

2023年 12月 2 日

此文件在 收到。城市規劃委員會
只會在收到所有必要的資料及文件後才正式確認收到
申請的日期。

Appendix I of RNTPC
Paper No. A/YL-TYST/1250

This document is received on 21 DEC 2023
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-III
表格第 S16-III 號

**APPLICATION FOR PERMISSION
UNDER SECTION 16 OF
THE TOWN PLANNING ORDINANCE
(CAP. 131)**

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of Land
and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas,
or Renewal of Permission for such Temporary Use or Development***

**適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行
為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議***

**Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.*

**其他土地上及/或建築物內的臨時用途/發展(例如位於市區內的臨時用途或發展)及有關該等臨時用途/發展的許可續期，應使用表格第S16-I號。*

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.tpb.gov.hk/tc/plan_application/apply.html

General Note and Annotation for the Form

填寫表格的一般指引及註解

"Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made
「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/KL-TYST/1250
	Date Received 收到日期	21 DEC 2023

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

MAN WONG LIMITED

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☐ Company 公司 / ☐ Organisation 機構)

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	HUNG SHUN ROAD, HUNG SHUI KIU YUEN LONG, NEW TERRITORIES, HONG KONG LOT NO. 293 R.P. (PART) IN D.D. 127
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 65.3sq.m 平方米 <input type="checkbox"/> About 約 <input type="checkbox"/> Gross floor area 總樓面面積sq.m 平方米 <input type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有) sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	TONG YAN SAN TSUEN OUTLINE ZONING PLAN (OZP) NO. S/YL-TYST/14
(e) Land use zone(s) involved 涉及的土地用途地帶	RESIDENTIAL (GROUP B) 1
(f) Current use(s) 現時用途	SHOP AND SERVICES (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. “Current Land Owner” of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☒ is the sole “current land owner”^{#&} (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」^{#&} (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the “current land owners”^{#&} (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」^{#&} (請夾附業權證明文件)。
- ☐ is not a “current land owner”[#].
並不是「現行土地擁有人」[#]。

- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of “current land owner(s)”[#].
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」[#]。

(b) The applicant 申請人 –

- ☐ has obtained consent(s) of “current land owner(s)”[#].
已取得 名「現行土地擁有人」[#]的同意。

Details of consent of “current land owner(s)” [#] obtained 取得「現行土地擁有人」 [#] 同意的詳情		
No. of ‘Current Land Owner(s)’ 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified "current land owner(s)"[#]
已通知 名「現行土地擁有人」[#]。

Details of the "current land owner(s)" [#] notified 已獲通知「現行土地擁有人」 [#] 的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has taken reasonable steps to obtain consent of or give notification to owner(s):
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on _____ (DD/MM/YYYY)^{#&}
於 _____ (日/月/年)向每一名「現行土地擁有人」[#]郵遞要求同意書[&]

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)在指定報章就申請刊登一次通知[&]
- ☐ posted notice in a prominent position on or near application site/premises on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知[&]
- ☐ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會[&]

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別**(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas**

位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展

(For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B))

(如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)

(a) Proposed use(s)/development
擬議用途/發展

PROPOSED SHOP AND SERVICES

(Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)

(b) Effective period of permission applied for
申請的許可有效期☒ year(s) 年 3☐ month(s) 個月**(c) Development Schedule 發展細節表**

Proposed uncovered land area 擬議露天土地面積 /sq.m ☐ About 約

Proposed covered land area 擬議有上蓋土地面積 65.3sq.m ☐ About 約

Proposed number of buildings/structures 擬議建築物/構築物數目 1

Proposed domestic floor area 擬議住用樓面面積 /sq.m ☐ About 約

Proposed non-domestic floor area 擬議非住用樓面面積 130.6sq.m ☐ About 約

Proposed gross floor area 擬議總樓面面積 130.6sq.m ☐ About 約

Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)

G/F (SHOP AND SERVICES)

1/F (SHOP AND SERVICES)

TOTAL 2 STOREYS, 7.6M HEIGHT

Proposed number of car parking spaces by types 不同種類停車位的擬議數目

Private Car Parking Spaces 私家車車位 NA

Motorcycle Parking Spaces 電單車車位 NA

Light Goods Vehicle Parking Spaces 輕型貨車泊車位 NA

Medium Goods Vehicle Parking Spaces 中型貨車泊車位 NA

Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 NA

Others (Please Specify) 其他 (請列明) NA

Proposed number of loading/unloading spaces 上落客貨車位的擬議數目

Taxi Spaces 的士車位 NA

Coach Spaces 旅遊巴車位 NA

Light Goods Vehicle Spaces 輕型貨車車位 NA

Medium Goods Vehicle Spaces 中型貨車車位 NA

Heavy Goods Vehicle Spaces 重型貨車車位 NA

Others (Please Specify) 其他 (請列明) NA

Proposed operating hours 擬議營運時間 9:30 A.M. TO 9:30 P.M. (FROM MONDAY TO SUNDAY INCLUDING PUBLIC HOLIDAYS).																																	
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？	Yes 是 No 否	<input type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) <input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度) <input checked="" type="checkbox"/>																															
(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。)																																	
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動？	Yes 是 No 否	<input type="checkbox"/> Please provide details 請提供詳情 <input checked="" type="checkbox"/>																															
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程？	Yes 是 No 否	<input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍) <input type="checkbox"/> Diversion of stream 河道改道 <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約 <input checked="" type="checkbox"/>																															
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響？	<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 60%;">On environment 對環境</td> <td style="width: 10%;">Yes 會 <input type="checkbox"/></td> <td style="width: 10%;">No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> </table>			On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
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Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															
Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																															

	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>
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(B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas
位於鄉郊地區或受規管地區臨時用途/發展的許可續期

(a) Application number to which the permission relates 與許可有關的申請編號	A/ _____ / _____
(b) Date of approval 獲批給許可的日期 (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期 (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	
(e) Approval conditions 附帶條件	<p><input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件</p> <p><input type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件</p> <p><input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件：</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>Reason(s) for non-compliance: 仍未履行的原因：</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>(Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)</p>
(f) Renewal period sought 要求的續期期間	<p><input type="checkbox"/> year(s) 年</p> <p><input type="checkbox"/> month(s) 個月</p>

7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
 現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明）。

1. Applicant Man Wong Limited is the current owner of the site. The proposed development will provide shop for the nearby residential neighborhood.
2. Proposed development is compatible with the surrounding environments and land use. No tree falling and land/road filling will be carried out.
3. There is no vehicular access point provided for the site. The loading/unloading activities (about twice per day) will be carried out in Hung Shun Road and will not cause any adverse traffic impact on Hung Shun Road. Moreover, the anticipated number of daily vehicular trips is considered negligible when compared with the traffic density of the existing Hung Shun Road and thus adverse traffic impact is not anticipated.
4. U-channels are proposed to be installed around the site periphery and will be connected to foul sewers. Petrol intercepting facilities will also be installed to intercept any waste generated by the development.
5. The opening hour of the proposed shop will be 9:30 a.m. to 9:30 p.m. (from Monday to Sunday including public holidays)

8. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.
本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署

歐桂英

☒ Applicant 申請人 / ☐ Authorised Agent 獲授權代理人

OU KWAI YING

Director

Name in Block Letters
姓名（請以正楷填寫）

Position (if applicable)
職位（如適用）

Professional Qualification(s) ☐ Member 會員 / ☐ Fellow of 資深會員

專業資格

☐ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他

on behalf of
代表

MAN WONG LIMITED



☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

01/12/2023

..... (DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

(a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and

處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.

方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

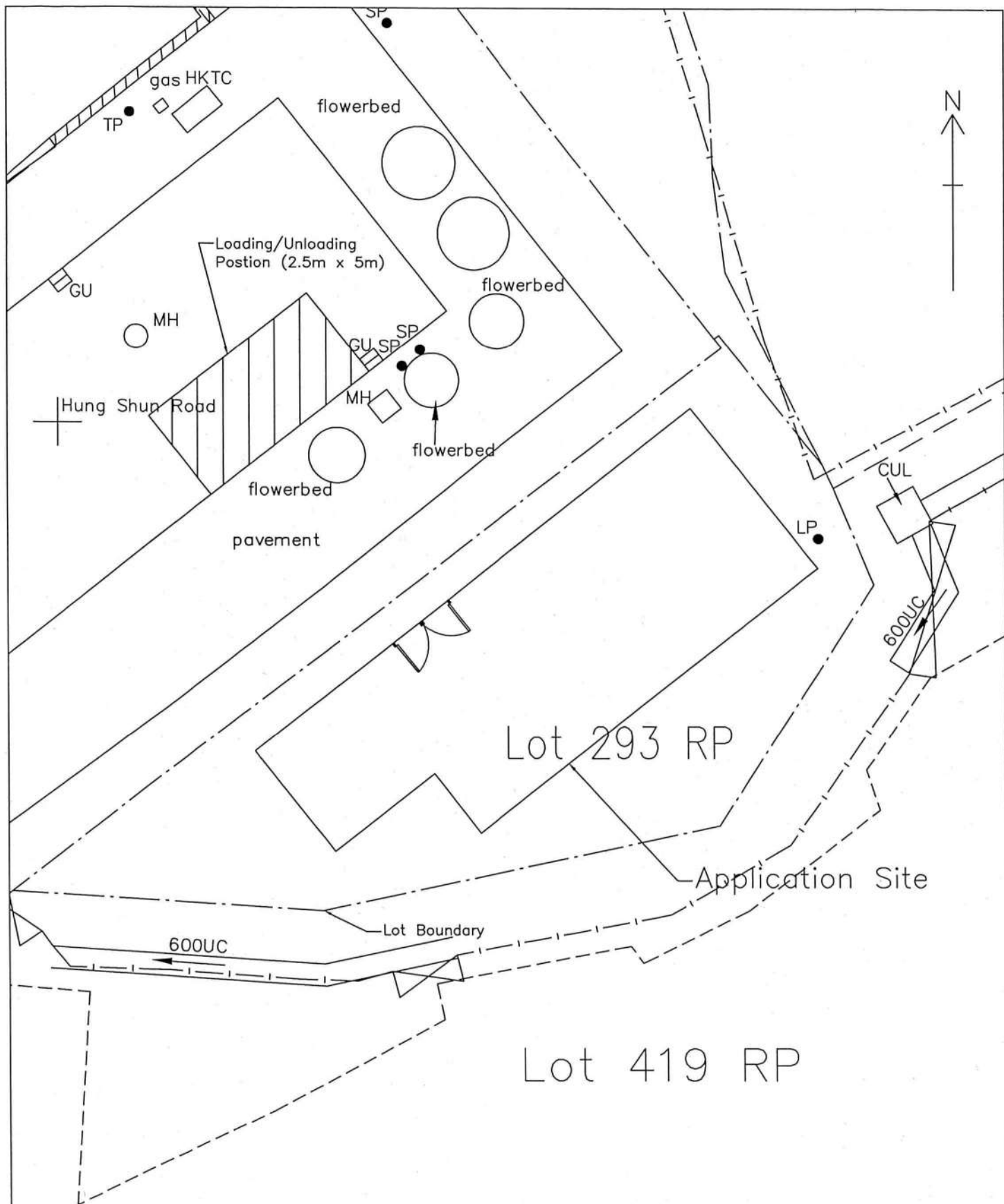
Gist of Application 申請摘要 (Please provide details in both English and Chinese <u>as far as possible</u> . This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.) (請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)	
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置／地址	Lot no. 293 RP in D.D. 127, Hung Shun Road, Hung Shui Kiu, Yuen Long, N.T.
Site area 地盤面積	65.3 sq. m 平方米 □ About 約 (includes Government land of 包括政府土地 NA sq. m 平方米 □ About 約)
Plan 圖則	Tong Yan San Tsuen Outline Zoning Plan (OZP) No. S/YL-TYST/14
Zoning 地帶	"RESIDENTIAL (GROUP B) 1" ("R(B)1")
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期 <input checked="" type="checkbox"/> Year(s) 年 <u>3</u> <input type="checkbox"/> Month(s) 月 _____ <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____
Applied use/ development 申請用途/發展	Proposed Temporary Shop and Services for a Period of 3 Years

(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	130.6 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	<input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	NA	
	Non-domestic 非住用	1	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	NA	<input type="checkbox"/> (Not more than 不多於) m 米
		NA	<input type="checkbox"/> (Not more than 不多於) Storeys(s) 層
	Non-domestic 非住用	7.6	<input type="checkbox"/> (Not more than 不多於) m 米
		2	<input type="checkbox"/> (Not more than 不多於) Storeys(s) 層
(iv) Site coverage 上蓋面積	% <input type="checkbox"/> About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數 Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____		NA
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數 Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____ _____		NA

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	Chinese 中文	English 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Fire Service Installations Proposal Plan		
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估（噪音、空氣及／或水的污染）	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input type="checkbox"/>
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

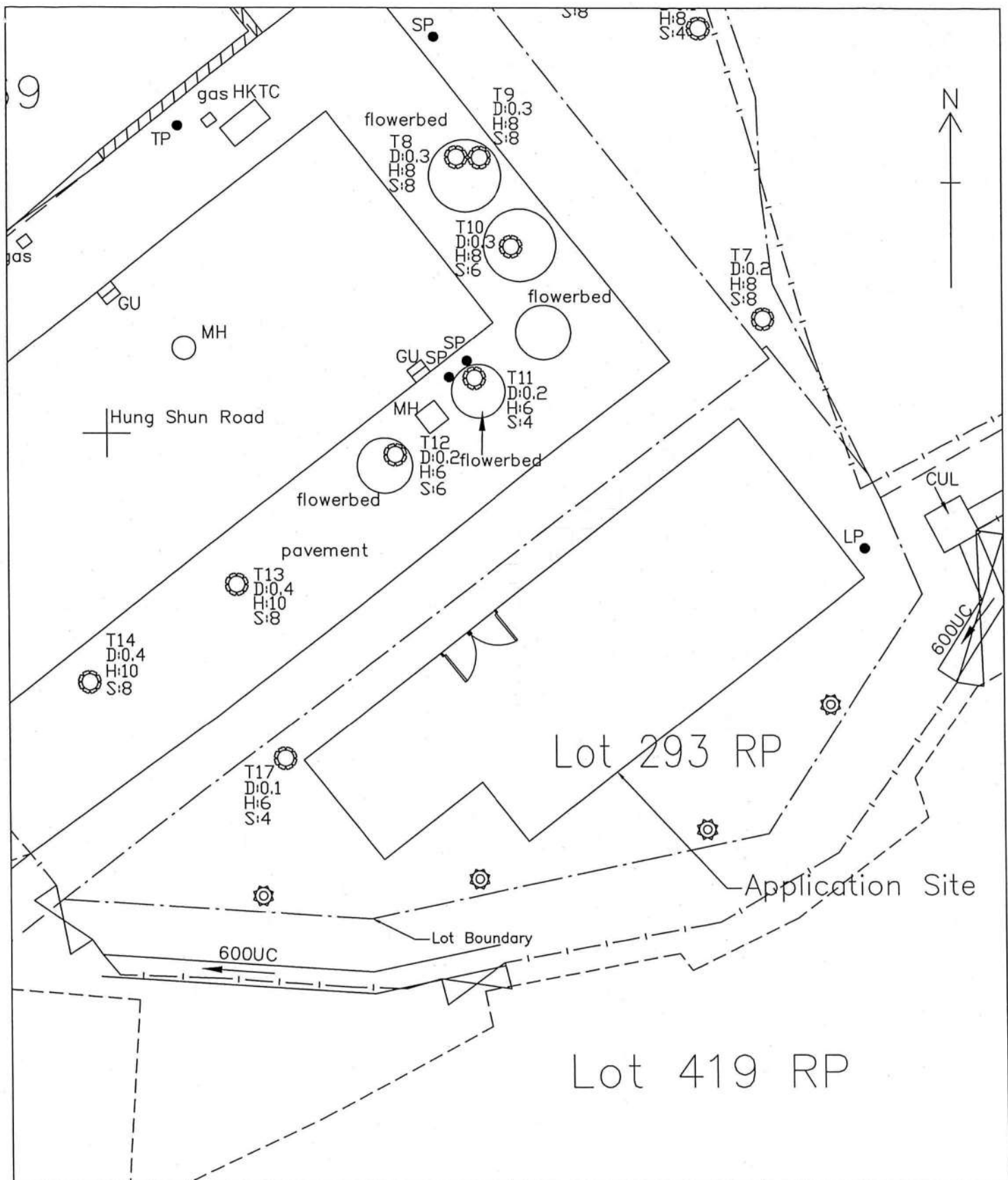
註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。




MASTER LAYOUT PLAN
D.D. 127 LOT 293 RP (P)

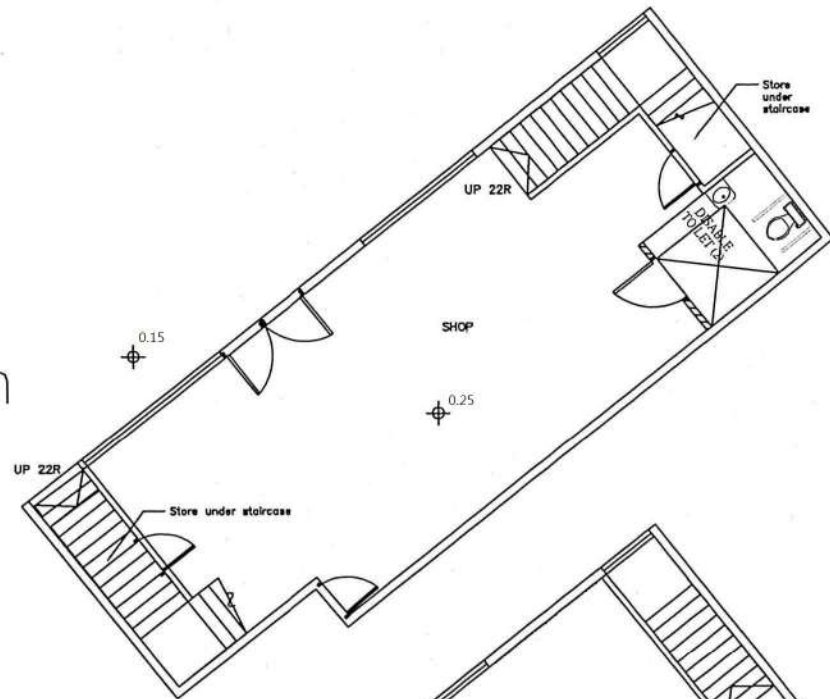
1 : 100

1 Dec 2023

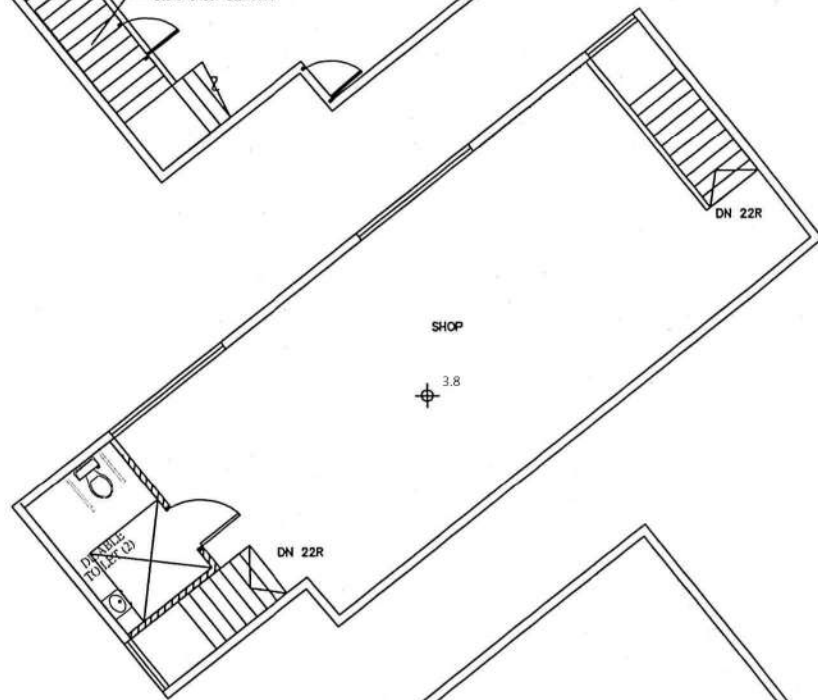


Proposed Trees to be Planted	Spacing (Centre to Centre)	Size (Height)	Quantity
 Ailanthus fordii (福氏臭椿)	4m	2.75m	4
MASTER LANDSCAPE PLAN D.D. 127 LOT 293 RP (P)			1 : 100
			1 Dec 2023

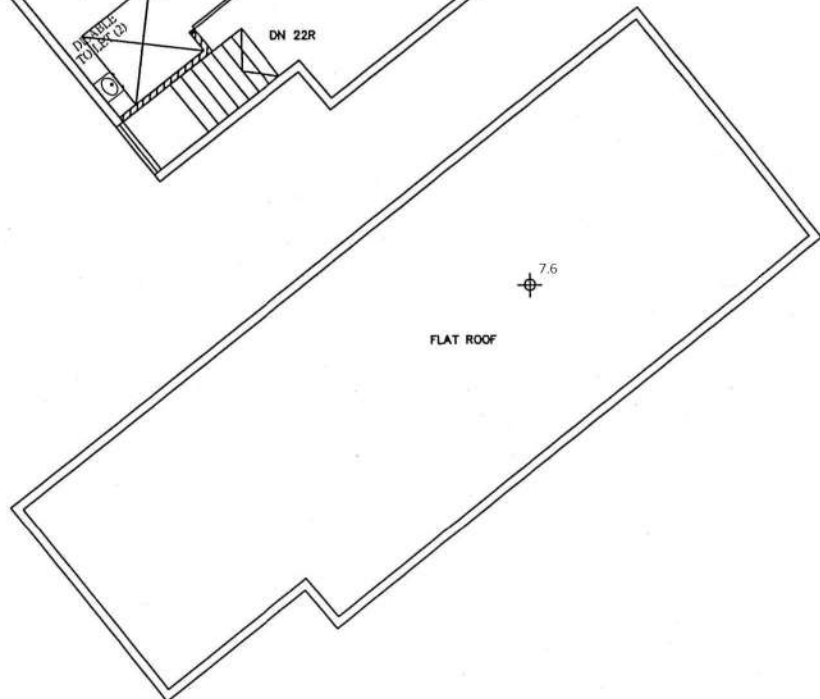
G/F Plan



1/F Plan



R/F Plan

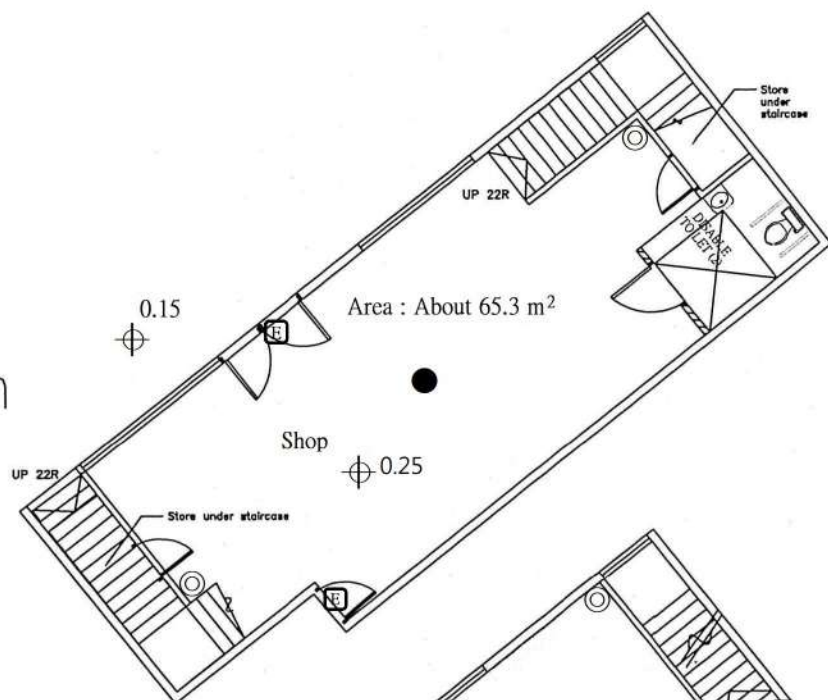


FLOOR PLANS
D.D. 127 LOT 293 RP (P)

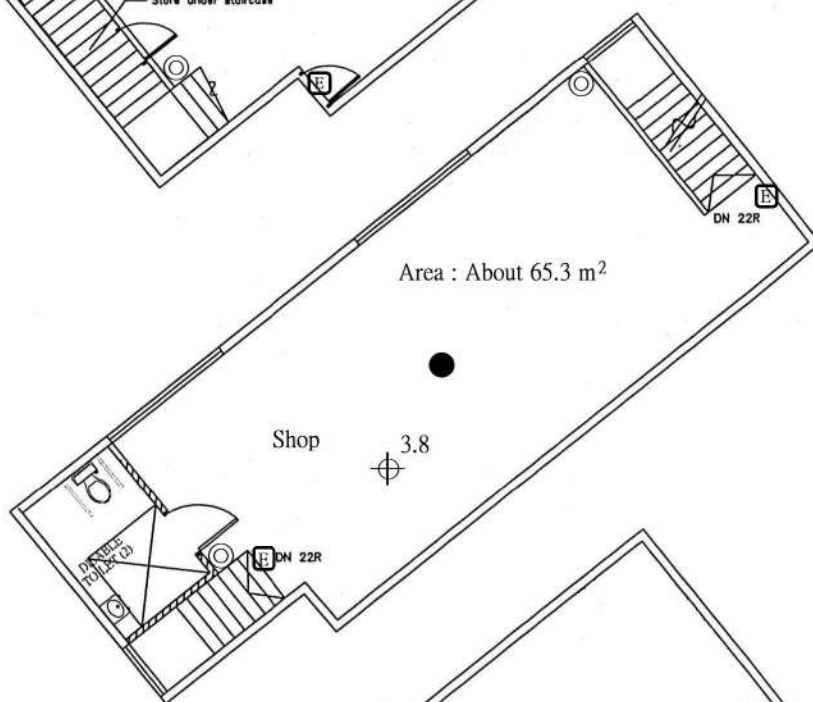
1 : 100

1 Dec 2023

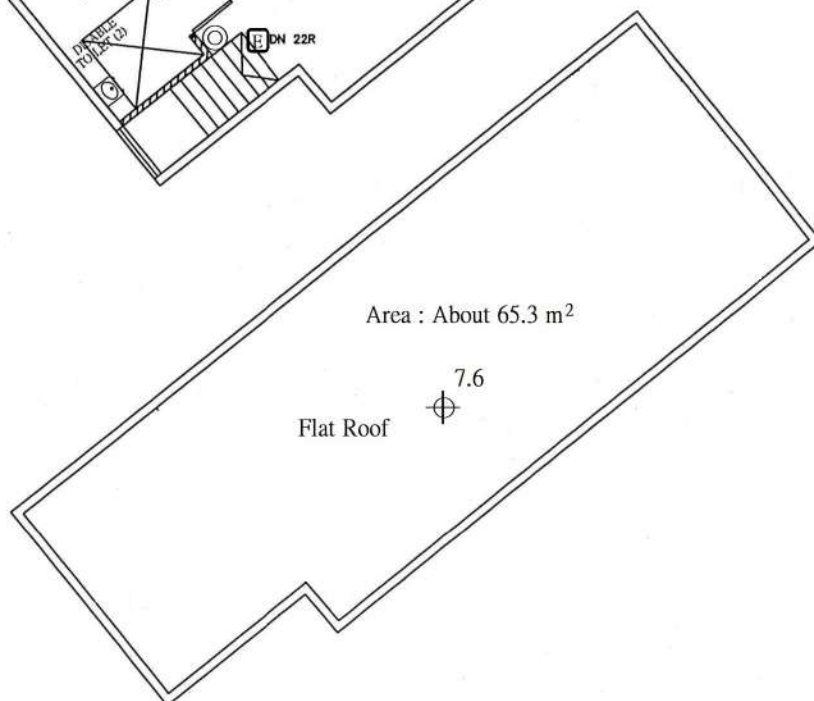
G/F Plan



1/F Plan



R/F Plan



- ◎ Fire Extinguishers
(Carbon Dioxide Gas Type)
- ⓔ Fluorescent Exit Sign Box
(Single Side)
- Stand-alone Fire Detector
(Ceiling Type)

Fire Service Installations Proposal

D.D. 127 LOT 293 RP (P)

Scale : 1 : 100

1 Dec 2023

消防裝置建議

地段：新界元朗洪水橋洪順路丈量約份第 127 約地段第 293 號餘段

構築物面積：地下 65.3 平方米，一樓 65.3 平方米

構築物使用性質：商店(地下、一樓商店，平屋頂純作上蓋，也不設梯級上屋頂。)

建議書提交日期：2023 年 12 月 01 日

消防裝置詳情：

地下：此層地面離地平線約 0.25 米高，與構築物外面地面一樣高，至離地平線 3.8 米高便是天花頂層，也即一樓的地面。此層除了正門外，設有後門，兩個出口都將會裝置出口燈箱，此層共計兩個出口燈箱。此外，有兩個二氧化碳氣體式滅火筒，分別放於兩個就近樓梯位，中間位置的天花將會安裝一個獨立式火警感應器（詳見附圖）。

一樓：此層地面離地平線約 3.8 米高，至離地平線 7.6 米高便是屋頂。此層除了有一樓梯可上落地下與一樓外，還有另一樓梯可直接下去地面離開構築物，兩個樓梯出口都將會裝置出口燈箱，此層共計兩個出口燈箱。此外，也有兩個二氧化碳氣體式滅火筒，分別放於兩個就近樓梯位，中間位置的天花也將會安裝一個獨立式火警感應器（詳見附圖）。

消防裝置總量：二氧化碳氣體式滅火筒共計 4 個，出口燈箱共計 4 個，天花獨立式火警感應器共計 2 個。

裝置與後續安排：將會交由註冊消防裝置承辦商安置及年檢。

☐ Urgent ☐ Return Receipt Requested ☐ Sign ☐ Encrypt ☐ Mark Subject Restricted ☐ Expand personal&public g



Fw: 規劃申請編號 A/YL-TYST/1250

28/12/2023 09:02

From: tmylwdpo_pd/PLAND/HKSARG
To: Edwin Wai Shing YEUNG/PLAND/HKSARG@PLAND
Cc: Alexander Weng Yip MAK/PLAND/HKSARG@PLAND, Haidi Long Hei LAM/PLAND
<hlhlam@pland.gov.hk>

----- Forwarded by tmylwdpo_pd/PLAND/HKSARG on 28/12/2023 09:02 -----

From: "tpbpd/PLAND" <tpbpd@pland.gov.hk>
To: "tmylwdpo_pd/PLAND" <tmylwdpo@pland.gov.hk>
Cc: "Kiff Kit Fu YIU/PLAND" <kkfyiu@pland.gov.hk>
Date: 27/12/2023 17:35
Subject: Fw: 規劃申請編號 A/YL-TYST/1250

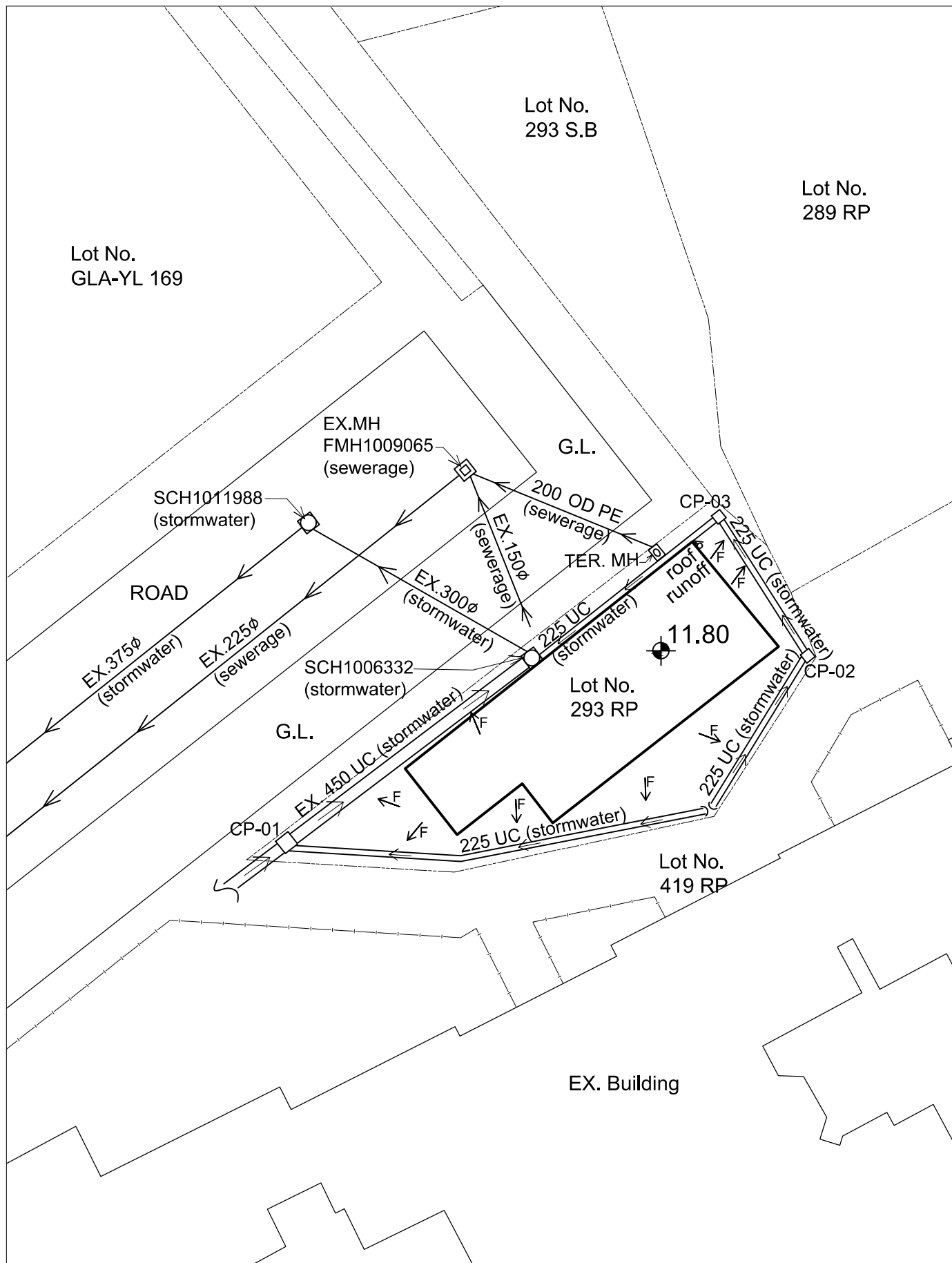
From: Tindy <[REDACTED]>
Sent: Wednesday, December 27, 2023 4:44 PM
To: Haidi Long Hei LAM/PLAND <hlhlam@pland.gov.hk>
Cc: tpbpd/PLAND <tpbpd@pland.gov.hk>
Subject: 規劃申請編號 A/YL-TYST/1250

林小姐：
請查看附件，謝謝！

文煌有限公司



曾繼源 DD127_Lot293_STE(20231201).pdf



STORMWATER & SEWERAGE DRAINAGE PLAN
(SCALE 1 : 200)

APPLICATION SITE

Lot 293 RP
D.D. 127
Hung Shui Kiu
Yuen Long, N.T.
(Planning Application
No. A/YL-TYST/1250)

DRAWING TITLE

STORMWATER &
SEWERAGE
DRAINAGE WORK

DRAWING NO.

STE-1C

DRAWING DATE

1 DEC 2023

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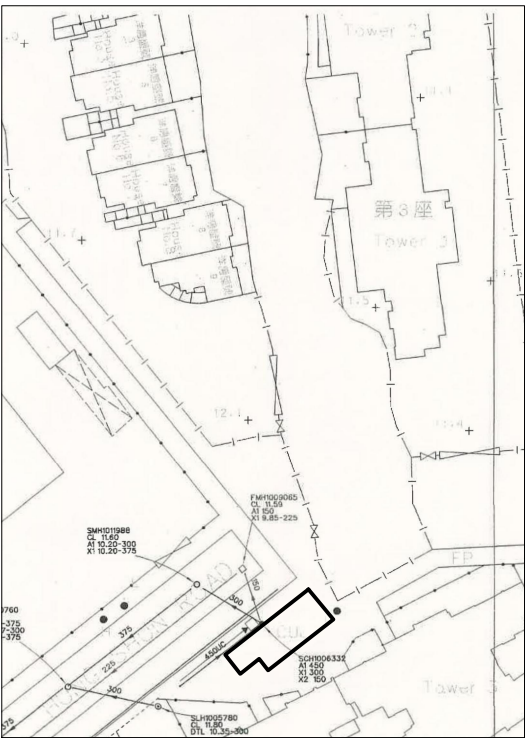
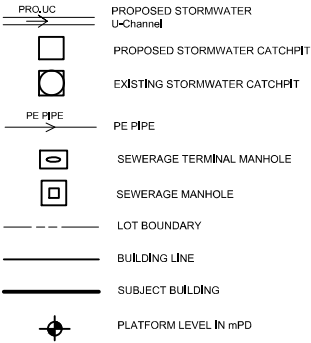
**Solar-Iil Design
Consulting Limited**

景佑設計工程顧問有限公司

GENERAL NOTES

1. ALL DIMENSIONS ARE IN MILLIMETERS
2. FOUNDATION OF TERMINAL MANHOLE VARIES WITH SITE CONDITION AND SHOULD BE DETERMINED ON SITE BY THE ENGINEER.
3. CONCRETE MIX TO BE 30D/20 AND COMPLY WITH CS1.
4. BLINDING LAYER TO BE 15P MIX.
5. ALL DRAINS FROM VILLAGE HOUSE TO MANHOLE TO BE 100Ø PVC PIPE WITH MIN. FALL IN 1 : 40.
6. ALL DRAINS FROM TERMINAL MANHOLE TO MANHOLE TO BE 200Ø HDPE PIPE WITH MIN. FALL IN 1 : 70.
7. ALL DRAINS FROM MANHOLE TO EXISTING MANHOLE TO BE 200Ø PE PIPE WITH MIN. FALL IN 1 : 70.
8. ALL SEWERAGE TERMINAL MANHOLE SHALL BE PROVIDED WITH 100Ø PVC FRESH AIR INLET PIPE AND EXTENDED TO MIN. 2.5m ABOVE GROUND.
9. THE PROPOSED SEWERAGE DRAINAGE SYSTEM TO BE MAINTAINED BY THE OWNER AT OWNER'S COST.
10. A MINIMUM SOIL COVER OF 450MM AND 900MM SHOULD BE PROVIDED FOR THE CONNECTION PIPE CONSTRUCTED UNDER FOOTPATH AND CARRIAGEWAY RESPECTIVELY.
- 11.ALL COVER LEVEL AND INVERT LEVEL OF EXISTING MANHOLE WAS CLARIFIED BY DSD'S PROJECT MANAGEMENT DIVISION.
- 12.AFTER OUR CONSIDERATION, UPVC PIPE IS SUITABLE FOR OUR DRAINAGE WORK.
- 13.THE APPLICANT WILL ENSURE THE RUNOFF WILL NOT BE DRAINED TO THE PUBLIC SEWAGE NETWORK. THE RUNOFF WITHIN THE SUBJECT PREMISES AND SMALL HOUSE WILL BE SERVES BY A DESIGNATED STROMWATER COLLECTION AND DISCHARGES SYSTEM.

LEGEND



BLOCK PLAN
(SCALE 1 : 1000)

GENERAL NOTES

1. ALL DIMENSIONS ARE IN MILLIMETERS
2. CONCRETE MIX TO BE 30D/20 AND COMPLY WITH CS1.
3. BLINDING LAYER TO BE 15P MIX.
4. ALL NEW 225 CHANNEL ARE OF FALL GRADIENT 1:100
5. PROPOSED CONNECTION UNDERGROUND PIPE IS TO BE CONSTRUCTED UNDER FOOTPATH AND THE UPVC PIPE PROVIDED CONCRETE SURROUND MIN. 150MM THICK.

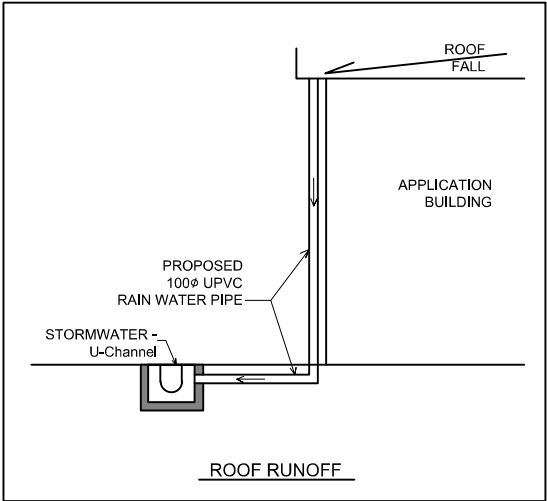
STORMWATER DRAINAGE

CATCHPIT	C L	A 1	A 2	X 1
CP01 (WITH TRAP) (CEDD DRAWING NO. C2406/1)	11.80	11.30	11.44	11.30
CP02 (CEDD DRAWING NO. C2405/1)	11.80	11.53	-----	11.53
CP03 (WITH TRAP) (CEDD DRAWING NO. C2406/1)	11.80	11.47	-----	11.47
EX. CP (SCH1006332)	11.80	11.18	11.39	11.18

SEWERAGE DRAINAGE

MANHOLE	C L	I L	D T L
TER.MH1 (DSD DRAWING DS-1090)	11.80	10.72	10.54

MANHOLE	C L	A1	A2	X1
EXMH (FMH1009065)	11.59	-----	10.44	9.85



APPLICATION SITE

Lot 293 RP
D.D. 127
Hung Shui Kiu
Yuen Long, N.T.
(Planning Application
No. A/YL-TYST/1250)

DRAWING TITLE

STORMWATER &
SEWERAGE
DRAINAGE WORK

DRAWING NO.

STE-2C

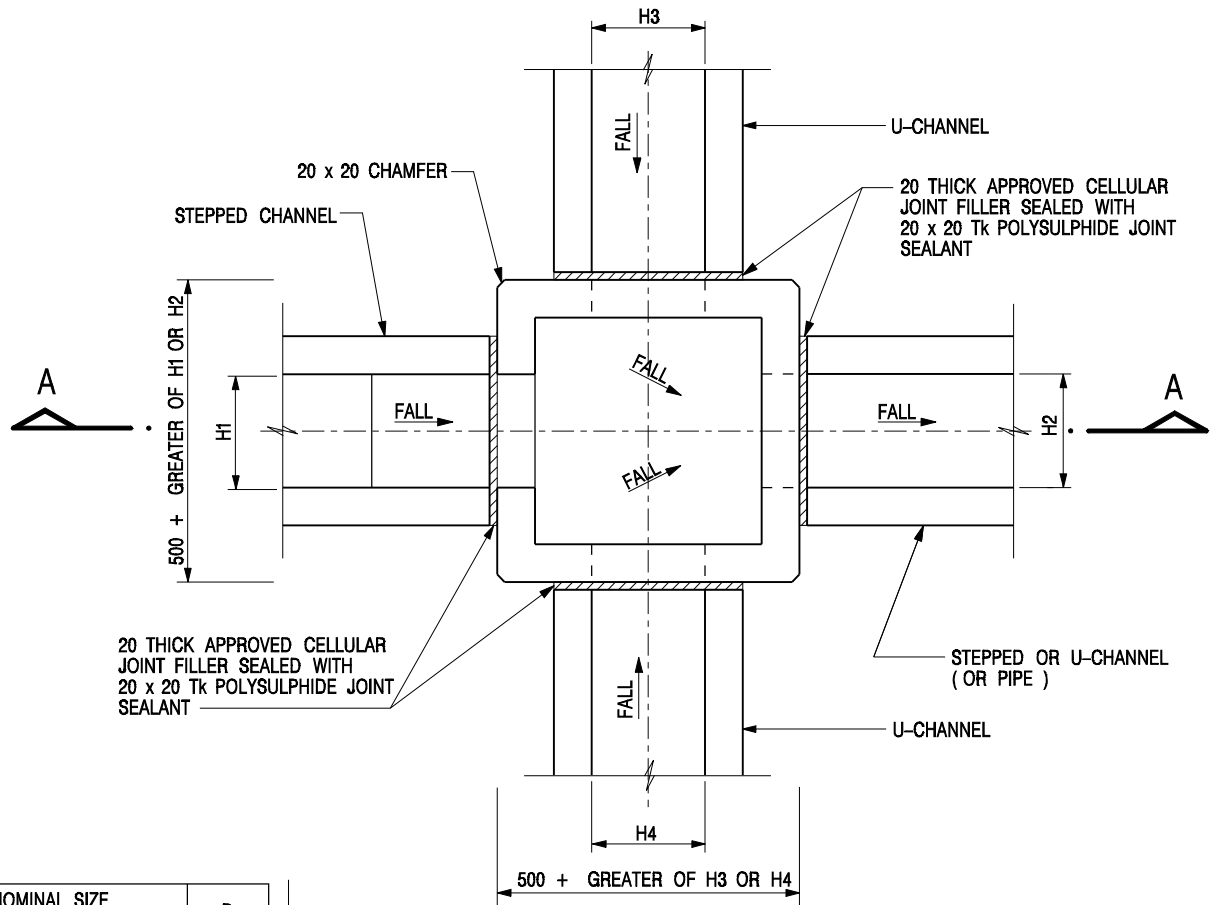
DRAWING DATE

1 DEC 2023

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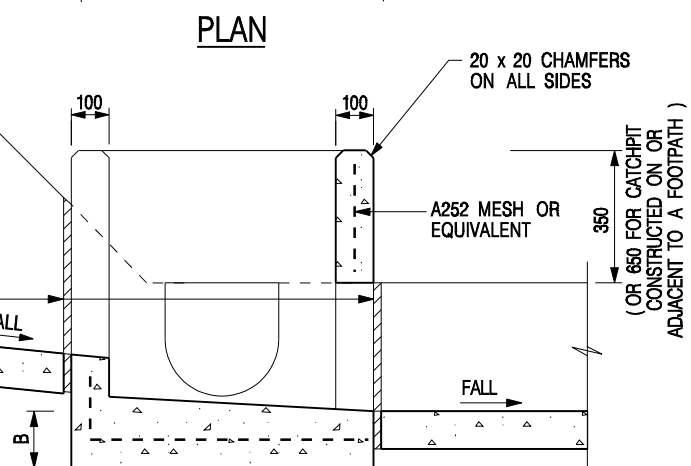
Solar-Iil Design Consulting Limited

景佑設計工程顧問有限公司

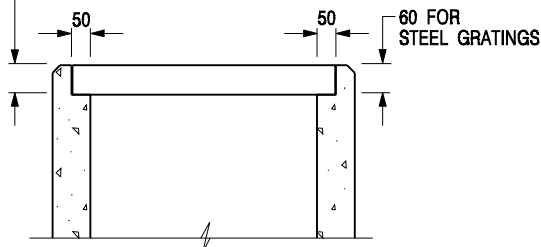


NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175

20 THICK APPROVED CELLULAR JOINT FILLER SEALED WITH 20 x 20 Tk POLYSULPHIDE JOINT SEALANT



DEPTH OF RECESS AND DETAILS OF PRECAST CONCRETE COVERS (SEE STD. DRG. NO. C2407)




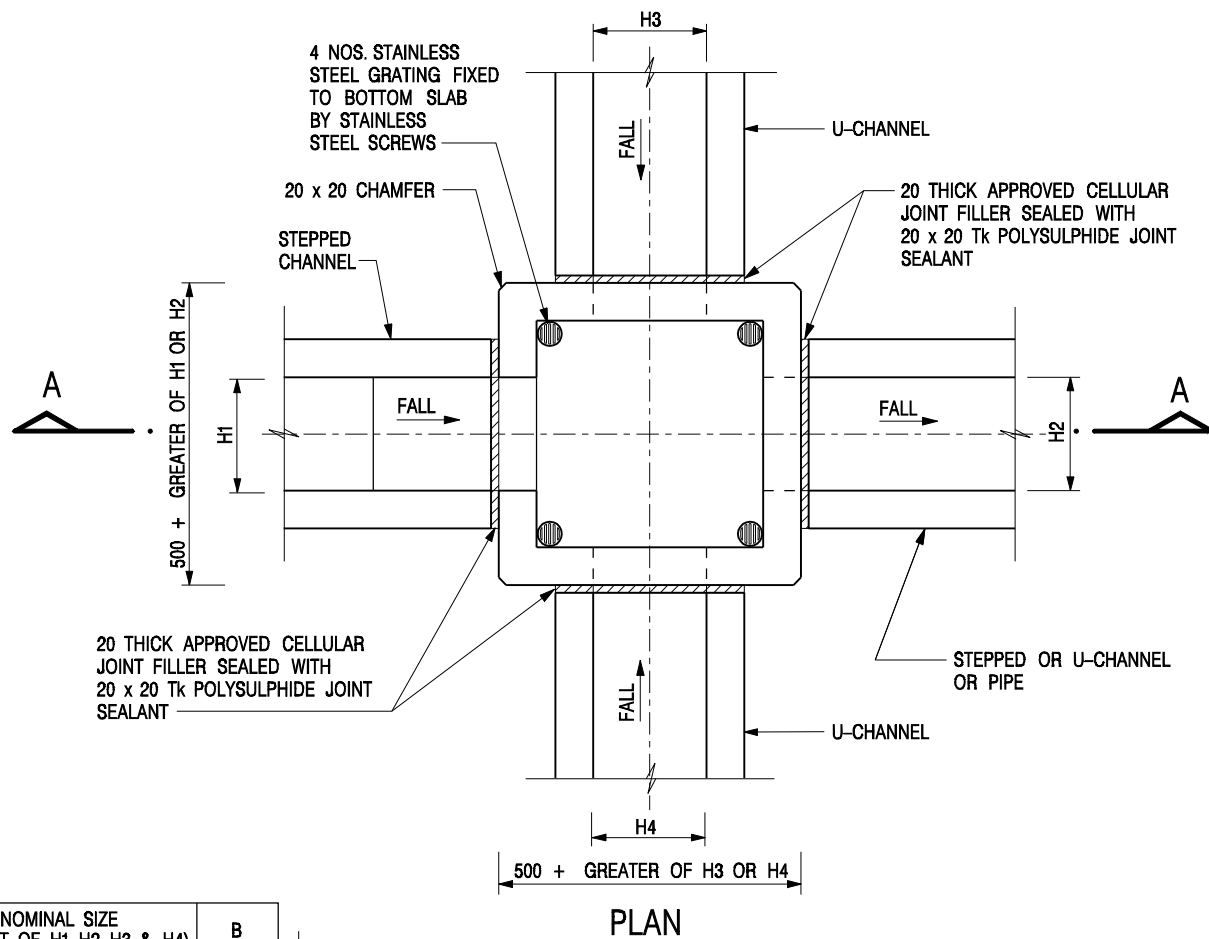
NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 5 FOR OTHER NOTES.

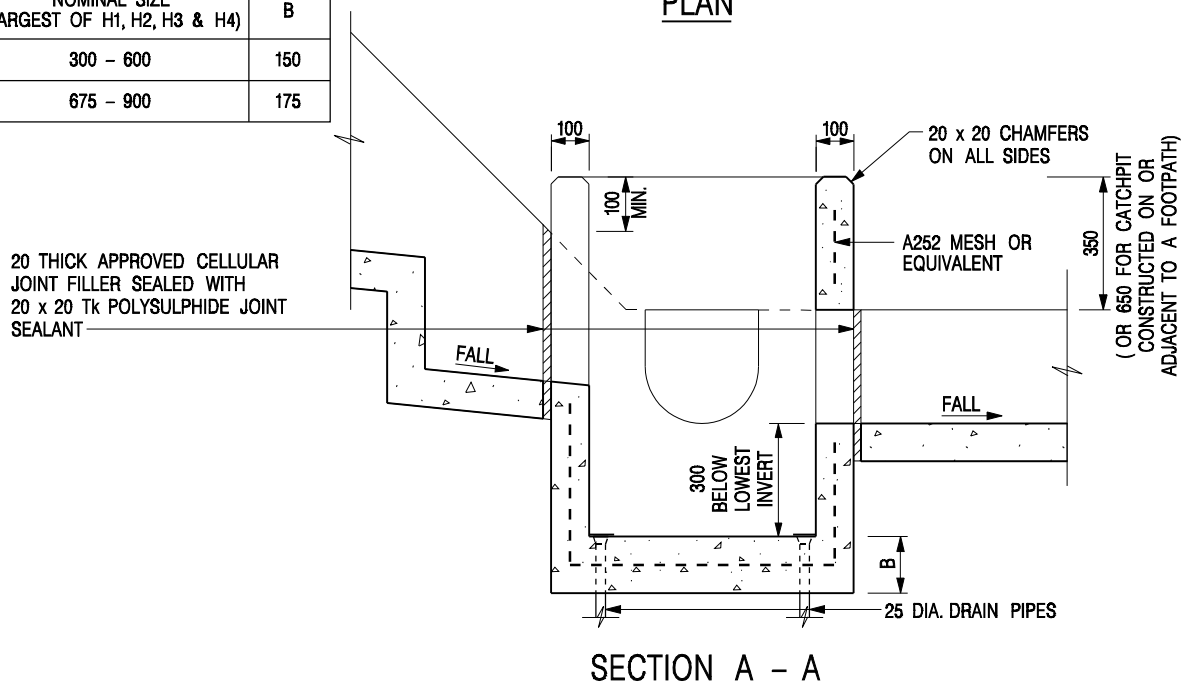
ALTERNATIVE TOP SECTION FOR PRECAST CONCRETE COVERS / GRATINGS

STANDARD CATCHPIT DETAILS (SHEET 1 OF 5)

-	FORMER DRG. NO. C2405J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE
 CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT		SCALE 1 : 20 DATE JAN 1991	
		DRAWING NO. C2405 /1	




NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175

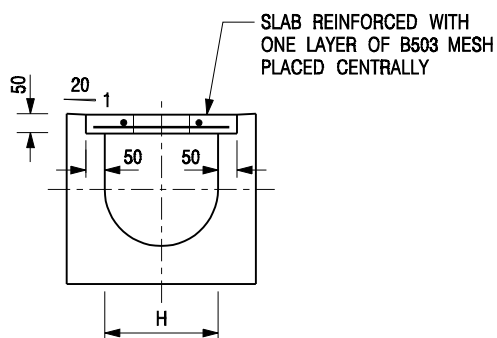


NOTES:

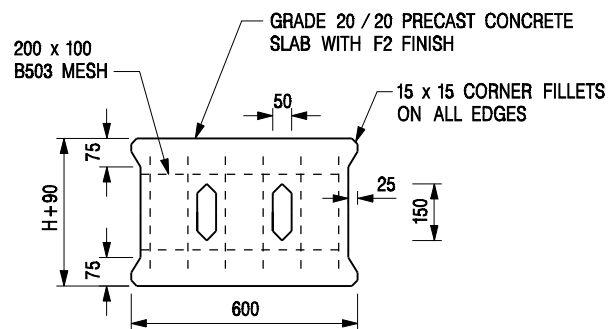
1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 2 FOR OTHER NOTES.

CATCHPIT WITH TRAP
(SHEET 1 OF 2)

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE
 CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT		SCALE 1 : 20	
		DATE JAN 1991	
		DRAWING NO. C2406 /1	



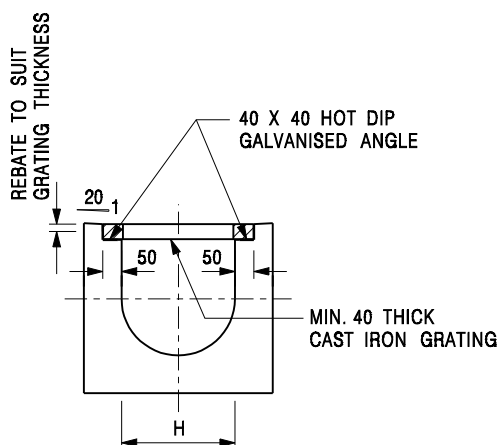
TYPICAL SECTION



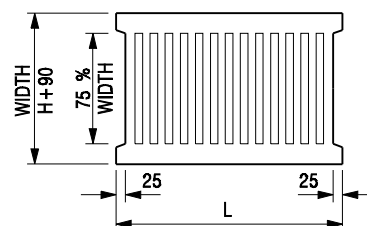
PLAN OF SLAB

U-CHANNELS WITH PRECAST CONCRETE SLABS

(UP TO H OF 525)



TYPICAL SECTION



L = 600mm FOR H ≤ 375mm
L = 400mm FOR H > 375mm

CAST IRON GRATING

(DIMENSIONS ARE FOR GUIDANCE ONLY, CONTRACTOR MAY SUBMIT EQUIVALENT TYPE)

U-CHANNEL WITH CAST IRON GRATING

(UP TO H OF 525)

NOTES:

- ALL DIMENSIONS ARE IN MILLIMETRES.
- H=NOMINAL CHANNEL SIZE.
- ALL CAST IRON FOR GRATINGS SHALL BE GRADE EN-GJL-150 COMPLYING WITH BS EN 1561.
- FOR COVERED CHANNELS TO BE HANDED OVER TO HIGHWAYS DEPARTMENT FOR MAINTENANCE, THE GRATING DETAILS SHALL FOLLOW THOSE AS SHOWN ON HyD STD. DRG. NO. H3156.

E	NOTES 3 & 4 AMENDED.	Original Signed	12.2014
D	NOTE 4 ADDED.	Original Signed	06.2008
C	MINOR AMENDMENT. NOTE 3 ADDED.	Original Signed	12.2005
B	NAME OF DEPARTMENT AMENDED.	Original Signed	01.2005
A	CAST IRON GRATING AMENDED.	Original Signed	12.2002
REF.	REVISION	SIGNATURE	DATE

**COVER SLAB AND CAST IRON
GRATING FOR CHANNELS**

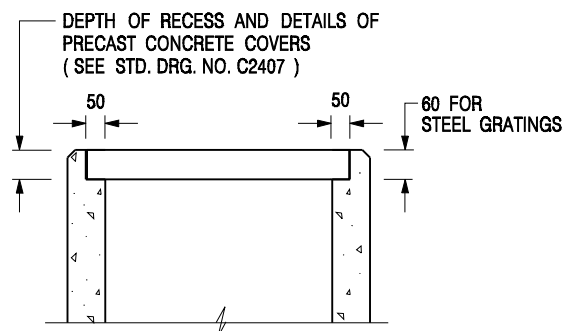


**CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT**

SCALE 1 : 20

DATE JAN 1991

DRAWING NO.
C2412E



ALTERNATIVE TOP SECTION FOR PRECAST CONCRETE COVERS / GRATINGS

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS (SEE DETAIL 'A' ON STD. DRG. NO. C2405 /2) OR CONCRETE COVERS (SEE STD. DRG. NO. C2407) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING (SEE DETAIL 'J' ON STD. DRG. NO. C2405 /5; EXCEPT ON THE UPSLOPE SIDE) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS (SEE DSD STD. DRG. NO. DS1043) AT 300 c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'G' ON STD. DRG. NO. C2405 /4.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

A	MINOR AMENDMENT.	Original Signed	04.2016
-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE

CATCHPIT WITH TRAP
(SHEET 2 OF 2)



**CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT**

SCALE 1 : 20

DATE JAN 1991

DRAWING NO.

C2406 /2A

Technical drawing of a manhole assembly, showing a top view and a side view.

Top View:

- Shows a rectangular manhole structure with a circular opening.
- Dimension 75 is indicated for the width of the opening.
- Slope is indicated as $1:12$ FALL.
- Label: **STEP IRON WHEN NECESSARY** points to the top edge of the manhole structure.
- Label: **TO STORMWATER/ SEWER DRAIN** points to the outlet pipe.

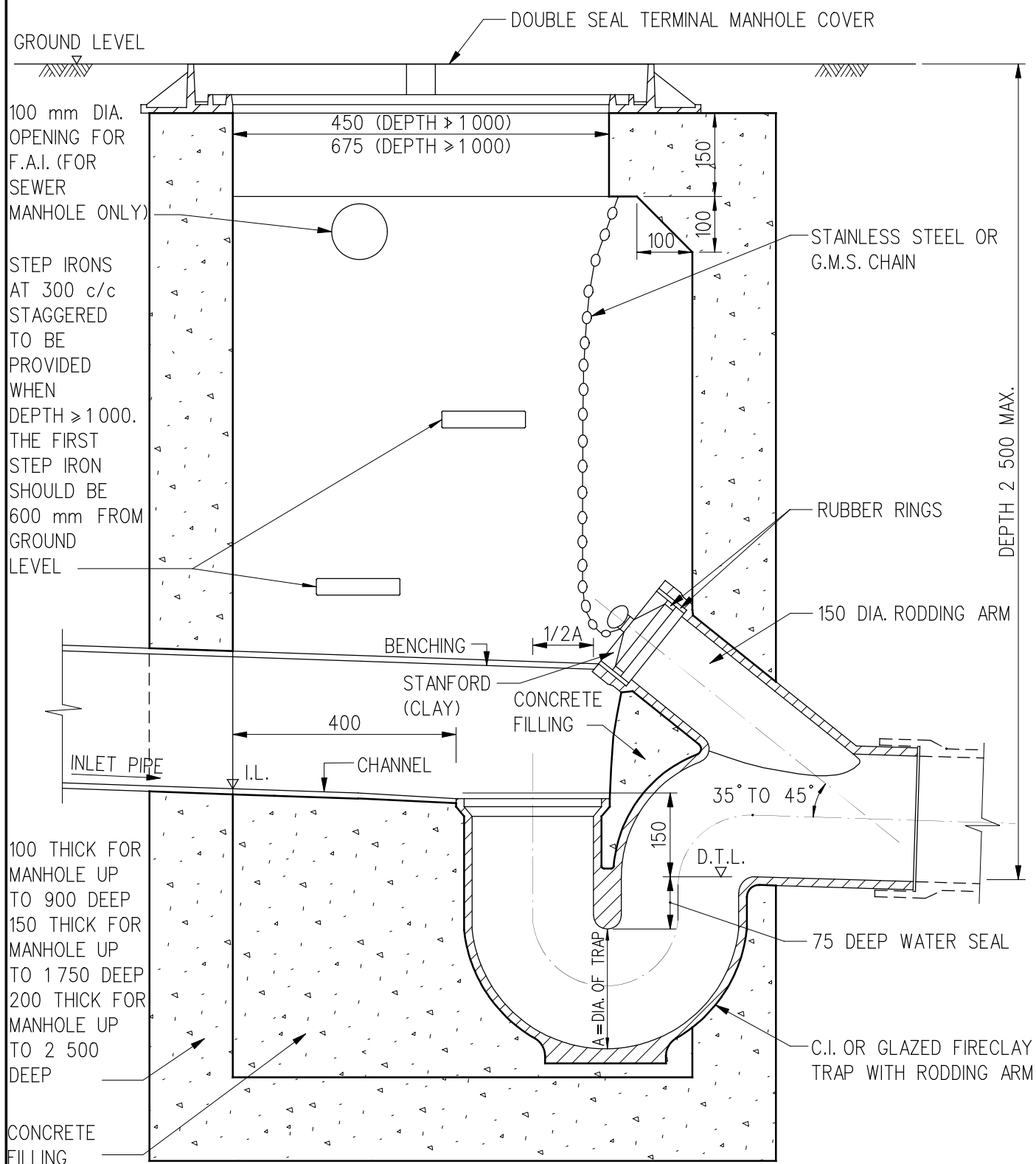
Side View:

- Shows the manhole structure with a diameter dimension D/A .
- Slope is indicated as $1:12$ FALL.
- Label **A** points to the top edge of the manhole structure.

MANHOLE COVER OPENING SIZE (mm)	450	675
X (mm)	600 (min)	825 (min)
Y (mm)	(DIA. + 500)	(DIA. + 500) OR 675, WHICHEVER IS GREATER

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. CONCRETE IS TO BE GRADE 30/20.
3. PIPE DIAMETER OF PIPE TO BE LESS THAN OR EQUAL TO 450 mm.

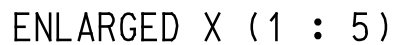
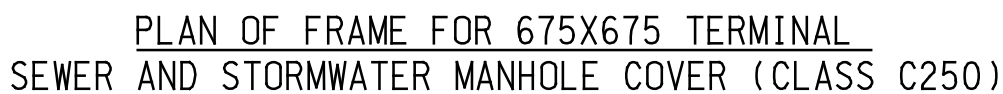
	NEW ISSUE	ORIGINAL SIGNED	13.1.2016
REV.	DESCRIPTION	SIGNATURE	DATE
DRAINAGE SERVICES DEPARTMENT			
REFERENCE		DRAWING No.	
SCALE 1 : 10		DS 1090 (SHEET 1 OF 2)	



SECTION A-A

**TERMINAL MANHOLE
TYPE T1_1**

REV.	NEW ISSUE	ORIGINAL SIGNED	13.1.2016
	DESCRIPTION	SIGNATURE	DATE
DRAINAGE SERVICES DEPARTMENT			
REFERENCE		DRAWING No.	
SCALE		DS 1090	
1 : 10		(SHEET 2 OF 2)	

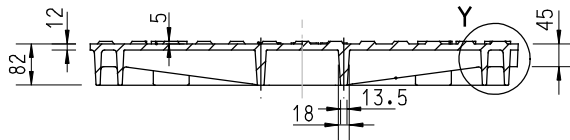


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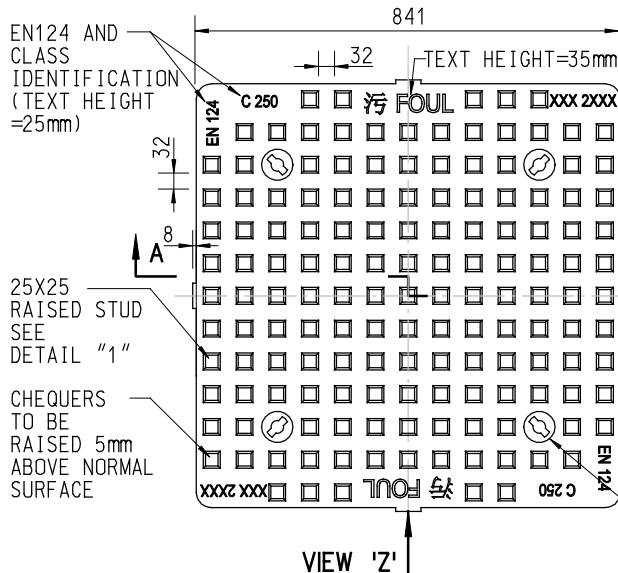
1. FOR GENERAL NOTES OF DUCTILE IRON MANHOLE COVER & FRAME, REFER TO DRG. NO. DS1076 (2 SHEETS)
2. FILLETS FOR BOTTOM ENDS OF THE COVER EDGES AND RIBS ARE R1, OTHER UNSPECIFIED FILLETS ARE R2

STANDARD 675 SQUARE ONE - PIECE
DUCTILE IRON DOUBLE SEAL
TERMINAL MANHOLE COVER & FRAME,
(CLASS C250)

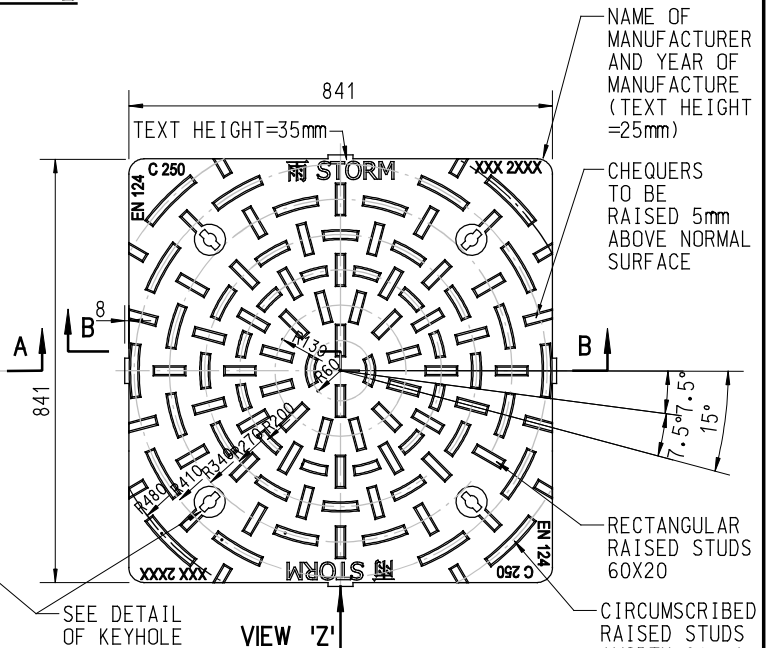
DRAINAGE SERVICES DEPARTMENT	
REFERENCE	DRAWING No.
SCALE	DS 1089
1 : 15 OR AS SHOWN	(SHEET 1 OF 4)



SECTION A - A = SECTION B - B



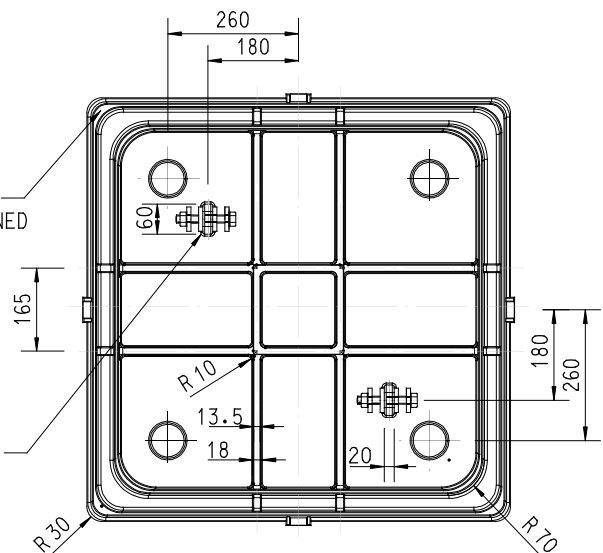
PLAN OF SEWER
MANHOLE COVER
(CLASS C250)



PLAN OF STORMWATER
MANHOLE COVER
(CLASS C250)

FACES IN CONTACT WITH
SUPPORTING PADS MACHINED
TO THE SAME LEVEL

Ø20 ANCHOR HOLES IN COVER (SEE DETAIL "2")
LOOSELY COUPLED BY GRADE 8.8 M16
BOLTS WITH WASHERS / NUTS
AND ANCHORED TO THE MANHOLE WALL
VIA GRADE 80 CHAIN
(REFER TO DRG. NO. DS1086 (2 SHEETS) FOR
FULL SET OF ANCHOR AND CHAIN ARRANGEMENT)



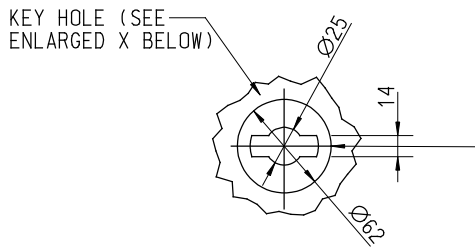
BOTTOM VIEW

NOTES:

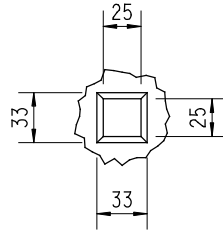
- FOR GENERAL NOTES OF DUCTILE IRON MANHOLE COVER & FRAME,
REFER TO DRG. NO. DS1076 (2 SHEETS)
- FILLETS FOR BOTTOM ENDS OF THE COVER EDGES AND
RIBS ARE R1, OTHER UNSPECIFIED FILLETS ARE R2

STANDARD 675 SQUARE ONE - PIECE
DUCTILE IRON DOUBLE SEAL
TERMINAL MANHOLE COVER & FRAME,
(CLASS C250)

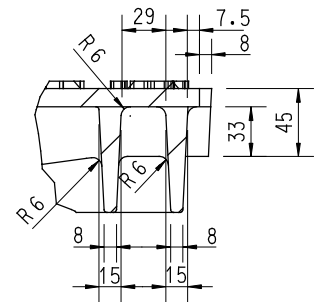
REV.	NEW ISSUE	ORIGINAL SIGNED	10.5.2010
DESCRIPTION	SIGNATURE	DATE	
DRAINAGE SERVICES DEPARTMENT			
REFERENCE	DRAWING No.		
SCALE	DS 1089		
1 : 15	(SHEET 2 OF 4)		



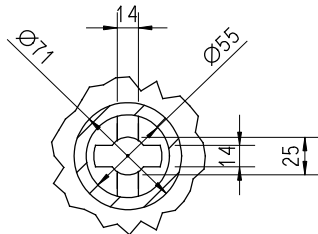
DETAIL OF KEY HOLE



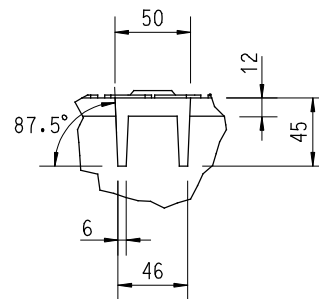
RAISED STUD
DETAIL "1"



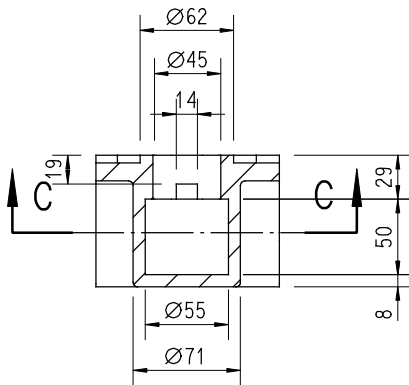
ENLARGED Y



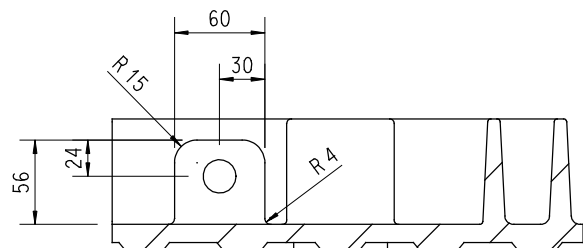
SECTION C - C



VIEW "Z"



ENLARGED X (KEY HOLE)



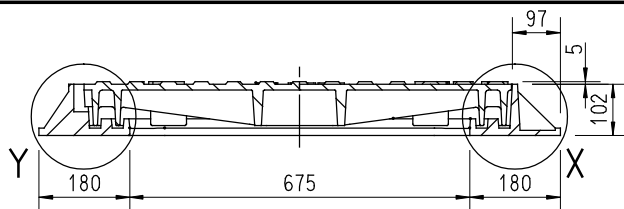
ANCHOR HOLE DETAIL "2"

NOTES:

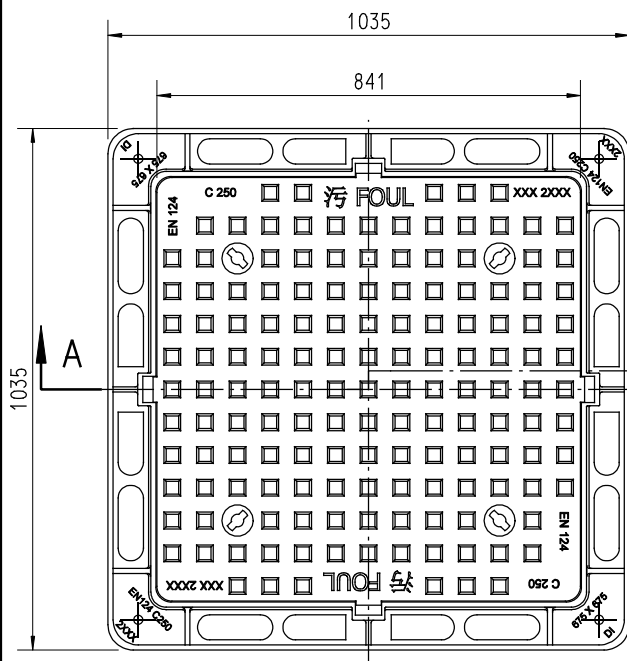
1. FOR GENERAL NOTES OF DUCTILE IRON MANHOLE COVER & FRAME, REFER TO DRG. NO. DS1076 (2 SHEETS)
2. FILLETS FOR BOTTOM ENDS OF THE COVER EDGES AND RIBS ARE R1, OTHER UNSPECIFIED FILLETS ARE R2

STANDARD 675 SQUARE ONE - PIECE
DUCTILE IRON DOUBLE SEAL
TERMINAL MANHOLE COVER & FRAME,
(CLASS C250)

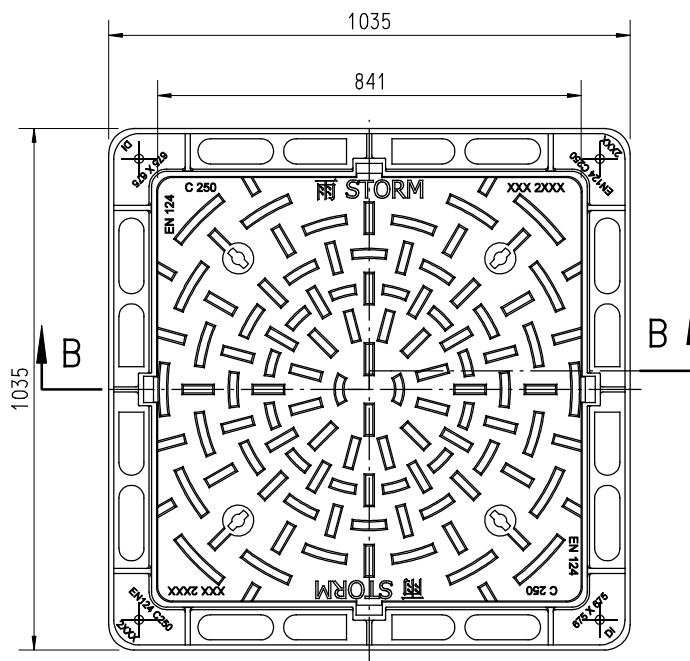
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REV.	DESCRIPTION	SIGNATURE	DATE
DRAINAGE SERVICES DEPARTMENT			
REFERENCE		DRAWING No.	
SCALE		DS 1089	
		(SHEET 3 OF 4)	



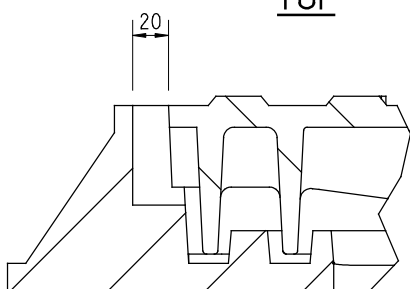
SECTION A - A = SECTION B - B



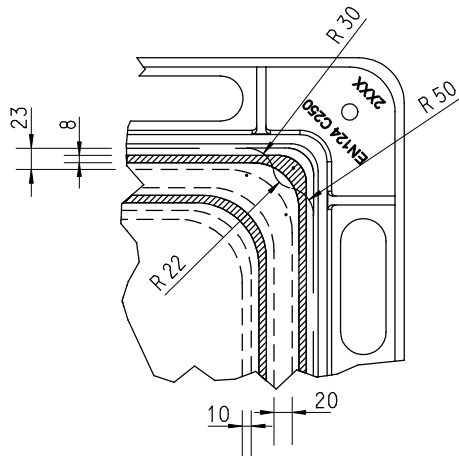
TOP



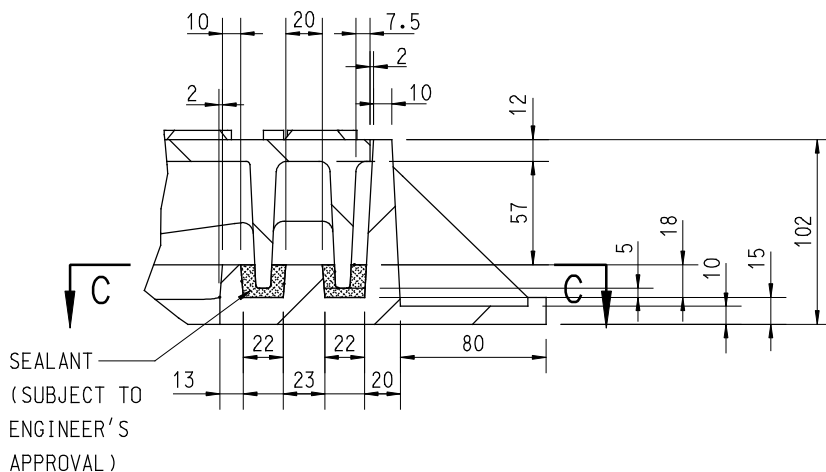
TOP



ENLARGED Y (1:5)



SECTION C - C (1:10)



ENLARGED X (1:5)

NOTES:

- FOR GENERAL NOTES OF DUCTILE IRON MANHOLE COVER & FRAME, REFER TO DRG. NO. DS1076 (2 SHEETS)
- FILLETS FOR BOTTOM ENDS OF THE COVER EDGES AND RIBS ARE R1, OTHER UNSPECIFIED FILLETS ARE R2

NEW ISSUE	ORIGINAL SIGNED	10.5.2010
REV.	DESCRIPTION	SIGNATURE

STANDARD 675 SQUARE ONE - PIECE
DUCTILE IRON DOUBLE SEAL
TERMINAL MANHOLE COVER & FRAME,
(CLASS C250)

DRAINAGE SERVICES DEPARTMENT

REFERENCE

DRAWING No.

SCALE

DS 1089

(SHEET 4 OF 4)

☐ Urgent ☐ Return Receipt Requested ☐ Sign ☐ Encrypt ☐ Mark Subject Restricted ☐ Expand personal&public g



Fw: 規劃申請編號 A/YL-TYST/1250

28/12/2023 10:40

From: tmylwdpo_pd/PLAND/HKSARG
To: Edwin Wai Shing YEUNG/PLAND/HKSARG@PLAND
Cc: Alexander Weng Yip MAK/PLAND/HKSARG@PLAND, Haidi Long Hei LAM/PLAND
<hlhlam@pland.gov.hk>

----- Forwarded by tmylwdpo_pd/PLAND/HKSARG on 28/12/2023 10:40 -----

From: "tpbpd/PLAND" <tpbpd@pland.gov.hk>
To: "tmylwdpo_pd/PLAND" <tmylwdpo@pland.gov.hk>
Cc: "Kiff Kit Fu YIU/PLAND" <kkfyiu@pland.gov.hk>
Date: 28/12/2023 10:31
Subject: Fw: 規劃申請編號 A/YL-TYST/1250

From: Tindy <[REDACTED]>
Sent: Thursday, December 28, 2023 9:47 AM
To: Haidi Long Hei LAM/PLAND <hlhlam@pland.gov.hk>
Cc: tpbpd/PLAND <tpbpd@pland.gov.hk>
Subject: 規劃申請編號 A/YL-TYST/1250

林小姐：
請查看附件，謝謝！

文煌有限公司



曾繼源 Form No. S.16-III_Sep 2023 revised P5.pdf

6. Type(s) of Application 申請類別													
(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas 位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展 (For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B)) (如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)													
(a) Proposed use(s)/development 擬議用途/發展	PROPOSED SHOP AND SERVICES (Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)												
(b) Effective period of permission applied for 申請的許可有效期	<input checked="" type="checkbox"/> year(s) 年 3 <input type="checkbox"/> month(s) 個月												
(c) Development Schedule 發展細節表 <table border="0"> <tr> <td>Proposed uncovered land area 擬議露天土地面積</td> <td>..... /sq.m <input type="checkbox"/> About 約</td> </tr> <tr> <td>Proposed covered land area 擬議有上蓋土地面積</td> <td>..... 65.3sq.m <input type="checkbox"/> About 約</td> </tr> <tr> <td>Proposed number of buildings/structures 擬議建築物/構築物數目</td> <td>..... 1</td> </tr> <tr> <td>Proposed domestic floor area 擬議住用樓面面積</td> <td>..... /sq.m <input type="checkbox"/> About 約</td> </tr> <tr> <td>Proposed non-domestic floor area 擬議非住用樓面面積</td> <td>..... 130.6sq.m <input checked="" type="checkbox"/> About 約</td> </tr> <tr> <td>Proposed gross floor area 擬議總樓面面積</td> <td>..... 130.6sq.m <input checked="" type="checkbox"/> About 約</td> </tr> </table>		Proposed uncovered land area 擬議露天土地面積 /sq.m <input type="checkbox"/> About 約	Proposed covered land area 擬議有上蓋土地面積 65.3sq.m <input type="checkbox"/> About 約	Proposed number of buildings/structures 擬議建築物/構築物數目 1	Proposed domestic floor area 擬議住用樓面面積 /sq.m <input type="checkbox"/> About 約	Proposed non-domestic floor area 擬議非住用樓面面積 130.6sq.m <input checked="" type="checkbox"/> About 約	Proposed gross floor area 擬議總樓面面積 130.6sq.m <input checked="" type="checkbox"/> About 約
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Proposed gross floor area 擬議總樓面面積 130.6sq.m <input checked="" type="checkbox"/> About 約												
Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明) G/F (SHOP AND SERVICES) 1/F (SHOP AND SERVICES) TOTAL 2 STOREYS, 7.6M HEIGHT													
Proposed number of car parking spaces by types 不同種類停車位的擬議數目 <table border="0"> <tr> <td>Private Car Parking Spaces 私家車車位</td> <td>..... NA</td> </tr> <tr> <td>Motorcycle Parking Spaces 電單車車位</td> <td>..... NA</td> </tr> <tr> <td>Light Goods Vehicle Parking Spaces 輕型貨車泊車位</td> <td>..... NA</td> </tr> <tr> <td>Medium Goods Vehicle Parking Spaces 中型貨車泊車位</td> <td>..... NA</td> </tr> <tr> <td>Heavy Goods Vehicle Parking Spaces 重型貨車泊車位</td> <td>..... NA</td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>..... NA</td> </tr> </table>		Private Car Parking Spaces 私家車車位 NA	Motorcycle Parking Spaces 電單車車位 NA	Light Goods Vehicle Parking Spaces 輕型貨車泊車位 NA	Medium Goods Vehicle Parking Spaces 中型貨車泊車位 NA	Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 NA	Others (Please Specify) 其他 (請列明) NA
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Medium Goods Vehicle Parking Spaces 中型貨車泊車位 NA												
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 NA												
Others (Please Specify) 其他 (請列明) NA												
Proposed number of loading/unloading spaces 上落客貨車位的擬議數目 <table border="0"> <tr> <td>Taxi Spaces 的士車位</td> <td>..... NA</td> </tr> <tr> <td>Coach Spaces 旅遊巴車位</td> <td>..... NA</td> </tr> <tr> <td>Light Goods Vehicle Spaces 輕型貨車車位</td> <td>..... NA</td> </tr> <tr> <td>Medium Goods Vehicle Spaces 中型貨車車位</td> <td>..... NA</td> </tr> <tr> <td>Heavy Goods Vehicle Spaces 重型貨車車位</td> <td>..... NA</td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>..... NA</td> </tr> </table>		Taxi Spaces 的士車位 NA	Coach Spaces 旅遊巴車位 NA	Light Goods Vehicle Spaces 輕型貨車車位 NA	Medium Goods Vehicle Spaces 中型貨車車位 NA	Heavy Goods Vehicle Spaces 重型貨車車位 NA	Others (Please Specify) 其他 (請列明) NA
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Coach Spaces 旅遊巴車位 NA												
Light Goods Vehicle Spaces 輕型貨車車位 NA												
Medium Goods Vehicle Spaces 中型貨車車位 NA												
Heavy Goods Vehicle Spaces 重型貨車車位 NA												
Others (Please Specify) 其他 (請列明) NA												

☐ Urgent ☐ Return Receipt Requested ☐ Sign ☐ Encrypt ☐ Mark Subject Restricted ☐ Expand personal&public g



Fw: 規劃申請編號 A/YL-TYST/1250

04/01/2024 15:25

From: tmylwdpo_pd/PLAND/HKSARG
To: Edwin Wai Shing YEUNG/PLAND/HKSARG@PLAND
Cc: Alexander Weng Yip MAK/PLAND/HKSARG@PLAND, Haidi Long Hei LAM/PLAND
<hlhlam@pland.gov.hk>

----- Forwarded by tmylwdpo_pd/PLAND/HKSARG on 04/01/2024 15:25 -----

From: "tpbpd/PLAND" <tpbpd@pland.gov.hk>
To: "tmylwdpo_pd/PLAND" <tmylwdpo@pland.gov.hk>
Cc: "Kiff Kit Fu YIU/PLAND" <kkfyiu@pland.gov.hk>, "Phoebe Hiu Ching TSUI/PLAND"
<phctsui@pland.gov.hk>
Date: 04/01/2024 12:25
Subject: Fw: 規劃申請編號 A/YL-TYST/1250

From: Tindy <[REDACTED]>
Sent: Thursday, January 4, 2024 12:18 PM
To: Haidi Long Hei LAM/PLAND <hlhlam@pland.gov.hk>
Cc: tpbpd/PLAND <tpbpd@pland.gov.hk>
Subject: 規劃申請編號 A/YL-TYST/1250

林小姐：

關於 貴處查詢該申請地段臨時商店業務類別，我們可能會在營業時段內以雜貨店或
便利店形式經營。

文煌有限公司
曾繼源



規劃申請編號 A/YL-TYST/125017/01/2024 17:39

From: Tindy <[REDACTED]>

To: ewsyeung@pland.gov.hk

Cc: hlhlam@pland.gov.hk, tpbpd@pland.gov.hk

3 Attachments

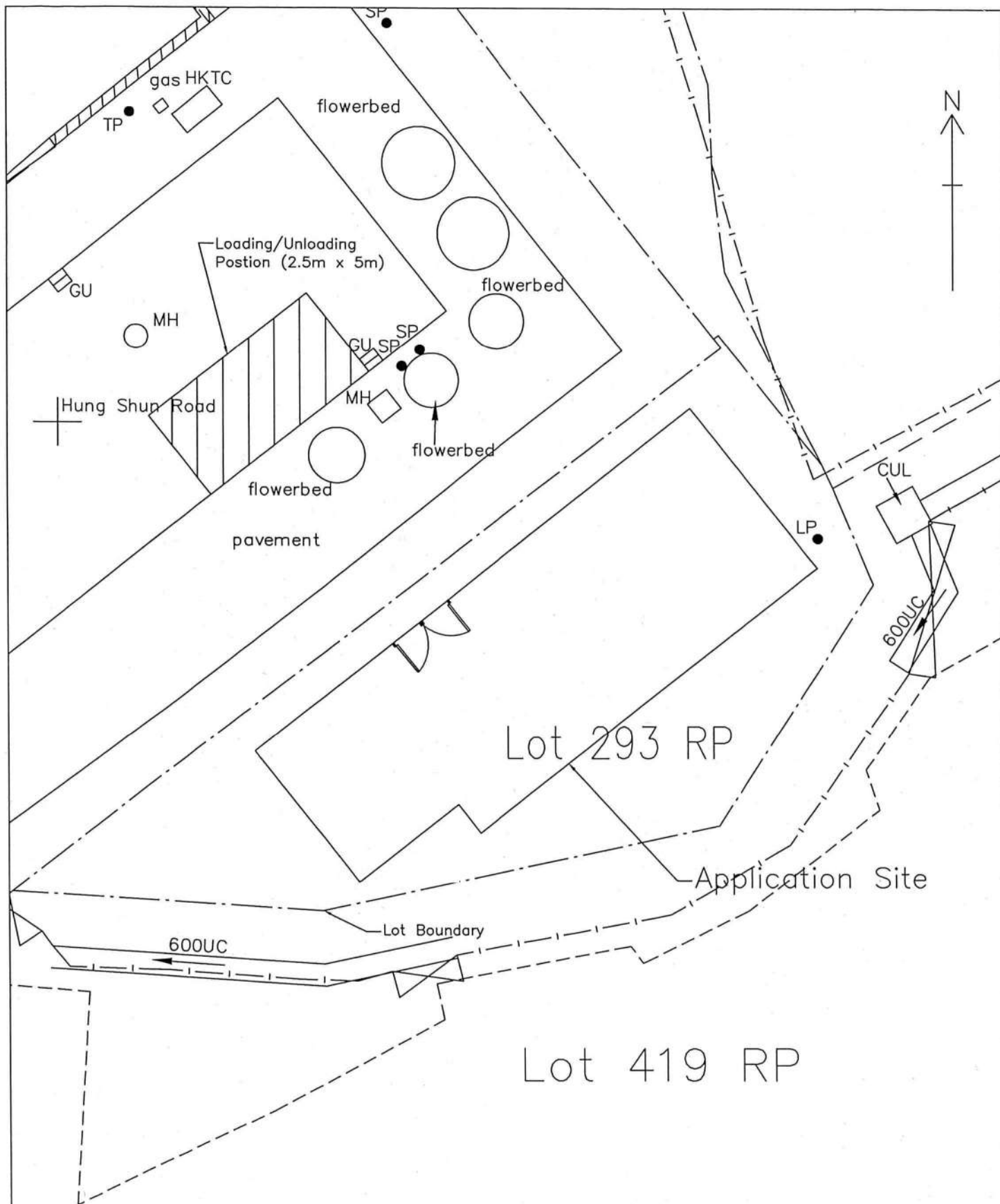


Master Layout (revised).pdf master landscape (revised).pdf DD127_Lot293_STE(20240117 revised).pdf

梁先生：

你好，關於我們早前提交的Master Landscape, Master Layout以及排水建議圖則關於構築物在圖紙上的比例有出入，現提交新的修訂圖紙與排水建議，請查看附件，謝謝！

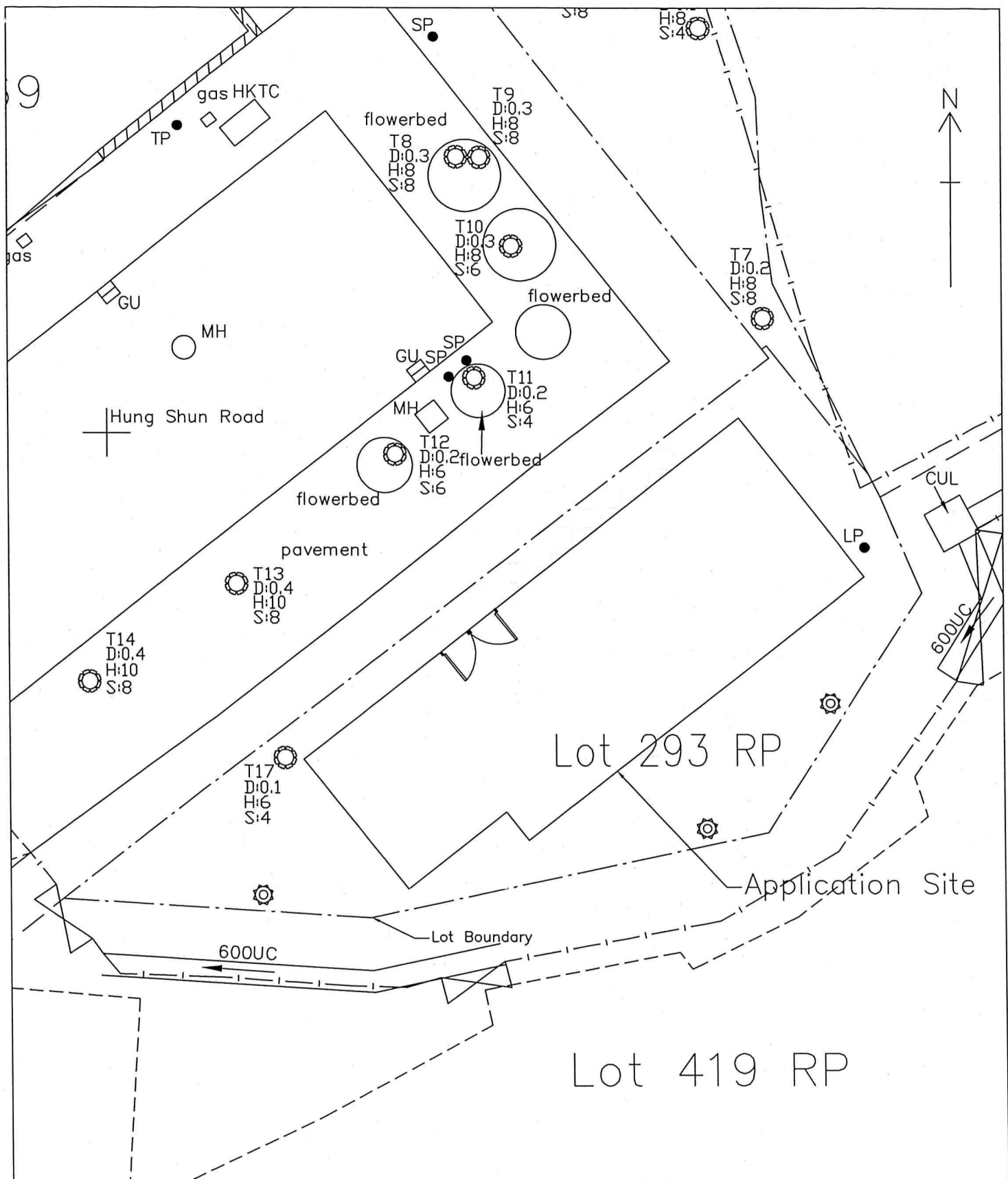
文煌有限公司
曾繼源




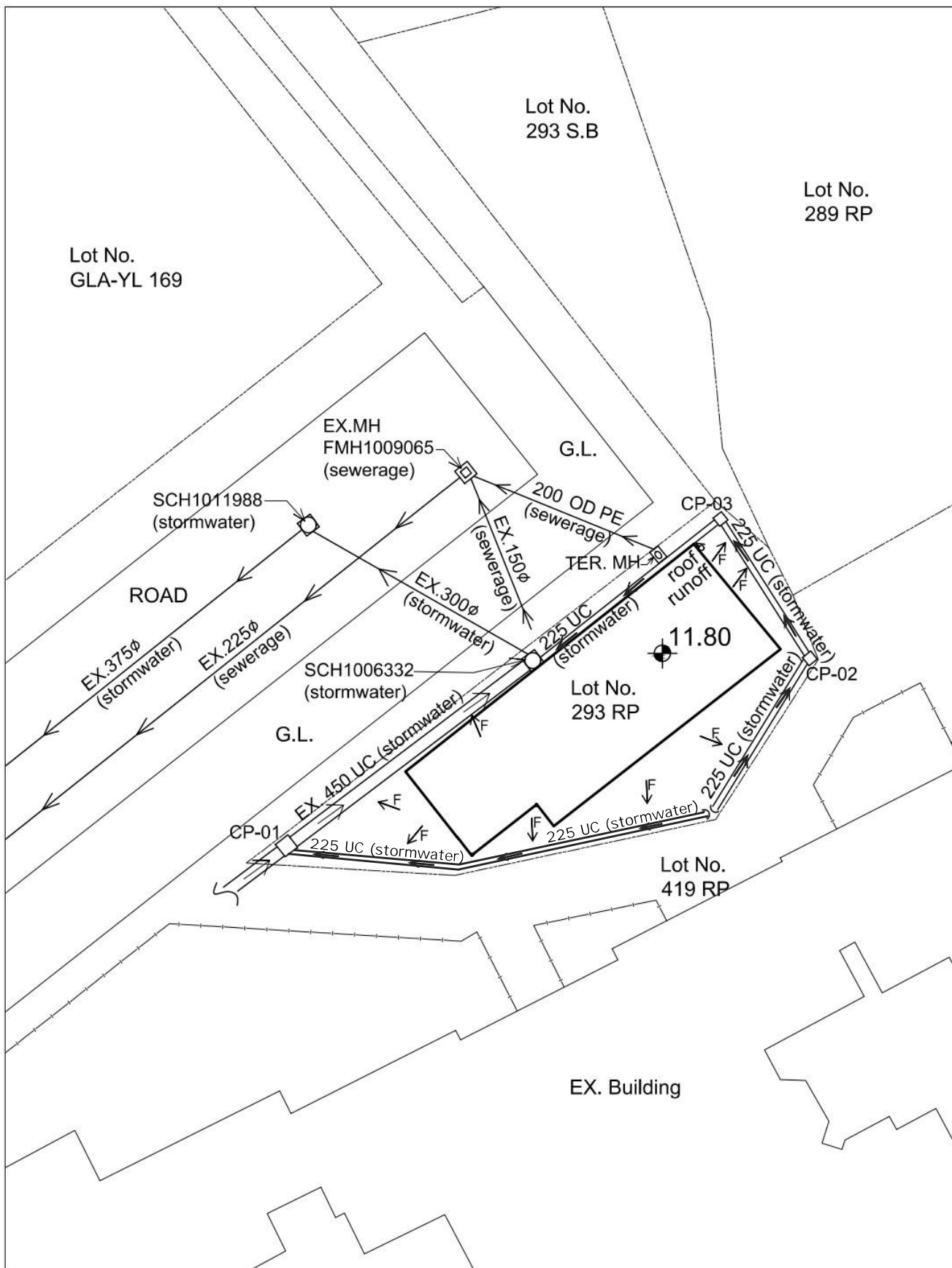
MASTER LAYOUT PLAN
D.D. 127 LOT 293 RP (P)

1 : 100

17 JAN 2024



Proposed Trees to be Planted	Spacing (Centre to Centre)	Size (Height)	Quantity
 Ailanthus fordii (福氏臭椿)	4m	2.75m	4
MASTER LANDSCAPE PLAN D.D. 127 LOT 293 RP (P)			1 : 100
			17 JAN 2024



STORMWATER & SEWERAGE DRAINAGE PLAN
(SCALE 1 : 200)

APPLICATION SITE

Lot 293 RP
D.D. 127
Hung Shui Kiu
Yuen Long, N.T.
(Planning Application
No. A/YL-TYST/1250)

DRAWING TITLE

STORMWATER &
SEWERAGE
DRAINAGE WORK

DRAWING NO.

STE-1C

DRAWING DATE

17 JAN 2024

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information are property of
Solar-lil Design Consulting
Limited, any use must be
approved by the company.

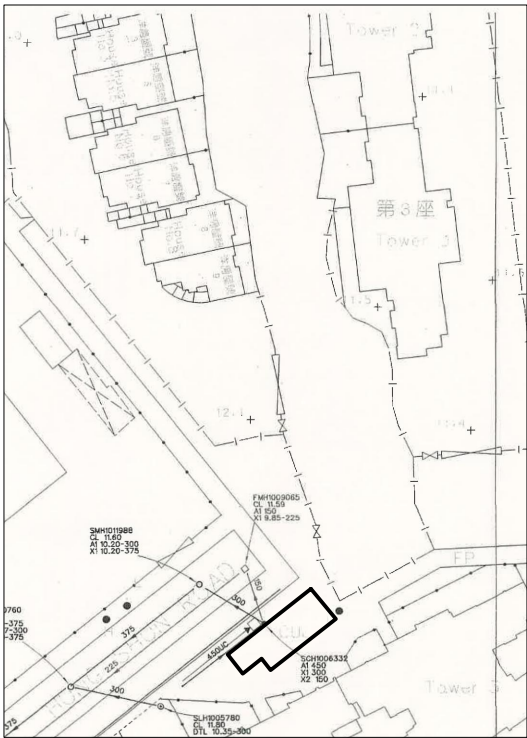
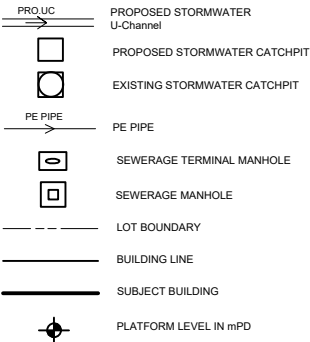
**Solar-lil Design
Consulting Limited**

景佑設計工程顧問有限公司

GENERAL NOTES

1. ALL DIMENSIONS ARE IN MILLIMETERS
2. FOUNDATION OF TERMINAL MANHOLE VARIES WITH SITE CONDITION AND SHOULD BE DETERMINED ON SITE BY THE ENGINEER.
3. CONCRETE MIX TO BE 30D/20 AND COMPLY WITH CS1.
4. BLINDING LAYER TO BE 15P MIX.
5. ALL DRAINS FROM VILLAGE HOUSE TO MANHOLE TO BE 100Ø PVC PIPE WITH MIN. FALL IN 1 : 40.
6. ALL DRAINS FROM TERMINAL MANHOLE TO MANHOLE TO BE 200Ø HDPE PIPE WITH MIN. FALL IN 1 : 70.
7. ALL DRAINS FROM MANHOLE TO EXISTING MANHOLE TO BE 200Ø PE PIPE WITH MIN. FALL IN 1 : 70.
8. ALL SEWERAGE TERMINAL MANHOLE SHALL BE PROVIDED WITH 100Ø PVC FRESH AIR INLET PIPE AND EXTENDED TO MIN. 2.5m ABOVE GROUND.
9. THE PROPOSED SEWERAGE DRAINAGE SYSTEM TO BE MAINTAINED BY THE OWNER AT OWNER'S COST.
10. A MINIMUM SOIL COVER OF 450MM AND 900MM SHOULD BE PROVIDED FOR THE CONNECTION PIPE CONSTRUCTED UNDER FOOTPATH AND CARRIAGEWAY RESPECTIVELY.
- 11.ALL COVER LEVEL AND INVERT LEVEL OF EXISTING MANHOLE WAS CLARIFIED BY DSD'S PROJECT MANAGEMENT DIVISION.
- 12.AFTER OUR CONSIDERATION, UPVC PIPE IS SUITABLE FOR OUR DRAINAGE WORK.
- 13.THE APPLICANT WILL ENSURE THE RUNOFF WILL NOT BE DRAINED TO THE PUBLIC SEWAGE NETWORK. THE RUNOFF WITHIN THE SUBJECT PREMISES AND SMALL HOUSE WILL BE SERVES BY A DESIGNATED STROMWATER COLLECTION AND DISCHARGES SYSTEM.

LEGEND



BLOCK PLAN
(SCALE 1 : 1000)

GENERAL NOTES

1. ALL DIMENSIONS ARE IN MILLIMETERS
2. CONCRETE MIX TO BE 30D/20 AND COMPLY WITH CS1.
3. BLINDING LAYER TO BE 15P MIX.
4. ALL NEW 225 CHANNEL ARE OF FALL GRADIENT 1:100
5. PROPOSED CONNECTION UNDERGROUND PIPE IS TO BE CONSTRUCTED UNDER FOOTPATH AND THE UPVC PIPE PROVIDED CONCRETE SURROUND MIN. 150MM THICK.

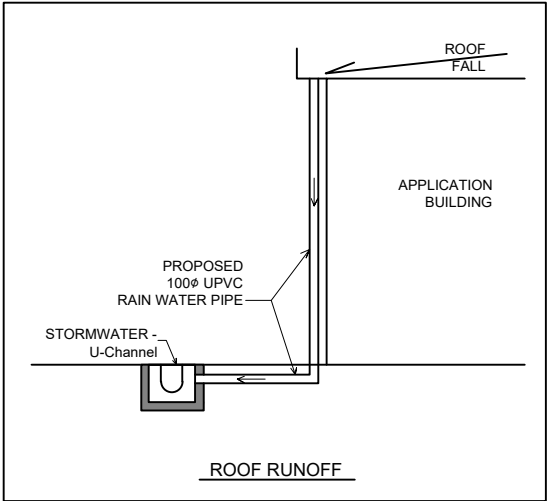
STORMWATER DRAINAGE

CATCHPIT	C L	A 1	A 2	X 1
CP01 (WITH TRAP) (CEDD DRAWING NO. C2406/1)	11.80	11.30	11.44	11.30
CP02 (CEDD DRAWING NO. C2405/1)	11.80	11.53	-----	11.53
CP03 (WITH TRAP) (CEDD DRAWING NO. C2406/1)	11.80	11.47	-----	11.47
EX. CP (SCH1006332)	11.80	11.18	11.39	11.18

SEWERAGE DRAINAGE

MANHOLE	C L	I L	D T L
TER.MH1 (DSD DRAWING DS-1090)	11.80	10.72	10.54

MANHOLE	C L	A1	A2	X1
EXMH (FMH1009065)	11.59	-----	10.44	9.85



APPLICATION SITE

Lot 293 RP
D.D. 127
Hung Shui Kiu
Yuen Long, N.T.
(Planning Application
No. A/YL-TYST/1250)

DRAWING TITLE

STORMWATER &
SEWERAGE
DRAINAGE WORK

DRAWING NO.

STE-2C

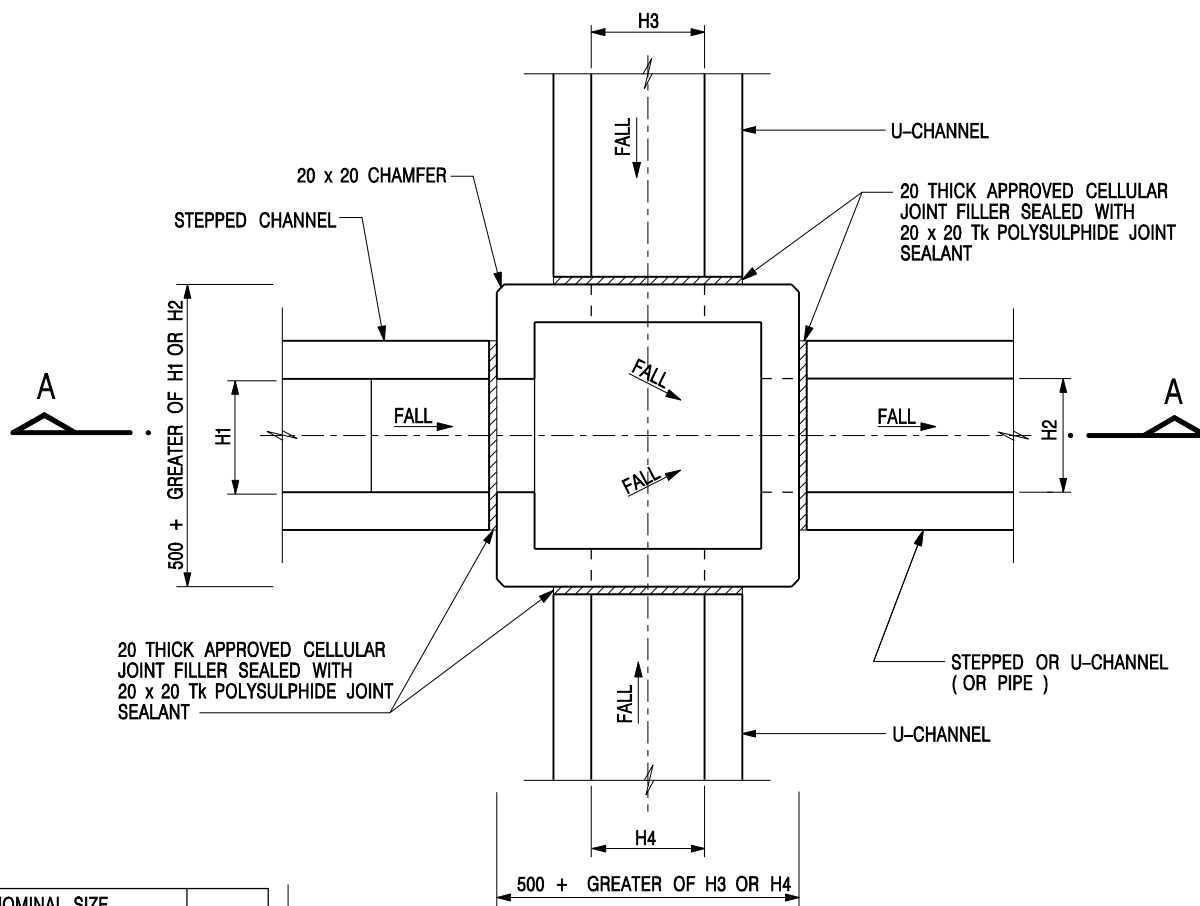
DRAWING DATE

17 JAN 2024

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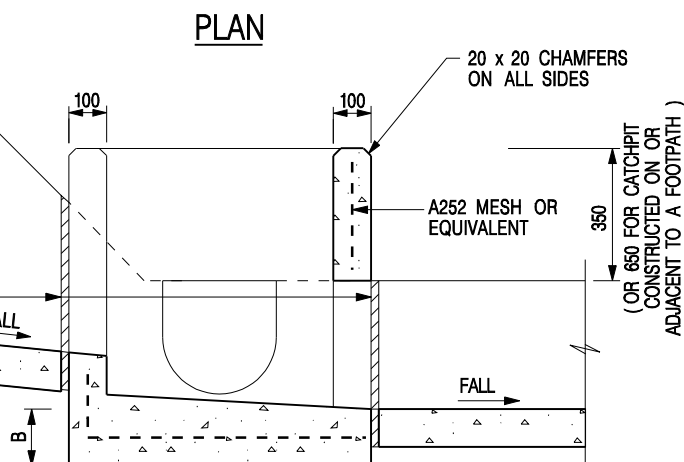
**Solar-lil Design
Consulting Limited**

景佑設計工程顧問有限公司



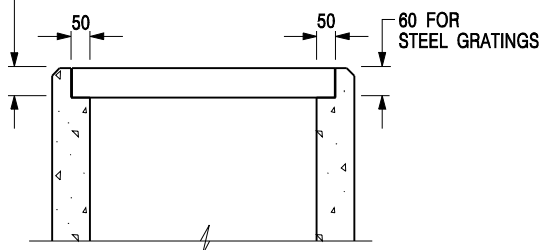
NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175

20 THICK APPROVED CELLULAR JOINT FILLER SEALED WITH 20 x 20 Tk POLYSULPHIDE JOINT SEALANT



SECTION A - A

DEPTH OF RECESS AND DETAILS OF PRECAST CONCRETE COVERS (SEE STD. DRG. NO. C2407)




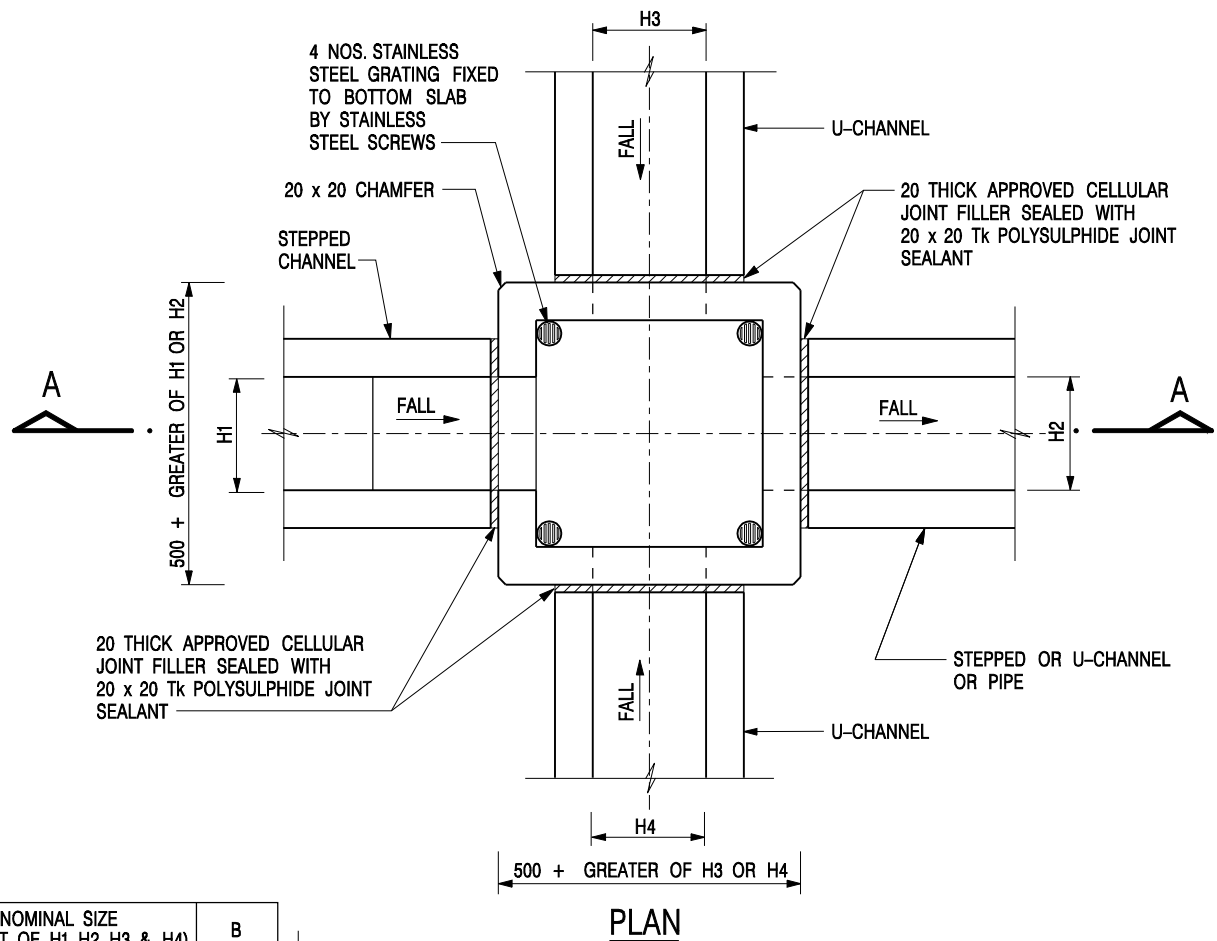
NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 5 FOR OTHER NOTES.

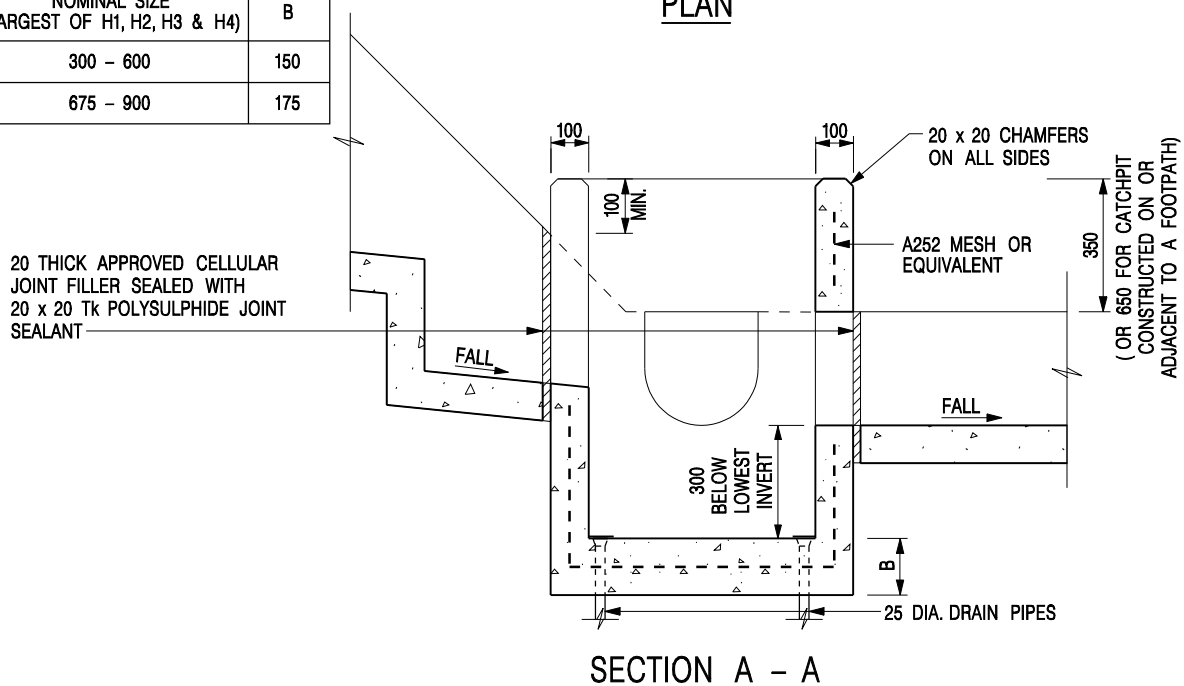
ALTERNATIVE TOP SECTION FOR PRECAST CONCRETE COVERS / GRATINGS

STANDARD CATCHPIT DETAILS (SHEET 1 OF 5)

-	FORMER DRG. NO. C2405J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE
<div><div>CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT</div></div>			
SCALE 1 : 20		DRAWING NO. C2405 /1	
DATE JAN 1991			




NOMINAL SIZE (LARGEST OF H1, H2, H3 & H4)	B
300 - 600	150
675 - 900	175

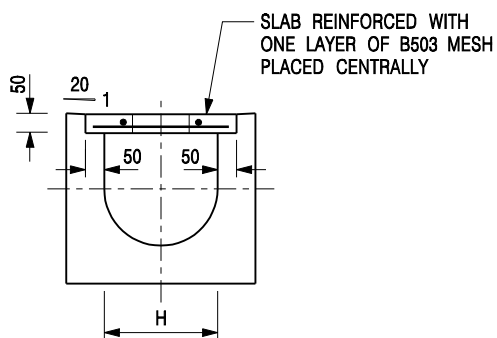


NOTES:

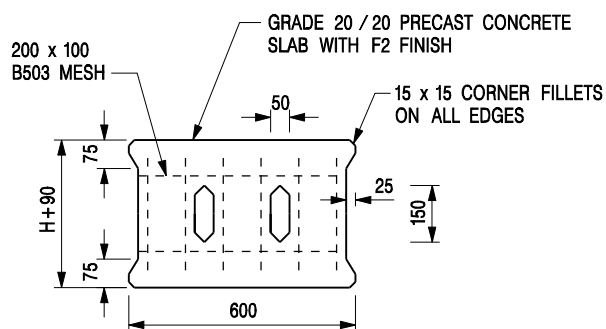
1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 2 FOR OTHER NOTES.

CATCHPIT WITH TRAP
(SHEET 1 OF 2)

-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE
 CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT		SCALE 1 : 20	
		DATE JAN 1991	
		DRAWING NO. C2406 /1	



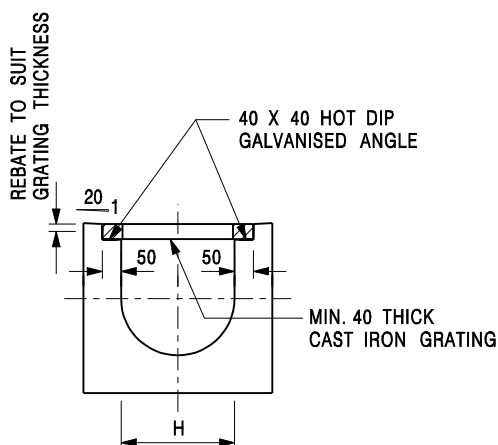
TYPICAL SECTION



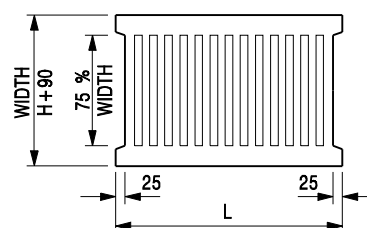
PLAN OF SLAB

U-CHANNELS WITH PRECAST CONCRETE SLABS

(UP TO H OF 525)



TYPICAL SECTION



L = 600mm FOR H ≤ 375mm
L = 400mm FOR H > 375mm

CAST IRON GRATING

(DIMENSIONS ARE FOR GUIDANCE ONLY, CONTRACTOR MAY SUBMIT EQUIVALENT TYPE)

U-CHANNEL WITH CAST IRON GRATING

(UP TO H OF 525)

NOTES:

- ALL DIMENSIONS ARE IN MILLIMETRES.
- H=NOMINAL CHANNEL SIZE.
- ALL CAST IRON FOR GRATINGS SHALL BE GRADE EN-GJL-150 COMPLYING WITH BS EN 1561.
- FOR COVERED CHANNELS TO BE HANDED OVER TO HIGHWAYS DEPARTMENT FOR MAINTENANCE, THE GRATING DETAILS SHALL FOLLOW THOSE AS SHOWN ON HyD STD. DRG. NO. H3156.

E	NOTES 3 & 4 AMENDED.	Original Signed	12.2014
D	NOTE 4 ADDED.	Original Signed	06.2008
C	MINOR AMENDMENT. NOTE 3 ADDED.	Original Signed	12.2005
B	NAME OF DEPARTMENT AMENDED.	Original Signed	01.2005
A	CAST IRON GRATING AMENDED.	Original Signed	12.2002
REF.	REVISION	SIGNATURE	DATE

COVER SLAB AND CAST IRON
GRATING FOR CHANNELS

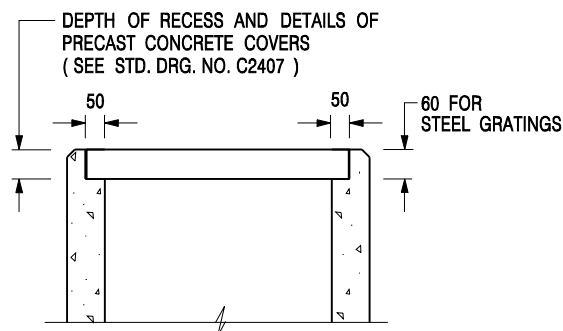


**CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT**

SCALE 1 : 20

DATE JAN 1991

DRAWING NO.
C2412E



ALTERNATIVE TOP SECTION FOR PRECAST CONCRETE COVERS / GRATINGS

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS (SEE DETAIL 'A' ON STD. DRG. NO. C2405 /2) OR CONCRETE COVERS (SEE STD. DRG. NO. C2407) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING (SEE DETAIL 'J' ON STD. DRG. NO. C2405 /5; EXCEPT ON THE UPSLOPE SIDE) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS (SEE DSD STD. DRG. NO. DS1043) AT 300 c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'G' ON STD. DRG. NO. C2405 /4.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

A	MINOR AMENDMENT.	Original Signed	04.2016
-	FORMER DRG. NO. C2406J.	Original Signed	03.2015
REF.	REVISION	SIGNATURE	DATE

**CATCHPIT WITH TRAP
(SHEET 2 OF 2)**



**CIVIL ENGINEERING AND
DEVELOPMENT DEPARTMENT**

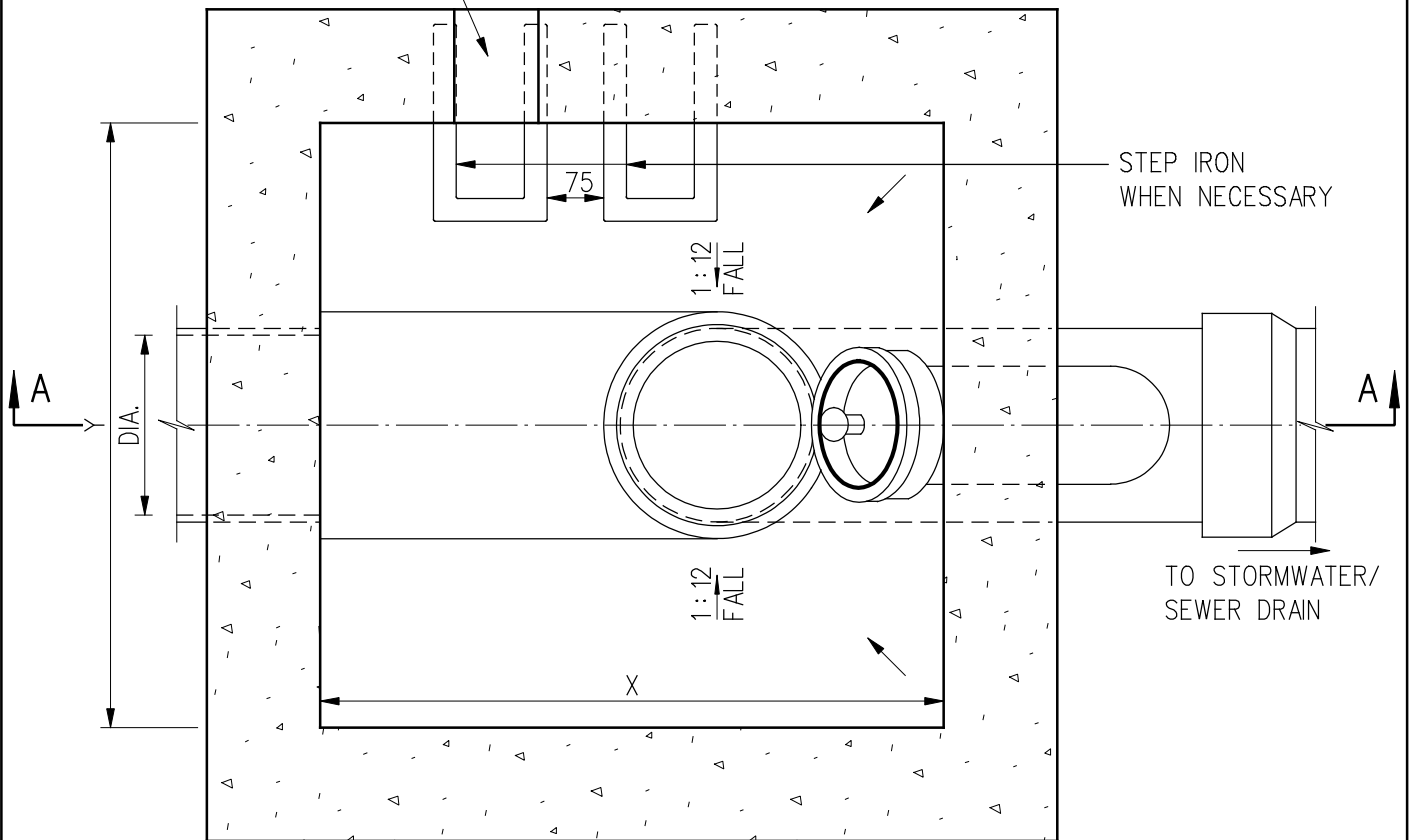
SCALE 1 : 20

DATE JAN 1991

DRAWING NO.

C2406 /2A

OPENING FOR F.A.I.
(FOR SEWER MANHOLE ONLY)



SECTIONAL PLAN

MANHOLE COVER OPENING SIZE (mm)	450	675
X (mm)	600 (min)	825 (min)
Y (mm)	(DIA. + 500)	(DIA. + 500) OR 675, WHICHEVER IS GREATER

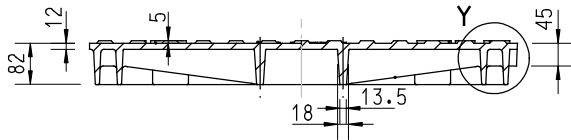
NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. CONCRETE IS TO BE GRADE 30/20.
3. PIPE DIAMETER OF PIPE TO BE LESS THAN OR EQUAL TO 450 mm.

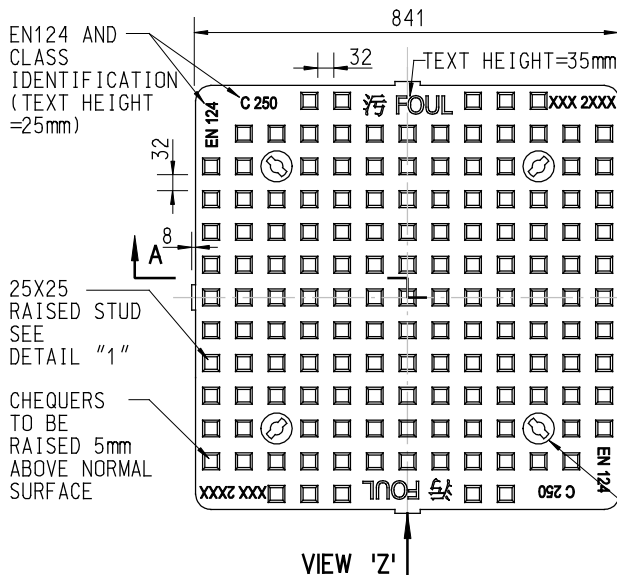
**TERMINAL MANHOLE
TYPE T1_1**

	NEW ISSUE	ORIGINAL SIGNED	13.1.2016
REV.	DESCRIPTION	SIGNATURE	DATE
DRAINAGE SERVICES DEPARTMENT			
REFERENCE		DRAWING No.	
SCALE		DS 1090	
1 : 10		(SHEET 1 OF 2)	

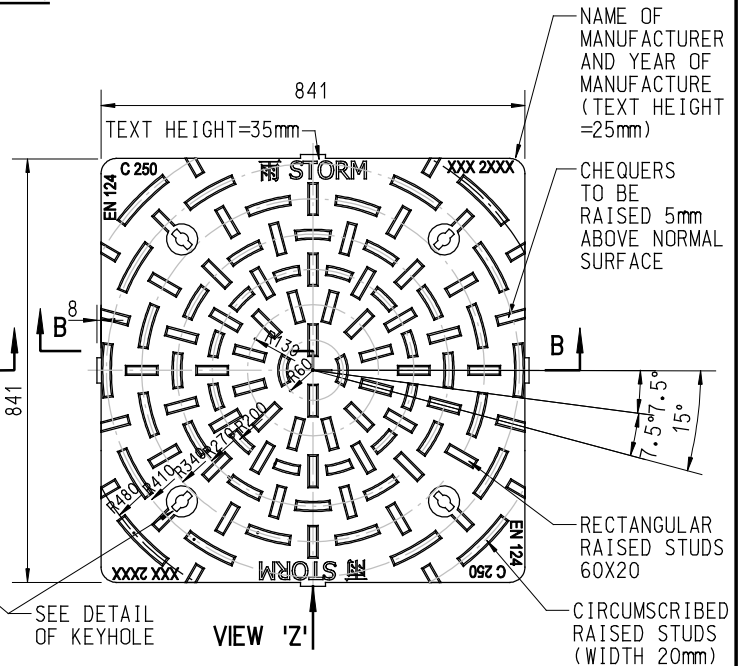
(SHEET 1 OF 4)



SECTION A - A = SECTION B - B

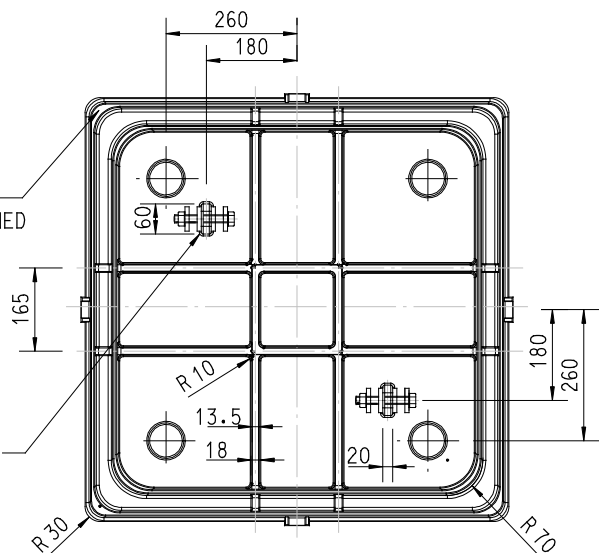


PLAN OF SEWER
MANHOLE COVER
(CLASS C250)



PLAN OF STORMWATER
MANHOLE COVER
(CLASS C250)

Ø20 ANCHOR HOLES IN COVER (SEE DETAIL "2")
LOOSELY COUPLED BY GRADE 8.8 M16
BOLTS WITH WASHERS / NUTS
AND ANCHORED TO THE MANHOLE WALL
VIA GRADE 80 CHAIN
(REFER TO DRG. NO. DS1086 (2 SHEETS) FOR
FULL SET OF ANCHOR AND CHAIN ARRANGEMENT)



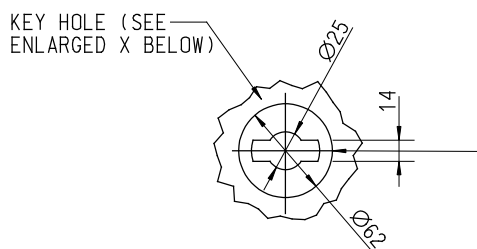
BOTTOM VIEW

NOTES:

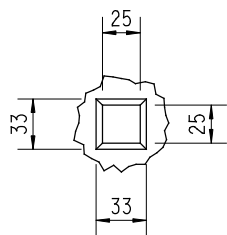
- FOR GENERAL NOTES OF DUCTILE IRON MANHOLE COVER & FRAME,
REFER TO DRG. NO. DS1076 (2 SHEETS)
- FILLETS FOR BOTTOM ENDS OF THE COVER EDGES AND
RIBS ARE R1, OTHER UNSPECIFIED FILLETS ARE R2

STANDARD 675 SQUARE ONE - PIECE
DUCTILE IRON DOUBLE SEAL
TERMINAL MANHOLE COVER & FRAME,
(CLASS C250)

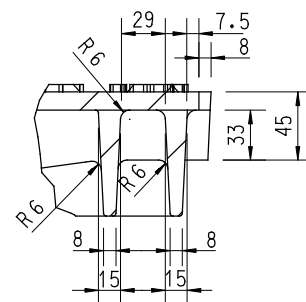
REV.	NEW ISSUE	ORIGINAL SIGNED	10.5.2010
DESCRIPTION	SIGNATURE	DATE	
DRAINAGE SERVICES DEPARTMENT			
REFERENCE	DRAWING No.		
SCALE	DS 1089		
1 : 15	(SHEET 2 OF 4)		



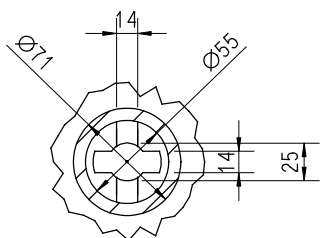
DETAIL OF KEY HOLE



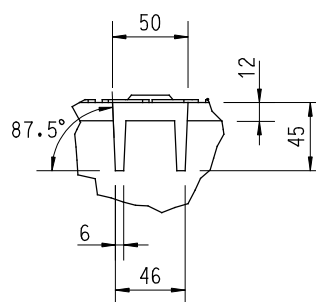
RAISED STUD
DETAIL "1"



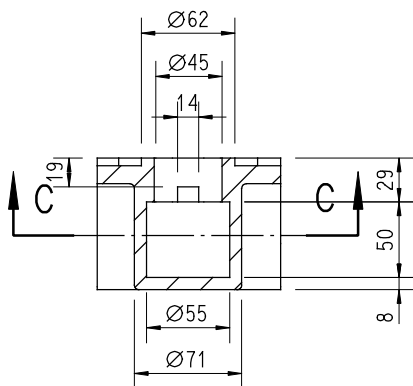
ENLARGED Y



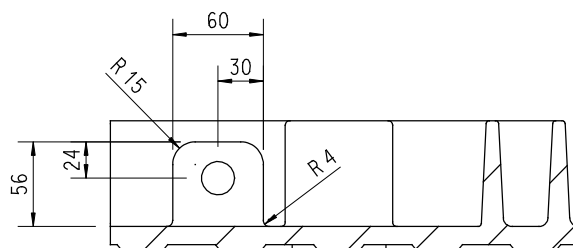
SECTION C - C



VIEW "Z"



ENLARGED X (KEY HOLE)



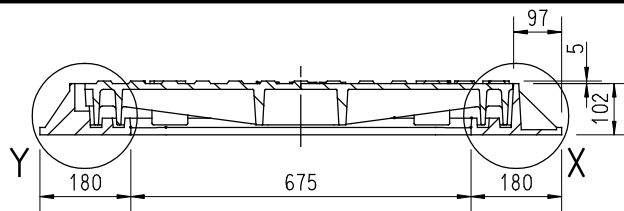
ANCHOR HOLE DETAIL "2"

NOTES:

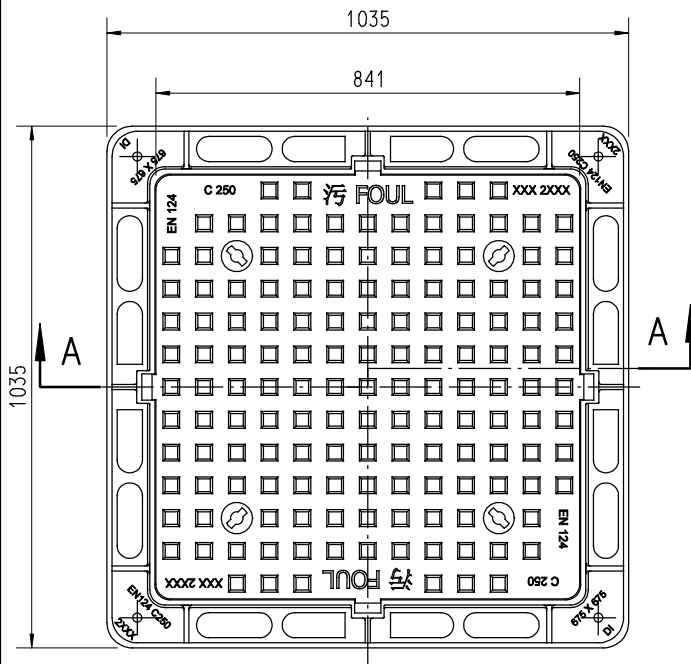
1. FOR GENERAL NOTES OF DUCTILE IRON MANHOLE COVER & FRAME, REFER TO DRG. NO. DS1076 (2 SHEETS)
2. FILLETS FOR BOTTOM ENDS OF THE COVER EDGES AND RIBS ARE R1, OTHER UNSPECIFIED FILLETS ARE R2

STANDARD 675 SQUARE ONE - PIECE
DUCTILE IRON DOUBLE SEAL
TERMINAL MANHOLE COVER & FRAME,
(CLASS C250)

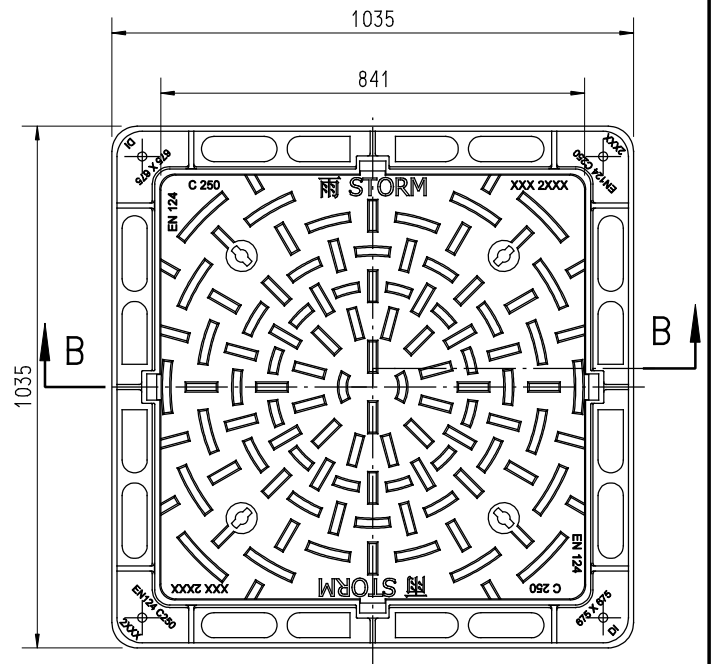
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REV.	DESCRIPTION	SIGNATURE	DATE
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REFERENCE		DRAWING No.	
SCALE		DS 1089	
		(SHEET 3 OF 4)	



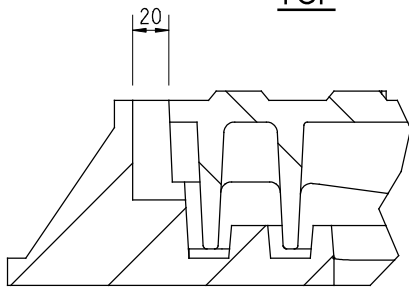
SECTION A - A = SECTION B - B



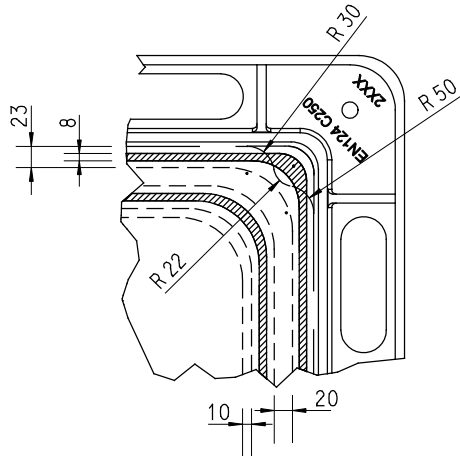
TOP



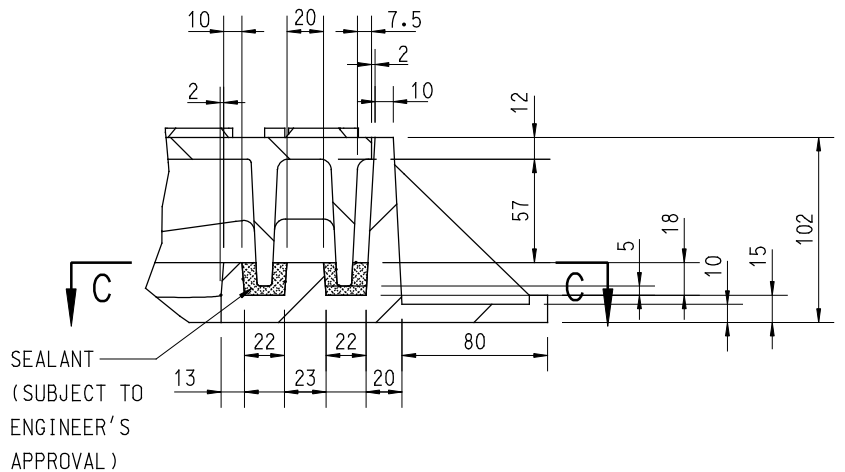
TOP



ENLARGED Y (1:5)



SECTION C - C (1:10)



ENLARGED X (1:5)

NOTES:

1. FOR GENERAL NOTES OF DUCTILE IRON MANHOLE COVER & FRAME, REFER TO DRG. NO. DS1076 (2 SHEETS)
2. FILLETS FOR BOTTOM ENDS OF THE COVER EDGES AND RIBS ARE R1, OTHER UNSPECIFIED FILLETS ARE R2

	NEW ISSUE	ORIGINAL SIGNED	10.5.2010
REV.	DESCRIPTION	SIGNATURE	DATE
DRAINAGE SERVICES DEPARTMENT			
REFERENCE		DRAWING No.	
SCALE		DS 1089	
		(SHEET 4 OF 4)	

STANDARD 675 SQUARE ONE - PIECE
DUCTILE IRON DOUBLE SEAL
TERMINAL MANHOLE COVER & FRAME,
(CLASS C250)



規劃申請編號 A/YL-TYST/125025/01/2024 18:02

From: Tindy <[REDACTED]>

To: ewsyeung@pland.gov.hk

Cc: tpbpd@pland.gov.hk, hlhlam@pland.gov.hk

1 Attachment



VEHICLE ROUTE PLAN(1-6).pdf

楊先生：

關於 貴處、其他政府部門與公眾關注與諮詢的幾個問題，我們現就此作出回覆：

1. 該申請地段在此申請前曾獲 貴處獲批規劃有條件許可(即規劃申請編號 A/YL-TYST/1092)，而未有在期限內完成的原因，主要原因在元朗地政處批出上蓋豁免(Short Term Waiver)時間有點長，由貴處批出許可後，顧問公司大約七月底才交回文件給我們(此事我們2021年8月17日寫信通知貴處更改聯絡資料與取消授權也有提及)，我們就該地段原有上蓋豁免(原申請人易文清先生)因更改業權人(文煌有限公司)是否要再申請向地政處電話查詢，在獲對方意見後，便於2021年8月2日向元朗地政處入紙申請，而該處直到2023年9月20日方出信批准，我們在2023年9月22日早上方取得該信。期間我們曾諮詢工程公司意見，得知要完成渠務處排水要求，由申請地盤接駁公共污水設備，需要向路政署申請掘路紙與交通安排(TTA)，而該申請需時數月，我們便委託工程公司於2023年5月12日開始先進行室外場地排水建議工程與向路政署申請掘路紙與TTA，以免元朗地政處批出上蓋豁免後我們會沒有足夠時間完成構築物內的排水工程。到2023年9月22日我們取得元朗地政處批出的上蓋豁免書後不久，我們便將相關豁免書的內容交予工程承判人研究以便完成合乎該處要求的構築物，並在該月29日簽署工程合約，承判人便著手工程材料準備構築物，地盤現場亦在不久開始地基平整工程處理，由於整個工程需時，最終我們不能在2023年11月28日完成構築物，而需在構築物內完成的排水工程與消防設備，自然也未能完成。我們付出超過一百五十萬的工程費給工程承判商，並且通過所有相關部門許可後才分別展開不同工程的，我們已在可做的範圍內已盡可以做的努力，只是工程需時。

2. 關於申請地段現場棚架的問題，由於該地段之前在允許施工期限內未完成構築物，現場有一層未完全完成的構築物，而該構築物由於未完成的關係，並不能百分百肯定其結構性的安全，而現場包圍構築物所搭建的棚架，對該構築物有鞏固的作用，因此其存在對公眾安全提供相對保障。

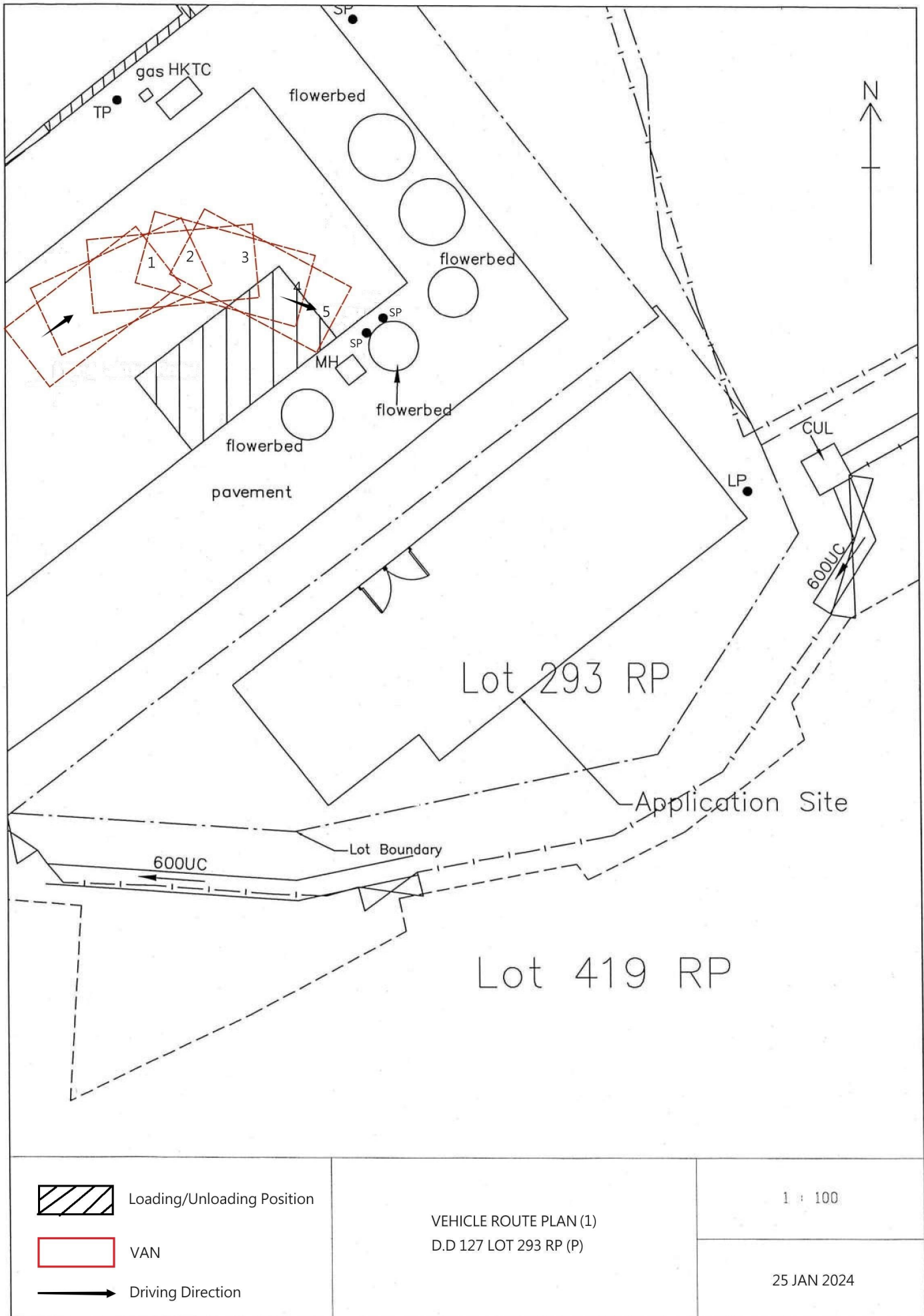
3. 關於運輸處對於日後該臨時商店經營時上落貨的貨車調頭問題，我們申請提交的Master Layout Plan有提及上落貨的位置只需2.5米乘5米，即只用輕型貨車(VAN)上落貨，根據運輸署發出輕型貨車駕駛執照的要求條件，司機需要經過路試才獲駕駛執照，而該路試包括窄路調頭，而地盤相接的洪順路路寬跟窄路調頭路試的路寬相同，因此持牌輕型貨車司機是能在不碰到行人路的情況下完成掉頭的，為更好補充說明，附件有模擬輕型貨車在洪順路進行窄路調頭到上落貨位置的路徑圖。

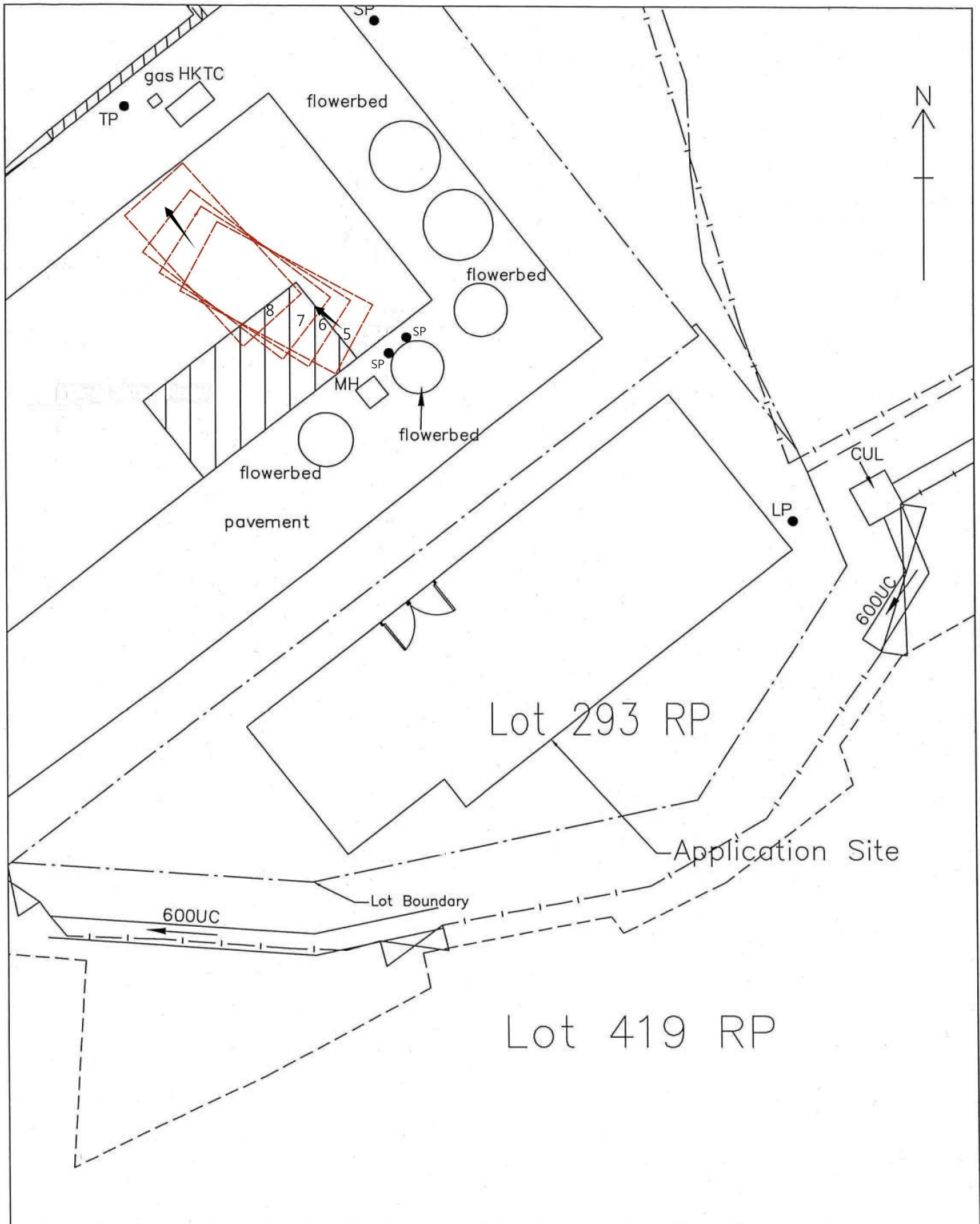
4. 關於環保署提問上落貨時的貨車會否涉及重型貨車，我們申請提交的Master Layout Plan有提及上落貨的位置只需2.5米乘5米，即只用輕型貨車(VAN)上落貨。

5. 關於環保署提出排污的問題，我們申請提交的排水建議裡有提及排污，我們的提交的建議工程有污水井並與公共污水設備接駁，該建議書在上一份規劃申請亦曾得到渠務署的許可。

希望上述回覆能回答 貴處與各部門以及公眾的疑問，謝謝！

文煌有限公司
曾繼源





Loading/Unloading Position



VAN

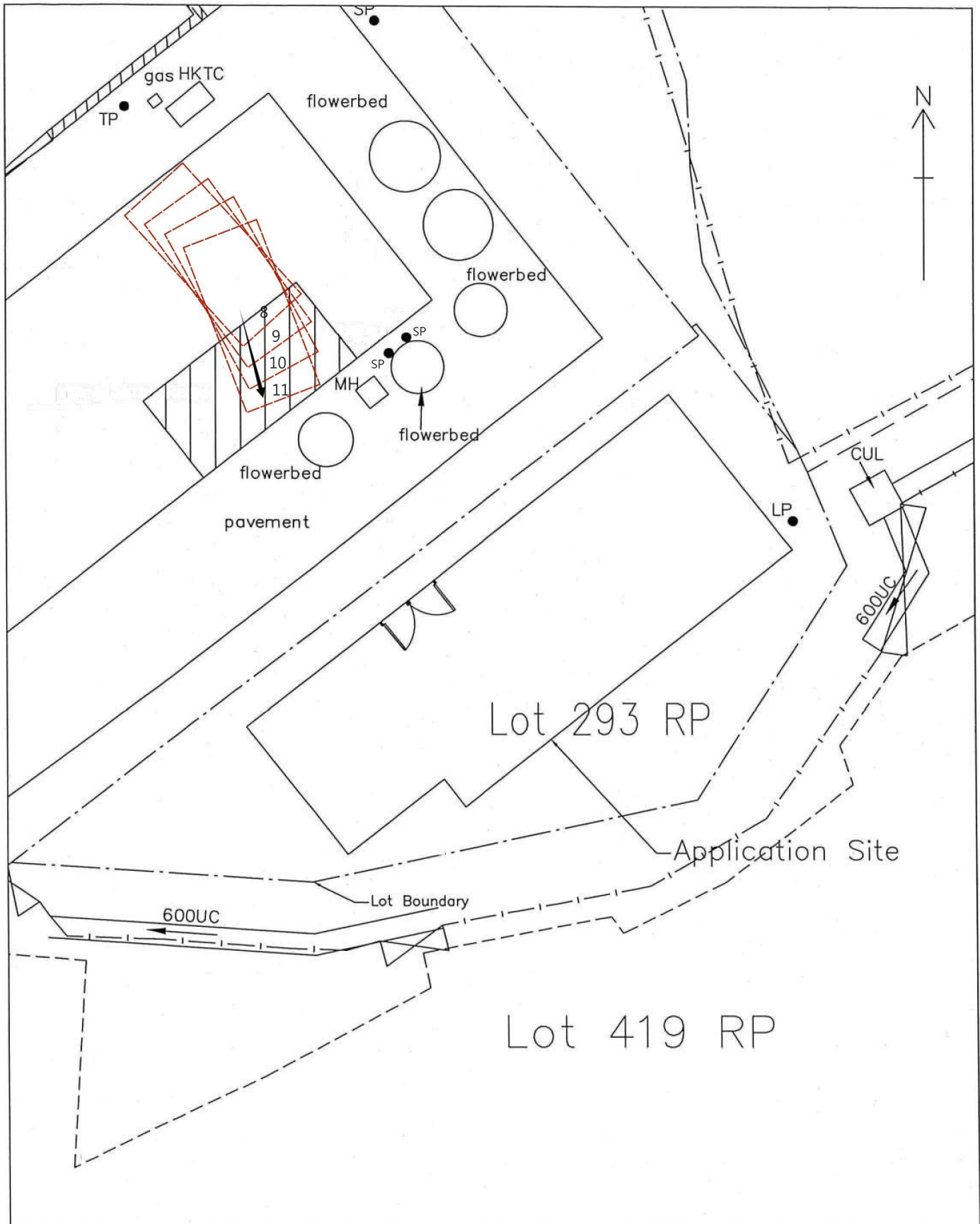


Driving Direction

VEHICLE ROUTE PLAN (2)
D.D 127 LOT 293 RP (P)

1 : 100

25 JAN 2024



Loading/Unloading Position



VAN

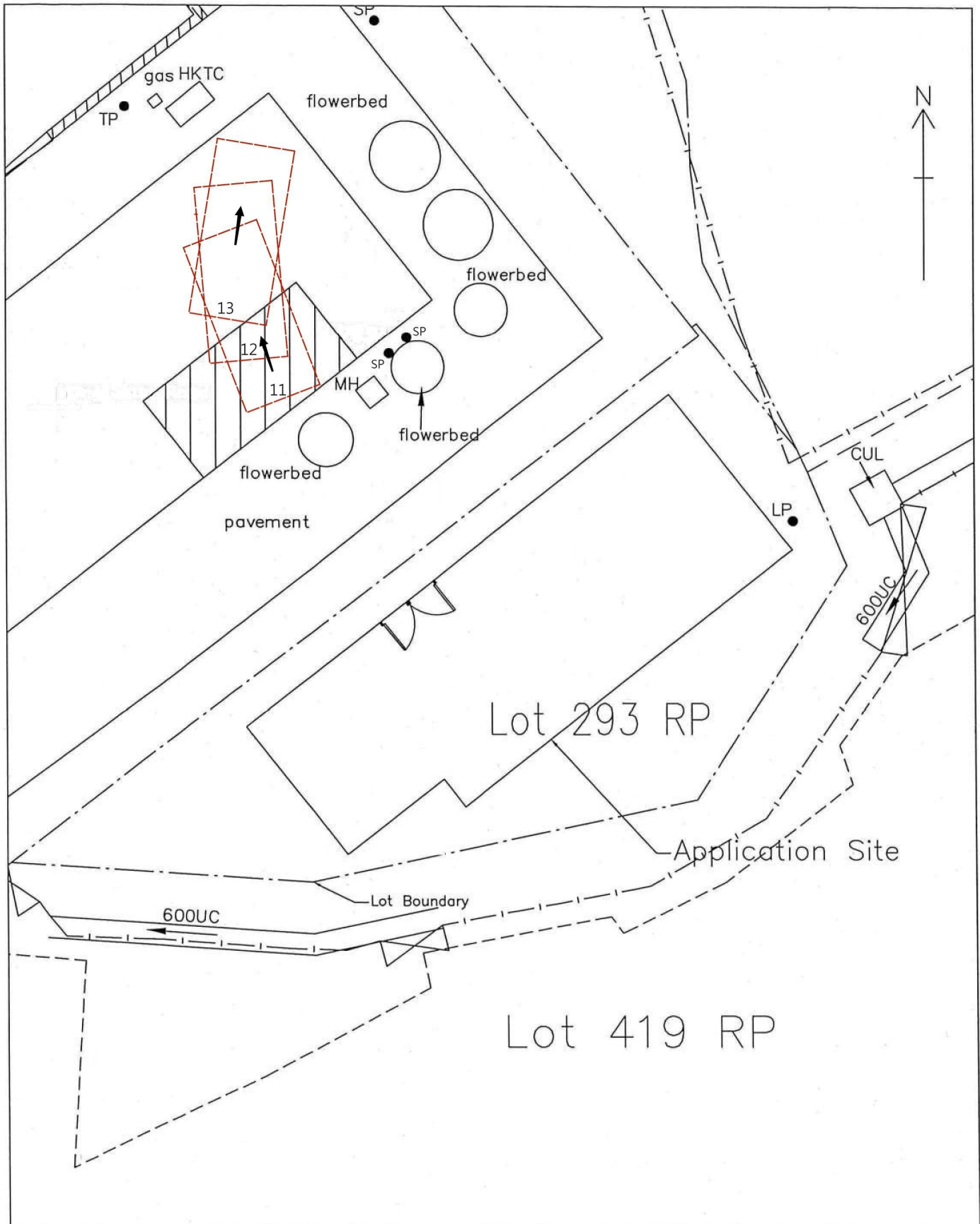


Driving Direction

VEHICLE ROUTE PLAN (3)
D.D 127 LOT 293 RP (P)

1 : 100

25 JAN 2024



Loading/Unloading Position



VAN

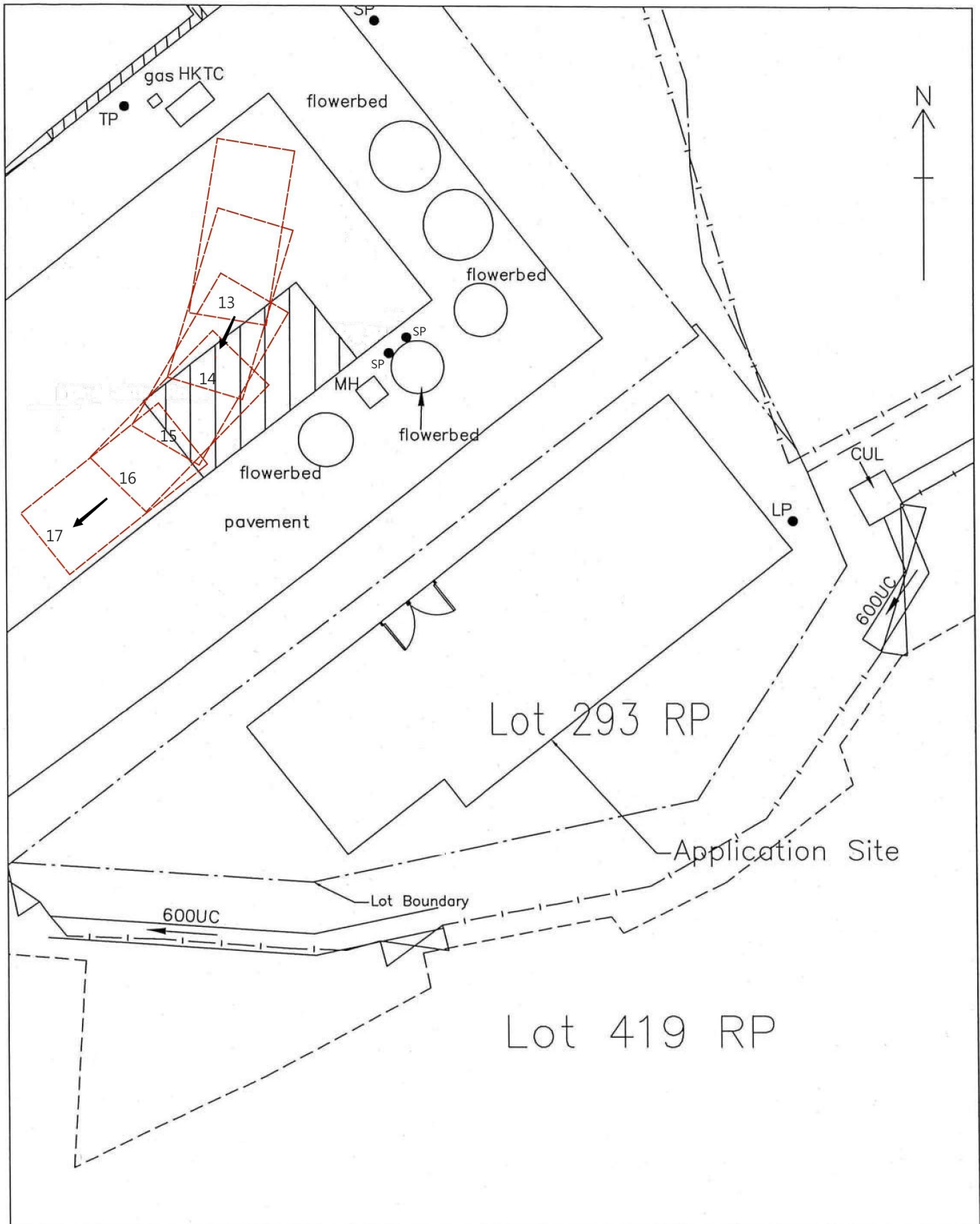


Driving Direction

VEHICLE ROUTE PLAN (4)
D.D 127 LOT 293 RP (P)

1 : 100

25 JAN 2024



Loading/Unloading Position



VAN



Driving Direction

VEHICLE ROUTE PLAN (5)
D.D 127 LOT 293 RP (P)

1 : 100

25 JAN 2024

Previous Applications covering the Application Site

Approved Applications

	<u>Application No.</u>	<u>Proposed Use(s)</u>	<u>Date of Consideration (RNTPC)</u>
1	A/YL-TYST/58^	Temporary Public Car Park for Private Cars for a Period of 3 Years	14.5.1999
2	A/YL-TYST/114	Public Car Park	22.9.2000 approved for 3 years
3	A/YL-TYST/569	Proposed Temporary Shop and Services (Real Estate Agency) and Eating Place for a Period of 3 Years	24.2.2012 [revoked on 24.12.2013]
4	A/YL-TYST/755	Proposed Temporary Shop and Services (Real Estate Agency) and Eating Place for a Period of 3 Years	22.1.2016 [revoked on 22.7.2016]
5	A/YL-TYST/824	Temporary Shop and Services (Real Estate Agency) and Eating Place for a Period of 3 Years	3.2.2017 [revoked on 3.8.2017]
6	A/YL-TYST/1092	Proposed Temporary Shop and Services for a Period of 3 Years	28.5.2021 [revoked on 28.11.2023]

Remarks:

^ Zoned “Residential (Group C)” (“R(C)”) at the time of consideration by RNTPC.

Rejected Applications

	<u>Application No.</u>	<u>Proposed Use(s)</u>	<u>Date of Consideration (RNTPC)</u>	<u>Rejection Reason(s)</u>
1	A/YL-TYST/52^	Temporary Container Tractor and Trailer, Lorry and Car Park for a Period of 12 Months	27.11.1998	(1), (2), (3), (4), (5)
2	A/YL-TYST/106	Temporary Vehicle Park for Private Cars, Lorries and Container Trailers for a Period of 3 Years	14.7.2000	(1), (2), (4), (5), (6)

Remarks:

^ Zoned “R(C)” at the time of consideration by RNTPC.

Rejection Reason(s):

- (1) Not in line with the planning intention.
- (2) Incompatible with the residential developments and secondary schools in the immediate vicinity of the site.
- (3) The road networks and junctions in the area are not designed to cater for traffic generated by container vehicles.
- (4) Adverse environmental or drainage impacts on the surrounding areas.
- (5) Setting undesirable precedent.
- (6) The proposed vehicular access leading from Castle Peak Road is not satisfactory to serve heavy goods vehicles.

**Similar Applications within/straddling the subject “R(B)1” Zone
on the Tong Yan San Tsuen OZP since 2019**

Approved Applications

	<u>Application No.</u>	<u>Proposed Use(s)/Development(s)</u>	<u>Date of Consideration (RNTPC)</u>
1	A/YL-TYST/1160	Proposed Temporary Shop and Services for a Period of 3 Years	24.6.2022 [revoked on 24.12.2023]
2	A/YL-TYST/1194*	Proposed Temporary Shop and Services for a Period of 3 Years	3.2.2023
3	A/YL-TYST/1195*	Proposed Temporary Shop and Services for a Period of 3 Years	3.2.2023

Remarks:

* Straddling the adjacent “Government, Institution or Community” zone.

Government Departments' General Comments

1. Land Administration

Comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD):

No adverse comment on the application.

2. Traffic

(a) Comments of the Commissioner for Transport (C for T):

No comment on the application from traffic engineering perspective.

(b) Comments of the Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD):

No comment from highways maintenance point of view.

3. Environment

Comments of the Director of Environmental Protection (DEP):

- no adverse comment on the application; and
- no substantiated environmental complaint concerning the application site received in the past three years.

4. Drainage

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD):

- no objection in principle to the proposed development;
- based on the drainage proposal enclosed in the application, apparently the applicant would implement and maintain the same drainage facilities as those approved under previous planning application No. A/YL-TYST/1092; and
- should the Town Planning Board (the Board) consider that the application is acceptable from the planning point of view, approval conditions requiring the implementation and maintenance of the drainage facilities approved under application No. A/YL-TYST/1092 to the satisfaction of the Director of Drainage Services or of the Board should be stipulated.

5. Fire Safety

Comments of the Director of Fire Services (D of FS):

- no objection in principle to the proposal subject to fire service installations (FSIs) being provided to his satisfaction; and
- the submitted FSIs proposal is considered acceptable to his department.

6. Building Matters

Comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD):

- no objection under the Buildings Ordinance (BO) on the application; and
- there is no application received by his department up to 25.1.2024 for approval or consent to commence building works under the BO in connection with the planning proposal.

7. District Officer's Comments

Comments of the District Officer (Yuen Long), Home Affairs Department (DO(YL), HAD):

His office has received one reply raising objection to the application.

8. Other Departments

- Chief Engineer/Construction, Water Supplies Department (CE/C, WSD), Project Manager (West), Civil Engineering and Development Department (PM(W), CEDD) and Director of Electrical and Mechanical Services (DEMS) have no comment on the application.

**Appendix IV of RNTPC
Paper No. A/YL-TYST/1250**

Recommended Advisory Clauses

- (a) to resolve any land issues relating to the development with the concerned owner(s) of the application site (the Site);
- (b) should you fail to comply with any of the approval conditions again resulting in the revocation of planning permission, sympathetic consideration may not be given to any further applications;
- (c) any use or development which is permitted by the Town Planning Board must also conform to any other relevant legislation, the conditions of the Government lease concerned, and any other Government requirements, as may be applicable;
- (d) to note the comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD) that:
 - (i) the Site comprises Old Schedule Agricultural Lot held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government;
 - (ii) Lot 293 RP in D.D. 127 is covered by a Short Term Waiver (STW) No. 5495 for the purposes of “Temporary Shop and Services and ancillary uses as may be approved by DLO”; and
 - (iii) the STW holder will need to immediately apply to his office for modification of the STW conditions where appropriate. The application(s) for STW will be considered by the Government in its capacity as a landlord and there is no guarantee that it/they will be approved. The STW(s), if approved, will be subject to such terms and conditions including the payment of waiver fee and administrative fee as considered appropriate by his department. Besides, given the proposed use is temporary in nature, only erection of temporary structure(s) will be considered;
- (e) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD) that:
 - (i) adequate drainage measures should be provided to prevent surface water running from the Site to the nearby public roads and drains; and
 - (ii) the footpath around Hung Shun Road is not and will not be maintained by his office;
- (f) to note the comments of the Director of Environmental Protection (DEP) that:
 - (i) the relevant mitigation measures and requirements in the latest “Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites” should be followed ~~to minimise any potential environmental nuisances on the surrounding area;~~
 - (ii) **the Practice Note for Professional Person (ProPECC) PN 1/23 “Drainage Plans subject to Comment by the Environmental Protection Department” should be followed to minimise any potential environmental nuisance; and**
 - (iii) **it is the obligation of the applicant to comply with all relevant ordinances in Hong Kong;**

- (g) to note the general comments of the Director of Fire Services (D of FS) that:
- (i) the installation/ maintenance/ modification/ repair work of fire service installations shall be undertaken by a Registered Fire Service Installation Contractor (RFSIC). The RFSIC shall after completion of the installation/ maintenance/ modification/ repair work issue to the person on whose instruction the work was undertaken a certificate (FS 251) and forward a copy of the certificate to him; and
 - (ii) if the proposed structure is required to comply with the Buildings Ordinance (BO) (Cap. 123), detailed fire service requirements will be formulated upon receipt of formal submission of general building plans; and
- (h) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:
- (i) the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
 - (ii) the Site abuts on a specified street (Hung Shun Road) of not less than 4.5m. Its permitted development intensity shall be determined under the First Schedule of the B(P)R at the building plan submission stage;
 - (iii) before any new building works (including containers/open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent of the Building Authority be obtained, otherwise they are unauthorised buildings works (UBW) under the BO. An Authorised Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO;
 - (iv) for UBW erected on leased land, enforcement action may be taken by the BD to effect their removal in accordance with the prevailing enforcement policy against UBWs as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;
 - (v) any temporary shelters or converted containers for office, storage, washroom or other uses considered as temporary buildings are subject to the control of Part VII of the B(P)R; and
 - (vi) detailed checking under the BO will be carried out at building plan submission stage.

城市規劃委員會秘書
香港北角渣華道 333 號
北角政府合署 15 樓

執事先生：

有關：元朗洪水橋洪順路第 127 約地段第 293 號餘段(部分)
臨時商店及服務行業 (為期 3 年) 事宜
(申請編號：A/YL-TYST/1250)

關於題述申請事宜，我們三個地區團體(可道中學、漆林業主立案法團及蔚林業主立案法團)深感遺憾：規劃署沒有就題述的申請人於法定諮詢期完結前及貴會審批申請前在題述地段「偷步」展開建設工程，採取相應監管行動。

我們就題述申請聯署簽發信函致貴會，一致表達對「偷步」施工及欠缺監管行動的嚴重不滿。同時，我們**強烈反對**題述規劃申請，亦會分別致函貴會回應有關法定諮詢，希望貴會認真考慮學校及居民之意見；我們絕不需要任何商店及任何服務增設在該地段，希望貴會能正視學校和居民的訴求及意向，避免因改變土地用途而帶來社區不可逆轉的災難。

與此同時，就該地段「偷步」建設一座構築物，我們強烈要求有關人士立即清拆及清理泥頭等廢料，把受影響地段恢復原狀，達至保障民生安全，除去治安及生命財產威脅，避免造成各種不必要的滋擾。

在另一方面，香港特別行政區鼓勵市民環保及綠化，就該地段「偷步」違規，大大影響本質原有的樹木及生態環境。洪順路的樹木多年來茁壯成長，經歷天災及風吹雨打也屹立不倒，如今卻被砍伐，實在令居民惋惜。

另外，該路段旁的欄杆也因「偷步」施工而被移除，欄杆本身作用是防止車輛剷上行人路，避免意外發生。如今，欄杆被移除令學校師生及居民的生命受到威脅。

我們希望有關政府部門能關注事件所構成的嚴重後果，我們堅決反對題述的申請，懇請相關政府部門敦促申請人立即清拆違規僭建物，並把受影響地段恢復原狀。

懇請 城規會及有關之政府部門關注！

敬祝 鈞祺



可道中學
校長(鄒志文先生)



蔚林業主立案法團
主席(何耀枝先生)



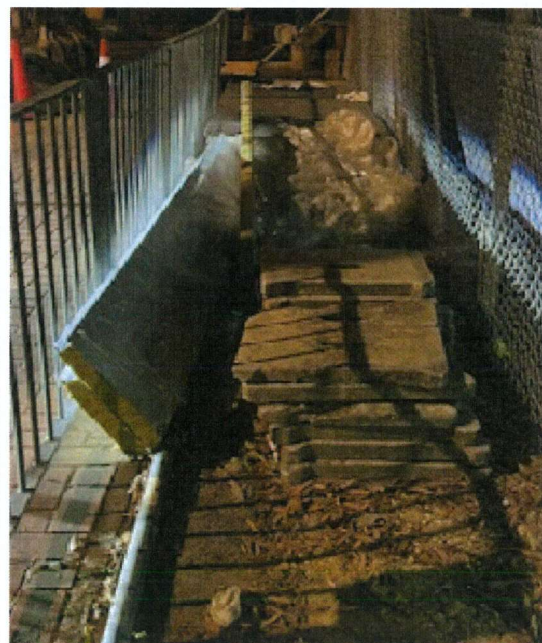
蔚林業主立案法團
主席(許紅小姐)

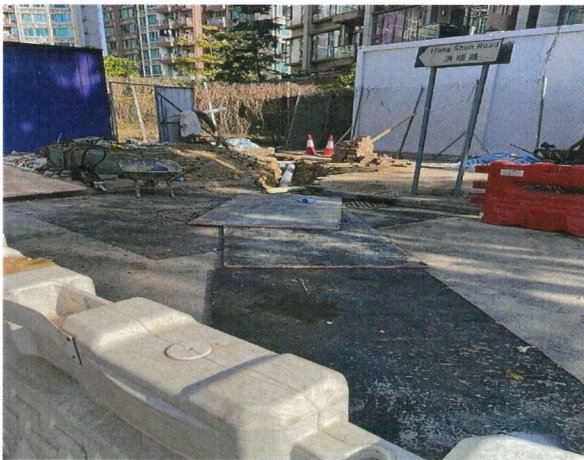
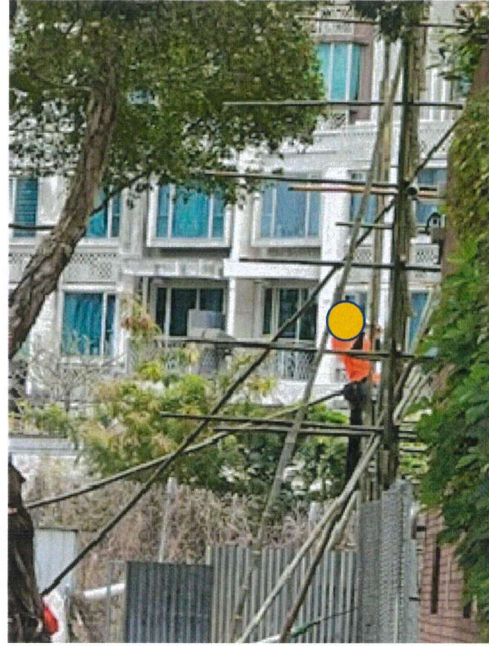
副本送：規劃署
地政總署
屋宇署總部
路政署
康文署
元朗民政事務專員

附件：關於題述申請事宜「偷步」展開建設工程圖片



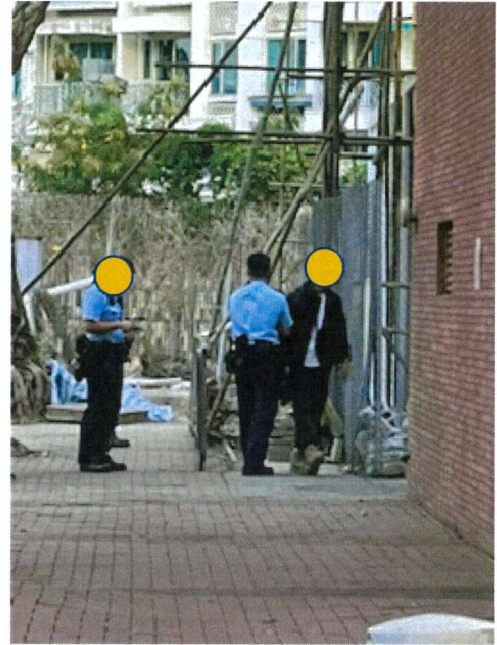
水錶





盜用香港政府財產

「偷步」施工



砍伐樹木前



砍伐樹木

砍伐樹木後



「偷步」施工重新鋪磚

☐ Urgent ☐ Return Receipt Requested ☐ Sign ☐ Encrypt ☐ Mark Subject Restricted ☐ Expand personal&publi



有關的規劃申請編號：A/YL-TYST/1250

05/01/2024 15:28

From:

To: tpbpd@pland.gov.hk

Cc:

Sent by: tpbpd@pland.gov.hk

File Ref:

1 attachment



有關的規劃申請編號：AYL-TYST1250.pdf

敬啟者：

關於題述文件，請參閱附件。同時，我們已透過郵遞方式將文件提交 貴局審查。

謝謝。

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

By e-mail : tpbpd@pland.gov.hk

有關的規劃申請編號 The application no. to which the comment relates

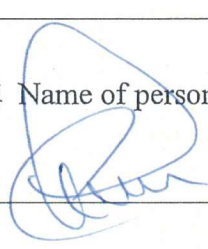
A/YL-TYST/1250

意見詳情 (如有需要，請另頁說明)

Details of the Comment (use separate sheet if necessary)

吳子

「提意見人」姓名/名稱 Name of person/company making this comment 鄒志文

簽署 Signature  日期 Date 5.1.2024

本人強烈反對洪水橋洪順路丈份第 127 約地段第 293 號餘段申請臨時商店及服務行業
理據如下：

1. 洪順路本身的設計本已不符的道路標準 (#註)，而洪德路及洪順路交界處空間有限，若有大車駛經，要佔用對面行車線頭線才可轉灣，而洪順路盡頭處亦沒有足夠轉空間讓貨車掉頭，但該段路經常有車輛貪方便駛入洪順路掉頭後駛出青山公路往元朗方向，甚至出現駛上行人路調頭的情況（最近已有一單發生於本校正門，的士駛上行人路倒車，差點撞到本校學生，本校已報警跟進中）。車輛駛入掉頭或倒車，已曾損毀路面及欄杆，及阻塞交通，亦危及行人安全（本校對面私人屋苑為一個年輕屋苑，有很多校巴接送小朋友返學放學，若增加車流量，絕對會對一段不合標準路段上的行人做成危險）。多年來本校的後閘門（正是申請位置對正的位置），已近 10 次被倒車車輛撞爛，已曾嘗試與區議員或警方相討方法，均未能作出有效解決方案。

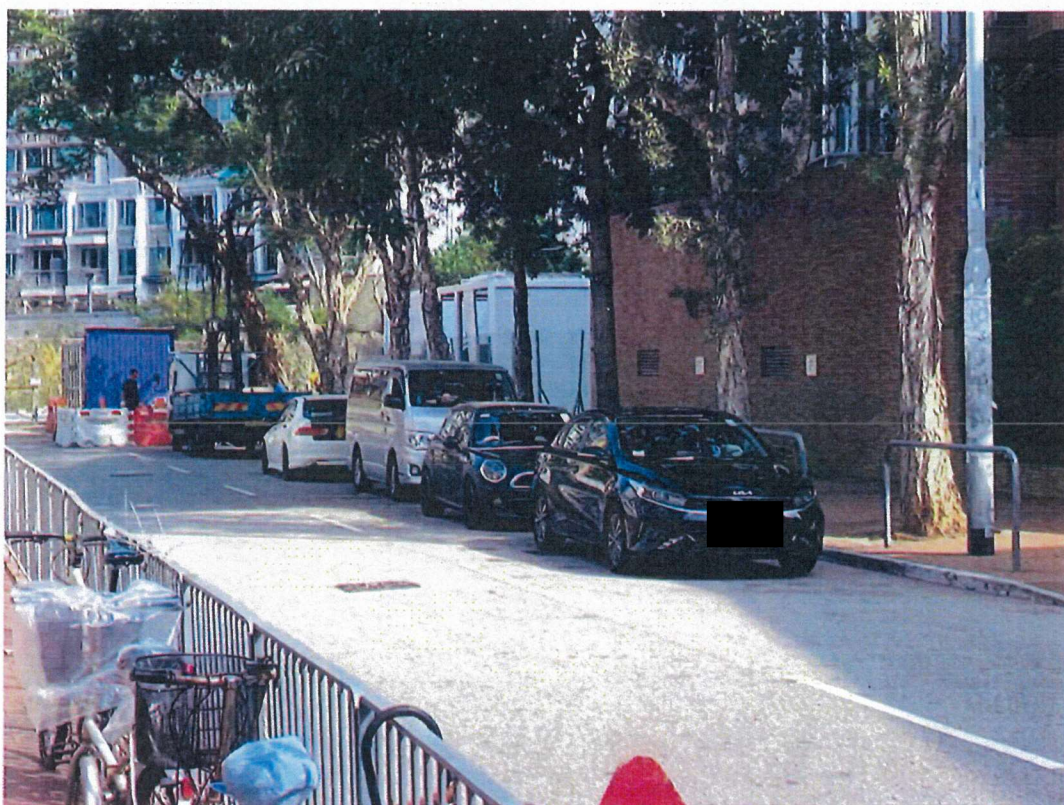


普通私家車掉頭時，都大半架車駛進了本校，若是貨車，情況更嚴重及危險！

2. 申請位置正正對着學校停車場出入口，而該位置附近沒有合法泊車位或公共交通服務，若該處申請設置服務行業（包括洗車服務）、臨時商店，定必引來大量汽車進出、違泊情況，阻礙學校每天的垃圾車、定時送貨貨車甚至學校常規活動租用的旅遊巴進出。（本校後閘，每年平均有二至三次被撞後閘情況，最近一次為去年底發生，已報警處理），而本校後閘因多次被撞，柱位石屎位置已出現裂痕，已報教育局跟進維修。送運的貨車定因該處設置商店而增加流量，出現意外機會定必同時上升，若重型車輪倒車撞閘絕對有機引致鐵閘倒塌（該路只有 6 米 70 闊的路段，絕對難有足夠空間讓貨車掉頭，貨車必須佔用行人路才可掉

頭），定對本校人員、學生構成危險（因本校校內後圍牆為訪客車位、資源回收處及體育科跑道起步點）。按香港規劃標準與準則，第八章內部運輸設施，地區幹路闊度為 6.75 米，而就區域及地區幹路而言，如准許泊車及/或上落，客貨可能會阻礙交通，應在車路任何一邊或兩邊加闊 3 米。 https://www.pland.gov.hk/pland_tc/tech_doc/hkpsg/full/pdf/ch8.pdf

洪順路一段不被劃為禁區，但闊度並未有加闊，且該段路只有 6 米 70 闊，相對一架不少於 6 米的中型貨車來說，掉頭絕對是有困難！



日常違泊情況嚴重

3. 洪順路（本校斜對面）較早前有一所汽車維修中心及食肆（現只剩一所食肆），因其商業性質問題，經常引致違泊情況，而且頗為嚴重，附近屋苑亦經常向警方投訴，但情況未見改善。

4. 洪順路本校後閘路段為本校學生其中一個必經之路，汽車掉頭、車輛違泊、甚至有車主清潔車輛，對學生出入安全已構成影響；如是申請為洗車服務的話，定令違泊情況更嚴重及令人行道路長期濕滑，道路狀況更為惡劣。

5. 申請位置，與本校最近的課室不足二十米距離，商鋪發出的聲浪，特別是服務性行業例如洗車店，將嚴重影響學生堂課。按建築物規劃條例 123 章 38 條

建築物不得阻礙或危及他人或造成滋擾

任何建築物或建築物上的固定附着物的建造，不得使其——

(a)(i)阻礙；或

(ii)危及任何相鄰行人路或街道的使用者；或

(b)造成任何滋擾；或

(c)容許任何有害氣體或廢氣在少於 2.5 米的高度從任何通風系統外泄至任何相鄰行人路或街道或其上方。 (1976 年第 294 號法律公告)

6. 申請人現階段應未獲批改變土地用途，但其工程已於去年底開展，現已平整地檯及搭建建築物，請問規劃署法定程序上是否允許申請人未獲批前可施工！定有人繞過了法定程序偷步施工，或有人想先斬後奏，做成既定事實，令申請獲批！



7. 既於以上種種安全原因及程序公義，如今次申請獲批，將來引發任何關於學生的意外，相關部門將難辭其咎！！

鄧志文

2024 年 1 月 5 日

#註：根據規劃標準，「如建盡頭路，則須在道路的盡頭提供足夠的轉彎位，以確保車輛開動時不會損壞附近的行人路、道路裝置、樓宇或其他結構。」<<香港規劃與標準>>第八章：內部運輸設施 3.5.7」2016 年 5 月版本



檔案編號：PAM/TW/L/2024/023

屯門及元朗西規劃處
新界沙田上禾輦路 1 號
沙田政府合署 14 樓
規劃署專員/元朗
楊偉成先生 / 麥先生

郵寄及傳真：

有關：元朗洪水橋洪順路第 127 約地段第 293 號餘段(部分)
臨時商店及服務行業 (為期 3 年) 事宜(申請編號： A/YL-TYST/1250)

楊先生 / 麥先生：

漆林管理處於本年一月三日接獲 貴處通知本處就題述規劃申請(申請編號：A/YL-TYST/1250)提供意見。本處於翌日約下午三時四十五致電 貴處查詢有關題述規劃申請，經 貴處麥先生回覆後；本處收悉 貴處仍在作公眾諮詢中，知悉 貴處仍未曾作最後落實批核。

本處現特函向 貴處就題述規劃申請事宜作出強烈投訴如下：-

(一) 來歷不明人士在場地施工

- 本處就題述地段多個月來發現有來歷不明人士正在興建一座疑似鐵皮屋的建築物，面積約有 7.6 米高共 2 層；
- 該批人士非常影響居民出入，人流變得複雜，嚴重影響洪順路治安。

(二) 造成環境及空氣污染

- 大型挖泥車停泊時排出大量廢氣及微粒，影響空氣質素，威脅居民的健康；
 - 大量廢氣及灰塵微粒飄進居民單位，影響居民生活質素及飽受精神困擾；
 - 大型挖泥車停泊位置與居民單位非常接近，極度危險，影響居民、學童及過路人士之生命安危；
 - 大型挖泥車衍生噪音滋擾；
 - 大量囤積雜物及廢料，嚴重影響環境衛生及滋生昆蟲；
 - 來歷不明人士亂拋煙頭，嚴重影響周邊環境，構成相當嚴重的火警發生威脅。
-

(三) 洪順路交通加劇惡化

- 以往洪順路車輛繁多，車路狹窄，也有衡常大型校巴及其他車輛出入，這多月來令洪順路交通更加惡化，嚴重擠塞；
- 現時洪順路交通已難以負荷本區居民，增加之車輛及大型挖泥車停泊，使情況加劇惡化。

如 貴處對上述事宜有任何查詢，請於辦公時間內致電
與本人聯絡。

或電郵



置邦物業管理有限公司
溱林管業處
屋苑經理
胡嘉敏

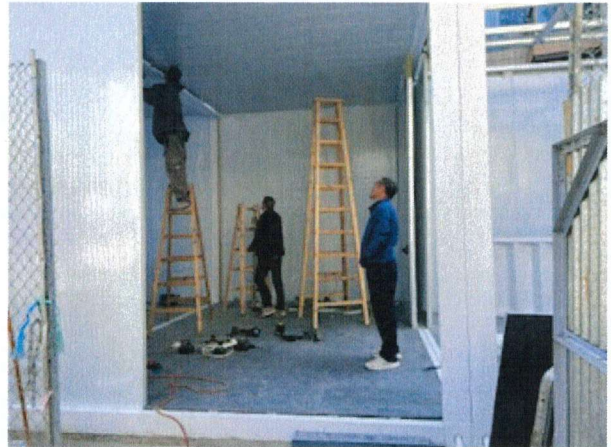
二零二四年一月八日

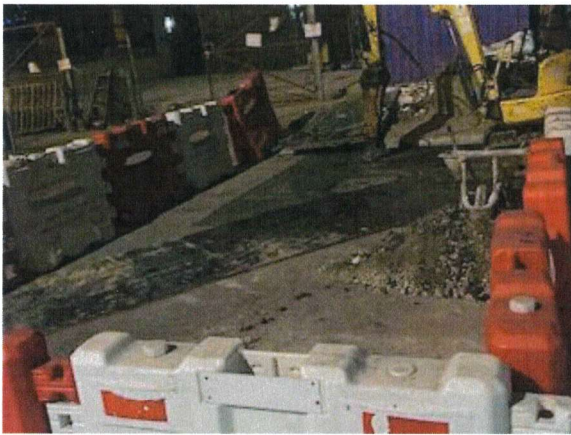
附件

副本:溱林業主立案法團
城市規劃委員會
環境保護署
食物環境衛生署
水務署

檔案編號：PAM/TW/L/2024/023

附圖





水錶位置

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

22

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

By e-mail : tpbpd@pland.gov.hk

有關的規劃申請編號 The application no. to which the comment relates
A/YL-TYST/1250

意見詳情 (如有需要，請另頁說明)

Details of the Comment (use separate sheet if necessary)

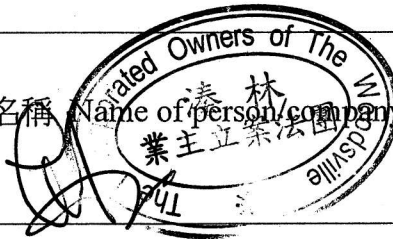
請參閱附件信件。

「提意見人」姓名/名稱 Name of person/company making this comment

The Incorporated Owners
of the Woodville

簽署 Signature

日期 Date





檔案編號：TW-IO-L001-2024

城市規劃委員會秘書
香港北角渣華道 333 號
北角政府合署 15 樓

執事先生：

有關：元朗洪水橋洪順路第 127 約地段第 293 號餘段(部分)
臨時商店及服務行業 (為期 3 年) 事宜
(申請編號：A/YL-TYST/1250)

就有關題述事宜，本法團接獲 貴會於 2024 年 1 月 3 日所發出之信函，故早前就題述一事向各業戶發表訊息，以便向 貴會轉達本苑業戶的意向及反映意見，結果顯示本苑業戶主流意向均為強烈反對題述規劃申請，總結如下：

1. 臨時商店及服務行業細節

- 本苑深感遺憾就題述路段無從得知申請人提供甚麼商店及服務行業，多番查詢規劃署也未能回覆；
- 就申請人之申請內容題及「U-channels 安裝在場地外圍，並將連接到污水下水道並會安裝汽油攔截設施」，本苑非常擔心油污排出會對環境衛生構成嚴重影響；
- 汽油廢料屬易燃物料，如發生爆炸，這是性命攸關的事。

2. 嚴重影響洪順路交通

- 洪順路為本苑車輛必經的出入道路外，亦是鄰近中學教職員及接載學生之車輛所使用之道路，以及有關興建位置位於洪順路盡頭，有不少車輛會於該位置掉頭，導致該路段交通非常擠塞，情況日益嚴重，交通已難以負荷本區居民；
- 若於該位置增設其他服務行業 (如：汽車美容服務)，必定吸引不少人士駕車駛至，屆時該路段將會更加擠塞、混亂及危險，定必構成相當嚴重的影響本苑業戶及鄰近中學師生之安全；
- 洪順路的違泊問題亦非常嚴重，已屢次因車輛違泊問題而引致該段道路非常堵塞及無法掉頭的情況，而本法團亦曾多次向警方反映有關問題，惟警方未能即時執法，令該路段交通情況尚未作出改善，導致本苑及鄰近業戶有冤無路訴，望 貴會作決定審批前必須詳細考慮上述情況。



3. 影響環境衛生及造成滋擾

- 有關於該位置增設其他服務行業(如：汽車美容服務)之申請地點附近的環境衛生情況一直處於欠佳水平，更有不少人士經常將垃圾、建築廢料及汽車零件放置或棄置該處，本法團亦曾向有關部門反映問題，惟有關部門至今仍未解決相關問題；
- 位於鄰近屋苑之食肆多年來為本苑帶來不同種類的衛生問題，如鼠患、路面骯髒等嚴重問題，令本苑居民的日常生活痛苦不堪，假若有關位置獲批准增設其他服務行業（如：汽車美容服務），本法團認為油污排放更使環境衛生情況必定加劇惡劣。以及，該地點人流增加亦會產生噪音，對本苑業戶的日常生活構成非常嚴重滋擾。

4. 造成治安威脅

- 有關於該位置增設其他服務行業(如：汽車美容服務)之申請，本法團對於有關規劃會令洪順路一帶治安帶來潛在威脅，有關計劃中將會興建樓高 2 層的樓層，而興建位置亦鄰近本苑圍牆，根據資料，過往本苑部分單位曾遭到連環爆竊，經管理公司及警方調查後，發現有關疑犯是從申請位置旁邊的圍牆爬入從而犯案；
- 本法團有充分理由相信，規劃中的建築物必定會為不法之徒帶來方便，作為潛入本苑犯案的踏腳石，令本苑業戶每日都擔憂自身及家居財產的安危，飽受精神困擾。

5. 該路段的土地用途

- 有關於該位置涉及的土地用途為住宅(乙類)，希望 貴會能正視本苑和學校的以上訴求及意向，避免因改變土地用途而帶來社區不可逆轉的災難；
- 本苑和學校周邊範圍有超市，全日開放的便利店和不同種類的餐飲店，路面安全和社區寧靜為首要；
- 本苑業戶及學校絕不需要任何商店及任何服務增設在該地段，以及整條洪順路；
- 故此，本法團及業戶 **強烈反對**有關規劃，以令本苑業戶的生命財產及身心靈得以保障。

溱林業主立案法團

The Incorporated Owners of The Woodsville



懇請 貴會作出決定審批前必須細心考慮上述各項情況及承責，以保障本苑業戶的切身利益，隨函附上本苑業戶對上述申請的反對簽名供 貴會作為參考。如對上述事宜有任何查詢，請致電 與管業處職員聯絡。



主席 (何耀枝先生)

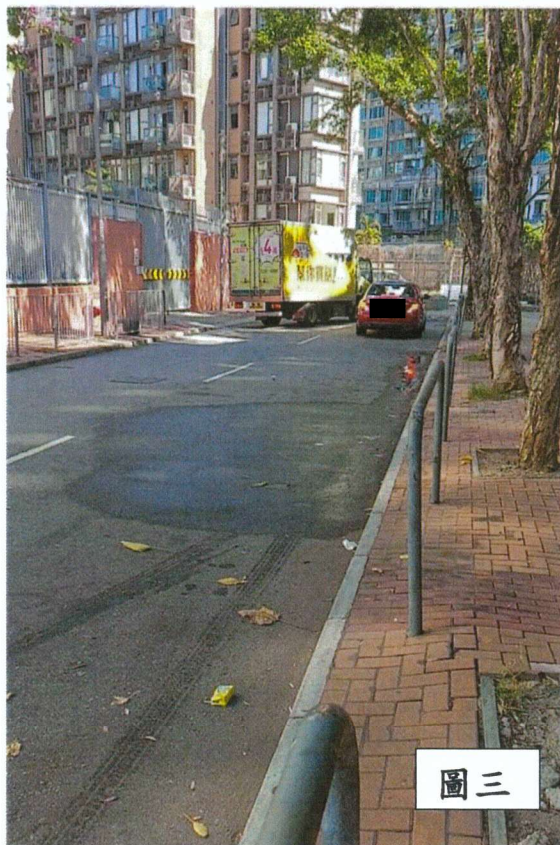
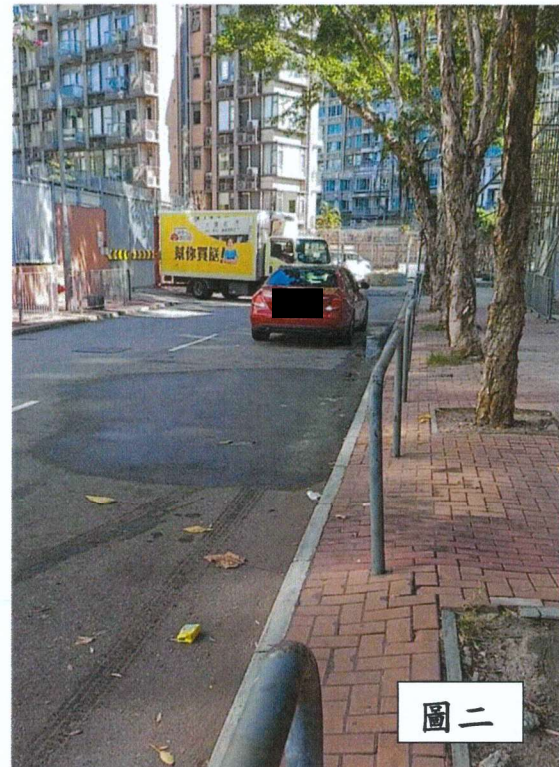
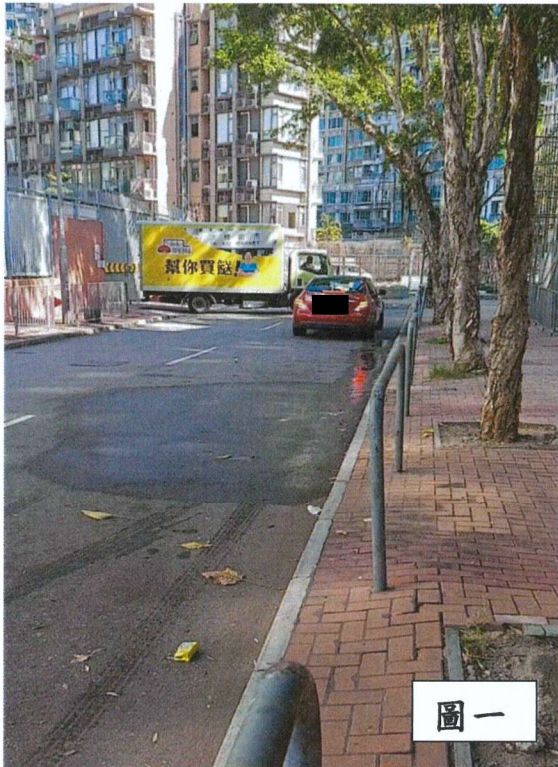
二零二四年一月十六日

副本送：元朗民政事務專員

附件：溱林業戶意向簽署及相關附圖

附圖一

- 興建位置位於洪順路盡頭，車輛掉頭情況



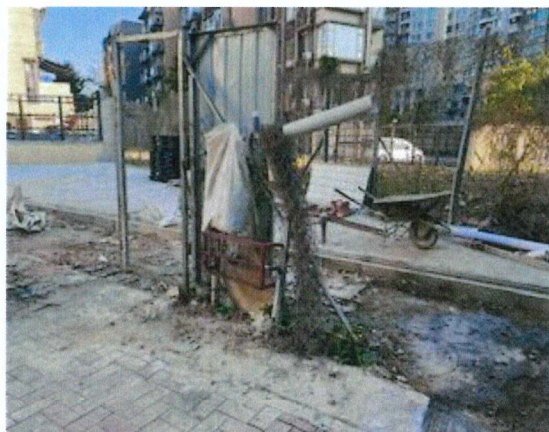
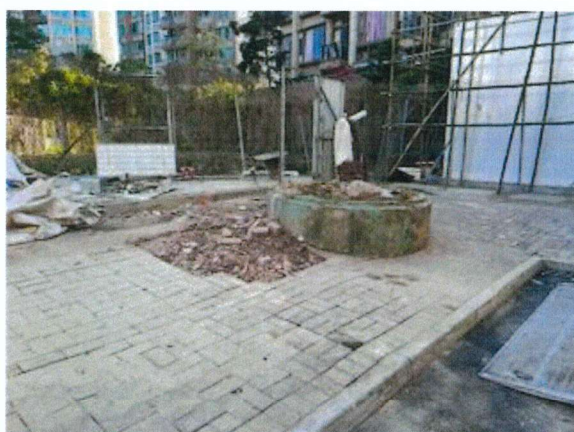
附圖二

- 接載學生之情況



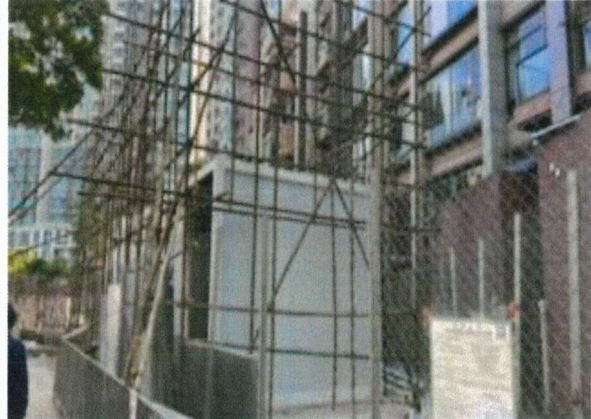
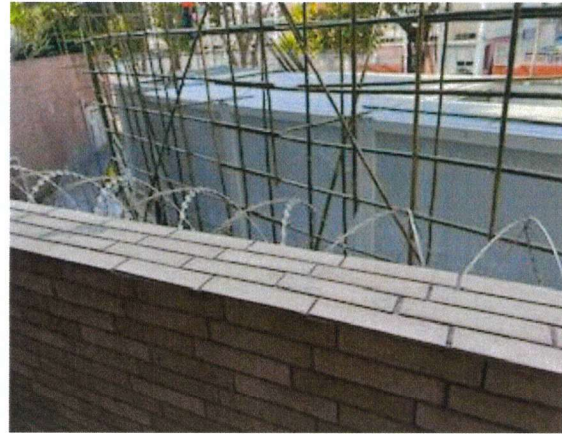
附圖三

- 環境衛生及造成滋擾



附圖四




















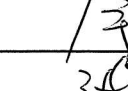
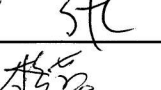

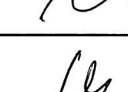

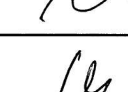
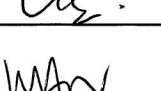
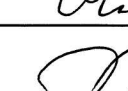



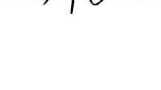

- 治安威脅



有關興建臨時商店及服務行業 (為期3年)

申請編號: A/YL-TYST/1250

地點: 新界元朗洪水橋洪順路丈量約份第127約地段第293號餘段(部份)

NO.	日期	住戶姓名	贊成	反對	簽名確認
1	04/01/2024	邱尚衡		✓	
2	04/01/2024	Tomice		✓	
3	04/01/2024	HOIUMING		✓	
4	4/01/2024	Alan		✓	
5	4/01/2024	Alan		✓	
6	4/01/2024			✓	
7	04/01/2024			✓	
8	04/01/2024			✓	
9	4/1/2024	Chen Vian			
10	4/1/2024			✓	
11	4/1/2024			✓	
12	4/1/2024			✓	
13	4/1/2024			✓	
14	4/1/2024			✓	
15	4/1/2024	3H		✓	
16	4/1/2024			✓	
17	4/1/2024			✓	
18	4/1/2024	Wan		✓	
19	4/1/2024			✓	
20	4/1/2024			✓	

有關興建臨時商店及服務行業 (為期3年)

申請編號: A/YL-TYST/1250

地點: 新界元朗洪水橋洪順路丈量約份第127約地段第293號餘段(部份)

NO.	日期	住戶姓名	贊成	反對	簽名確認
21	4/1/24	何		✓	何
22	4/1/24	何		✓	何
23	4/1/24	何		✓	何
24	4/1/24	何		✓	何
25	4/1/24	何		✓	何
26	4/1/24	何		✓	何
27	4/1/24	何		✓	何
28	4/1/24	何		✓	何
29	4/1/2024	何		✓	何
30	4/1/2024	何		✓	何
31	4/1/2024	何		✓	何
32	4/1/2024	何		✓	何
33	4/1/2024	何		✓	何
34	4-1-2024	何		✓	何
35	4/1/2024	何		✓	何
36	4/1/2024	何		✓	何
37	4/1/2024	何		✓	何
38	4/1/2024	何		✓	何
39	4/1/2024	何		✓	何
40	4/1/2024	何		✓	何

有關興建臨時商店及服務行業 (為期3年)

申請編號: A/YL-TYST/1250

地點: 新界元朗洪水橋洪順路丈量約份第127約地段第293號餘段(部份)

NO.	日期	住戶姓名	贊成	反對	簽名確認
41	4-1-2024	李		✓	李
42	4-1-2024	江		✓	江
43	4-1-2024	王		✓	王
44	4-1-2024	李		✓	李
45	4-1-2024	李		✓	李
46	4-1-2024	陳		✓	陳
47	4-1-2024	謝		✓	謝
48	4-1-2024	葉		✓	葉
49	4-1-2024	馬		✓	馬
50	4-1-2024	周		✓	周
51	4-1-2024	陳		✓	陳
52	4-1-2024	陳		✓	陳
53	4-1-2024	張		✓	張
54	4-1-2024	余		✓	余
55	4-1-2024	黃		✓	黃
56	4-1-2024	朱		✓	朱
57	4-1-2024	吳		✓	吳
58	4-1-2024	張		✓	張
59	4-1-2024	李		✓	李
60	4-1-2024	李		✓	李

有關興建臨時商店及服務行業 (為期3年)

申請編號: A/YL-TYST/1250

地點: 新界元朗洪水橋洪順路丈量約份第127約地段第293號餘段(部份)

NO.	日期	住戶姓名	贊成	反對	簽名確認
61	4-1-2024	李		✓	Bur
62	4-1-2024	李		✓	李
63	4-1-2024	Sun		✓	Sun
64	4/1/2024	Sn		✓	Sn
65	4/1/2024	TH		✓	TH
66	4/1/2024	Kelly		✓	Kelly
67	4/1/2024	Cadence		✓	Cadence
68	4/1/2024	Lincoln		✓	Lincoln
69	4/1/2024	Irone		✓	Irone
70	4/1/2024	VO		✓	VO
71	4/1/2024	鄭		✓	鄭
72	4/1/2024	黃		✓	黃
73	4/1/2024	E.B.		✓	E.B.
74	4/1/2024	Yip		✓	Yip
75	4/1/2024	陳		✓	陳
76	4/1/2024	鄭		✓	鄭
77	4-1-2024	Chun		✓	Chun
78	4-1-2024	Jacin 張		✓	Jacin 張
79	4-1-2024	L.K. Chan		✓	L.K. Chan
80	4/1/2024	Burn		✓	Burn

有關興建臨時商店及服務行業 (為期3年)

申請編號: A/YL-TYST/1250

地點: 新界元朗洪水橋洪順路丈量約份第127約地段第293號餘段(部份)

NO.	日期	住戶姓名	贊成	反對	簽名確認
81	4.1.24	Mrs HO		✓	Ho
82	4.1.24	Kenny		✓	Kenny
83	4-1-2024	Wm		✓	Wm
84	4-1-2024	Michael Mole		✓	Michael
85	4-1-2024	Murto Chan		✓	Chan
86	4-1-2024	FHA WONG		✓	Wong
87	4-1-2024	MAN KAH HO		✓	Man
88	4-1-24	Tan		✓	Tan
89	4-1-2024	Car		✓	Car
90	4-1-2024	Arthur Lan		✓	Lan
91	4/1/2024	Felix		✓	Felix
92	4/1/2024	Yf		✓	Yf
93	4/1/2024	off		✓	off
94	4/1/2024	St		✓	St
95	4/1/2024	Red		✓	Red
96	4/1/2024	Y		✓	Y
97	4/1/2024	Car		✓	Car
98	4/1/2024	Ben Chung		✓	Ben
99	4/1/2024	Car		✓	Car
100	4/1/2024	St		✓	St

有關興建臨時商店及服務行業 (為期3年)

申請編號: A/YL-TYST/1250

地點: 新界元朗洪水橋洪順路丈量約份第127約地段第293號餘段(部份)

NO.	日期	住戶姓名	贊成	反對	簽名確認
101	06/01/2024	Meggy		✓	[Signature]
102	5/1/2024	Lau Jai-hing		✓	[Signature]
103	5/1/2024	Lin		✓	[Signature]
104	5/1/2024	周地成		✓	[Signature]
105	5/1/2024	Ngan Chun		✓	[Signature]
106	5/1/2024	黃連		✓	[Signature]
107	5/1/2024	Frankie		✓	[Signature]
108	5-1/1/2024	King		✓	[Signature]
109	5/1/2024	Eric Hui		✓	[Signature]
110	5/1/2024	Chan Ten Tung		✓	[Signature]
111	5/1/2024	陸國樞		✓	[Signature]
112	5/1/2024	潘錦強		✓	[Signature]
113	5/1/2024	Angus Kwok		✓	[Signature]
114	5/1/2024	Poon Wai		✓	[Signature]
115	5/1/2024	May		✓	[Signature]
116	5/1/2024	Jimmy		✓	[Signature]
117	5/1/2024	May		✓	[Signature]
118	5/1/2024	Thompson		✓	[Signature]
119	5/1/2024	Wilson		✓	[Signature]
120	5/1/2024	Chow Lg		✓	[Signature]

有關興建臨時商店及服務行業 (為期3年)

申請編號: A/YL-TYST/1250




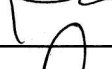








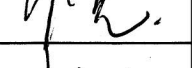




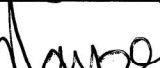


地點: 新界元朗洪水橋洪順路丈量約份第127約地段第293號餘段(部份)

NO.	日期	住戶姓名	贊成	反對	簽名確認
121	5/1/2024	Kenny		✓	Kenny
122	5/1/24	Yin		✓	Yin
123	5/1/24	De		✓	De
124	5/1/24	Long Senika		✓	Long Senika
125	5/1/24	Kay		✓	Kay
126	5/1/24	Martini Reyes		✓	Reyes
127	5.1.24	David Ng		✓	Dgo
128	5-1.2024	Yvonne Wan		✓	Yv
129	5,1,2024	Tommy		✓	Tom
130	5.1.2024	CHENG		✓	Cheng
131	5.1.2024	John Wan		✓	John
132	5/1/2024	Chau Tin		✓	Chau
133	5/1/24	Layman Si		✓	Layman
134	5/1/24	HE HING BING		✓	He Hing
135	5/1/24	Annala Francisco		✓	Annala
136	5/1/24	JECK TANG		✓	Jeck
137	5/1/24	Mark Chan		✓	Mark
138	5/01/2024	CHU Hing		✓	Chu
139	5/1/24	Wai Pui Yuen		✓	Wai Pui
140	5/1/24	Yip Kin Yung		✓	Yip Kin

有關興建臨時商店及服務行業 (為期3年)

申請編號: A/YL-TYST/1250

地點: 新界元朗洪水橋洪順路丈量約份第127約地段第293號餘段(部份)

NO.	日期	住戶姓名	贊成	反對	簽名確認
141	5/1/24	Joyelan		✓	
142	5.1.2024	Pisun		✓	
143	5.1.2024	Atchai		✓	
144	5.1.2024	Wong		✓	
145	5 Jan 24	Dee		✓	
146	5/1/2024	Yuan		✓	
147	5/1/24	Apply		✓	
148	5/1/24	Stanley		✓	
149	5/1/24	Anon		✓	
150	5/1/24	Bridg		✓	
151	5/1/24				
152	5/1/24	Sam		✓	
153	5/1/24	Hannah		✓	
154	5/1/24	Esther		✓	
155	5/1/24	33		✓	
156	5/1/2024	PL		✓	
157	5/1/2024	Yee Chai		✓	
158	5/1/2024	Von		✓	
159	5/1/2024	Garry		✓	
160	6/1/2024	Chan King		✓	

有關興建臨時商店及服務行業 (為期3年)

申請編號: A/YL-TYST/1250



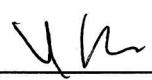

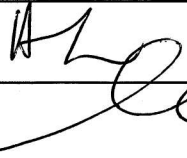

地點: 新界元朗洪水橋洪順路丈量約份第127約地段第293號餘段(部份)

NO.	日期	住戶姓名	贊成	反對	簽名確認
161	6/1/2024	Wong		✓	[Signature]
162	6/1/2024	Wong		✓	[Signature]
163	6/1/2024	E-B		✓	[Signature]
164	6/1/2024	Block 1-1		✓	[Signature]
165	6/1/2024	Chan		✓	[Signature]
166	6/1/2024	[Signature]		✓	[Signature]
167	6/1/2024	[Signature]		✓	[Signature]
168	6/1/2024	Cheng		✓	[Signature]
169	6/1/2024	Watson			
170	6/1/2024	Anna		✓	[Signature]
171	6/1/2024	Blum		✓	[Signature]
172	6/1/2024	Joey		✓	[Signature]
173	6/1/2024	Law		✓	[Signature]
174	6/1/2024	Wendy		✓	Wendy
175	6/1/2024	Allen To		✓	[Signature]
176	6/1/2024	[Signature]		✓	[Signature]
177	6/1/2024	[Signature]		✓	[Signature]
178	6/1/24	John		✓	John
179	6/1/24	John		✓	[Signature]
180	6/1/24	Chan		✓	[Signature]

有關興建臨時商店及服務行業 (為期3年)

申請編號: A/YL-TYST/1250

地點: 新界元朗洪水橋洪順路丈量約份第127約地段第293號餘段(部份)

NO.	日期	住戶姓名	贊成	反對	簽名確認
181	6/1/2024	LUIMAN KWAN		✓	
182	6/1/2024	Ho Yat Yee		✓	a
183	6/1/2024	Yuen Chun Man		✓	
184	6/1/2024	LUZ LUZ WAN		✓	
185	6/1/2024	FAN HOI YAN		✓	
186	6/1/2024	范卓君		✓	卓
187	6/1/2024	張慧明		✓	明
188	6/1/2024	張慧冰		✓	冰
189	6/1/2024	張慧曼		✓	曼
190	6/1/2024	張慧珍		✓	珍
191	6/1/2024	胡心怡		✓	心
192	6/1/2024	洪頌瑜		✓	洪頌瑜
193	6/1/2024	廖志強		✓	廖志強
194	6/1/2024	李錦紅		✓	
195	6/1/2024	Audrey Lam		✓	
196	6/1/2024	江銘海		✓	
197	6/1/2024	張允耀		✓	Yi
198	6/1/2024	楊惠芳		✓	芳
199	6/1/2024	Law Wan Lun		✓	
200	6/1/2024	Subi Tsang		✓	Subi

有關興建臨時商店及服務行業 (為期3年)

申請編號: A/YL-TYST/1250

地點: 新界元朗洪水橋洪順路丈量約份第127約地段第293號餘段(部份)

NO.	日期	住戶姓名	贊成	反對	簽名確認
201	07-01-2024	CHAN cher Rita		✓	Rita
202	7/1/24	Loke To		✓	To
203	7/1/24	Chan		✓	Chan
204	7/1/24	Siu		✓	Siu
205	7/1/24	Zou		✓	Zou
206	7/1/24	Aden		✓	Aden
207	7/1/2024	W		✓	CHAW
208	7/1/24	Yip		✓	Yip
209	7/1/24	P. CHENG		✓	Cheng
210	7/1/24	何佳		✓	Ho
211	7/1/24	梁秉彥		✓	Leung
212	7/1/24	霍松立		✓	Hui Pong Ip
213	7/1/24	San		✓	San
214	7/1/24	Layler		✓	Layler
215	7 th Jan 24	雨臻		✓	Yau Yan
216	7 th Jan 24	Amy		✓	Amy
217	7/1/24	Mary		✓	Mary
218	7/1/24	林)		✓	Lin
219	7/1/24	LM TANG		✓	Tang
220	7.1.24	Tsang		✓	Tsang

有關興建臨時商店及服務行業 (為期3年)

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地點: 新界元朗洪水橋洪順路丈量約份第127約地段第293號餘段(部份)

NO.	日期	住戶姓名	贊成	反對	簽名確認
221	7/1/2024	張楚琳		✓	
222	7/1/2024	LEUNG KIT WING JOYCE		✓	
223	7/1/2024	鄭子怡		✓	
224	7/1/2024	林宇峰		✓	
225	7/1/2024	HO HIU MAN		✓	
226	7/1/2024	李敏賢		✓	
227	7/1/2024	Fang chun		✓	
228	8/1/2024	LAU CHOY YIN		✓	
229	8/1/2024	WONG SK		✓	
230	8/1/2024	WONG CK		✓	
231	8/1/2024	F. B		✓	
232	8/01-2024	Gemma		✓	
233	8/1/2024	吳神謙		✓	
234	8/1/2024	IP WING HIN		✓	
235	8/1/2024	Lo Yung Hei		✓	
236	8/1/2024	Luk Hay Yee		✓	
237	8/1/2024	Long Wing Yui		✓	
238	8.1.24	Lam		✓	
239	9/1/2024	WONG CK		✓	
240	9/1/2024	WONG CK		✓	

有關興建臨時商店及服務行業 (為期3年)

申請編號: A/YL-TYST/1250

地點: 新界元朗洪水橋洪順路丈量約份第127約地段第293號餘段(部份)

NO.	日期	住戶姓名	贊成	反對	簽名確認
241	9/1/2024	何瑞枝		✓	何瑞枝
242	9/1/2024	丁		✓	丁
243	9/1/2024	黃雲		✓	黃雲
244	9.1.2024	Man Yee		✓	Man Yee
245	9/1/2024	CHHAI		✓	CHHAI
246	9/1/2024	Sanyou		✓	Sanyou
247	9/1/2024	22 丁		✓	丁
248	10/01/2024	吳金達		✓	吳金達
249	10-1-2024	黃雲		✓	黃雲
250	10/1-2024	黃雲		✓	黃雲
251	10/1/24	THANIE CHAN		✓	THANIE CHAN
252	10/1/2024	Wong So		✓	Wong So
253	10/11/2024	Nick		✓	Nick
254	10/1/2024	吳雲		✓	吳雲
255	10/1/2024	陳雲		✓	陳雲
256	10-1-24	陳雲		✓	陳雲
257	10/01	Man Yee		✓	Man Yee
258					
259					

有關興建臨時商店及服務行業 (為期3年)

申請編號: A/YL-TYST/1250

地點: 新界元朗洪水橋洪順路丈量約份第127約地段第293號餘段(部份)

NO.	日期	住戶姓名	贊成	反對	簽名確認
261	1/10/2024	楊錦江		✓	Joy
262	11/1/2024	Wong-C		✓	W.
263	11/1/2024	何慧中		✓	Hel
264	11.1.2024	Michael		✓	Me
265	11.1.2024	陳文島		✓	Chen
266	11/1/2024	何		✓	He
267	11/1/2024	Kwok Hiu Hoi		✓	Ho
268	11/1/2024	李桂忠		✓	Lee
269	11/1/24	Wing		✓	Wing
270	11/1/24	270		✓	270
271	11/1/24	Shirley Chan		✓	Chan
272	11/1/24	Fung		✓	Fung
273	11/1/24	Chung Pui Yi		✓	Chung
274	11/1/24	Loan King Hung		✓	Loan
275	11/1/2024	Chik Chan		✓	Chik
276	11/1/24	Kitty		✓	Kitty
277	11/1/24	李少英		✓	Lee
278	12/1/24	莫太		✓	Mo
279	12/1/24	莫生		✓	Mo
280	12/1/24	莫小姐		✓	Mo

有關興建臨時商店及服務行業 (為期3年)

申請編號: A/YL-TYST/1250

地點: 新界元朗洪水橋洪順路丈量約份第127約地段第293號餘段(部份)

NO.	日期	住戶姓名	贊成	反對	簽名確認
281	12-1-24	John Law		✓	John
282	12/1/24	易詩鈞		✓	易
283	12/1/24	陳永興		✓	陳
284	12/1/24	Ryan Murphy		✓	RM.
285	12/1/24	Carla Murray		✓	Carla
286	12/1/24	Ngai Sheng		✓	Ngai
287	12/1/24	Belinda		✓	Belinda
288	12/1/24	A. Wong		✓	A. Wong
289	12/1/24	Wong		✓	Wong
290	13/1/2024	David		✓	David
291	13/1/24	David		✓	David
292	13/1/24	Ngan		✓	Chi
293	13/1/24	Wong		✓	Wong
294	13/1/24	Joe Chun		✓	Joe
295	13/1/2024	Samuel		✓	Samuel
296	13/1/2024	Samuel		✓	Samuel
297	13/1/2023	THN PING		✓	THN PING
298	13/1/24	Wong			
299	13/1/20	Wong		✓	Wong
300	13/1/20	Wong		✓	Wong

申請編號：A/YL-TYST/1250




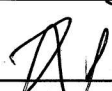

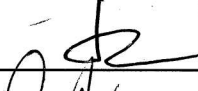
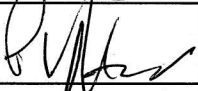
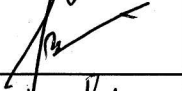
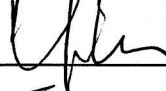
地點：新界元朗洪水橋洪順路丈量約份第127約地段第293號餘段(部份)

NO.	日期	住戶姓名	贊成	反對	簽名確認
301	13/1	何志		✓	Sam
302	13/1	許長銀		✓	Andy
303	13/1	許錦輝		✓	Ella
304	13/1	許振厚		✓	Thomas
305	13/1	許振華		✓	Bruce
306	13/1	戴斌雄		✓	✓
307	13-1-24	Chub Koon		✓	ck
308	14-01-2024	鄧志鋒		✓	鋒
309	14-1-2024	Siu Wu		✓	Siu
310	14-1-2024	Tsz To		✓	Tsz
311	14/1/2024	馮傑傑		✓	han
312	14/1/2024	馮傑傑		✓	Chuf
313	14/1/2024	歐陽達霞		✓	Ang
314	14/1/2024	葉智聰		✓	Chg
315	14/1/2024	王子蔚		✓	蔚
316	14/1/2024	葉露萍		✓	Yip
317	14/1/2024	Andy		✓	han
318	14/1/2024	Hysie Sin		✓	han
319	14/1/2024	Tim Kip		✓	han
320	14/1/2024	Kwok Po wing		✓	han

有關興建臨時商店及服務行業 (為期3年)

申請編號：A/YL-TYST/1250

地點：新界元朗洪水橋洪順路丈量約份第127約地段第293號餘段(部份)

NO.	日期	住戶姓名	贊成	反對	簽名確認
321	14/1	Zhu		/	
322	14/1			/	
323	14/1	林嘉慧		/	
324	14/1	Madawaka		/	
325	15-1-2024	Sarah		✓	Sh
326	15-1-2024	Ju		✓	Ju
327	15-1-2024	TAMMY POW		✓	Tammy Pow
328	15-1-2024	CICIL SATIREI		✓	JHAS
329	15-1-2024	Loesiu Chy		✓	
330	15/1 2024	MC Jy		✓	
331	15/1 2024	PHILIP WONG		✓	
332	15/1 2024	CHOW P. CLAU		✓	
333	15/1/24	Foranzy		✓	Forz.
334					
335					
336					
337					
338					
339					
340					

漆林業主立案法團**The Incorporated Owners of The Woodville**

22 附加 2

檔案編號：TW-IO-L001-2024

城市規劃委員會秘書
香港北角渣華道 333 號
北角政府合署 15 樓

執事先生：

有關：元朗洪水橋洪順路第 127 約地段第 293 號餘段(部分)
臨時商店及服務行業 (為期 3 年) 事宜
(申請編號：A/YL-TYST/1250)

就有關題述事宜，本法團接獲 貴會於 2024 年 1 月 3 日所發出之信函，故早前就題述一事向各業戶發表訊息，以便向 貴會轉達本苑業戶的意向及反映意見，結果顯示本苑業戶主流意向均為強烈反對題述規劃申請，總結如下：

1. 嚴重影響洪順路交通

- 洪順路為本苑車輛必經的出入道路外，亦是鄰近中學教職員及接載學生之車輛所使用之道路，以及有關興建位置位於洪順路盡頭，有不少車輛會於該位置掉頭，導致該路段交通非常擠塞，情況日益嚴重，交通已難以負荷本區居民；
- 若於該位置增設其他服務行業 (如：汽車美容服務)，必定吸引不少人士駕車駛至，屆時該路段將會更加擠塞、混亂及危險，定必構成相當嚴重的影響本苑業戶及鄰近中學師生之安全；
- 洪順路的違泊問題亦非常嚴重，已屢次因車輛違泊問題而引致該段道路非常堵塞及無法掉頭的情況，而本法團亦曾多次向警方反映有關問題，惟警方未能即時執法，令該路段交通情況尚未作出改善，導致本苑及鄰近業戶有冤無路訴，望 貴會作決定審批前必須詳細考慮上述情況。

2. 影響環境衛生及造成滋擾

- 有關於該位置增設其他服務行業 (如：汽車美容服務) 之申請地點附近的環境衛生情況一直處於欠佳水平，更有不少人士經常將垃圾、建築廢料及汽車零件放置或棄置該處，本法團亦曾向有關部門反映問題，惟有關部門至今仍未能解決相關問題；
- 位於鄰近屋苑之食肆多年來為本苑帶來不同種類的衛生問題，如鼠患、路面骯髒等嚴重問題，令本苑居民的日常生活痛苦不堪，假若有關位置獲批准增設其他服務行業 (如：汽車美容服務)，本法團認為油污排放更使環境衛生情況必定加劇惡劣。以及，該地點人流增加亦會產生噪音，對本苑業戶的日常生活構成非常嚴重滋擾。

漆林業主立案法團

The Incorporated Owners of The Woodville



3. 造成治安威脅

- 有關於該位置增設其他服務行業(如：汽車美容服務)之申請，本法團對於有關規劃會令洪順路一帶治安帶來潛在威脅，有關計劃中將會興建樓高 2 層的樓層，而興建位置亦鄰近本範圍牆，根據資料，過往本苑部分單位曾遭到連環爆竊，經管理公司及警方調查後，發現有關疑犯是從申請位置旁邊的圍牆爬入從而犯案；
- 本法團有充分理由相信，規劃中的建築物必定會為不法之徒帶來方便，作為潛入本苑犯案的踏腳石，令本苑業戶每日都擔憂自身及家居財產的安危，飽受精神困擾。

4. 該路段的土地用途

- 有關於該位置涉及的土地用途為住宅(乙類)，希望貴會能正視本苑和學校的以上訴求及意向，避免因改變土地用途而帶來社區不可逆轉的災難；
- 本苑和學校周邊範圍有超市，全日開放的便利店和不同種類的餐飲店，路面安全和社區寧靜為首要；
- 本苑業戶及學校絕不需要任何商店及任何服務增設在該地段，以及整條洪順路；
- 故此，本法團及業戶 **強烈反對** 有關規劃，以令本苑業戶的生命財產及身心靈得以保障。

懇請 貴會作出決定審批前必須細心考慮上述各項情況及承責，以保障本苑業戶的切身利益，隨函附上本苑業戶對上述申請的反對簽名供 貴會作為參考。如對上述事宜有任何查詢，請致電 與管業處職員聯絡。

漆林業主立案法團

第四屆管理委員會



主席 (何耀枝先生)

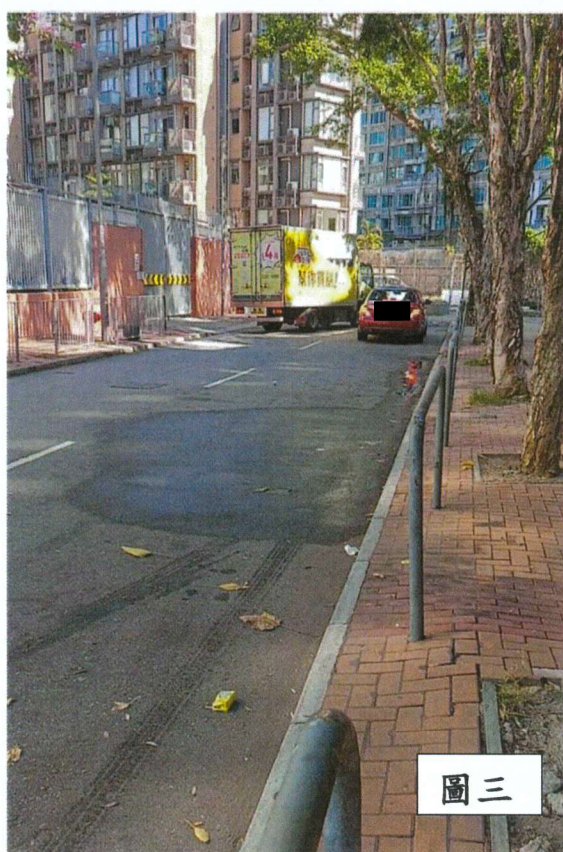
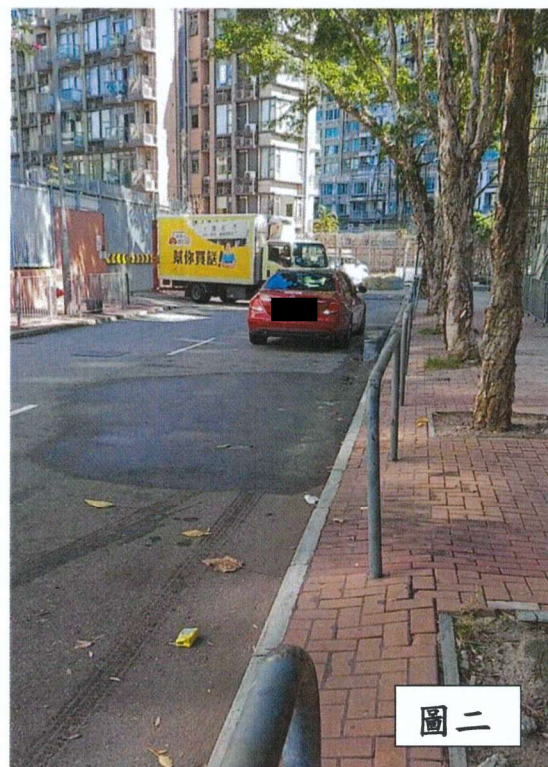
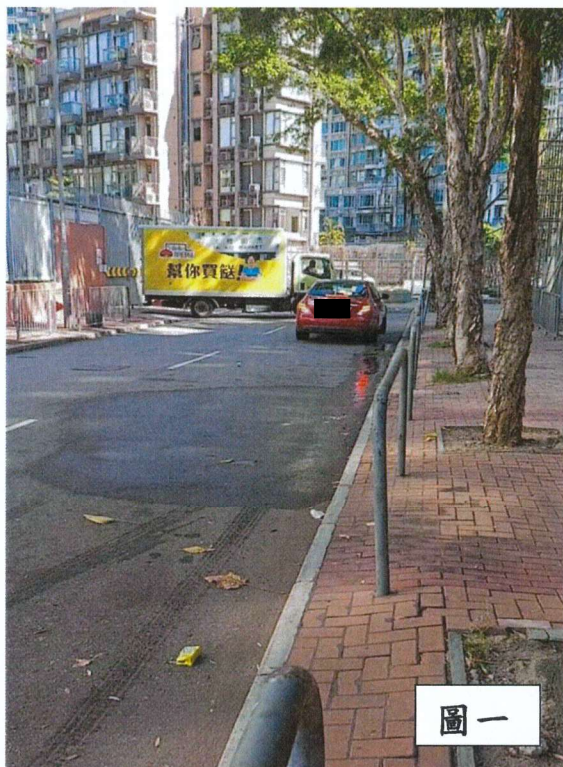
二零二四年一月十六日

副本送：元朗民政事務專員

附件：漆林業戶意向簽署及相關附圖

附圖一

- 興建位置位於洪順路盡頭，車輛掉頭情況



附圖二

- 接載學生之情況



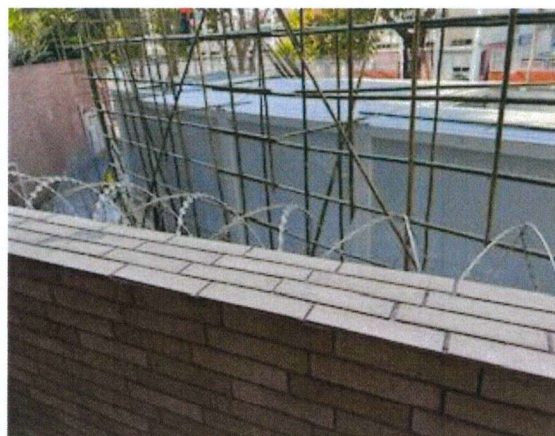
附圖三

- 環境衛生及造成滋擾



附圖四

- 治安威脅



January 15 2024

22 附 11 3

Secretary, Town Planning Board
15/F North Point Government Offices
333 Java Road
North Point
Hong Kong



Dear Sir,

Re: Concerns to the Application for a Temporary Commercial Shop and Service Business, reference number (A/YL-TYST/1250) at Lot No. 293 R.P. (Part) in D.D. 127, Hung Shun Road, Hung Shui Kiu, Yuen Long, New Territories

As residents of The Woodsville, 18 Hung Shun Road, Hung Shui Kiu, Yuen Long, we are writing to express our concerns and worries about the application for a Temporary Commercial Shop and Service business with reference number (A/YL-TYST/1250) at Lot No. 293 R.P. (Part) in D.D. 127, Hung Shun Road, Hung Shui Kiu, Yuen Long, New Territories. We want the Town Planning Board to consider the following issues as crucial components throughout the assessment process and give the community a formal justification.

Firstly, the applicant's proposed location for any commercial shops, including auto beauty, is at the end of the road, near the estate entrances and exits of Ho Dao College. Due to the road width being approximately 6.8 metres wide, this is a frequently trafficked location. During the day, many vehicles make U-turns at the road end and illegally park along the roadside. This location's planned auto beauty shop would exacerbate the existing traffic situation. During the day, Ho Dao College students frequently exercise outside for physical education classes. The estate also houses many senior retirees and small children taken on for outings by their foreign domestic helpers every day. School buses will park at the estate entrance to drop off young children. The congested traffic creates blind spots on the road, which increases the risk of unnecessary accidents.

Secondly, the application's suggested construction is 7.6 metres tall. The estate and the planned service facility are adjacent, separated only by a narrow lane. The place is exceptionally isolated and dark, and it still has many blind spots despite the estate management office's best attempts to improve illumination. Due to the estate's low density, the height of the proposed construction exacerbates existing concerns that cannot be handled at present, making it easier for thieves to break in and conduct theft, resulting in deterioration in public safety. It must be noted that there have been several theft cases in the neighbourhood in the past.

Thirdly, there is little reason to believe that the applicant or landlord will behave honourably when they begin building, excavating, and other activities several months before the public hearing and consultation process is complete. There is no approval from the Town Planning Board about the application; we are alarmed that this is a highly unsuitable form of shortcutting. We have contacted several governmental departments, including the Yuen Long West District office, Land Department, Highway Department, and Housing Department, regarding their unauthorised building activities. However, we are unfortunately unsuccessful in our attempts - the construction is still ongoing.

Additionally, it appears from the applicant's justifications (points 4 and 5), along with water/drainage pipes stored in the construction, they intend to run an auto beauty service or food and beverage business, which could pollute the environment, not to mention the summer months bringing with them an even more significant mosquito problem.

Lastly, many seniors, young couples with kids, and a community of green environment enthusiasts live in the estate's vicinity. Large and robust trees that have endured multiple typhoons have been planted outside the estate for a long time. Sadly, we have watched as a number of large trees in front of the planned construction have slowly withered and were eventually taken down by the appropriate authorities. The lovers of greenery now feel frustrated and powerless.

We have copies of photos showing the detrimental effects of the temporary commercial shop on the environment, housing estate security, and road conditions.

We sincerely request that the Town Planning Board can consider our concerns as an important factor during assessment process for the sake of the nearby residents safety and environment. Please contact Ms Carmen Wu of the Woodsville Management Office at if you need any further communication.

Thank you for your kind attention.

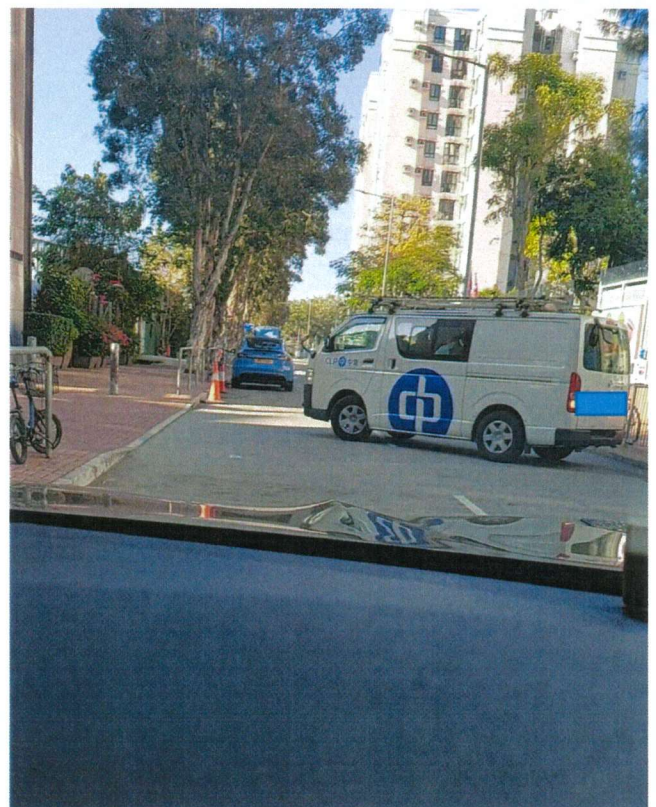
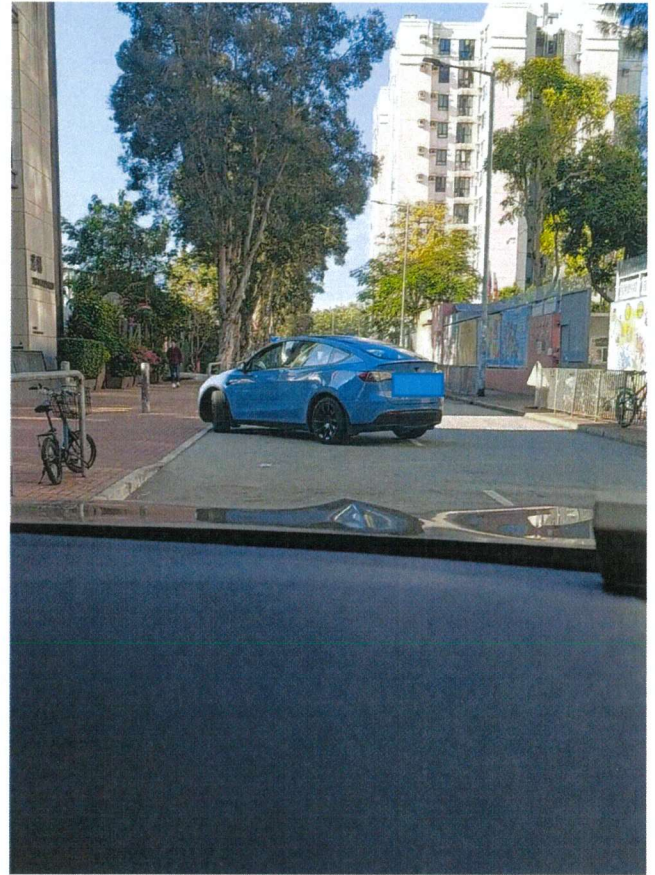
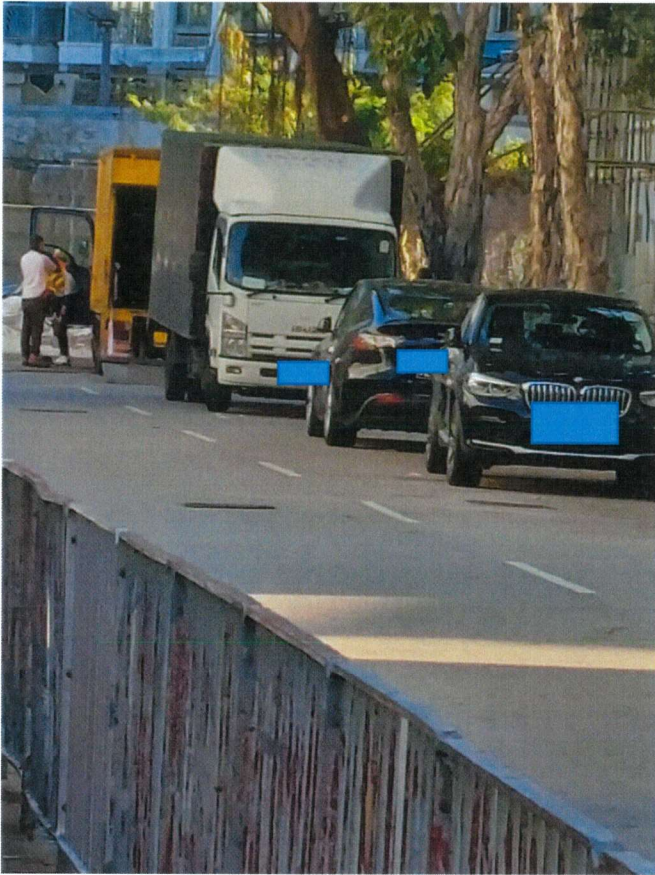
Joint Owners of the Woodsville

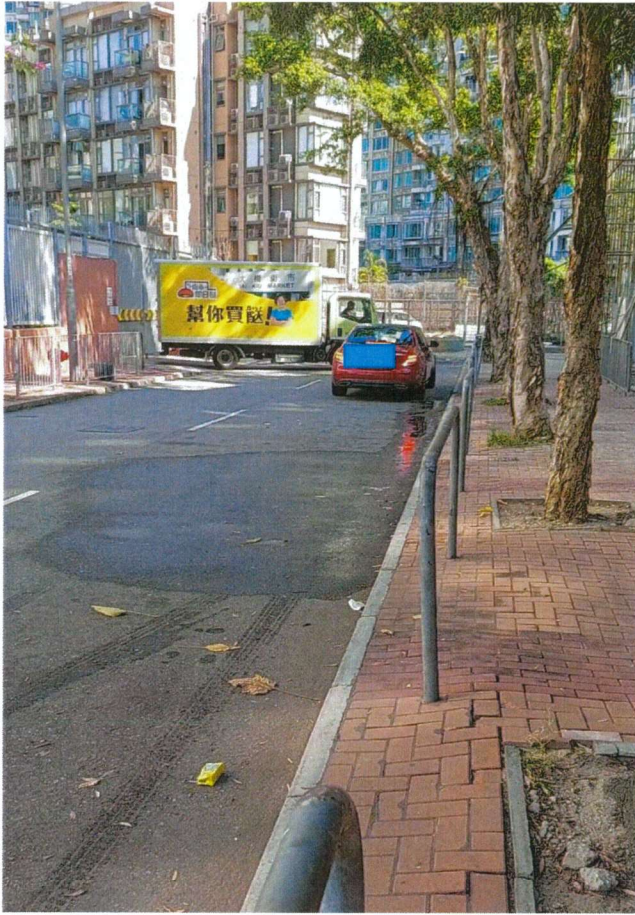
Tower	Unit	Name	Signature
		King Ling	King
		CHEUNG YUK HING	Chy
		CHENG CHI PING	Chy
		FOK POON LAI	Fok Poon
		SO CHAG LAM	So
		Wong Chi Wa	Wong
		Yau Sheung Hang	Yau
		YAN PING CHANG	Yan
		CHAN SAN CHING	Chan
		Ng man chun	Ng
		Lo wai yung	Lo
		Lee Ling	Lee
		Cheng Chang Han	Cheng
		Leung Huen Ming	Leung
		CHAN HAI WING	Chan
		Karin Ip Yik KAWAT KAVIN	Karin
		RIVER FORK	River
		TAN CHAN MING	Tan
		WONG SIN KA	Wong
		Kwok Chi Hang	Kwok
		Liu Ka Chi	Liu
		Kwok Po Wing	Kwok

Joint Owners of the Woodsville

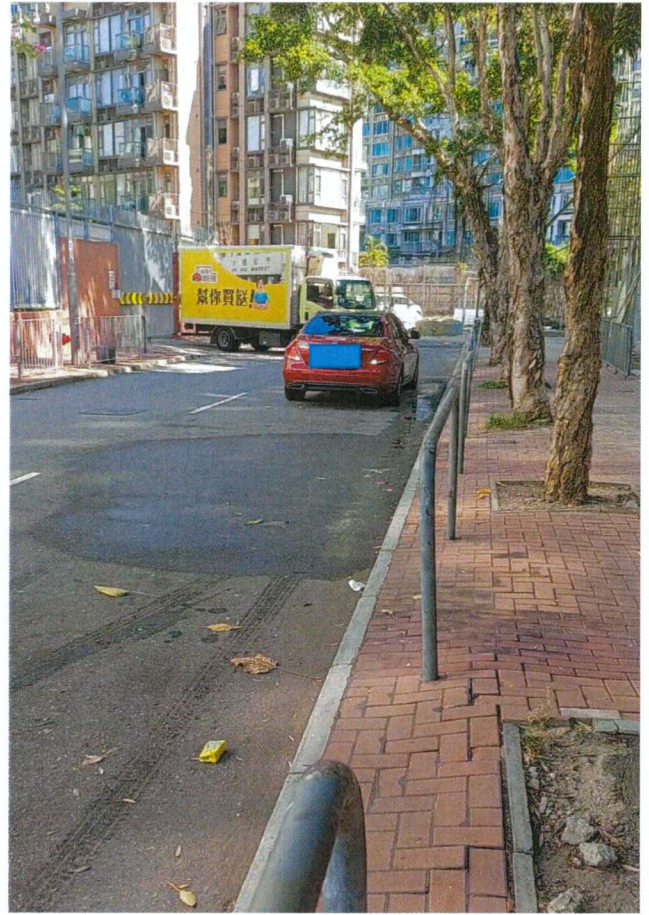
[illegible]

The planned commercial shop is located at the end of the road, and the picture shows that vehicles usually park along the roadside. Vehicles either back up from the Ho Dao College exit or make a U-turn at the entrance of the Woodsville building, causing blind spots and increasing the risk of accidents. When it comes to attending classes at Ho Dao College, it can be expected that the traffic situation is even worse and busier during the weekdays compare to holidays, making it more prone to accidents.

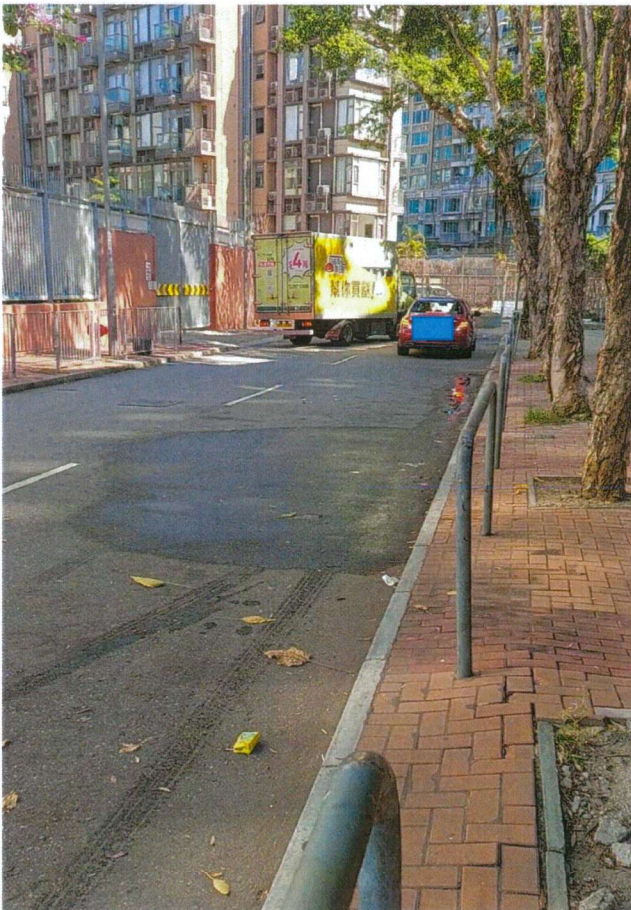




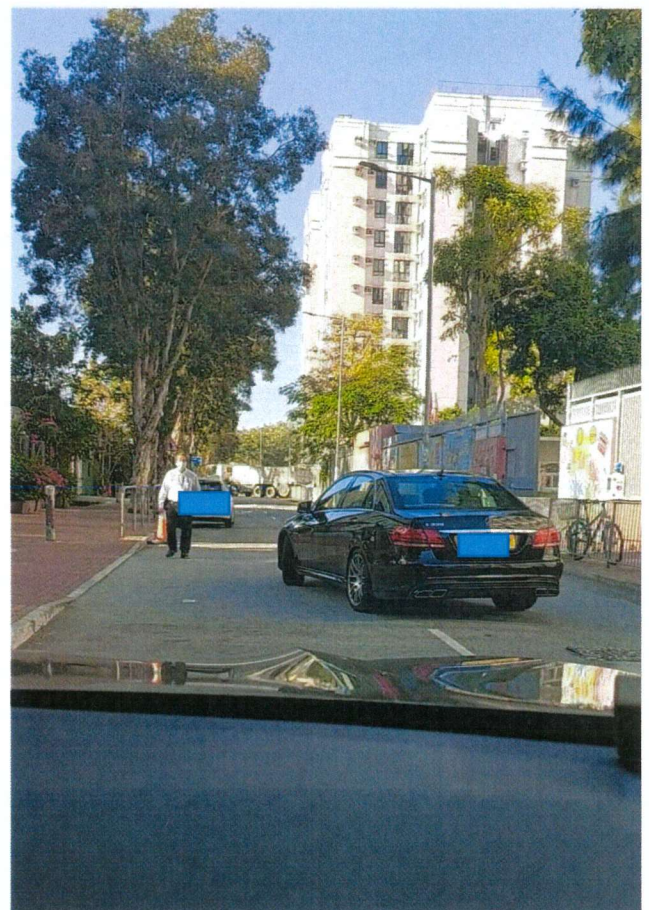
1



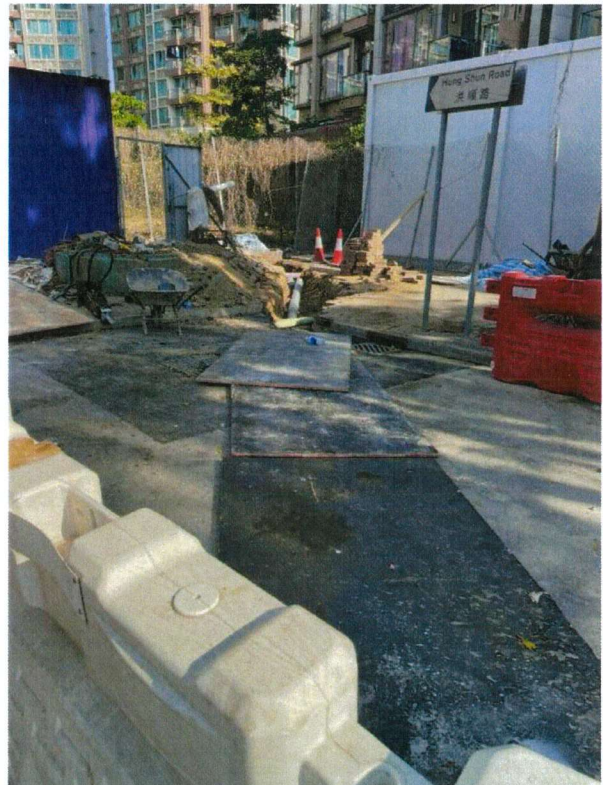
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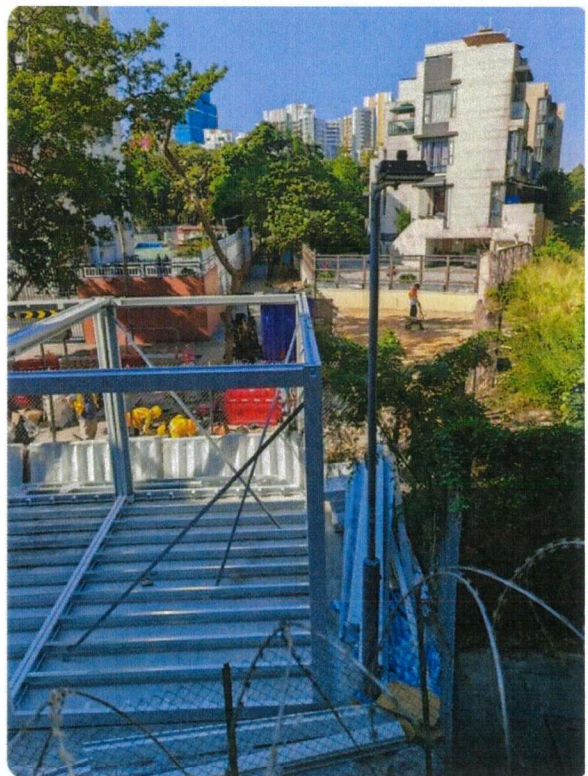
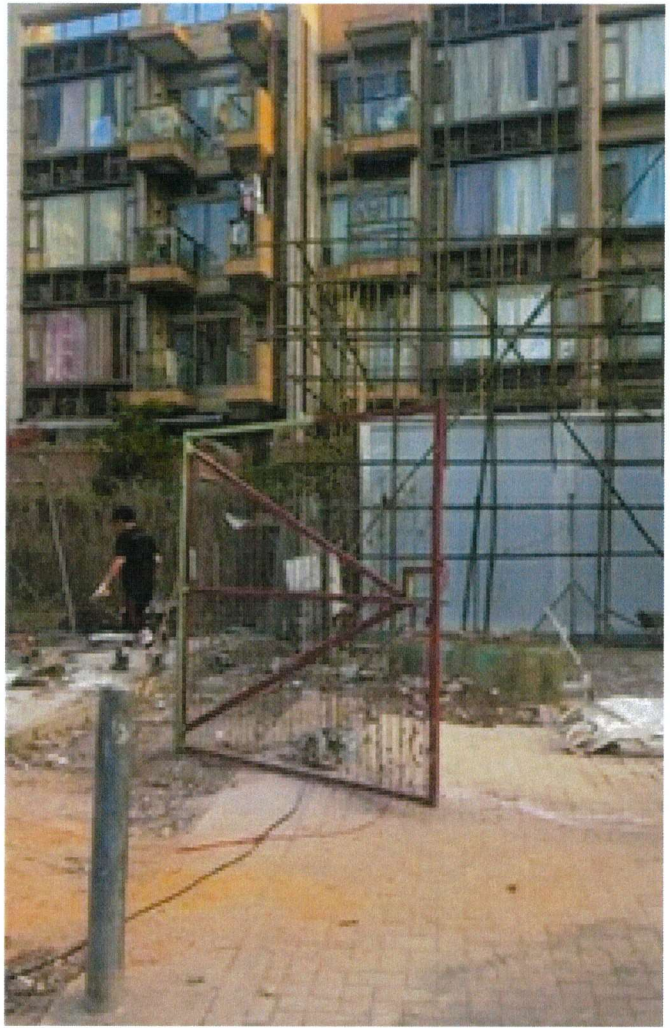
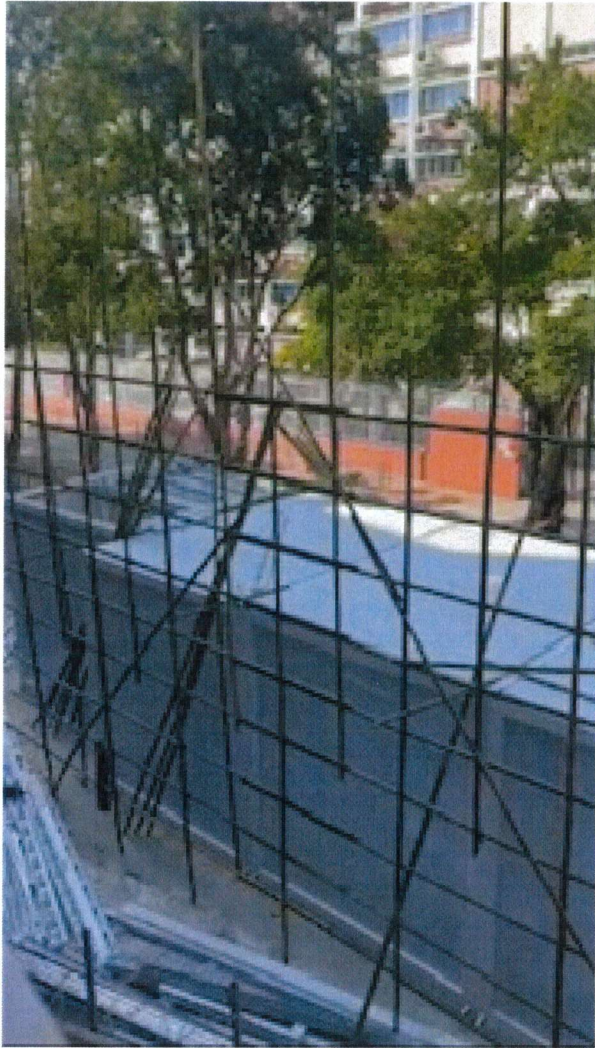


3



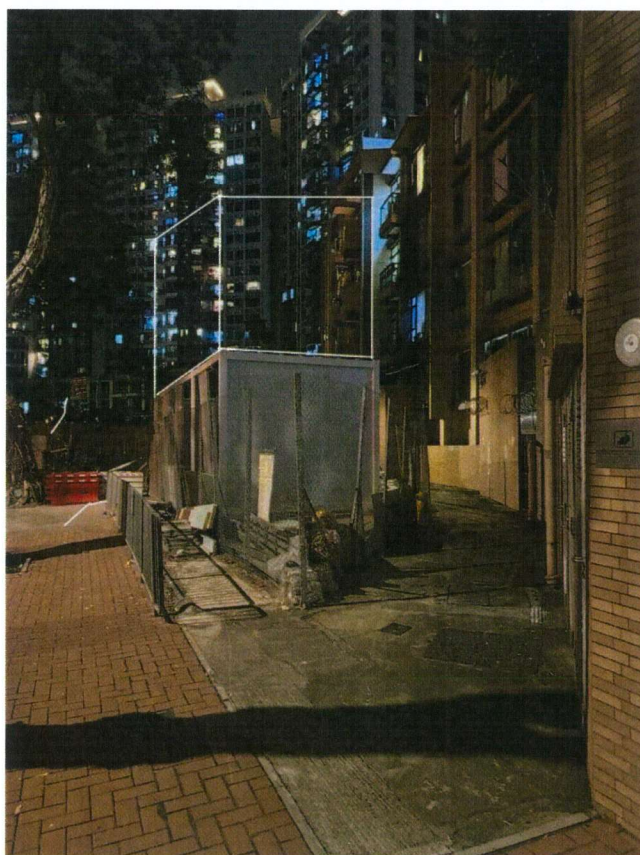
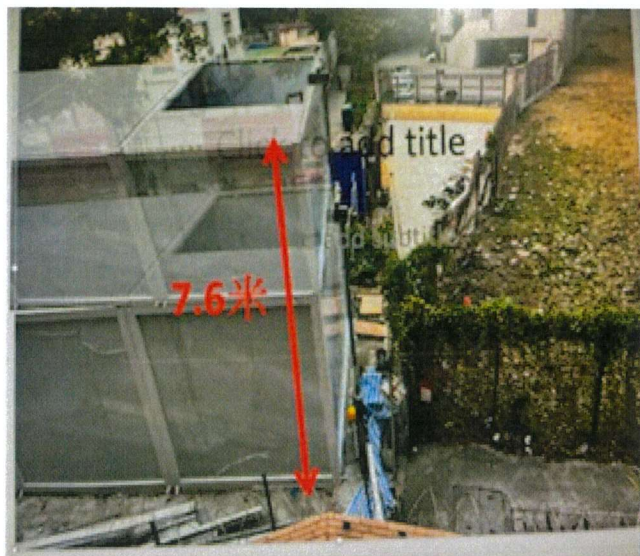
The pictures show the applicant start building, excavating and other activities before the public hearing and consultation process is completed. We are concerned that this work might be evading the standard approval procedure before it is finished.

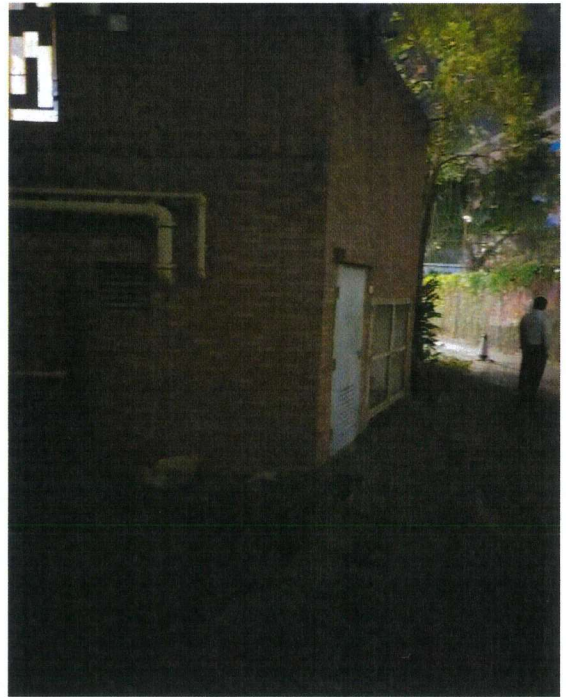
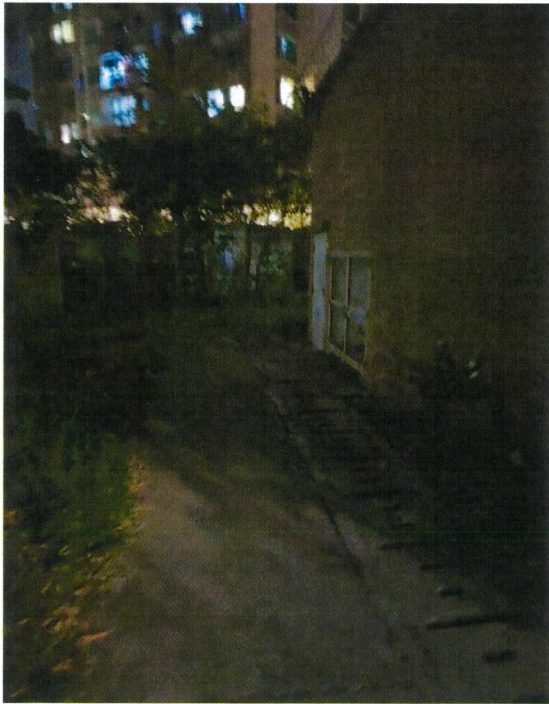




Before any construction, the picture depicts an open area outside of the estate. After construction, the building is 7.6 metres tall, creating more blind spots in the dark alley, which will enhance the likelihood of theft.



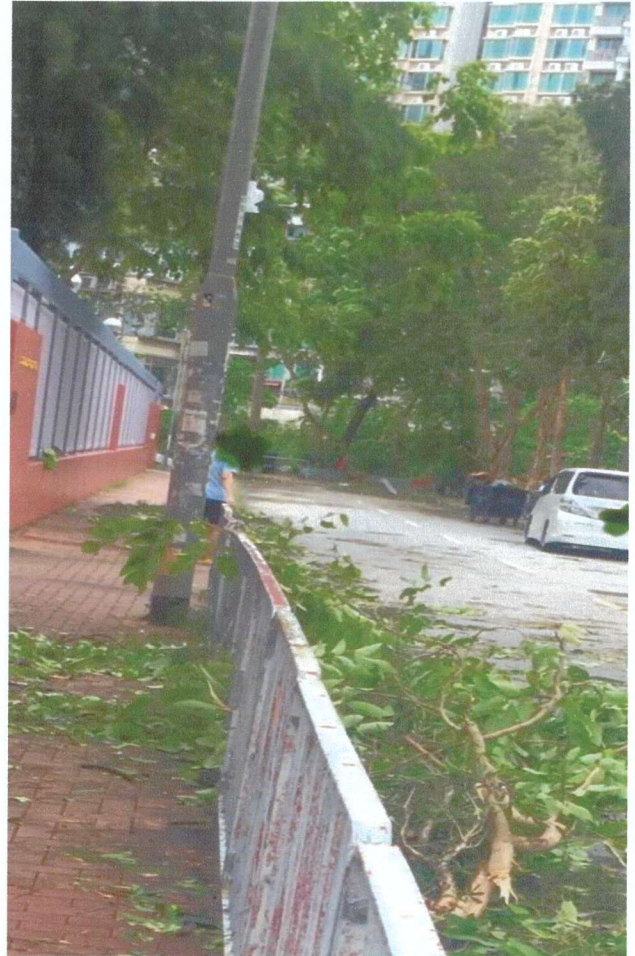
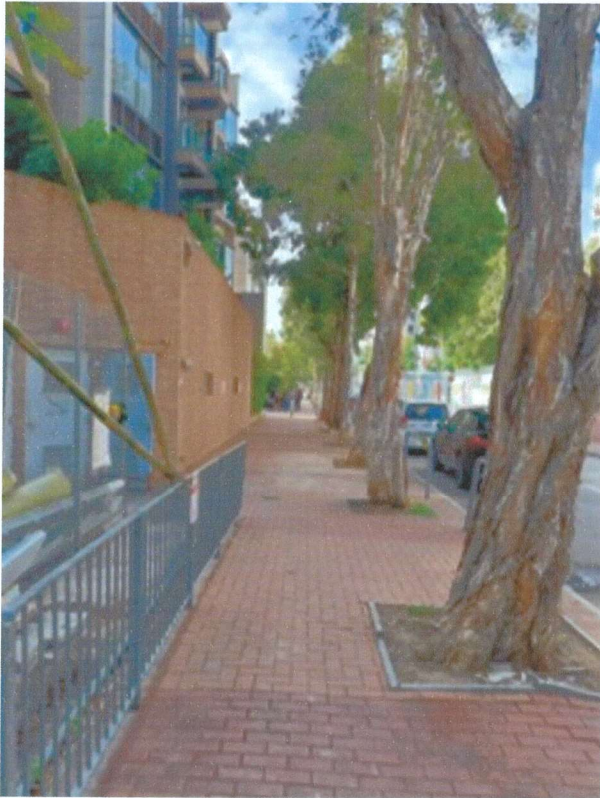




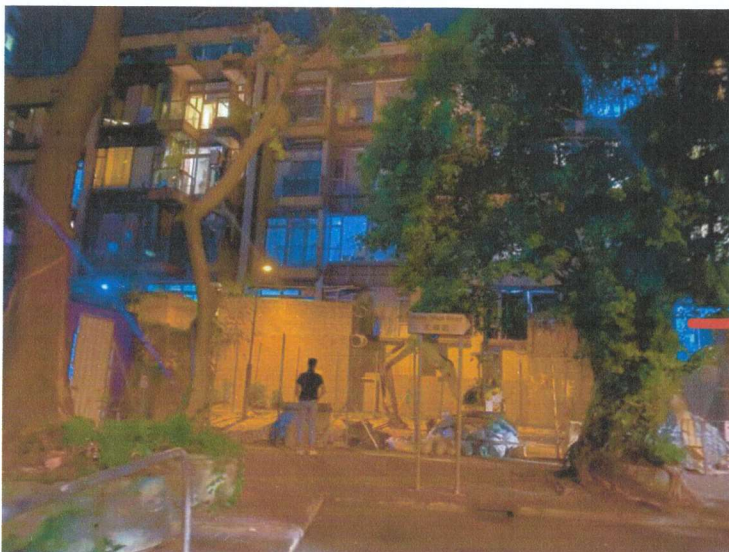
The image demonstrate how, on weekdays, the school bus parks at the estate entrance to drop off young children, and how the large truck regularly pulls in and out.



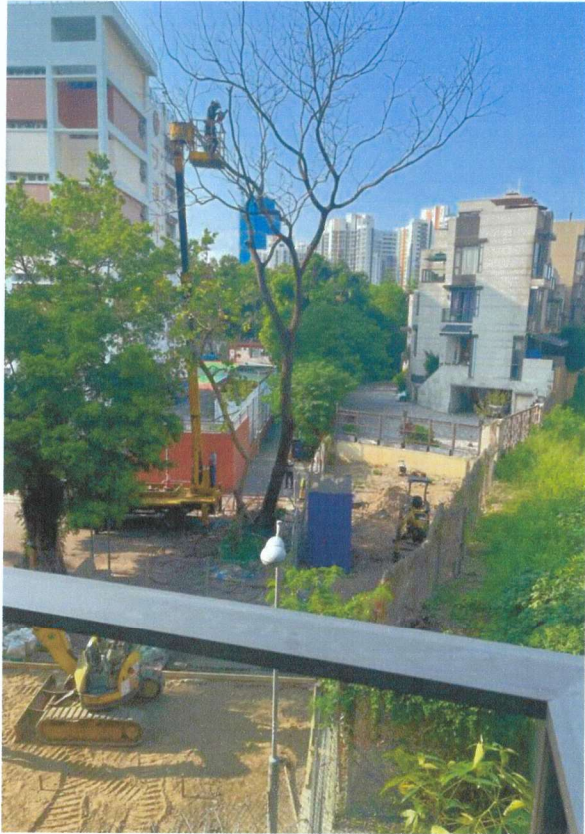
A comparison of trees during a storm is shown in this image. The trees along the roadside still remain standing tall and strong after multiple typhoons, but a few months ago, the trees outside the proposed construction slowly withered and were removed. Greenery enthusiasts now feel frustrated and powerless as a result of this.



Even after being struck by several typhoons in 2023, it still remains standing strong



Date: 24.10.2023



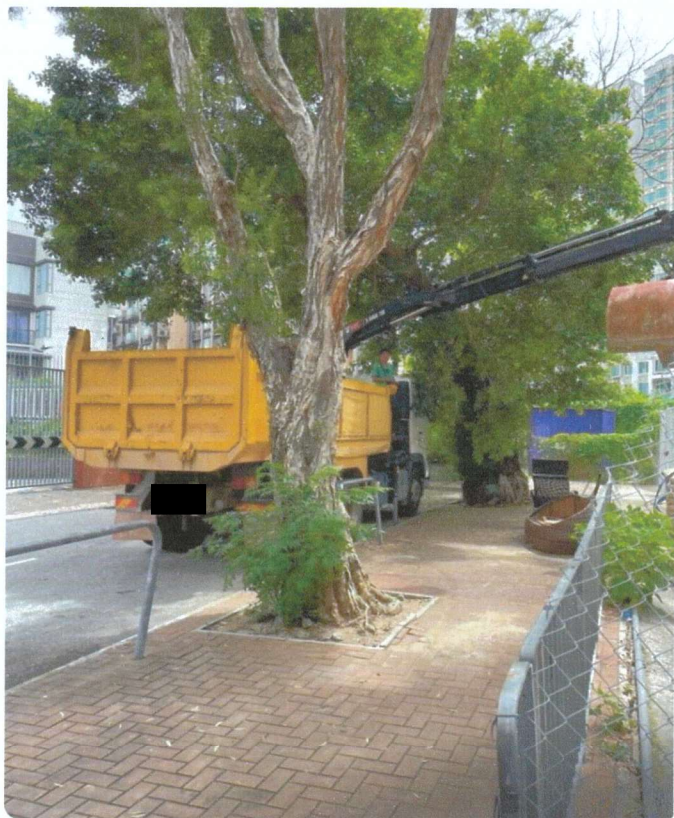
Date: 30.10.2023



Date: 1.12.2023



Date: 2.07.2023 Damaged the Banyan Tree

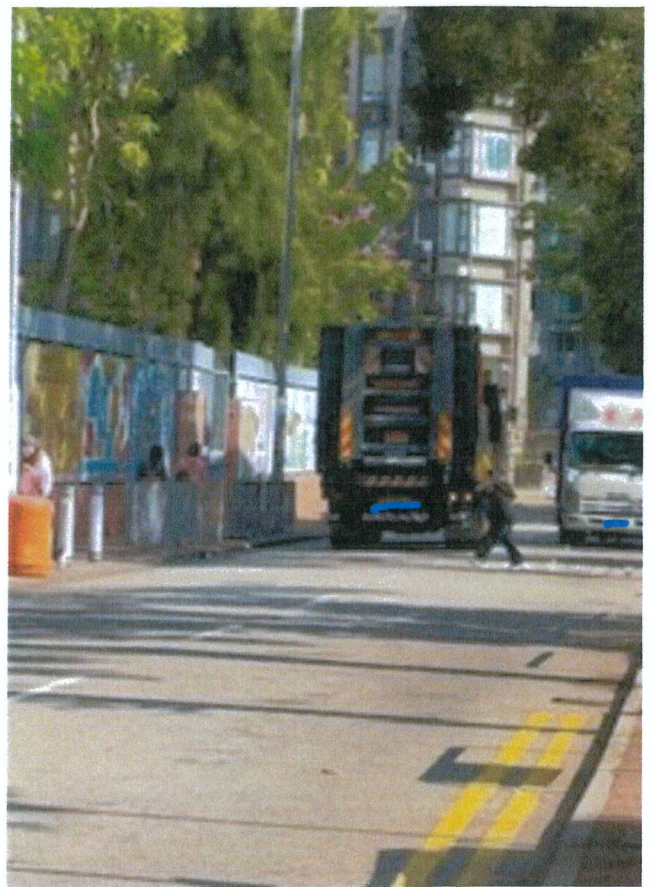


Date: 2.07.2023

Another weekend on January 6 2024 at 11am, there was a big truck backing, and there was a chance that another big truck would block pedestrians' view. She hastily moved away to escape it when onlookers spotted this (pictures 1-3)



1



2



3

----- Forwarded by Edwin Wai Shing YEUNG/PLAND/HKSARG on 19/01/2024 10:09 -----

From:
To: "ewsyeung@pland.gov.hk" <ewsyeung@pland.gov.hk>, "awymak@pland.gov.hk" <awymak@pland.gov.hk>
Cc:
Date: 18/01/2024 12:46
Subject: 回覆: 有關路段申請編號: A/YL-TYST/1250 及 A/YL-TYST/1160

楊先生/麥先生，

就有關題述路段申請編號：A/YL-TYST/1250 「偷步」展開建設工程 及 編號 A/YL-TYST/1160，本處於本月十二日與 貴署及兩個地區團體開會質詢A/YL-TYST/1250之確實服務內容。

貴署在席上表達有關編號：A/YL-TYST/1250之申請人會向 貴署回覆確實服務，惟本處再次深感遺憾 貴署沒有履行責任，沒有上載確實的進一步文件予公眾查閱。本處在 貴署網頁中收悉在該路段之服務「可能」雜貨店或便利店，望 貴署認真關注居民和學校之憂累。

另外，申請編號 A/YL-TYST/1160的附帶條件及相關資料，懇請 貴署盡快回覆。

漆林管業處

17

致城市規劃委員會秘書：

專人送遞或郵遞：香港北角渣華道 333 號北角政府合署 15 樓

傳真：2877 0245 或 2522 8426

電郵：tpbpd@pland.gov.hk

To : Secretary, Town Planning Board

By hand or post : 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong

By Fax : 2877 0245 or 2522 8426

By e-mail : tpbpd@pland.gov.hk

有關的規劃申請編號 The application no. to which the comment relates

A/YL-TYST/1250

意見詳情 (如有需要，請另頁說明)

Details of the Comment (use separate sheet if necessary)

見附頁

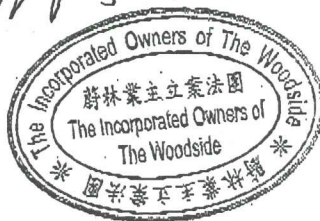
「提意見人」姓名/名稱 Name of person/company making this comment

簽署 Signature



日期 Date

15-1-2024

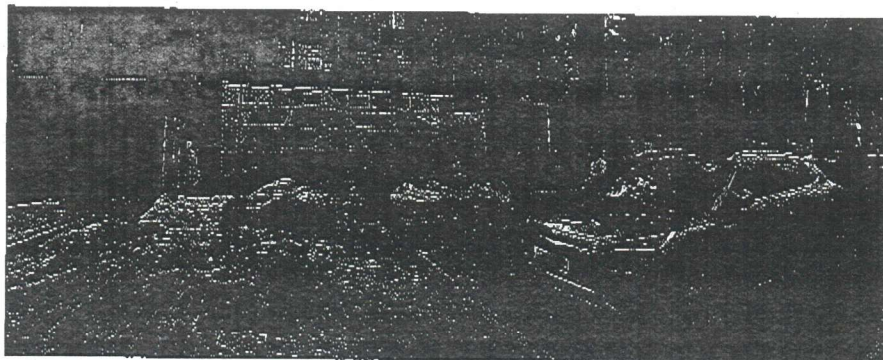


1. 近年新界北（包括本區）罪案數字持續上升，住戶特別擔心的爆竊案，2023 年前三季度，較 2022 年同期更由 128 宗升至 226 宗（大幅上升 76%），詳細見下表：

新界北罪案數字（資料來源：香港警務處）

新界北地區	2022 年 1 月至 9 月	2023 年 1 月至 9 月
傷人及嚴重毆打	652	679
行劫	16	10
爆竊	128	226
嚴重毒品罪行	166	147
搶掠	13	9
扒竊	14	51
擅自取去交通工具	229	182
街頭騙案	0	1
強姦	7	4
非禮	131	210

2. 該申請「臨時商店及服務行業」，位置極鄰近本屋苑後方，而「商店」，明顯是商業運作，必會帶來區外或非居於本區人士進出或停留，治安問題不容忽視；
3. 該「臨時」當局定義為 3 年，亦非「必定不會獲續約」，或硬性必需「再諮詢」，本屋苑居民無可避免地，以「永久」方式去考慮是否對屋苑存在不良影響，然而諮詢時間及資料太少，因此未能接受該項申請而必需反對；
4. 「臨時商店及服務行業」，商店及服務行業，定義太廣，和上述情況一樣，本屋苑居民無可避免地，以「永久」方式去考慮是否對屋苑存在不良影響，然而諮詢時間及資料太少，因此未能接受該項申請而必需反對；
5. 在諮詢期間（應至 2024 年 1 月 19 日），該位置已經開展工程，（見下圖相片- 攝於 2024 年 1 月 11 日），罔顧鄰近居民的意見及發表意見的權利，明顯意圖做成既定事實，政府部門亦未見干涉及執法，因此本屋苑居民並無信心，如批准該「臨時商店及服務行業」運作，在對居民構成實質影響時，有關部門能保障居民安寧，因此，必需反對！



就規劃申請/覆核提出意見 Making Comment on Planning Application / Review**參考編號****Reference Number:**

240109-212510-65270

提交限期**Deadline for submission:**

19/01/2024

提交日期及時間**Date and time of submission:**

09/01/2024 21:25:10

有關的規劃申請編號**The application no. to which the comment relates:**

A/YL-TYST/1250

「提意見人」姓名/名稱**Name of person making this comment:**夫人 Mrs. NG LEONG YE
E**意見詳情****Details of the Comment :**

for: 洪水橋洪順路丈量約分第127約地段

It would be great for the place to have a convenient shop / mini supermarket as near the area has a lot of residential buildings plus school. Would be great for both parties.

Not only that I would also suggest on the same road but toward 512 castle peak road. there is a space has been empty with trees/gates and such. That area if it is public use, could also consider some shops or park or gardens. To make the whole Hung Shui Kiu area better. (as the proposal of HK government, the future Hung Shui Kiu would have the EFTS station near there. Therefore, would be nice to have the environment looks more established on the main road)

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致城市規劃委員會秘書

香港北角渣華道 333 號

北角政府合署 15 樓

檔案編號: TPB/A/YL-TYST/1250

執事先生/女士

新界元朗洪水橋洪順路丈量約份第 127 約地段第 293 號餘段(部分)

臨時商店及服務行業 (申請編號: A/YL-TYST/1250)

有關上述地段提交之申請項目本人現正式提出反對。理由如下:-

- 一、 申請人在未經貴部門同意及批准下偷步興建建築物，公然無視法律及公眾利益。
(附圖片)
- 二、 在此地段興建此等建築物(兩層高) 會對附近屋苑及住客造成極其嚴重的治安問題。
- 三、 由於興建此等大形建築使後方大道村唯一的出入道路變得陰暗狹窄，構成消防走火及治安問題。
- 四、 臨時商店的設計沒必要興建兩層高，如取得貴部門批准，恐申請人會將其用作其它非法用途 (如 2/F 作居住用途等) 。

根据以上原因，本人身為此地區的持份者之一，現特此向貴部門對上述申請提出嚴正反對，望貴部門充份考慮公眾利益停止批准上述申請，並立即制止申請人偷步興建非法建築物。

順祝台安

濠林業主/業戶

13 JAN 2024

YAU SHEUNG HANG







23

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A/YL-TYST/1250 DD 127 Hung Shun Road, Hung Shui Kiu
16/01/2024 02:13

From:

To: "tpbpd" <tpbpd@pland.gov.hk>

Sent by: tpbpd@pland.gov.hk

File Ref:

A/YL-TYST/1250

Lot 293 RP (Part) in D.D. 127, Hung Shun Road, Hung Shui Kiu, Yuen Long

Site area: 65.3sq.m

Zoning: "Res (Group B) 1"

Applied use: Shop and Services

Dear TPB Members,

1092 approval revoked for failure to fulfil both Drainage and Fire conditions.

The location is close to multiple residential towers.

Failure to fulfil both conditions poses safety risks to the community and should not be tolerated or rewarded by granting a further three years approval.

Mary Mulvihill

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review

參考編號

Reference Number:

240115-220232-46330

提交限期

Deadline for submission:

19/01/2024

提交日期及時間

Date and time of submission:

15/01/2024 22:02:32

有關的規劃申請編號

The application no. to which the comment relates:

A/YL-TYST/1250

「提意見人」姓名/名稱

Name of person making this comment:

女士 Ms. Chan

意見詳情

Details of the Comment :

I am writing to express my deep concern and strong opposition to the proposed plan of utilizing the land in our residential area for temporary shops and services over a period of three years. It is my firm belief that this decision will have a detrimental impact on the tranquility and well-being of our community.

First and foremost, one of the primary concerns associated with this plan is the potential noise pollution that will inevitably arise from the operation of numerous shops and services in close proximity to our homes. The constant commotion and clamor will disrupt the peaceful atmosphere we have grown accustomed to, and it will significantly diminish the quality of life for all the residents. The ability to enjoy our homes as a sanctuary, free from excessive noise, is a fundamental right that should not be compromised.

Additionally, the proposed plan will result in a substantial increase in people flow within the vicinity. The influx of visitors, customers, and employees will undoubtedly create congestion, disrupt traffic patterns, and pose safety hazards for both pedestrians and drivers. Our neighborhood, which is currently characterized by a sense of safety and security, will be transformed into a bustling commercial area, eroding the peaceful environment we cherish.

Moreover, the constant presence of a large number of people will inevitably lead to various social and environmental issues. Littering, vandalism, and increased strain on public facilities such as parking spaces and waste management systems are just a few of the challenges that will arise. Our community should not have to bear the burden of these problems for an extended period merely for the sake of temporary economic gains.

I implore you to carefully consider the long-term implications of this decision and explore alternative solutions that will protect the interests and well-being of the residents. Is there a possibility of locating the temporary shops and services in a more suitable commercial area, away from residential zones? Could the duration of this temporary arrangement be shortened or the number of establishments limited to mitigate the negative impact on our community?

I kindly request that you take immediate action to address our concerns and engage in meaningful dialogue with the residents. Our voices must be heard, and our concerns must be taken into account before any irreversible decisions are made. Together, we can find a solution that respects the rights of both residents and businesses.

Thank you for your attention to this matter.

就規劃申請/覆核提出意見 Making Comment on Planning Application / Review

參考編號

240118-234118-99340

Reference Number:

提交限期

19/01/2024

Deadline for submission:

提交日期及時間

18/01/2024 23:41:18

Date and time of submission:

有關的規劃申請編號

A/YL-TYST/1250

The application no. to which the comment relates:

「提意見人」姓名/名稱

先生 Mr. LAU MING HAN
G

Name of person making this comment:

意見詳情

Details of the Comment :

執事人,你好,本人和太太自2016年開始居住於洪水橋,而我的家人正是居住於申請人改變地方用途地方(申請編號: A/YL-TYST/1250)附近的屋苑,就此申請我們表示強烈反對及要求相關部門對有關申請人現時所進行的建設的工作進行審視及提出相應行動。

本人深信處理有關申請的執事人必然會聆聽我們的聲音作出合適的決定,我們反對原因如下:

1. 希望可以和屋宇署協調及了解這申請, 建造兩層7.6米高, 而面積有65.3 平方米的臨時建築物, 是否已經入則及得到相關許可, 而進行有關建設。直至1月18日, 申請人已於有關申請地方完成了土地平整工作及建設了一層高的建築物。而根據《建築物條例(新界適用)條例》(第121章)的規定, 相關豁免的條件也是不適用, 上蓋面積超過65.03平方米(700平方呎)及申請圖則中沒有鋼筋混凝土牆的。城市規劃委員會於12月21日才收齊申請人所有文件但現場早於10月已經進行有關平整工程, 試問這工程是否已經違規進行
2. 希望執事人需一併考慮附近另一申請(申請編號: A/YL-TYST/1160), 於同一條洪順路, 竟然有兩個建築物的申請, 而1160 的申請更是用作洗車服務。附近可道中學的車輛出入口就是在申請人地方的對面, 有任何緊急救援或上學放學時間, 必然受到影響。另外作為多年的住宅區, 有關申請已多次被拒絕, 足以證明該地方是不適合進行任何商業用途的活動。以景觀來說, 7.6米高的建築物嚴重影響有關屋苑的景觀及帶來治安問題(相距住宅很近, 偷竊罪案容易發生), 有關部門是否能把關, 以不影響市民為首要, 拒絕及不再讓有關申請人再作類似的申請。而申請人未有 貴部門申請許可和附近居民的同意, 就私自建設, 而直接影響附近居民及漠視社會上的法規。
3. 希望可以和路政署, 水務署, 渠務署, 環保署了解, 由於現場申請人已進行接駁喉井工作, 是否已經得到相關部門許可及同意沒有對相關污水及清水井的設計有影響。比對申請人所交的Drainage plan 和現場所見, 本人看見有以下幾個問題:

-申請人所說Terminal manhole 的位置是接駁了清水井而不是污水井, 與申請書有出入, 相關部門是否同意?

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AYL-TYST/1250 規劃許可申請提出意見

19/01/2024 13:59

From:

To: tpbpd@pland.gov.hk
Sent by: tpbpd@pland.gov.hk

File Ref:

致執事人：

本人反對就以上地段的規劃進行改動。其實就以上地段，申請人由2012年開始已經進行了數次規劃改動申請(A/YL-TYST/114, 569 & 755, 824)，但城市規劃委員會都沒有批准許可證，相信委員會必定係聆聽到周邊市民的意見和經過專業分析而下的決定。而基於2012年至現時周邊環境及近年居住於附近的居民都沒有什麼改變，申請人又有何理據再申請改動。

再者現時委員會未有許可進行其土地用途改動，但申請人已經在該土地上興建商店，我想反問城市規劃委員會有否權力去阻止此事，還有興建前屋宇署又有否批核其圖則及設計申請。

本人認為在申請人在申請表格上填的發展計劃會否造成不良影響，申請人在申請表格(Form No.S16-III) Part 6(e)(iii)上填的發展計劃不會造成不良影響，與我們所見的真實情況是不一樣。我認為此發展計劃會對環境、交通、排水、砍伐樹木與景觀造成不良影響。

首先就環境而言，此地段附近只有學校和住宅，鄰近已有食店和超級市場，作服務店作商店或服務行業跟本沒任何必要性，洪水橋大街已為本區提供充足的商店。

第二，對交通而言，附近有學校有住宅，有很多青少年小孩經過，增加車流必定導致行人危險性提高。此地段位於洪順路盡頭，交通配套不適合在此設立商業用途。車流增加，車輛掉頭，都嚴重增加道路使用者的安全問題。該地點對面是可道中學車輛的出入口處，再加上在附近有另一申請希望批准車輛清潔服務（申請編號：A/YL-TYST/1160），當執事人一批考慮這些申請，不難發現對交通沒有影響的說法完全沒有支持。

另外就排水系統方面，根據申請人嘅排水建議，聲稱會有隔油設施及根據渠務署圖則，從申請人偷步接駁的情況來看，相信是全不達標。相關工程，路政署，渠務署，水務署是否也同意這樣的接駁，這些井的設計是否可以容許新的接駁，申請人是否也能證明沒有影響？執事者也需同時考慮附近同一申請的車輛清潔服務商店的影響（申請編號：A/YL-TYST/1160）。

就砍伐樹木和景觀而言，申請人在未經改動許可前已經開始進行有關工程，而在洪順路盡頭的一棵樹已被斬去。而規劃的商店亦有7.6米高，並且貼近民居，相信對附近鄰居的景觀亦一定會大受影響。本人對於申請人不理會沒有批准下，私自建造有關建築物而影響景觀，表達強烈不滿。

提意見人
鍾國華
Tel.: