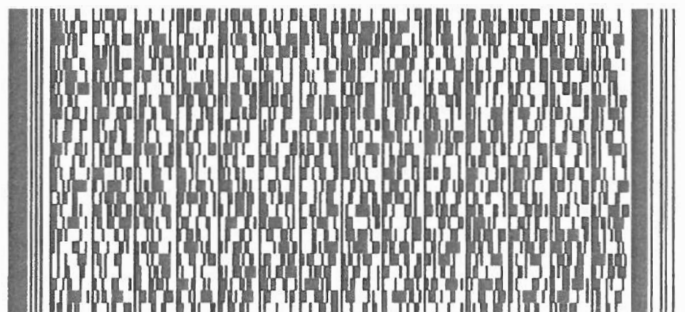
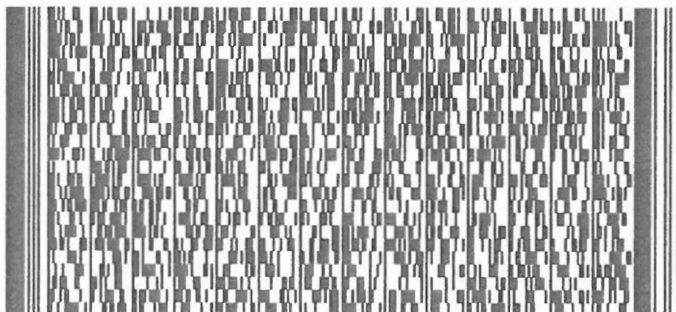
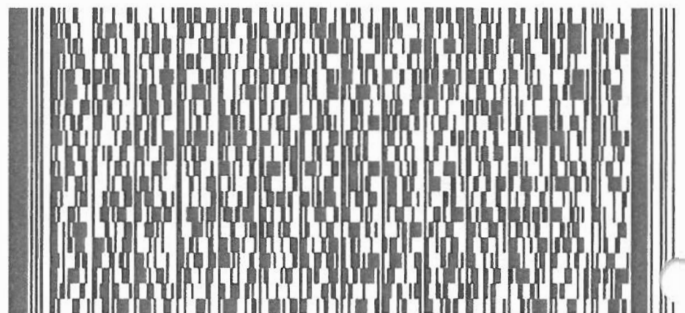
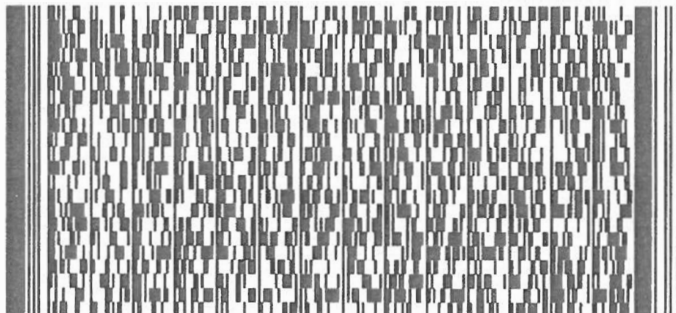
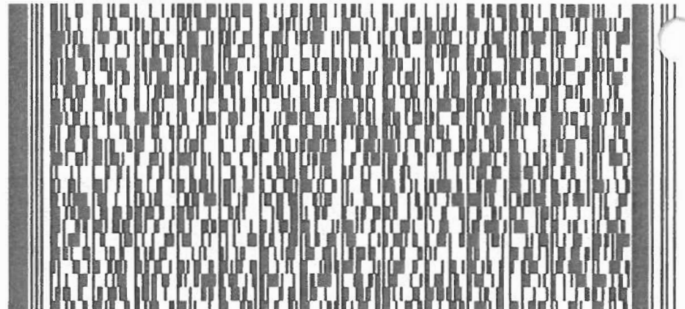
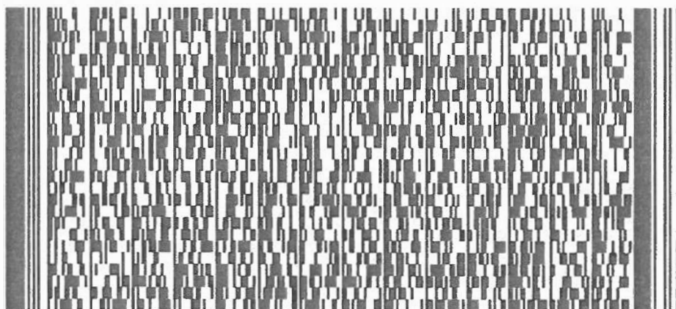
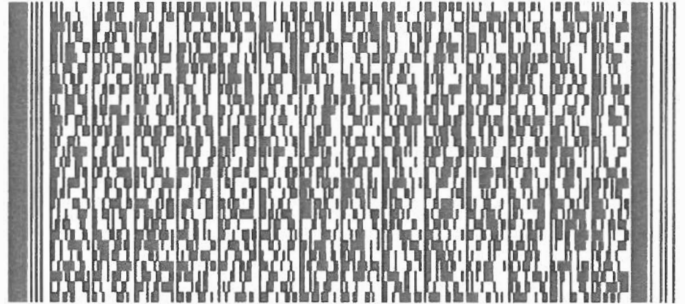
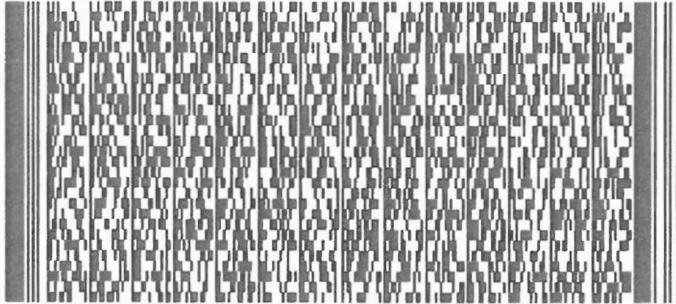


Serial Number

10059628132

Name of Client 顧客姓名

Hong Kong Concrete Company Limited





Our Ref SHTSSFS/4(v)/DEL/14
Date 2 February 2024

Secretary, Town Planning Board

c/o Planning Department
15/F North Point Government Offices
333 Java Road, North Point, HONG KONG

Dear Sir,

**SECTION 16 PLANNING APPLICATION
TOWN PLANNING ORDINANCE (CHAPTER 131)**

**RENEWAL OF PLANNING APPROVAL FOR
TEMPORARY CONCRETE BATCHING PLANT UNDER
APPLICATION NO. A/YL-TYST/1069 FOR A PERIOD OF 3 YEARS IN "INDUSTRIAL" ZONE,
LOTS 1290 S.C RP, 1293 S.C AND 2019 IN DD121 AND ADJOINING GOVERNMENT LAND,
SAN FUI STREET, TONG YAN SAN TSUEN, YUEN LONG**

We refer to the captioned Section 16 Planning Application submitted to the Town Planning Board ("**TPB**" / "**BOARD**") on 6 November 2023 and correspondence from Tuen Mun & Yuen Long West District Planning Office of Planning Department ("**PlanD**") providing comments from Transport Department ("**TD**") on the informal submission dated 26 January 2024 and Fire Service Department on the submitted Further Information (3) ("**FI(3)**").

Please find our responses below to TD's comments received on 26 January 2024:

- The Applicant has further prepared eight (8) video clips during peak hours on 29 January 2024 to demonstrate the traffic flow. One more junction (Junction 4) was added to help identify traffic queue during peak hours. Please find the hyperlinks for the above video clips (video file sizes reduced as much as possible) and a summary table of vehicles entering and leaving the Site and the highest Traffic Movements of the Site during peak hours on 29 January 2024 in **Attachment 1** and **Attachment 2** respectively.
- As demonstrated, the number of vehicles entering and leaving the Site and the highest Traffic Movements of the Site during the peak hours of the one sample day in January 2024 is 60pcu/hr. Given there is no change to the production volume estimated since the Approved TIA, it is not expected to generate further traffic impact as demonstrated in the previously submitted FI(3) and information above.

城
市
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顧
問

MAIN HONG KONG OFFICE :

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Telephone : (852) 2521 2911 Facsimile : (852) 2521 6631
E-mail address : tcitd@townland.com Website : www.townland.com

CHINA OFFICE :

Room 1111, Building 1, Yagang Industry and Trade Building, No.18 Fuan Avenue,
Hehua Community, Pinghu Street, Longgang District, Shenzhen, PRC. Postal Code 518111
Telephone : (86) 181 2417 9366
E-mail address : tcitd@townland.com

INDIA OFFICE :

Coworking Space Ministry of New, 3rd Floor, Kitab Mahal,
192 Dr Dadabhai Naoroji Road, Azad Maidan, Fort, Mumbai, India
Telephone : (91) 9819919804
E-mail address : tcpl@townland.com

INDONESIA OFFICE :

Gedung Menara Anugrah, Lantai 21
Kantor Taman E.3.3, Jl. DR. Ide Anak Agung Gde Agung Lot.8.6-8.7
Kawasan Mega Kuningan, Jakarta Selatan 12950, Indonesia
Telephone : (62 21) 2941 0621
E-mail address : tcjkt@townland.com

ASSOCIATED COMPANIES :

TOWNLAND CONSULTANTS (INTERNATIONAL) LIMITED (International)

TOWNLAND CONSULTANTS (SHENZHEN) LIMITED (China)

TOWNLAND CONSULTANTS PVT. LIMITED (India)

PT TOWNLAND INTERNATIONAL (Indonesia)

HOWARD & SEDDON PARTNERSHIP (United Kingdom)



ISO 9001:2015
Certificate No.: CC844

Our Ref SHTSSFS/4(v)/DEL/14
Date 2 February 2024

Secretary, Town Planning Board

- In addition, please note that the hard copy of the same video clips is submitted to TD by hand on 31 January 2024 to address the difficulty in downloading videos due to large file sizes.
- Furthermore, the Applicant wishes to supplement a full set of Fire Services Installation (“FSI”) Certificates dated between 24 April 2023 and 14 December 2023 for your consideration (previously submitted separately). Please see **Attachment 3**.

Should there be any queries, please do not hesitate to contact the undersigned or Mr. Kelvin Chung.

Yours faithfully,
FOR AND ON BEHALF OF
TOWNLAND CONSULTANTS LIMITED



Delius Wong
Associate / Project & Quality Manager

DEL/KELVINHC

Enc Hyperlinks for Video Clips
 Summary Table of Vehicles Run In/out of the Site
 Full set of FSI Certificates

cc Client / Team
 Mr. Edwin Yeung TP/YL TMYLWDPO

29-1-2024 (Morning)

[20240129 Morning Junction 1](#)

[20240129 Morning Junction 2](#)

[20240129 Morning Junction 3](#)

[20240129 Morning Junction 4](#)

29-1-2024 (Afternoon)

[20240129 Afternoon Junction 1](#)

[20240129 Afternoon Junction 2](#)

[20240129 Afternoon Junction 3](#)

[20240129 Afternoon Junction 4](#)

29 January 2024 (7am – 9am)		
Vehicle Type	Peak Hour Traffic Movements (each direction)	
	7am – 8am (vehicles/hour)	8am – 9am (vehicles/hour)
Concrete mixer	19	19
Aggregate delivery truck	9	9
Cement tanker truck	2	2
Admixture truck	0	0
Total	30 (equivalent to 60pcu/hour)	30 (equivalent to 60pcu/hour)
29 January 2024 (5pm – 7pm)		
Vehicle Type	Peak Hour Traffic Movements (each direction)	
	5pm – 6pm (vehicles/hour)	6pm – 7pm (vehicles/hour)
Concrete mixer	19	19
Aggregate delivery truck	9	9
Cement tanker truck	2	2
Admixture truck	0	0
Total	30 (equivalent to 60pcu/hour)	30 (equivalent to 60pcu/hour)

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

消防(裝置及設備)規例

(Regulation 9(1))

(第九條(1)款)

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

A 9100526

FSD Ref.:
消防處檔號

Name of Client:

顧客姓名

Hong Kong Concrete Company Limited

Name of Building:

樓宇名稱

Street No./Town Lot:

門牌號數/市地段

DD 121 Lot 2019

Street/Road/Estate Name:

街道/屋苑名稱

Tong Yan Sun Tsuen

Block:

座

District:

分區

Yuen Long

Area:

地區

☐ HK

香港

☐ K

九龍

☐ NT

新界

Type of Building 樓宇類型:

☐ Industrial 工業☐ Commercial 商業☐ Domestic 住宅☐ Composite 綜合☐ Licensed premises 持牌處所☐ Institutional 社團Part 1 Annual Inspection ONLY
第一部 只適用於年檢事項

In accordance with Regulation 8(b) of Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)	Next Due Date 下次到期日(DD/MM/YY)
24	7 no x 5kg CO2 gas	G/F-M/F, R/F	Conforms with FSD requirements	25/04/2023	24/04/2024
	7 no x 5kg dry powder		Defects see part 3		
25	3 no x sand bucket	G/F-M/F, R/F	Conforms with FSD requirements	25/04/2023	24/04/2024
			Defects see part 3		

Part 2 第二部 Installation / Modification / Repair / Inspection work 裝置/改裝/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)
			-----NA-----		

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述
24	1 no x 5kg CO2 gas	1/F	over 5 years	Need to replace
	2 no x 5kg dry powder	2/F	over 5 years	Need to replace
	1 no x 5kg dry powder	1/F	Missed	Need to install
25	1 no x sand bucket	G/F	Missed	Need to install

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈的最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

**如證書涉及年檢事項, 應張貼於大廈
或處所當眼處以供消防處人員查核**

This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

Authorized
Signature:

受權人簽署

Name:

姓名

FSD/RC No.:

消防處註冊號碼

Company Name:

公司名稱

Telephone:

聯絡電話

Date:

日期

Ho Chi Kee

RC1/59 RC2/87 RC3/81

Wing Kai Engineering Co.

27561728

30/04/2023

For FSD
use only:

Inspected

Key-in

Verified

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

FSD Ref.:
消防處檔號

消防(裝置及設備)規例

(Regulation 9(1))

(第九條(1)款)

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

A 9317593

Name of Client:

顧客姓名

Hong Kong Concrete Company Limited

Name of Building:

樓宇名稱

Street No./Town Lot:

門牌號數/市地段

DD 121 Lot 2019

Street/Road/Estate Name:

街道/屋苑名稱

Tong Yan Sun Tsuen

Block:

座

District:

分區

Yuen Long

Area:

地區

☐ HK

香港

☐ K

九龍

☒ NT

新界

Type of Building 樓宇類型: ☐ Industrial 工業☐ Commercial 商業☐ Domestic 住宅☐ Composite 綜合☐ Licensed premises 持牌處所☐ Institutional 社團Part 1 Annual Inspection ONLY
第一部 只適用於年檢事項

In accordance with Regulation 8(b) of Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)	Next Due Date 下次到期日(DD/MM/YY)
			-----NA-----		

Part 2 第二部 Installation / Modification / Repair / Inspection work 裝置/改裝/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)
24	Portable fire extinguisher	1/F	Replace 1 no x 5kg CO2 gas	Conforms with FSD requirements	14/12/2023
		2/F	Replace 2 no x 5kg dry powder		
25	Portable Hand-operated Approved Appliance	1/F	Replace 1 no x 5kg dry powder	Conforms with FSD requirements	14/12/2023
		G/F	Replace 1 no x sand bucket		

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述
			-----NA-----	

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈的最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

如證書涉及年檢事項, 應張貼於大廈或處所當眼處以供消防處人員查核

This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

Authorized Signature:
授權人簽署

Name:

Ho Chi Kee

FSD/RC No.:

消防處註冊號碼

RC1/59 RC2/87 RC3/87

Company Name:
公司名稱

Wing Kai Engineering

Telephone:
聯絡電話

27561728

Date:
日期

14/12/2023

For FSD use only:

Inspected

Key-in

Verified

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

消防(裝置及設備)規例

(Regulation 9(1))

(第九條(1)款)

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

FSD Ref.:
消防處檔號

Serial Number

10059628132

Name of Client 顧客姓名

Hong Kong Concrete Company Limited

Address 地址

DD121 Lot2019 Tong Yan Sun Tsuen, Yuen Long, NT

Type of Building 樓宇類型: ☐ Industrial 工業 ☐ Commercial 商業 ☒ Domestic 住宅 ☐ Composite 綜合 ☐ Licensed premises 持牌處所 ☐ Institutional 社團**Part 1 Annual Maintenance ONLY****第一部 只適用於年檢事項**

In accordance with Regulation 8(b) of the Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)	Next Due Date 下次到期日 (DD/MM/YYYY)
10	Emergency Generators	M/F	Conforms with FSD requirement	25/04/2023	24/04/2024
11	Emergency Lighting	G/F - M/F, R/F	Conforms with FSD requirement	25/04/2023	24/04/2024

Part 2 第二部 Installation / Modification / Repair / Inspection works 裝置/改裝/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)

Part 3 第三部 Defects 損壞事項

Code 編碼 (5)	Type of FSI 裝置類型	Location(s)位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述
13	Fire Alarm System	G/F	FS panel battery x 2 set Malfunction	need to replace
13	Fire Alarm System	G/F 洗車區	Breakglass unit x 1 no. Malfunction	need to replace

Remark 備註

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈的最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

如證書涉及年檢事項, 應張貼於大廈或處所當眼處以供消防處人員查核

This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

Authorized

Signature:

受權人簽署

Name:

姓名

Ho Chi Kee

FSD/RC No.:

消防處註冊號碼

RC1 / 0059 RC2 / 0087

Company Name:

公司名稱

Wing Kai Engineering Co.

Telephone:

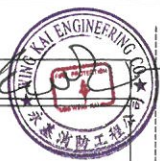
聯絡電話

27561728

Date:

日期

30/04/2023



For FSD use only

Inspected

Key-in

Verified



Serial Number

10059628132

Name of Client 顧客姓名

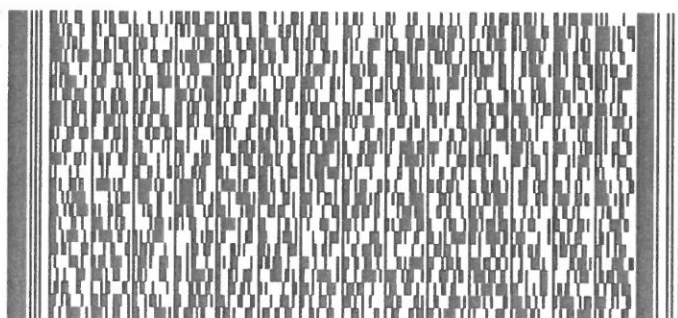
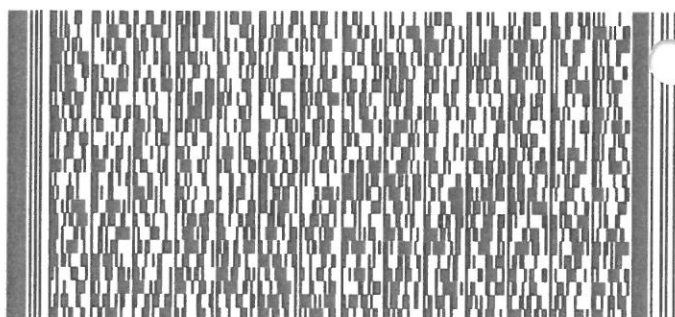
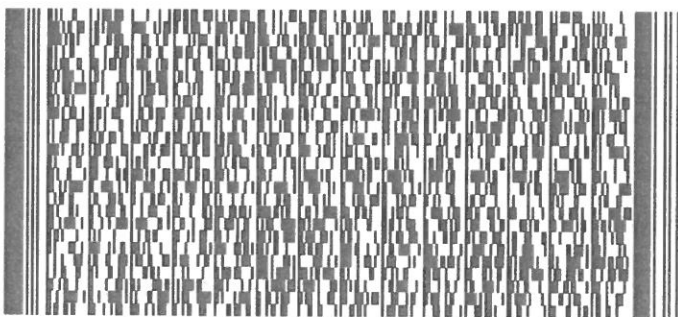
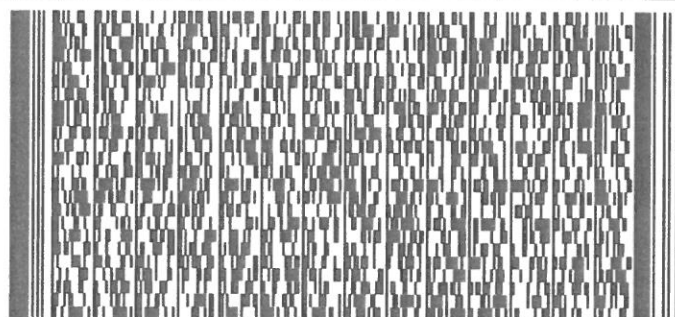
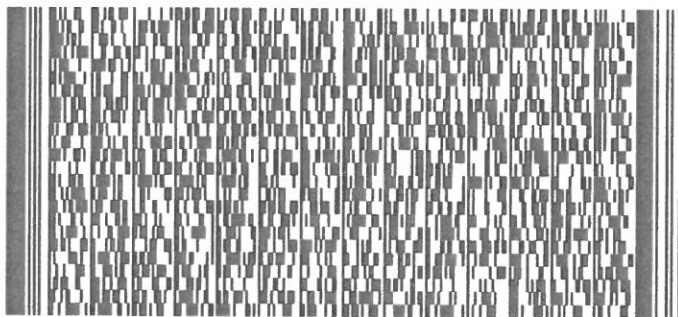
Hong Kong Concrete Company Limited

Part 1 Annual Maintenance ONLY

第一部 只適用於年檢事項

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Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)	Next Due Date 下次到期日 (DD/MM/YYYY)
12	Exit Signs	G/F - M/F, R/F	Conforms with FSD requirement	25/04/2023	24/04/2024
13	Fire Alarm System	G/F - M/F, R/F	Defects see part 3	25/04/2023	24/04/2024
15	Fire Detection System	G/F - M/F, R/F	Conforms with FSD requirement	25/04/2023	24/04/2024
16	FH / HR System	G/F - M/F, R/F	Defects see part 3	25/04/2023	24/04/2024
28	Sprinkler System	G/F - M/F, R/F	Defects see part 3	25/04/2023	24/04/2024



Serial Number

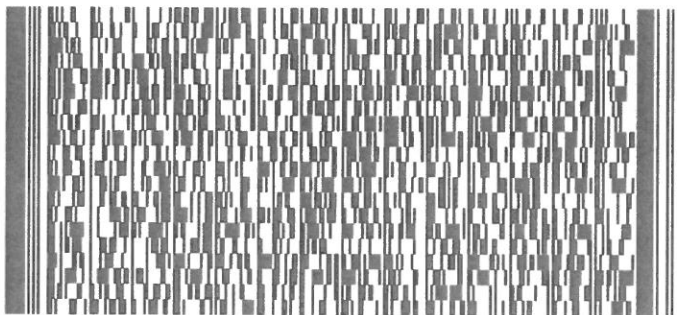
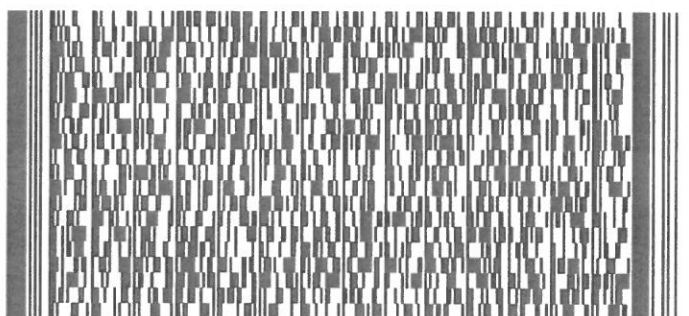
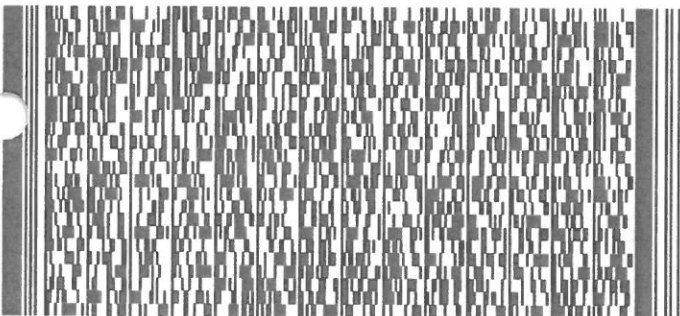
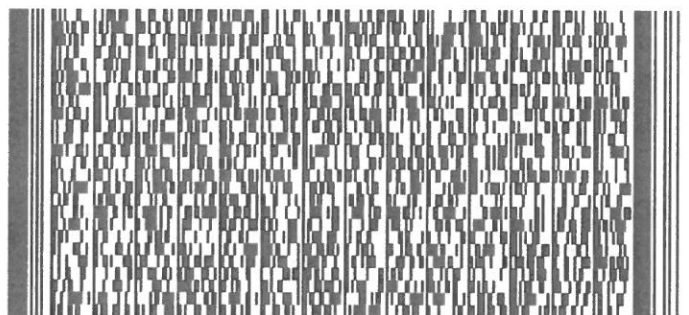
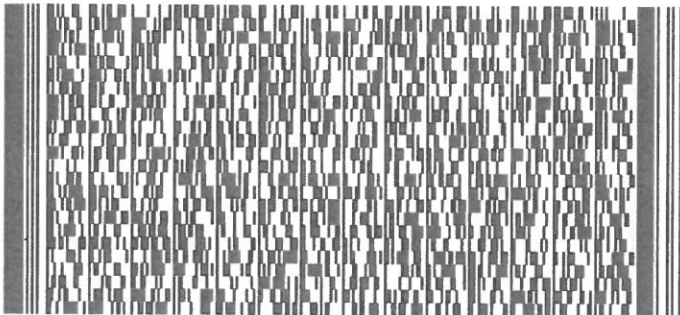
10059628132

Name of Client 顧客姓名

Hong Kong Concrete Company Limited

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述
16	FH / HR System	G/F	FS inlet x 1 - over 4 years without detail inspected	need to inspect
28	Sprinkler System	G/F	Spr. inlet & Spr. control valve set - over 4 years without detail inspected	need to inspect
28	Sprinkler System	G/F	Water alarm gong x 1 no. Malfunction	need to replace

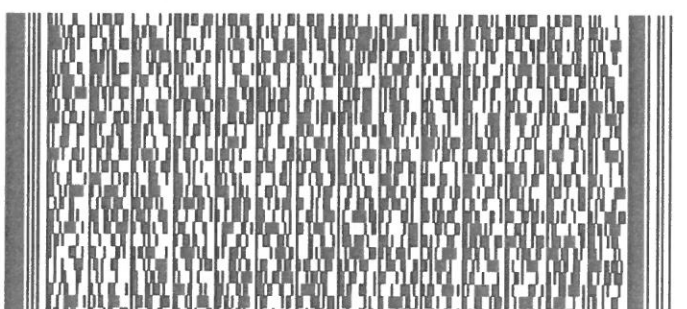
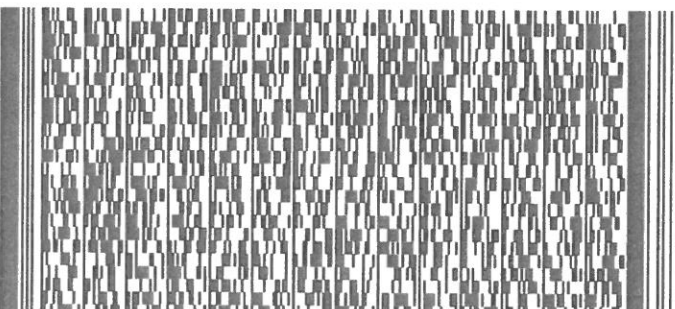
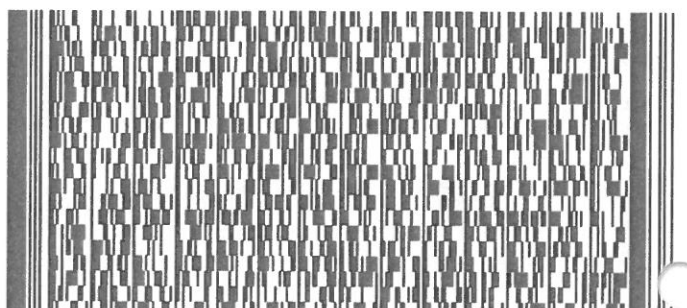
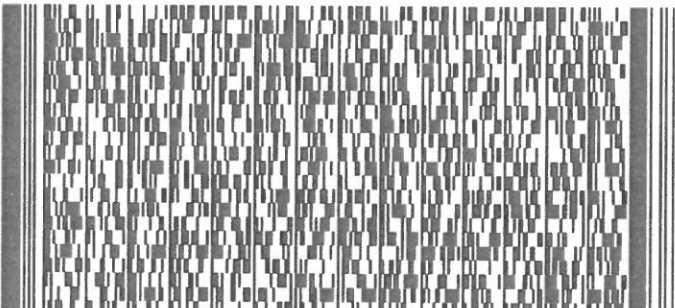
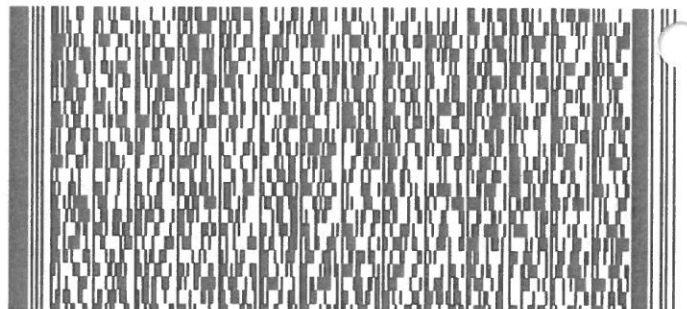
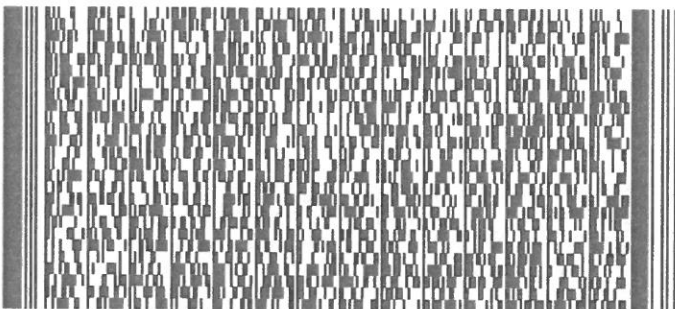
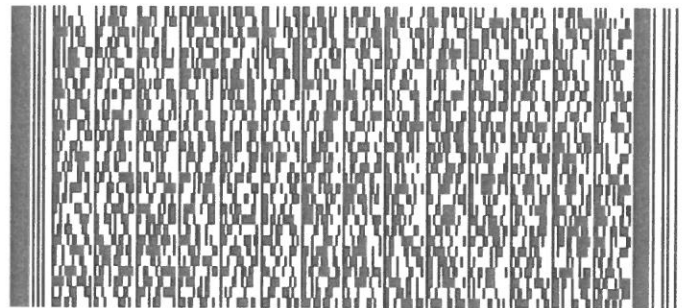
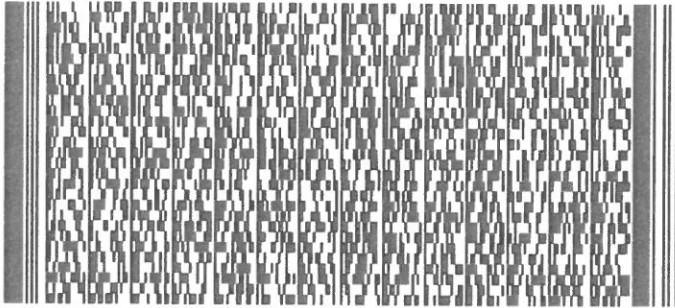


Serial Number

10059628132

Name of Client 顧客姓名

Hong Kong Concrete Company Limited



FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

消防(裝置及設備)規例

(Regulation 9(1))

(第九條(1)款)

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

FSD Ref.:

消防處檔號

Serial Number

10059 628143

Name of Client 顧客姓名

Hong Kong Concrete Company Limited

Address 地址

DD121 Lot2019 Tong Yan Sun Tsuen, Yuen Long, NT



Type of Building 樓宇類型:

☒ Industrial 工業☐ Commercial 商業☐ Domestic 住宅☐ Composite 綜合☐ Licensed premises 持牌處所☐ Institutional 社團**Part 1 Annual Maintenance ONLY****第一部 只適用於年檢事項**

In accordance with Regulation 8(b) of the Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)	Next Due Date 下次到期日 (DD/MM/YYYY)

Part 2 第二部 Installation / Modification / Repair / Inspection works 裝置/改裝/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)
13	Fire Alarm System	G/F	Replace 2 sets x batter for FS Panel	Conforms with FSD requirement	14/07/2023
13	Fire Alarm System	G/F 洗車區	Replace 1 no. x breakglass unit	Conforms with FSD requirement	14/07/2023

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述

Remark 備註

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈的最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

如證書涉及年檢事項, 應張貼於大廈或**處所當眼處以供消防處人員查核****This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.**

F.S. 251 (Rev. 01/2012)

22c0-9473-e07b-090e-577a-273a-9b8d-10d4

Authorized

Signature:

受權人簽署

Name:

姓名

Ho Chi Kee

FSD/RC No.:

消防處註冊號碼

RC1 / 0059 RC2 / 0087

Company Name:

公司名稱

Wing Kai Engineering Co.

Telephone:

聯絡電話

27561728

Date:

日期

14/07/2023

For FSD
use only

Inspected

Key-in

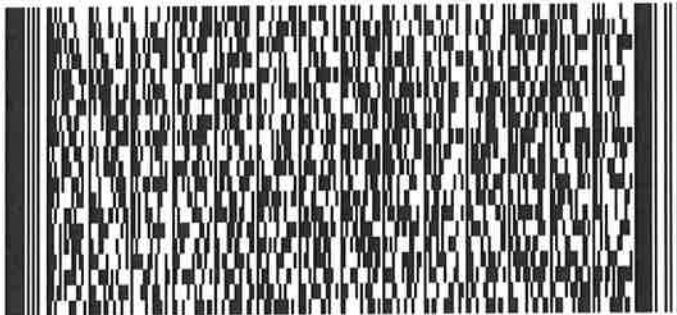
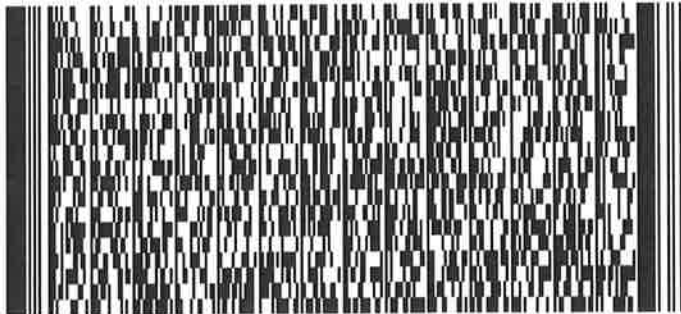
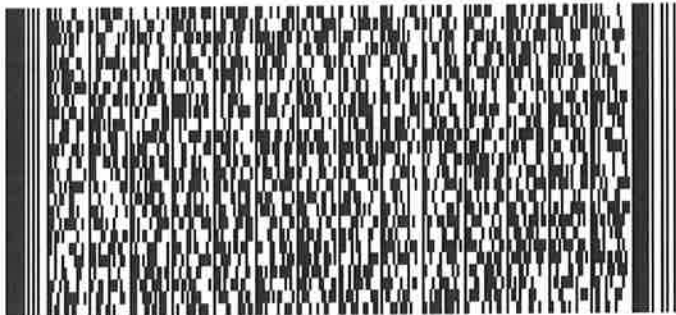
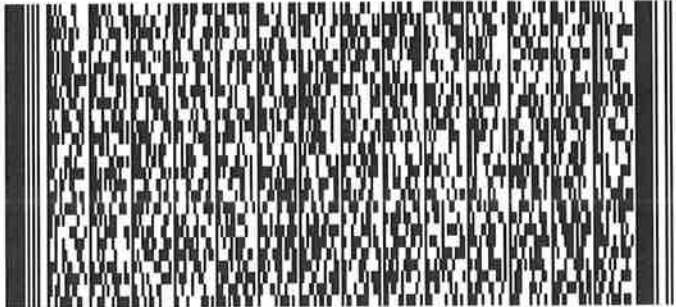
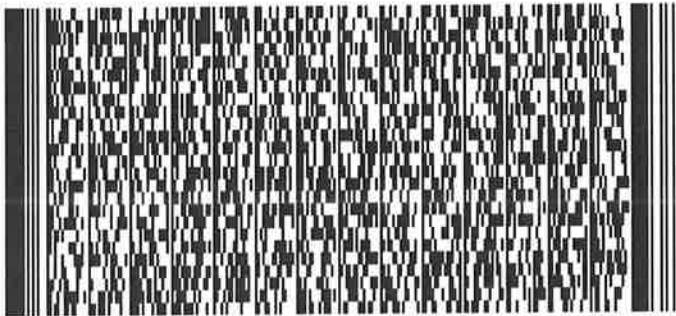
Verified



Serial Number
10059628143

Name of Client 顧客姓名
Hong Kong Concrete Company Limited

Part 2 第二部 Installation / Modification / Repair / Inspection works 裝置/改裝/修理/檢查工作					
Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)
16	FH / HR System	G/F	Detail inspected 1no. x F.S. inlet	Conforms with FSD requirement	14/07/2023
28	Sprinkler System	G/F	Detail inspected Spr. control valve set c/w Spr. inlet	Conforms with FSD requirement	14/07/2023
28	Sprinkler System	G/F	Replace 1 no. x water alarm gong	Conforms with FSD requirement	14/07/2023

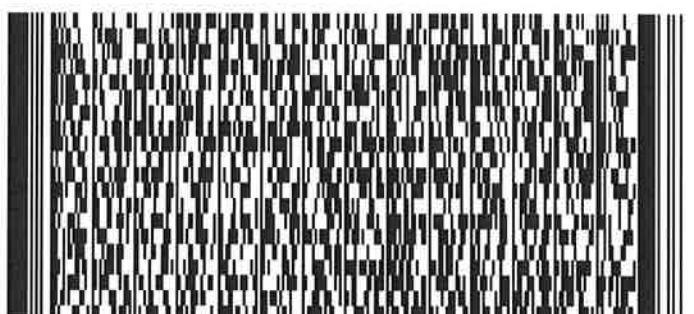
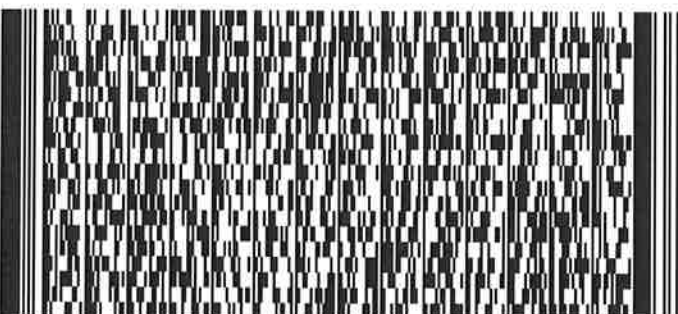
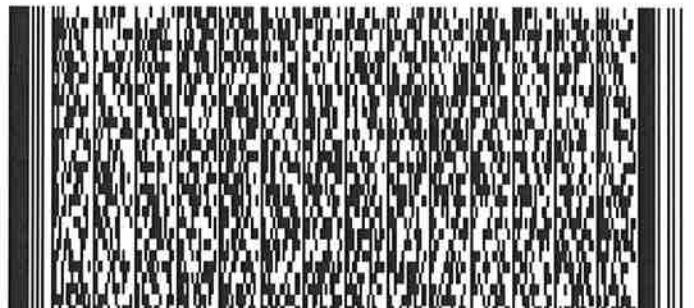
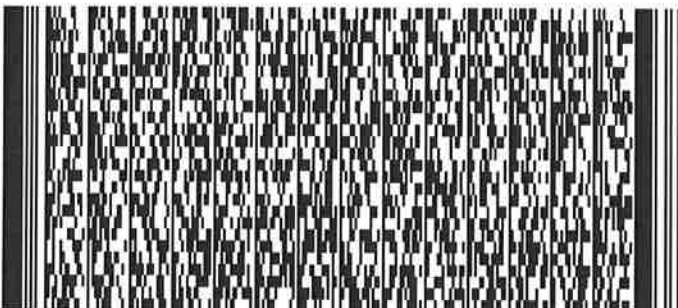
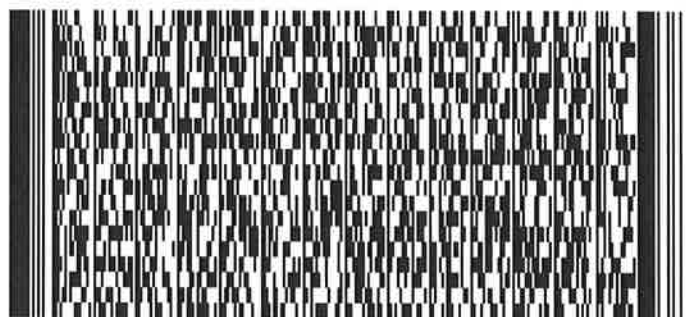
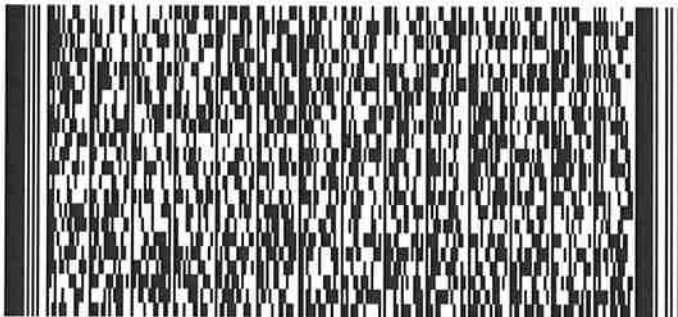
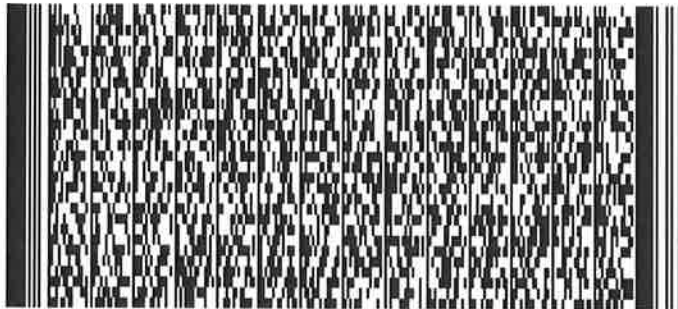


Serial Number

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Name of Client 顧客姓名

Hong Kong Concrete Company Limited



FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

消防(裝置及設備)規例

(Regulation 9(1))

(第九條(1)款)

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

FSD Ref.:

消防處檔號

Serial Number

10059 628144

Name of Client 顧客姓名

Hong Kong Concrete Company Limited

Address 地址

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Type of Building 樓宇類型: ☒ Industrial 工業 ☐ Commercial 商業 ☐ Domestic 住宅 ☐ Composite 綜合 ☐ Licensed premises 持牌處所 ☐ Institutional 社團

Part 1 Annual Maintenance ONLY

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Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)	Next Due Date 下次到期日 (DD/MM/YYYY)

Part 2 第二部 Installation / Modification / Repair / Inspection works 裝置/改裝/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期 (DD/MM/YYYY)
28	Sprinkler System	G/F Sprinkler Pump Room	Replace 1 no. x direct reading flow meter	Conforms with FSD requirement	14/07/2023
28	Sprinkler System	G/F Sprinkler Pump No.1&2	Replace 3 no. x pressure gauge Replace 2 no. x pressure switch	Conforms with FSD requirement	14/07/2023

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s)位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述

Remark 備註

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受權人簽署

Name:

姓名

Ho Chi Kee

FSD/RC No.:

消防處註冊號碼

RC1 / 0059 RC2 / 0087

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聯絡電話

27561728

Date:

日期

14/07/2023

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use only

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Key-in

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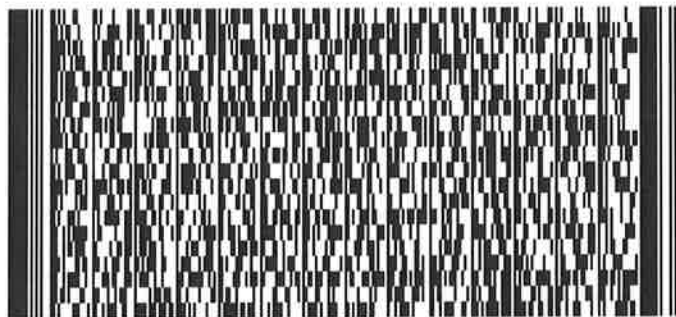
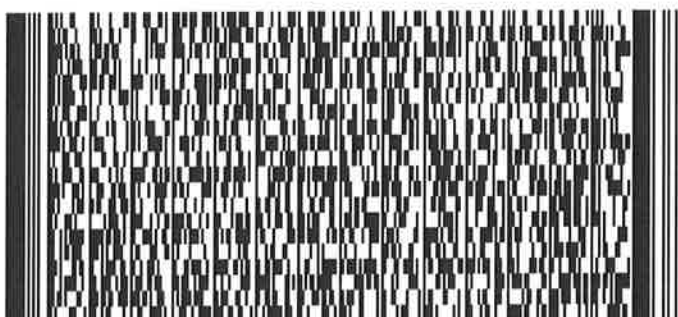
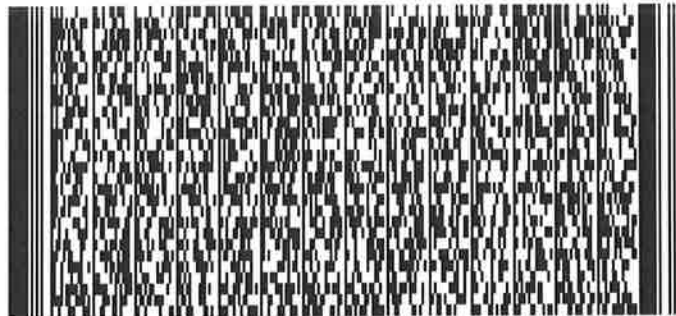
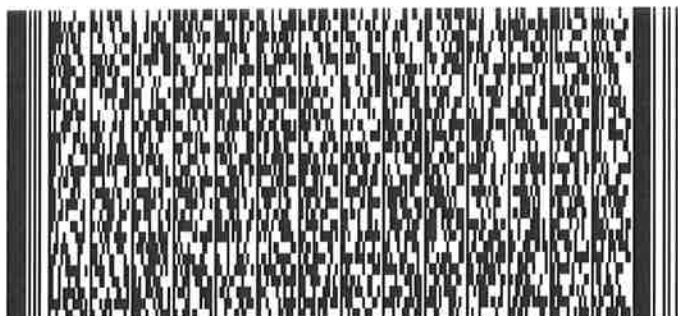
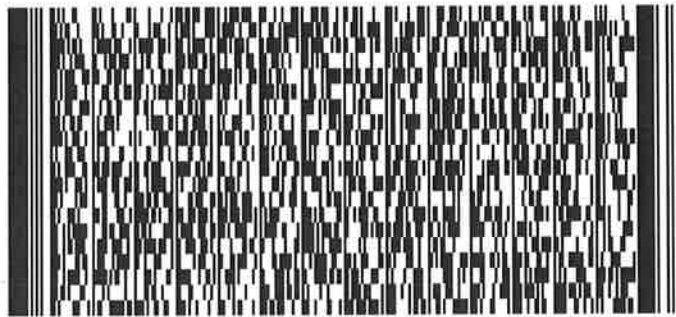
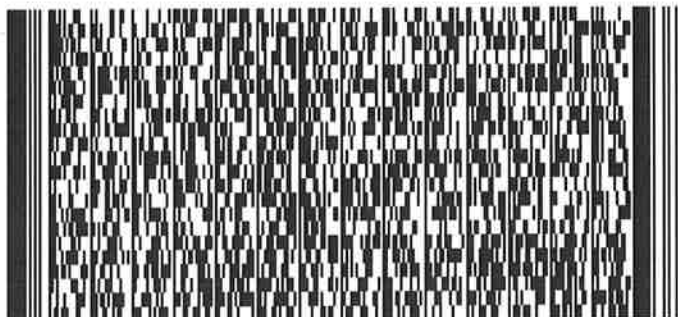
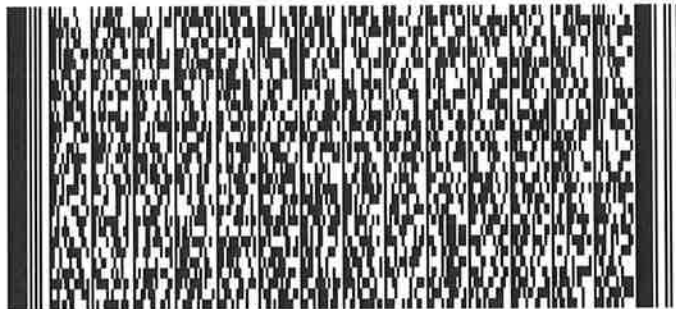
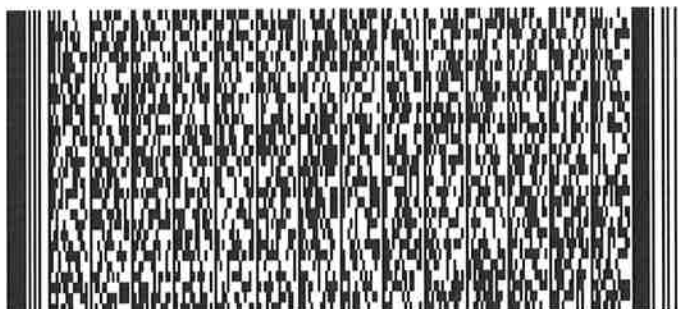


Serial Number

10059628144

Name of Client 顧客姓名

Hong Kong Concrete Company Limited



**Relevant extracts of the Town Planning Board Guidelines on
“Renewal of Planning Approval and Extension of Time for Compliance with Planning
Conditions for Temporary Use or Development”
(TPB PG-No. 34D)**

1. The criteria for assessing applications for renewal of planning approval include:
 - (a) whether there has been any material change in planning circumstances since the previous temporary approval was granted (such as a change in the planning policy/land-use zoning for the area) or a change in the land uses of the surrounding areas;
 - (b) whether there are any adverse planning implications arising from the renewal of the planning approval (such as pre-emption of planned permanent development);
 - (c) whether the planning conditions under previous approval have been complied with to the satisfaction of relevant Government departments within the specified time limits;
 - (d) whether the approval period sought is reasonable; and
 - (e) any other relevant considerations.
2. Under normal circumstances, the approval period for renewal should not be longer than the original validity period of the temporary approval. In general, the Board is unlikely to grant an approval period exceeding three years unless there are strong justifications and the period is allowed for under the relevant statutory plans. Depending on the circumstances of each case, the Board could determine the appropriate approval period, which may be shorter than the time under request.

Previous Applications covering the Application Site

Approved Applications

	<u>Application No.</u>	<u>Proposed Use(s)</u>	<u>Date of Consideration (RNTPC/TPB)</u>
1	A/YL-TYST/50	Proposed Concrete Batching Plant	16.10.1998
2	A/YL-TYST/181	Proposed Amendment and Extension of Concrete Batching Plant and Minor Relaxation of Maximum Building Height Restriction	28.2.2003 approved for 3 years (upon review)
3	A/YL-TYST/306	Renewal of Planning Approval for Temporary “Concrete Batching Plant” for a Period of 3 Years	17.2.2006
4	A/YL-TYST/410	Renewal of Planning Approval for Temporary “Concrete Batching Plant” for a Period of 3 Years	19.12.2008
5	A/YL-TYST/568	Renewal of Planning Approval for Temporary “Concrete Batching Plant” for a Period of 3 Years	10.2.2012
6	A/YL-TYST/710	Renewal of Planning Approval for Temporary “Concrete Batching Plant” for a Period of 3 Years	6.2.2015
7	A/YL-TYST/863	Renewal of Planning Approval for Temporary “Concrete Batching Plant” for a Period of 3 Years	8.12.2017
8	A/YL-TYST/1069	Renewal of Planning Approval for Temporary Concrete Batching Plant for a Period of 3 Years	5.2.2021

Government Departments' General Comments

1. Land Administration

Comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD):

- no adverse comment on the application; and
- the application site (the Site) does not fall within Shek Kong Airfield Height Restriction Area.

2. Traffic

(a) Comments of the Commissioner for Transport (C for T):

No comment on the application.

(b) Comments of the Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD):

- no adverse comment on the application; and
- the ingress/egress arrangements should be agreed by the Transport Department. A proper temporary run-in complying with the latest version of HyD Standard Drawings no. H1113 and H1114 should be provided at the proposed ingress and egress point.

3. Drainage

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD):

- no objection in principle to the proposed development;
- based on the drainage proposal enclosed in the application, apparently the applicant would maintain the same drainage facilities as those implemented under the previous planning application No. A/YL-TYST/1069; and
- should the Town Planning Board (the Board) consider the application acceptable from the planning point of view, approval conditions requiring the maintenance of the drainage facilities implemented under application No. A/YL-TYST/1069 and the submission of records of the existing drainage facilities on site to the satisfaction of the Director of Drainage Services or of the Board should be stipulated.

4. Fire Safety

Comments of the Director of Fire Services (D of FS):

No objection in principle to the renewal application subject to the existing fire service installations implemented on the Site being maintained in efficient working order at all times.

5. Building Matters

Comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD):

No objection to the application.

6. District Officer's Comments

Comments of the District Officer (Yuen Long), Home Affairs Department (DO(YL), HAD):

His office has not received any feedback from locals.

7. Other Departments

- Director of Electrical and Mechanical Services (DEMS), Chief Engineer/Construction, Water Supplies Department (CE/C, WSD), Project Manager (West), CEDD (PM(W), CEDD) and Commissioner of Police (C of P) have no comment on the application.

Recommended Advisory Clauses

- (a) to resolve any land issues relating to the development with the concerned owner(s) of the application site (the Site);
- (b) the Site should be kept in a clean and tidy condition at all times;
- (c) to note the comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD) that:
 - (i) the Site comprises various private lots (Lots 2019, 1290 S.C RP and 1293 S.C all in D.D. 121) and a piece of Government land (GL);
 - (ii) Lot 2019 in D.D. 121, is held under New Grant No. 4101, shall not be used for any purpose other than for industrial or godown. The lot is also subject to a Temporary Waiver (TW) to permit the use of specified areas for the purpose of vehicle parking and/or loading and unloading;
 - (iii) Lots 1290 S.C RP and 1293 S.C in D.D. 121 are held under Block Government Lease for the purposes of agricultural or garden ground. The lots are subject to Short Term Waivers (STWs) for the purpose of storage of aggregates for concrete production;
 - (iv) the GL within the Site is covered by a Short Term Tenancy (STT) for the purpose of storage of aggregates for concrete production; and
 - (v) the holder(s) of the TW/STWs/STT need(s) to apply to his office for modification(s) of the condition(s) contained in the TW/STWs/STT if there are any irregularities on site. Such application(s) will be considered by his department acting in the capacity of the landlord or lessor at its sole discretion and there is no guarantee that such application(s) will be approved. If such application(s) is/are approved, it would be subject to such terms and conditions, including among others the payment of premium, fee and/or rent, as may be imposed by his department;
- (d) to note the comments of the Commissioner for Transport (C for T) that:

sufficient space should be provided within the Site for manoeuvring of vehicles. No parking, queuing and reverse movement of vehicles on public road are allowed;
- (e) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD) that:
 - (i) the internal layout of the Site should be so arranged that no backing in/out movements of construction traffic are required;
 - (ii) all loading/unloading activities of vehicles should be confined within the Site;
 - (iii) adequate drainage measures should be provided to prevent surface water running from the Site to the nearby public roads and drains; and
 - (iv) the pavement should be kept unobstructed and in good condition at all times;
- (f) to note the comments of the Director of Environmental Protection (DEP) that:
 - (i) the relevant mitigation measures and requirements in the latest “Code of Practice on

Handling the Environmental Aspects of Temporary Uses and Open Storage Sites” should be followed to minimise any potential environmental nuisances on the surrounding area;

- (ii) the plant should be operated according to the licensed terms and conditions in the licence for specified process for the concrete batching plant under Air Pollution Control Ordinance during the licensed period; and
 - (iii) it is the obligation of the applicant to meet the statutory requirements under relevant pollution control ordinances; and
- (g) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:

according to his records, appraisal report for the existing concrete batching plant on the Site is unauthorized building works which had been acknowledged via his letter to the Registered Structural Engineer (RSE) on 26.7.2004. As stipulated in paragraph 2 of the said letter, a maintenance survey report together with certification regarding the stability of the concrete batching plant from RSE should be submitted to BD for acceptance and acknowledgement at two years interval from the date of the said letter. BD would consider to take enforcement action against the existing concrete batching plant if you fail to comply with the said letter.