

Previous Applications Covering the Application Site

Approved Applications

	<u>Application No.</u>	<u>Proposed Use(s)</u>	<u>Date of Consideration (RNTPC)</u>
1	A/YL-TYST/355	Temporary Open Storage of Used Private Vehicles for a Period of 3 Years	22.6.2007
2	A/YL-TYST/391	Temporary Warehouse for Storage of Vehicle Parts and Construction Materials for a Period of 3 Years	6.6.2008 [revoked on 6.2.2011]
3	A/YL-TYST/487	Temporary Open Storage of Used Private Vehicles for a Period of 3 Years	27.8.2010
4	A/YL-TYST/534	Temporary Warehouse for Storage of Furniture for a Period of 3 Years	3.6.2011 [revoked on 3.6.2012]
5	A/YL-TYST/605	Temporary Warehouse for Storage of Furniture for a Period of 3 Years	24.8.2012
6	A/YL-TYST/677	Temporary Open Storage and Storage of Used Private Vehicles for a Period of 3 Years	9.5.2014 [revoked on 9.11.2014]
7	A/YL-TYST/739	Temporary Open Storage and Storage of Used Private Vehicles for a Period of 3 Years	3.7.2015
8	A/YL-TYST/749	Renewal of Planning Approval for Temporary Warehouse for Storage of Furniture for a Period of 3 Years	21.8.2015
9	A/YL-TYST/861	Temporary Warehouse for Storage of Documents and Office Supplies for a Period of 3 Years	24.11.2017
10	A/YL-TYST/923	Temporary Warehouse for Storage of Furniture for a Period of 3 Years	2.11.2018
11	A/YL-TYST/1054	Renewal of Planning Approval for Temporary Warehouse for Storage of Documents and Office Supplies for a Period of 3 Years	20.11.2020
12	A/YL-TYST/1122	Temporary Warehouse for Storage of Furniture for a Period of 3 Years	10.12.2021
13	A/YL-TYST/1244	Temporary Warehouse for Storage of Documents and Office Supplies for a Period of 3 Years	22.12.2023

Rejected Applications

	<u>Application No.</u>	<u>Proposed Use(s)</u>	<u>Date of Consideration (RNTPC/TPB)</u>	<u>Rejection Reason(s)</u>
1	A/YL-TYST/173*	Temporary Open Storage of New Private Cars and Vehicle Parts for a Period of 3 Years	23.8.2002	(1), (2)
2	A/YL-TYST/216*	Temporary Open Storage of New Private Cars and Vehicle Parts with Ancillary Workshop for a Period of 3 Years	16.1.2004 [on review]	(1), (2)
3	A/YL-TYST/319*	Temporary Vehicle Repair Workshop for a Period of 3 Years	8.9.2006 [on review]	(1), (2), (3)
4	A/YL-TYST/354	Proposed Temporary Vehicle Repair Workshop for a Period of 3 Years	22.6.2007	(1), (2)

Remarks:

- * Straddling the adjacent “Village Type Development” (“V”) zone.

Rejection Reason(s):

- (1) There was no/insufficient information in the submission to demonstrate that the development would not generate adverse environmental/traffic/drainage/landscape/visual/fire safety impacts on the surrounding areas.
- (2) The application did not comply with the Town Planning Board Guidelines for Application for Open Storage and Port Back-up Uses in that the proposed development was not compatible with the surrounding residential use.
- (3) Not in line with the planning intention of the “V” zone.

**Similar Applications within/straddling the “U” Zone
on the Tong Yan San Tsuen OZP since 2020**

Approved Applications

	<u>Application No.</u>	<u>Proposed Use(s)/Development(s)</u>	<u>Date of Consideration (RNTPC)</u>
1	A/YL-TYST/983	Temporary Warehouse for Storage of Electronic Goods with Ancillary Site Office for a Period of 3 Years	3.1.2020
2	A/YL-TYST/1007	Temporary Warehouse for Storage of Machinery and Spare Parts with Ancillary Site Office for a Period of 3 Years	24.4.2020
3	A/YL-TYST/1012	Renewal of Planning Approval for Temporary Warehouse and Open Storage of Exhibition Materials for a Period of 3 Years	24.4.2020
4	A/YL-TYST/1004	Proposed Temporary Warehouse for Storage of Construction Materials for a Period of 3 Years	26.5.2020
5	A/YL-TYST/1009	Temporary Warehouse for Storage of Food and Electronic Goods for a Period of 3 Years	26.6.2020
6	A/YL-TYST/1021	Temporary Warehouse for Storage of Furniture for a Period of 3 Years	26.6.2020 [revoked on 26.11.2022]
7	A/YL-TYST/1022	Temporary Warehouse for Storage of Vehicle, Vehicle Parts and Electronic Goods for a Period of 3 Years	26.6.2020 [revoked on 26.9.2022]
8	A/YL-TYST/1030	Temporary Warehouse for Storage of Food and Electronic Goods for a Period of 3 Years	1.9.2020 [revoked on 1.12.2022]
9	A/YL-TYST/1025	Temporary Warehouse for Storage of Vehicle Parts for a Period of 3 Years	23.10.2020 [revoked on 23.4.2021]
10	A/YL-TYST/1000	Temporary Warehouse for Storage of Construction Materials and Household Materials with Ancillary Office for a Period of 3 Years	20.11.2020 [revoked on 20.5.2022]
11	A/YL-TYST/1019	Temporary Warehouse for Storage of Construction Materials and Exhibition Materials for a Period of 3 Years	20.11.2020 [revoked on 20.4.2023]
12	A/YL-TYST/1053	Temporary Warehouse for Storage of Construction Materials, Carpets and Porcelains with Ancillary Office for a Period of 3 Years	20.11.2020 [revoked on 20.2.2023]
13	A/YL-TYST/1057	Temporary Storage of Construction Materials for a Period of 3 Years	4.12.2020 [revoked on 4.12.2021]
14	A/YL-TYST/1059	Proposed Temporary Warehouse for Storage of Electronic Goods and Open Storage of Building/ Recycling Materials, Construction Machinery, Used Electrical/Electronic Appliances and Parts with Ancillary Workshop Activities for a Period of 3 Years	18.12.2020 [revoked on 18.9.2021]
15	A/YL-TYST/1060	Proposed Temporary Warehouse for Storage of Electronic Parts, Construction Materials and Vehicle Parts for a Period of 3 Years	18.12.2020 [revoked on 18.9.2021]
16	A/YL-TYST/1038	Temporary Open Storage and Warehouse for Storage of Furniture, Exhibition Materials, Construction Materials/Machinery and Household Detergent for a Period of 3 Years	22.1.2021

	<u>Application No.</u>	<u>Proposed Use(s)/Development(s)</u>	<u>Date of Consideration (RNTPC)</u>
17	A/YL-TYST/1070	Renewal of Planning Approval for Temporary Warehouse for Storage of Construction Material for a Period of 3 Years	26.2.2021
18	A/YL-TYST/1079	Temporary Warehouse for Storage of Construction Material for a Period of 3 Years	26.3.2021
19	A/YL-TYST/1088	Renewal of Planning Approval for Temporary Warehouse for Storage of Machinery, Spare Parts and Construction Material for a Period of 3 Years	30.4.2021
20	A/YL-TYST/1081	Temporary Warehouse for Storage of Construction Materials, Construction Machinery, Used Electrical/Electronic Appliances and Parts and Scrap Metal for a Period of 3 Years	14.5.2021
21	A/YL-TYST/1089	Proposed Temporary Warehouse for Storage of Construction Material for a Period of 3 Years	14.5.2021
22	A/YL-TYST/1094	Temporary Warehouse for Storage of Furniture for a Period of 3 Years	11.6.2021 [revoked on 11.9.2023]
23	A/YL-TYST/1097	Temporary Warehouse for Storage of Electronic Parts, Construction Materials and Vehicle Parts for a Period of 3 Years	25.6.2021 [revoked on 25.11.2023]
24	A/YL-TYST/1100	Temporary Warehouse for Storage of Construction Materials, Food Provisions, Vehicles, Vehicle Parts and Electronic Products for a Period of 3 Years	9.7.2021 [revoked on 9.12.2023]
25	A/YL-TYST/1105	Temporary Warehouse for Storage of Electronic Goods and Open Storage of Building Materials and Construction Machinery with Ancillary Workshop Activities for a Period of 3 Years	10.9.2021
26	A/YL-TYST/1106	Renewal of Planning Approval for Temporary Warehouse for Storage of Event Supplies and Equipment with Ancillary Site Office for a Period of 3 Years	10.9.2021
27	A/YL-TYST/1108	Temporary Warehouse for Storage of Stage Equipment for a Period of 3 Years	24.9.2021
28	A/YL-TYST/1109	Proposed Temporary Warehouse for Storage of Stage Equipment for a Period of 3 Years	24.9.2021 [revoked on 24.6.2023]
29	A/YL-TYST/1112	Renewal of Planning Approval for Temporary Storage of Advertisement Material with Ancillary Workshop for a Period of 3 Years	24.9.2021
30	A/YL-TYST/1125	Proposed Temporary Warehouse for Storage of Electronic Goods for a Period of 3 Years	24.12.2021 [revoked on 24.9.2023]
31	A/YL-TYST/1137	Renewal of Planning Approval for Temporary Warehouse and Open Storage for Storage of Homeware for a Period of 3 Years	28.1.2022
32	A/YL-TYST/1138	Temporary Warehouse for Storage of Non-staple Food for a Period of 3 Years	28.1.2022
33	A/YL-TYST/1140	Renewal of Planning Approval for Temporary Warehouse and Open Storage of Exhibition Materials and Construction Materials with Ancillary Office for a Period of 3 Years	28.1.2022
34	A/YL-TYST/1141	Proposed Temporary Warehouse for Storage of Electronic Goods and Construction Materials for a Period of 3 Years	18.2.2022 [revoked on 18.11.2023]

	<u>Application No.</u>	<u>Proposed Use(s)/Development(s)</u>	<u>Date of Consideration (RNTPC)</u>
35	A/YL-TYST/1152	Temporary Warehouse for Storage of Construction Materials for a Period of 3 Years	1.6.2022 [revoked on 4.12.2023]
36	A/YL-TYST/1159	Proposed Temporary Warehouse for Storage of Construction Materials for a Period of 3 Years	24.6.2022 [revoked on 24.3.2024]
37	A/YL-TYST/1167	Temporary Warehouse for Storage of Construction Materials with Ancillary Workshop and Site Office for a Period of 3 Years	29.7.2022
38	A/YL-TYST/1169	Temporary Warehouse for Storage of Construction Materials and Electronic Goods for a Period of 3 Years	12.8.2022
39	A/YL-TYST/1171	Renewal of Planning Approval for Temporary Warehouse for Storage of Construction Material with Ancillary Site Office for a Period of 3 Years	26.8.2022
40	A/YL-TYST/1173	Proposed Temporary Warehouse for Storage of Electronic Goods, Furniture and Construction Materials for a Period of 3 Years	9.9.2022
41	A/YL-TYST/1174	Proposed Temporary Warehouse for Storage of General Goods for a Period of 3 Years	9.9.2022 [revoked on 9.6.2024]
42	A/YL-TYST/1175	Proposed Temporary Warehouse for Storage of Construction Materials for a Period of 3 Years	9.9.2022 [revoked on 9.9.2023]
43	A/YL-TYST/1177	Proposed Temporary Warehouse for Storage of Exhibition Materials and Construction Materials for a Period of 3 Years	23.9.2022 [revoked on 23.3.2024]
44	A/YL-TYST/1182	Renewal of Planning Approval for Temporary Warehouse for Storage of Vehicles and Spare Parts with Ancillary Site Office for a Period of 3 Years	14.10.2022
45	A/YL-TYST/1183	Renewal of Planning Approval for Temporary Warehouse for Storage of Construction Materials for a Period of 3 Years	11.11.2022
46	A/YL-TYST/1184	Proposed Temporary Warehouse for Storage of Electronic Goods for a Period of 3 Years	11.11.2022
47	A/YL-TYST/1185	Temporary Warehouse for Storage of Furniture for a Period of 3 Years	11.11.2022
48	A/YL-TYST/1187	Renewal of Planning Approval for Temporary Warehouse for Storage of Electronic Goods with Ancillary Site Office for a Period of 3 Years	25.11.2022
49	A/YL-TYST/1191	Proposed Temporary Warehouse for Storage of Construction Materials and Metal Ware with Ancillary Office for a Period of 3 Years	13.1.2023
50	A/YL-TYST/1197	Temporary Vehicle Repair Workshop and Warehouse for Storage of Vehicle, Vehicle Parts and Electronic Goods for a Period of 3 Years	3.3.2023 [revoked on 3.3.2024]
51	A/YL-TYST/1198	Renewal of Planning Approval for Temporary Warehouse for Storage of Machinery and Spare Parts with Ancillary Site Office for a Period of 3 Years	3.3.2023
52	A/YL-TYST/1202	Proposed Temporary Warehouse for Storage of Electronic Goods for a Period of 3 Years	17.3.2023
53	A/YL-TYST/1205	Renewal of Planning Approval for Temporary Warehouse for Storage of Construction Materials for a Period of 3 Years	31.3.2023

	<u>Application No.</u>	<u>Proposed Use(s)/Development(s)</u>	<u>Date of Consideration (RNTPC)</u>
54	A/YL-TYST/1217	Temporary Warehouse and Open Storage of Construction Machinery and Construction Materials for a Period of 3 Years	23.6.2023
55	A/YL-TYST/1220	Temporary Warehouse for Storage of Food Provisions and Rural Workshop with Ancillary Office for a Period of 3 Years	14.7.2023
56	A/YL-TYST/1211	Temporary Warehouse for Storage of Food and Electronic Goods for a Period of 3 Years	11.9.2023
57	A/YL-TYST/1240	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) for a Period of 3 Years	8.12.2023
58	A/YL-TYST/1241	Temporary Warehouse for Storage of Furniture for a Period of 3 Years	8.12.2023
59	A/YL-TYST/1252	Temporary Warehouse and Open Storage of Furniture, Exhibition Materials, Construction Materials/Machinery and Household Detergent for a Period of 3 Years	1.3.2024
60	A/YL-TYST/1253	Temporary Warehouse and Open Storage of Exhibition Materials for a Period of 3 Years	1.3.2024
61	A/YL-TYST/1255	Proposed Temporary Warehouse for Storage of Vehicles and Vehicle Parts for a Period of 3 Years	15.3.2024
62	A/YL-TYST/1260	Temporary Warehouse for Storage of Construction Materials for a Period of 3 Years	19.4.2024
63	A/YL-TYST/1261	Renewal of Planning Approval for Temporary Warehouse for Storage of Machinery, Spare Parts and Construction Material for a Period of 3 Years	19.4.2024
64	A/YL-TYST/1263	Temporary Warehouse for Storage of Paper with Ancillary Workshop for a Period of 3 Years	10.5.2024 [revoked on 10.11.2024]
65	A/YL-TYST/1264	Temporary Warehouse for Storage of Electronic Goods and Construction Materials for a Period of 3 Years	10.5.2024
66	A/YL-TYST/1266	Temporary Warehouse for Storage of Food and Electronic Goods for a Period of 3 Years	7.6.2024
67	A/YL-TYST/1268	Temporary Warehouse for Storage of Construction Materials, Construction Machinery, Used Electrical/Electronic Appliances and Parts and Scrap Metal for a Period of 3 Years	5.7.2024
68	A/YL-TYST/1275	Renewal of Planning Approval for Temporary Warehouse for Storage of Event Supplies and Equipment with Ancillary Site Office for a Period of 3 Years	20.9.2024
69	A/YL-TYST/1280	Temporary Warehouse for Storage of Electronic Goods for a Period of 3 Years	4.10.2024
70	A/YL-TYST/1282	Renewal of Planning Approval for Temporary Storage of Advertisement Material with Ancillary Workshop for a Period of 3 Years	4.10.2024
71	A/YL-TYST/1270	Temporary Warehouse for Storage of Construction Materials, Food Provisions, Vehicles, Vehicle Parts and Electronic Products for a Period of 3 Years	20.12.2024
72	A/YL-TYST/1290	Temporary Warehouse for Storage of Exhibition Materials, Clothes and Construction Materials for a Period of 3 Years	20.12.2024

Rejected Application

	<u>Application No.</u>	<u>Proposed Use(s)/Development(s)</u>	<u>Date of Consideration (RNTPC)</u>	<u>Rejection Reason</u>
1	A/YL-TYST/1082	Temporary Warehouse for Storage of Furniture with Ancillary Office for a Period of 3 Years	23.7.2021	(1)

Rejection Reason:

- (1) The application involves previously revoked planning permissions due to non-compliance with the approval conditions. Approval of the application with repeated non-compliances would set an undesirable precedent for other similar planning permissions for temporary uses, nullifying statutory planning control.

Government Departments' General Comments

1. Land Administration

Comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD):

No adverse comment on the application.

2. Traffic

(a) Comments of the Commissioner for Transport (C for T):

- no adverse comment on the application from traffic engineering perspective; and
- the local track and footpath leading to the application site (the Site) is not under her purview.

(b) Comments of the Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD):

No adverse comment on the application.

3. Drainage

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD):

- no in-principle objection to the development;
- based on the drainage proposal/planning statement enclosed in the application, apparently the applicant would maintain the same drainage facilities as those implemented under previous planning applications No. A/YL-TYST/1122 and 1244; and
- should the application be approved by the Town Planning Board (the Board), approval conditions requiring the maintenance of the drainage facilities implemented under applications No. A/YL-TYST/1122 and 1244 and the submission of records of the existing drainage facilities on site to the satisfaction of the Director of Drainage Services or of the Board should be stipulated.

4. Fire Safety

Comments of the Director of Fire Services (D of FS):

No in-principle objection to the application subject to fire service installations being provided to his satisfaction.

5. Building Matters

Comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD):

- no objection to the application;
- as there is no record of approval granted by the Building Authority (BA) for the existing structures at the Site, he is not in a position to offer comments on their suitability for the applied use in the application; and
- it is noted that 14 structures are proposed in the application. Before any new building works (including containers/ open sheds as temporary buildings, demolition and land filling, etc.) are to be carried out on the Site, prior approval and consent of the BA should be obtained, otherwise they are unauthorized building works under the Buildings Ordinance (BO). An Authorised Person should be appointed as the co-ordinator for the proposed building works in accordance with the BO.

6. Long Term Development

(a) Comments of the Chief Engineer/Cross-Boundary Infrastructure and Development, Planning Department (CE/CID, PlanD):

- the Civil Engineering and Development Department (CEDD) and PlanD jointly commissioned the “Planning and Engineering Study for Housing Sites in Yuen Long South (YLS) – Investigation”. According to the Revised Recommended Outline Development Plan of YLS promulgated in May 2020, the Site falls partly within an area zoned “Other Specified Uses (Mixed Uses)”, “Residential – Zone 2 (with Commercial)” and “Local Open Space” and partly within an area shown as ‘Road’; and
- the objective of YLS development is to transform the degraded rural land predominantly occupied by brownfield operations including open storage yards, warehouses and rural industrial uses into housing and other uses with supporting infrastructure and community facilities, and to improve the existing environment. It is noted that the application is for temporary use for a period of three years. In considering the application for temporary uses, due consideration should be given on the possible implication on land clearance which would affect the future implementation of YLS.

(b) Comments of the Project Manager (West) (PM(W)), CEDD:

No objection to the application.

7. District Officer’s Comments

Comments of the District Officer (Yuen Long), Home Affairs Department (DO(YL), HAD):

His office did not received any feedbacks from locals.

8. Other Departments

The following departments have no comment on/no objection to the application:

- Chief Engineer/Construction, Water Supplies Department (CE/C, WSD);
- Director of Electrical and Mechanical Services (DEMS); and
- Commissioner of Police (C of P).

**Appendix IV of RNTPC
Paper No. A/YL-TYST/1301**

Recommended Advisory Clauses

- (a) to resolve any land issues relating to the development with the concerned owner(s) of the application site (the Site);
- (b) prior planning permission should have been obtained before commencing the applied use at the Site;
- (c) to note the comments of the District Lands Officer/Yuen Long, Lands Department (DLO/YL, LandsD) that:
 - (i) the Site comprises Government land and Old Schedule Agricultural Lots 1544, 1545, 1547, 1548, 1574, 1575 and 1576 in D.D. 119 held under the Block Government Lease which contains the restriction that no structures are allowed to be erected without the prior approval of the Government;
 - (ii) Lots 1547 and 1548 in D.D. 119 are covered by Short Term Waivers (STWs) No. 3524 and 3525 respectively for the purpose of “Warehouse for Storage”; Lots 1544 and 1545 in D.D. 119 are covered by STWs No. 4562 and 4563 respectively for the purpose of “Temporary Open Storage and Storage of Used Private Vehicles”; and Lots 1575, 1576 and 1574 in D.D. 119 are covered by STWs No. ~~1575, 1576 and 1574~~ 4890, 4891 and 4893 respectively for the purpose of “Workshop for Metal and Wooden Products, Motor Vehicle Repairing (Excluding Paint Spraying), Warehouse for General Storage (Excluding Dangerous Goods) and Ancillary Use”;
 - (iii) the STW holders will need to apply to his office for modification of the STW conditions where appropriate. The application(s) for STW will be considered by the Government in its capacity as a landlord and there is no guarantee that it will be approved. The STW, if approved, will be subject to such terms and conditions including the payment of waiver fee and administrative fee as considered appropriate by his department. Besides, given the applied use is temporary in nature, only erection of temporary structure(s) will be considered; and
 - (iv) the programme of Yuen Long South (YLS) Development should be taken into account when drawing up the STW/STT boundary and layout of structures to be built on site. All STWs/STT affected will have to be terminated upon land resumption and the Site will be cleared in accordance with the Civil Engineering and Development Department (CEDD)’s scheduled programme;
- (d) to note the comments of the Commissioner for Transport (C for T) that:
 - (i) consent of the owners/managing departments of the local track and footpath shall be obtained for using it as the access to the Site; and
 - (ii) sufficient manoeuvring space shall be provided within the Site. No vehicles are allowed to queue back to public roads or reverse onto/from public roads;
- (e) to note the comments of the Chief Highway Engineer/New Territories West, Highways Department (CHE/NTW, HyD) that:
 - (i) adequate drainage measures shall be provided to prevent surface water running from the Site to the nearby public roads and drains; and

- (ii) his office should not be responsible for the maintenance of any access connecting between the Site and Kung Um Road;
- (f) to note the comments of the Director of Environmental Protection (DEP) that:

the relevant mitigation measures and requirements in the latest “Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites” should be followed to minimise any potential environmental nuisances on the surrounding area;
- (g) to note the general comments of the Director of Fire Services (D of FS) and his technical comments on the submitted fire service installations (FSIs) proposal that:
 - (i) the sprinkler inlets should be indicated on the layout plan which shall be positioned in a prominent position on the exterior of the building;
 - (ii) an automatic sprinkler system with 135m² water tank shall be provided;
 - (iii) the standards and specification of the proposed directional and exit signs shall be revised to ‘BS 5266-1:2016 and the FSD Circular Letter No. 5/2008’; and
 - (iv) if the proposed structure(s) is required to comply with the Buildings Ordinance (BO) (Cap. 123), detailed fire services requirements will be formulated upon receipt of formal submission of general building plans;
- (h) to note the comments of the Chief Building Surveyor/New Territories West, Buildings Department (CBS/NTW, BD) that:
 - (i) the Site shall be provided with means of obtaining access thereto from a street and emergency vehicular access in accordance with Regulations 5 and 41D of the Building (Planning) Regulations (B(P)R) respectively;
 - (ii) the Site does not abut on a specified street of not less than 4.5m wide and its permitted development intensity shall be determined under Regulation 19(3) of the B(P)R at building plan submission stage;
 - (iii) if the existing structures are erected on leased land without the approval of the Building Authority, they are unauthorized building works (UBW) under the BO and should not be designated for any proposed use under the application;
 - (iv) for UBW erected on leased land, enforcement action may be taken by the BD to effect their removal in accordance with the prevailing enforcement policy against UBW as and when necessary. The granting of any planning approval should not be construed as an acceptance of any existing building works or UBW on the Site under the BO;
 - (v) any temporary shelters or converted containers for office, storage, washroom or other uses considered as temporary buildings are subject to the control of Part VII of the B(P)R; and
 - (vi) detailed checking under the BO will be carried out at building plan submission stage; and
- (i) to note the comments of the Project Manager (West) (PM(W)), CEDD that:

based on the preliminary project boundary of the proposed YLS Development Area, the Site falls within the boundary of the proposed YLS Development Area – Third Phase Development. The YLS Development would provide land to meet the medium to long term housing needs of

Hong Kong and the detailed implementation programme with phasing and packaging of works for YLS Development Area – Third Phase Development is being formulated.

This document is received on 2025-01-10.
The Town Planning Board will formally acknowledge
the date of receipt of the application only upon receipt
of all the required information and documents.

Form No. S16-III
表格第 S16-III 號

APPLICATION FOR PERMISSION UNDER SECTION 16 OF THE TOWN PLANNING ORDINANCE (CAP. 131)

根據《城市規劃條例》(第131章)
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of Land
and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas,
or Renewal of Permission for such Temporary Use or Development***

**適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行
為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議***

**Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.*

**其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。*

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:
https://www.tpb.gov.hk/en/plan_application/apply.html

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：
https://www.tpb.gov.hk/tc/plan_application/apply.html

General Note and Annotation for the Form

填寫表格的一般指引及註解

"Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made

「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2402944

11.12.2024

By Hand

Form No. S16-III 表格第 S16-III 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	11-10-3508 A/TL-TYST/1301
	Date Received 收到日期	2025-01-10

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.
申請人須把填妥的申請表格及其他支持申請的文件(倘有),送交香港北角渣華道333號北角政府合署15樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).
請先細閱《申請須知》的資料單張,然後填寫此表格。該份文件可從委員會的網頁下載(網址:<http://www.tpb.gov.hk/>),亦可向委員會秘書處(香港北角渣華道333號北角政府合署15樓-電話:2231 4810或2231 4835)及規劃署的規劃資料查詢處(熱線:2231 5000)(香港北角渣華道333號北角政府合署17樓及新界沙田上禾輦路1號沙田政府合署14樓)索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.
此表格可從委員會的網頁下載,亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全,委員會可拒絕處理有關申請。

1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Yat Cheong (China) Development Limited (溢昌(中國)發展有限公司)

2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Top Bright Consultants Limited (才鴻顧問有限公司)

3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼(如適用)	Lots 1544(Part), 1545(Part), 1547, 1548, 1574(Part), 1575(Part), 1576(Part) and Adjoining Government Land in DD119, Pak Sha Tsuen, Yuen Long, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 3,807 sq.m 平方米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 2,254 sq.m 平方米 <input checked="" type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積(倘有)	..... 109 sq.m 平方米 <input checked="" type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Tong Yan San Tsuen Outline Zoning Plan No. S/YL-TYST/14
(e) Land use zone(s) involved 涉及的土地用途地帶	Undetermined ("U")
(f) Current use(s) 現時用途	Warehouse for Storage of Vehicle Parts and General Goods (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☐ is the sole "current land owner"^{#&} (please proceed to Part 6 and attach documentary proof of ownership).
是唯一的「現行土地擁有人」^{#&} (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners"^{#&} (please attach documentary proof of ownership).
是其中一名「現行土地擁有人」^{#&} (請夾附業權證明文件)。
- ☒ is not a "current land owner"[#].
並不是「現行土地擁有人」[#]。
- ☐ The application site is entirely on Government land (please proceed to Part 6).
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at (DD/MM/YYYY), this application involves a total of "current land owner(s)"[#].
根據土地註冊處截至 年 月 日的記錄，這宗申請共牽涉 名「現行土地擁有人」[#]。

(b) The applicant 申請人 –

- ☐ has obtained consent(s) of "current land owner(s)"[#].
已取得 名「現行土地擁有人」[#]的同意。

Details of consent of "current land owner(s)" [#] obtained 取得「現行土地擁有人」 [#] 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified "current land owner(s)"[#]
已通知 名「現行土地擁有人」[#]。

Details of the "current land owner(s)" [#] notified 已獲通知「現行土地擁有人」 [#] 的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼／處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☒ has taken reasonable steps to obtain consent of or give notification to owner(s):

已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)向每一名「現行土地擁有人」[#]郵遞要求同意書[&]

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on _____ (DD/MM/YYYY)[&]
於 _____ (日/月/年)在指定報章就申請刊登一次通知[&]

- ☒ posted notice in a prominent position on or near application site/premises on

1/11/2024-14/11/2024 (DD/MM/YYYY)[&]

於 _____ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知[&]

- ☒ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on 02/01/2025 (DD/MM/YYYY)[&]

於 _____ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會[&]

Others 其他

- ☐ others (please specify)
其他（請指明）

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

6. Type(s) of Application 申請類別	
(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas 位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展 (For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B)) (如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)	
(a) Proposed use(s)/development 擬議用途/發展	Temporary Warehouse for Storage of Vehicle Parts and General Goods for a Period of 3 years (Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)
(b) Effective period of permission applied for 申請的許可有效期	<input checked="" type="checkbox"/> year(s) 年 3 <input type="checkbox"/> month(s) 個月
(c) Development Schedule 發展細節表	
Proposed uncovered land area 擬議露天土地面積	..... 1,553 .....sq.m <input checked="" type="checkbox"/> About 約
Proposed covered land area 擬議有上蓋土地面積	..... 2,254 .....sq.m <input checked="" type="checkbox"/> About 約
Proposed number of buildings/structures 擬議建築物/構築物數目	..... 14
Proposed domestic floor area 擬議住用樓面面積	..... NA .....sq.m <input type="checkbox"/> About 約
Proposed non-domestic floor area 擬議非住用樓面面積	..... 2,254 .....sq.m <input checked="" type="checkbox"/> About 約
Proposed gross floor area 擬議總樓面面積	..... 2,254 .....sq.m <input checked="" type="checkbox"/> About 約
Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)	
One 1-storey warehouse for storage of vehicle parts (height: about 7.5m)	
One 1-storey warehouse for storage of general goods (height: about 6.8m)	
One 1-storey canopy for storage and loading/unloading (height: about 7.5m)	
One 1-storey site office (height: about 3m)	
Four 1-storey meter rooms (height: about 2.65-2.9m)	
Six 1-storey rain shelters (height: about 4-6m)	
Proposed number of car parking spaces by types 不同種類停車位的擬議數目	
Private Car Parking Spaces 私家車車位	..... NA
Motorcycle Parking Spaces 電單車車位	..... NA
Light Goods Vehicle Parking Spaces 輕型貨車泊車位	..... 1 (3.5m x 7m)
Medium Goods Vehicle Parking Spaces 中型貨車泊車位	..... NA
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	..... NA
Others (Please Specify) 其他 (請列明)	..... NA
Proposed number of loading/unloading spaces 上落客貨車位的擬議數目	
Taxi Spaces 的士車位	..... NA
Coach Spaces 旅遊巴車位	..... NA
Light Goods Vehicle Spaces 輕型貨車車位	..... NA
Medium Goods Vehicle Spaces 中型貨車車位	..... 2 (3.5m x 11m)
Heavy Goods Vehicle Spaces 重型貨車車位	..... NA
Others (Please Specify) 其他 (請列明)	..... NA

Proposed operating hours 擬議營運時間 Mondays to Saturdays (9am - 7pm) No operation on Sundays and Public Holidays			
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤／有關建築物？	Yes 是	<input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) A local track leading to Kung Um Road <input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示，並註明車路的闊度)	
	No 否	<input type="checkbox"/>	
(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。)			
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動？	Yes 是	<input type="checkbox"/> Please provide details 請提供詳情 	
	No 否	<input checked="" type="checkbox"/>	
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程？	Yes 是	<input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍) <input type="checkbox"/> Diversion of stream 河道改道 <input type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填塘深度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Filling of land 填土 Area of filling 填土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of filling 填土厚度 m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積 sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 m 米 <input type="checkbox"/> About 約	
	No 否	<input checked="" type="checkbox"/>	
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響？	On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>

	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>NA</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>
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(B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas
位於鄉郊地區或受規管地區臨時用途/發展的許可續期

(a) Application number to which the permission relates 與許可有關的申請編號	A/ _____ / _____
(b) Date of approval 獲批給許可的日期	..... (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期	..... (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	
(e) Approval conditions 附帶條件	<p><input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件</p> <p><input type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件</p> <p><input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件：</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>Reason(s) for non-compliance: 仍未履行的原因：</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>(Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)</p>
(f) Renewal period sought 要求的續期期間	<p><input type="checkbox"/> year(s) 年</p> <p><input type="checkbox"/> month(s) 個月</p>

7. Justifications 理由

The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.
 現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明）。

Please refer to Chapter 6 of the Supplementary Planning Statement.....

8. Declaration 聲明

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.

本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature
簽署

☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Lo Ming Kong

Project Manager

Name in Block Letters
姓名（請以正楷填寫）

Position (if applicable)
職位（如適用）

Professional Qualification(s)
專業資格

☐ Member 會員 / ☐ Fellow of 資深會員

☐ HKIP 香港規劃師學會 / ☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 / ☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 / ☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他

on behalf of
代表

Top Bright Consultants Limited



☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

9/12/2024

(DD/MM/YYYY 日/月/年)

Remark 備註

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

Warning 警告

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

Statement on Personal Data 個人資料的聲明

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
- (b) facilitating communication between the applicant and the Secretary of the Board/Government departments.
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

Gist of Application 申請摘要

(Please provide details in both English and Chinese as far as possible. This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)

(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)

Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置/地址	Lots 1544(Part), 1545(Part), 1547, 1548, 1574(Part), 1575(Part), 1576(Part) and Adjoining Government Land in DD119, Pak Sha Tsuen, Yuen Long, New Territories
Site area 地盤面積	3,807 sq. m 平方米 <input checked="" type="checkbox"/> About 約 (includes Government land of 包括政府土地 109 sq. m 平方米 <input checked="" type="checkbox"/> About 約)
Plan 圖則	Approved Tong Yan San Tsuen Outline Zoning Plan No. S/YL-TYST/14
Zoning 地帶	Undetermined ("U")
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期 <input checked="" type="checkbox"/> Year(s) 年 <u>3</u> <input type="checkbox"/> Month(s) 月 _____ <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____
Applied use/ development 申請用途/發展	Temporary Warehouse for Storage of Vehicle Parts and General Goods for a Period of 3 Years

(i) Gross floor area and/or plot ratio 總樓面面積及／或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	NA <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	NA <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	2,254 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.6 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	NA	
	Non-domestic 非住用	14	
(iii) Building height/No. of storeys 建築物高度／層數	Domestic 住用	NA <input type="checkbox"/> (Not more than 不多於) m 米	
		NA <input type="checkbox"/> (Not more than 不多於) Storeys(s) 層	
	Non-domestic 非住用	2.65 - 7.5 <input checked="" type="checkbox"/> (Not more than 不多於) m 米	
		1 <input checked="" type="checkbox"/> (Not more than 不多於) Storeys(s) 層	
(iv) Site coverage 上蓋面積	60 % <input checked="" type="checkbox"/> About 約		
(v) No. of parking spaces and loading / unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數		1
	Private Car Parking Spaces 私家車車位 Motorcycle Parking Spaces 電單車車位 Light Goods Vehicle Parking Spaces 輕型貨車泊車位 Medium Goods Vehicle Parking Spaces 中型貨車泊車位 Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 Others (Please Specify) 其他 (請列明) _____ _____		NA NA 1 NA NA NA
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位／停車處總數		2
	Taxi Spaces 的士車位 Coach Spaces 旅遊巴車位 Light Goods Vehicle Spaces 輕型貨車車位 Medium Goods Vehicle Spaces 中型貨車車位 Heavy Goods Vehicle Spaces 重型貨車車位 Others (Please Specify) 其他 (請列明) _____ _____		NA NA NA 2 NA NA

Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件		
	Chinese 中文	English 英文
Plans and Drawings 圖則及繪圖		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<u>Location Plan, Site Plan, Plan Showing General Area, Extract from Tong Yan San Tsuen Outline Zoning Plan No. S/YL-TYST/14, RODP of Yuen Long South</u>		
Reports 報告書		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估（噪音、空氣及／或水的污染）	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他（請註明）	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<u>Approved Drainage Proposal and Approval Letter for Compliance with Approval Condition of the Previous Applications (Nos. A/YL-TYST/1122 and 1244)</u>		
<u>Fire Service Installations Proposal and ES251 Certificates</u>		
Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號		

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

**Application for Permission under Section 16 of
the Town Planning Ordinance (Cap. 131)**

**Temporary Warehouse for Storage of Vehicle Parts
and General Goods for a Period of 3 Years
in “Undetermined” (“U”) Zone at Lots 1544(Part),
1545(Part), 1547, 1548, 1574(Part), 1575(Part),
1576(Part) and Adjoining Government Land in DD119,
Pak Sha Tsuen, Yuen Long, New Territories**

SUPPLEMENTARY PLANNING STATEMENT

Applicant:

Yat Cheong (China)
Development Limited

Planning Consultant:



Top Bright Consultants Ltd.

December, 2024

Executive Summary

This planning application is to seek planning permission from the Town Planning Board (the "Board") for a temporary warehouse for storage of vehicle parts and general goods (the "Proposed Development") for a period of 3 years at Lots 1544(Part), 1545(Part), 1547, 1548, 1574(Part), 1575(Part), 1576(Part) and Adjoining Government Land in DD119, Pak Sha Tsuen, Yuen Long, New Territories (the "Application Site").

The Application Site, with a total area of about 3,807 square metres, is currently occupied by two warehouses for storage of vehicle parts and general goods. The Application Site is the subject of two previously approved applications (Nos. A/YL-TYST/1122 and 1244) submitted by the same Applicant.

The Application Site falls within an "Undetermined" ("U") zone on the Tong Yan San Tsuen Outline Zoning Plan (OZP) No. S/YL-TYST/14 and has been specifically designated for the continuing demand for open storage which cannot be accommodated in conventional godown premises. The Application Site, which is located in the immediate outskirts of Yuen Long New Town, is a preferred location for open storage and warehouse uses. It is also compatible with the surrounding workshops, warehouses, open storage yards for building materials, construction machineries/materials, recycling materials, vehicles, and relative land uses. In this regard, the Board approved a number of similar applications for warehouse use in the past within the same "U" zone.

The Application Site falls within the Yuen Long South Development Area (YLS DA) announced by the Chief Executive in the 2011-2012 Policy Address. As the Proposed Development is only temporary in nature and located in Stage 3 of the development schedule, in which the site formation and infrastructure works will start after 2029, the approval of the applied temporary use for three years would not intervene the YLS DA development.

The Application Site comprises two warehouses. The northern warehouse is for storage of general goods. The southern warehouse is for storage of vehicle parts and a canopy is erected on the western portion for storage and loading/unloading. Ancillary facilities, including site office and meter rooms can be found within the Application Site. A parking space for light goods vehicle (LGV) and 2 loading/unloading (L/UL) spaces for medium goods vehicles (MGV) are also provided. The existing vehicular ingress/egress, which is located at the southeastern corner of the Application Site, is about 8 metres wide and has been hard-paved.

The justifications of this application are: not contravening the long term planning intention of Yuen Long South Development; in line with the planning intention; site with previous planning approvals; compliance with previous approval conditions, shortage of suitable site for warehouse use; compatible with surrounding land uses; no adverse environmental, visual and drainage impacts; no additional traffic generated and approval of similar applications. The Applicant therefore seeks the Board's permission to use the Application Site for the Proposed Development for a period of three years.

行政摘要

這宗規劃申請是向城市規劃委員會(“城規會”)呈交，擬議在新界元朗白沙村丈量約份第 119 約地段第 1544 號(部份), 1545 號(部份), 1547 號, 1548 號, 1574 號(部份), 1575 號(部份), 1576 號(部份)及毗連政府土地(“申請地點”), 用作臨時貯存汽車零件及一般貨物貨倉(“擬議發展”), 為期 3 年。

申請地點的面積約為 3,807 平方米，目前設有兩個貨倉用作貯存汽車零件及一般貨物。申請地點涉及兩宗由同一申請人提出及獲城規會批准的規劃許可(申請編號：A/YL-TYST/1122 及 1244)。

申請地點座落於唐人新村分區計劃大綱圖編號 S/YL-TYST/14 中的“未決定用途”地帶，該地帶旨在應付不斷增加的露天貯物用地需求，貯存不能存於普通貨倉的貨物。申請地點位於元朗市中心的外圍邊緣地帶，為擬議貨倉用途的理想地點，並與附近用作貨倉、露天存放建材料、循環再造物料、汽車及相關土地用途協調，故城規會在同一地帶已批准多個同類貨倉用途的申請。

申請地點位於元朗南發展區範圍內。由於擬議發展僅為臨時用途，且位於元朗南發展計畫的第三階段，第三階段的土地平整及基礎設施工程將於 2029 年後才展開，因此批准擬議臨時用途不會影響元朗南發展區的未來發展。

申請地點設有兩個貨倉，北面的貨倉用作貯存一般貨物，南面的貨倉用作貯存汽車零件，其西面設有一上蓋用作貯物及上落貨。申請地點的附屬設施包括有地盤辦公室及電錶房，並提供一個輕型貨車泊車位及兩個中型貨車上落貨位。申請地點將沿用現時位於東南面約 8 米濶及已鋪設的出入口。

這宗規劃申請的理由為：不會阻礙元朗南的長遠發展；符合規劃意向；申請地點之前已獲得規劃許可；已履行規劃許可附帶條件；缺乏合適的貨倉用地；與附近土地用途配合；不會對附近環境、視覺及排水構成不良影響；不會增加額外的交通流量；及附近地點同類用途已獲規劃許可。申請人希望城規會批准為期三年的臨時貨倉用途申請。

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SUMMARY OF APPLICATION

Applicant	: Yat Cheong (China) Development Ltd.
Applied Use	: Temporary Warehouse for Storage of Vehicle Parts and General Goods for a Period of 3 Years
Existing Use	: Warehouse for Storage of Vehicle Parts and General Goods
Location	: Lots 1544(Part), 1545(Part), 1547, 1548, 1574(Part), 1575(Part), 1576(Part) and Adjoining Government Land in DD119, Pak Sha Tsuen, Yuen Long, New Territories
Site Area	: Private Land: about 3,698 square metres Government Land: about 109 square metres Total: about 3,807 square metres
Lease	: Block Government Lease demised as agricultural land
Statutory Plan	: Tong Yan San Tsuen Outline Zoning Plan No. S/YL-TYST/14 gazetted on 20.8.2021
Zoning	: "Undetermined" ("U")
Previous Applications	: A/YL-TYST/1244 – approved on 22.12.2023 A/YL-TYST/1122 – approved on 10.12.2021 A/YL-TYST/1054 – approved on 20.11.2020 A/YL-TYST/923 – approved on 2.11.2018 A/YL-TYST/861 – approved on 24.11.2017 A/YL-TYST/749 – approved on 21.8.2015 A/YL-TYST/739 – approved on 3.7.2015 A/YL-TYST/677 – approved on 9.5.2014 A/YL-TYST/605 – approved on 24.8.2012 A/YL-TYST/534 – approved on 3.6.2011 A/YL-TYST/487 – approved on 27.8.2010 A/YL-TYST/391 – approved on 6.6.2008 A/YL-TYST/355 – approved on 22.6.2007

1. INTRODUCTION

- 1.01 This planning statement is prepared by Top Bright Consultants Ltd. on behalf of Yat Cheong (China) Development Ltd. (the “Applicant”) to seek planning permission from the Town Planning Board (the “Board”) for a temporary warehouse for storage of vehicle parts and general goods (the “Proposed Development”) for a period of 3 years at Lots 1544(Part), 1545(Part), 1547, 1548, 1574(Part), 1575(Part), 1576(Part) and Adjoining Government Land in DD119, Pak Sha Tsuen, Yuen Long, New Territories (the “Application Site”).
- 1.02 The Application Site, with a total area of about 3,807 square metres, is currently occupied by two warehouses for storage of vehicle parts and general goods. The Application Site is the subject of two previously approved applications (Nos. A/YL-TYST/1122 and 1244) submitted by the same Applicant. The Applicant has provided Fire Services Installations (FSIs) within the Application Site. During compliance with the approval conditions (c) and (d) of the last application (No. A/YL-TYST/1244), Fire Services Department (FSD) considered that the implementation of FSIs is not acceptable due to the share use of the FS water tank and pump room with the adjoining site to the south (No. A/YL-TYST/1122). As such, the Applicant submits the current application with the combination of two approved sites in fulfilling the requirements of FSD and adopting the existing FSIs at the Application Site.
- 1.03 The Application Site falls within an “Undetermined” (“U”) zone on the Tong Yan San Tsuen Outline Zoning Plan (OZP) No. S/YL-TYST/14 and has been specifically designated for the continuing demand for open storage which cannot be accommodated in conventional godown premises. The Application Site, which is located in the immediate outskirts of Yuen Long New Town, is a preferred location for open storage and warehouse uses¹. It is also compatible with the surrounding workshops, warehouses, open storage yards for building materials, construction machineries/materials, recycling materials, vehicles, and relative land uses. In this regard, the Board approved a number of similar applications for warehouse use in the past within the same “U” zone.
- 1.04 The Application Site falls within the Yuen Long South Development Area (YLS DA) announced by the Chief Executive in the 2011-2012 Policy Address. As the Proposed Development is only temporary in nature and located in Stage 3 of the development schedule, in which the site formation and infrastructure works will start after 2029, the approval of the applied temporary use for three years would not intervene the YLS DA development.
- 1.05 The following sections are intended to help facilitate the Board’s decision, and will briefly describe the Application Site and its surroundings, give details of the proposed development and provide justifications in support of the application.

¹ According to the TPB PG-No. 13G (Rev. April 2023), the Application Site falls within a “Category 1” area, which is considered suitable for open storage, port back-up and industrial uses.

2. SITE CONTEXT

Location

- 2.01 The Application Site is situated just off Kung Um Road about one kilometre south of Yuen Long New Town in the North West New Territories. **Figure 1** shows the Application Site in its regional context.

Existing Site Conditions

- 2.02 The Application Site covers an area of about 3,807 square metres (including about 109 square metres of Government land) and is generally irregular in shape. It is currently occupied by two warehouses for storage of vehicle parts and general goods respectively. Ancillary facilities, including site office, meter rooms, canopy for storage/loading and unloading are provided on the Application Site. The Application Site has been hard-paved and partly fenced off. Please refer to the Site Plan in **Figure 2**.

Surrounding Land Uses

- 2.03 The surrounding area of the Application Site comprises predominately open storage/storage yards, warehouses and rural industries intermixed with residential structures, construction sites, and vacant land/structures. To the immediate north of the Application Site is a temporary warehouse for storage of electronic goods (approved under Planning Application No. A/YL-TYST/1125). To the immediate west is open storage of metalware for recycling (Application No. A/TL-TTST/1230). To the further west is an open storage yard for construction machinery and materials, recycling materials and used electrical appliances with ancillary workshop activities (approved under Planning Application No. A/YL-TYST/1213). To the south are village houses in Pak Sha Tsuen. A number of rural industries including open storage yards, workshops and warehouses are located to the east of the Application Site, dominating both sides of Kung Um Road. **Figure 3** shows the Application Site in the context of its local surrounds.

Access

- 2.04 The Application Site is located about 100 metres to the west of Kung Um Road which leads out to Yuen Long Highway forming part of the strategic road network. It is directly accessible via a track branching off from Kung Um Road that is shared with the adjacent storage facilities. The 8-metre wide ingress/egress point is located at the south-eastern corner of the Application Site. A plan showing the access road is in **Figure 3**.

3. LAND STATUS

- 3.01 According to the Land Registry, the Application Site comprises of Lots 1544(Part), 1545(Part), 1547, 1548, 1574(Part), 1575(Part), 1576(Part) and adjoining Government land in DD119, Pak Sha Tsuen, Yuen Long, New Territories. A plan showing the configuration of these lots is in **Figure 2**.

- 3.02 The subject lots are all held under Block Government Lease and demised as agricultural land with lease terms expiring on 30.6.2047. There are no user restrictions in the lease except the standard non-offensive trade clause.
- 3.03 The Applicant has obtained Short Term Waivers (STWs) to permit structures erected for the purpose of warehouse for storage. Should this application be approved, the Applicant will apply for Short Term Tenancy (STT) for the use of the Government land.

4. PLANNING CONTEXT

Yuen Long South Development Area

- 4.01 To meet housing land demand, the Chief Executive announced in the 2011-2012 Policy Address to explore the possibility of converting 150 hectares of agricultural, industrial and open storage land into housing land in Yuen Long. The area to the south of Yuen Long New Town was identified as one of these areas for review.
- 4.02 The YLS DA is broadly bounded by Yuen Long Highway, Kung Um Road and Tai Lam Country Park, mainly in Tong Yan San Tsuen and Tai Tong areas, covering an approximate area of about 224 hectares. The YLS DA will serve as one of the major sources of land supply to meet the territory's medium to long-term housing needs through comprehensive planning and improvement of infrastructure. It is also one of the major land development areas falling within the Northern Metropolis.
- 4.03 Accordingly, a Planning and Engineering Review on the Recommended Outline Development Plan (RODP) has been undertaken in which a series of planning and technical assessments were conducted. The RODP has been revised (Revised RODP) for a total population of about 101,200, of which about 98,700 will be housed in about 32,850 new flats. The YLS DA, including site formation and infrastructure works, is proposed to be implemented in 3 phases from 2022 to 2038.
- 4.04 The Application Site falls partly within an area zoned "Other Specified Uses" annotated "Mixed Use", partly within an area zoned "Residential - Zone 2 (with Commercial)" and partly within an area zoned as "Road" in the Yuen Long South RODP (see **Figure 6**). The Application Site falls within Stage 3 of the YLS DA development schedule, which will start the site formation and engineering infrastructure works not earlier than 2029.

Statutory Plan

- 4.05 According to the Tong Yan San Tsuen OZP No. S/YL-TYST/14 which was gazetted on 20.8.2021, the Application Site falls within a "U" zone (see **Figure 4**). The planning intention of the "U" zone for this area is to cater to the continuing demand for open storage which cannot be accommodated in conventional godown premises. At the Board's discretion, applications for temporary uses within this zone may be approved for a period of not exceeding 3 years.

Previous Applications

- 4.06 The Application Site is the subject of 13 previously approved planning applications (Nos. A/YL-TYST/355, 391, 487, 534, 605, 677, 739, 749, 861, 923, 1054, 1122 and 1244) which were all approved for the use of temporary open storage, storage of used private vehicles and warehouses by the Board from 2007 to 2023. All approval conditions of last application (No. A/YL-TYST/1122) had been complied. As mentioned in Paragraph 1.02 of this planning statement, approval conditions (c) and (d) of the last application (No. A/YL-TYST/1244) had not been complied with due to the share use of the FS water tank and pump room within the Application Site.

Similar Applications

- 4.07 The Board has approved more than 100 applications for “temporary warehouse with/without open storage and/or ancillary workshop/site office uses” within the same “U” zone of Tong Yan San Tsuen OZP. They were approved mainly on similar considerations that the developments were not incompatible with the surrounding open storage/warehouse uses and the concerns of relevant government departments could be addressed by imposing approval conditions. A summary of some of the applications for warehouse in recent years is shown below:

Application No.	Date of Approval	Applied Use	Length of Planning Permission
A/YL-TYST/1280	4.10.2024	Temporary Warehouse for Storage of Electronic Goods for a Period of 3 Years	3 years
A/YL-TYST/1275	6.9.2024	Renewal of Planning Approval for Temporary Warehouse for Storage of Event Supplies and Equipment with Ancillary Site Office for a Period of 3 Years	3 years
A/YL-TYST/1266	7.6.2024	Temporary Warehouse for Storage of Food and Electronic Goods for a Period of 3 Years	3 years
A/YL-TYST/1253	1.3.2024	Temporary Warehouse and Open Storage of Exhibition Materials for a Period of 3 Years	3 years
A/YL-TYST/1252	1.3.2024	Temporary Warehouse and Open Storage of Furniture, Exhibition Materials, Construction Materials/ Machinery and Household Detergent for a Period of 3 Years	3 years
A/YL-TYST/1263	10.5.2024	Temporary Warehouse for Storage of Paper with Ancillary Workshop for a Period of 3 Years	3 years
A/YL-TYST/1241	8.12.2023	Temporary Warehouse for Storage of Furniture for a Period of 3 Years	3 years
A/YL-TYST/1240	8.12.2023	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) for a Period of 3 Years	3 years
A/YL-TYST/1220	14.7.2023	Temporary Warehouse for Storage of Food Provisions and Rural Workshop with Ancillary Office for a Period of 3 Years	3 years

5. DEVELOPMENT PROPOSAL

Applied Use

- 5.01 The Applicant seeks the Board's permission to use the Application Site for temporary warehouse for storage of vehicle parts and general goods for a period of 3 years.

Site Layout and Design

- 5.02 The Layout Plan in **Figure 5** illustrates the proposed site configuration. The Application Site comprises two warehouses. The northern warehouse is for storage of general goods. The southern warehouse is for storage of vehicle parts and a canopy is erected on the western portion for storage and loading/unloading. Ancillary facilities, including site office and meter rooms can be found within the Application Site. A parking space for light goods vehicle (LGV) and 2 loading/unloading (L/UL) spaces for medium goods vehicles (MGV) are also provided. The existing vehicular ingress/egress, which is located at the southeastern corner of the Application Site, is about 8 metres wide and has been hard-paved. Compared with the last two approved applications, the use, number of parking spaces and operation under the current application remain unchanged while two one-storey meter rooms and two rain shelters are added at the western portion of the Application Site to meet the operational need. Details are as follows:

	Previous Application (No. A/YL- TYST/1122) (a)	Previous Application (No. A/YL- TYST/1244) (b)	Current Application (c)	Difference (c)-((a)+(b))
Applied Use	Temporary Warehouse for Storage of Furniture	Temporary Warehouse for Storage of Documents and Office Supplies	Temporary Warehouse for Storage of Vehicle Parts and General Goods	Storage materials changed
Site Area	1,891m ²	1,691m ²	3,807m ² (including GL of about 109m ²)	+225m ² (+6%)
Total Floor Area (Non-domestic)	1,341m ²	888.5m ²	2,254m ²	+24.5m ² (+1%)
No. of Structures	2 - 1 warehouse - 1 canopy for storage and L/UL	8 - 1 warehouse - 1 site office - 4 rain shelters - 2 meter rooms	14 - 2 warehouses - 1 canopy for storage and L/UL - 1 site office - 4 meter rooms - 6 rain shelters	+4
Height of Structures	7.5m (1-storey)	2.65 - 6.8m (1-storey)	2.65 - 7.5m (1-storey)	-
No. of Parking Spaces	Nil	1 (for LGV) (3.5m x 7m)	1 (for LGV) (3.5m x 7m)	-
No. of L/UL	1 (for MGV) (3.5m x 11m)	Nil	1 (for MGV) (3.5m x 11m)	-

Operation Hours	9:00am to 6:00pm, with no operation on Sundays and Public Holidays	9:00am to 7:00pm, with no operation on Sundays and Public Holidays	9:00am to 7:00pm, with no operation on Sundays and Public Holidays	-
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Site Operations

- 5.03 The Application Site will only be used for storage purpose. Only LGV and MGW will be used for delivery of storage materials, generating about 4 trips per day. The proposed hours of operation at the Application Site will be between 9:00 a.m. and 7:00 p.m. from Mondays to Saturdays and no operation on Sundays and public holidays. No workshop activities will be carried out on the Application Site.

Tree Preservation

- 5.04 In accordance with the implementation of the approved Landscape and Tree Preservation Proposal of the previous applications (Nos. A/YL-TYST/391 and 739), trees had already been planted around the perimeter of the Application Site and were considered satisfactory by the Planning Department. All existing trees within the Application Site will be preserved by the Applicant by providing routine horticultural maintenance.

Drainage Proposal

- 5.05 The Applicant has implemented the drainage facilities on site under previous planning approvals (Nos. A/YL-TYST/355 and 391). The submissions of the photographic record of the existing drainage facilities under the last approved applications (Nos. A/YL-TYST/1122 and 1244) were considered satisfactory by the Drainage Services Department (see **Appendix 1**). The existing drainage facilities on site will be maintained for the current application.

Fire Service Installations

- 5.06 A Fire Service Installations (FSIs) Proposal with relevant FS251 certificates are submitted (see **Appendix 2**) together with this application which shows the as-built FSIs on site. The FSIs, including hose reels, sprinkler system, FS water tank, pump room, emergency lights, exit signs, fire alarms, sand buckets, fire extinguishers etc. will be maintained by the Applicant. The Applicant commits to provide the FSIs to the satisfaction of FSD.

Environmental Consideration

- 5.07 The entire site has been hard paved to avoid fugitive dust impacts from manoeuvring of vehicle. No heavy good vehicles will be allowed to access the Application Site. Furthermore, screen planting is provided, and no workshop activities will be carried out to minimize the visual and noise impacts of the Proposed Development.

6. JUSTIFICATIONS

Not Contravening the Long Term Planning Intention of Yuen Long South Development

- 6.01 The Chief Executive announced to explore the possibility to develop YLS DA in the 2011-2012 Policy Address. The objective of YLS DA is to transform the degraded rural land predominantly occupied by brownfield operations including open storage yards, warehouses and rural industrial uses into housing and other uses with supporting infrastructure and community facilities, and to improve the existing environment. In August 2017, the Planning Department and the Civil Engineering and Development Department announced the Yuen Long South RODP prepared for YLS DA under the Planning and Engineering Study. It is noted that the YLS DA is set to be implemented in 3 phases from 2022 to 2038 and the Application Site falls within Stage 3 of the development schedule. According to the Legislative Council Paper No. CB(1)209/2022(02), the timing for site formation and engineering infrastructure works for the Stage 3 development will tentatively be 2029-2033/2038. As a result, the clearance of the Application Site and its surrounding area will not be realised within the next 3 years. The applied use would not jeopardize the long-term development of the area.

In Line with the Planning Intention

- 6.02 According to the Tong Yan San Tsuen OZP, the subject area is zoned “Undetermined” which is to cater for the continuing demand for open storage which cannot be accommodated in conventional godown premises. This application, which is for temporary warehouse for storage of vehicle parts and general goods, is therefore in line with the planning intention for the “U” zone for storage use which cannot be accommodated in conventional godown premises.
- 6.03 According to the RNTPC Paper of the last applications (Nos. A/YL-TYST/1122 and 1244), the Planning Department considered that the applied use was not in conflict with the planning intention of the U zone on the OZP. In addition, a number of similar applications were approved by the Board on the same site and its vicinity. Approval of the application on a temporary basis would not jeopardise the planning intention of the area and in line with the previous decisions of the Board.

Site with Previous Planning Approvals

- 6.04 The Board previously approved open storage and warehouse uses (Application Nos. A/YL-TYST/355, 391, 487, 534, 605, 677, 739, 749, 861, 923, 1054, 1122 and 1244) on the same site from 2007 to 2023. The Board’s decision to approve the previous applications on the same site indicates that the open storage and warehouse uses are acceptable within the “U” zone. The land use (i.e. warehouse use) for the current application remains unchanged since the previous planning applications were approved.

Compliance with Previous Approval Conditions

- 6.05 The Applicant has made genuine efforts to comply with all approval conditions of the previous planning applications (Nos. A/YL-TYST/1054 and 1122), including submission and implementation of FSIs proposal and submission of records of the existing drainage facilities. In compliance with approval condition of the last application (No. A/YL-TYST/1244), FSD

found that there is a shared use of the FS water tank and pump room for two planning applications. As such, the Applicant resubmits this application to fulfill the requirements of FSD and commits to provide FSIs to the satisfaction of FSD (see **Appendix 1**).

Shortage of Suitable Site for Warehouse Use

- 6.06 In November 2019, the Planning Department conducted the "Study on the Use and Operation of Brownfields in the New Territories". There are 1,579 hectares of brownfield sites in the New Territories, of which 1,414 hectares are in operation with 7,373 operators, and the remaining 165 hectares are not in operation. More than 80% of brownfields are privately owned.
- 6.07 About 803 of 1,579 hectares have been included in ongoing or planned new development area projects or other known government or private developments. The existing brownfield operations will be gradually phased out in stages, while the proposed multi-storey industrial buildings may not be applicable for all brownfield uses. Moreover, 450 hectares of the remaining 700 hectares of brownfield sites are classified as having high or moderate potential for development. The Planning Department has been assessing how many of them are suitable for short and medium-term public housing development. In future, the sites for warehouse use will be much fewer than now.

Compatible with Surrounding Land Uses

- 6.08 The Proposed Development is compatible with the surrounding land uses which are mixed with open storage yards, warehouses and workshops. In view of the current physical condition and the prevalence of similar warehouse usage in the immediate vicinity, the Application Site is considered suitable for temporary warehouse use.

No Adverse Environmental or Visual Impact

- 6.09 The Proposed Development is complied with the "Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites" (Rev. Aug. 2005) as:

Air

- (a) the whole site has been hard-paved to avoid any fugitive dust impacts due to vehicle movements;

Drainage and Sewage

- (a) drainage channels have been constructed to the satisfaction of the Drainage Services Department.

Noise

- (a) No workshop activities will be carried out.
(b) Prohibition of any operations during sensitive hours (i.e. 7:00pm to 9:00am).

- 6.10 In view of the above, proper environmental mitigation measures have been adopted to soften the possible visual intrusion as well as reduce any potential adverse impacts on the environment. Therefore, the environmental impact of the Proposed Development on the surrounding areas is considered to be insignificant. In addition, according to the Applicant, no complaints have been received for the business operation in the last three years.

No Adverse Drainage Impact

- 6.11 In view of the site's locality, which is not at risk of flooding owing to extensive drainage works carried out by the Drainage Services Department in the vicinity, and the existing drainage facilities serving the Application Site will be maintained by the Applicant, no adverse drainage impacts are anticipated.

No Additional Traffic Generated

- 6.12 The applied use, as with most other passive storage facilities, is not a high traffic generating use. The frequency of delivery trips to and from the Application Site is same as the last application and will be low (estimated to be around 4 trips per day). In addition, vehicle will normally travel along Kung Um Road, Kiu Hing Road and Tai Tong Road, thereby avoiding the northern stretch of Kung Um Road and its junction with Ma Tin Road, which experiences serious traffic congestion during peak hours. The traffic generated by the Proposed Development would not increase the existing traffic and the traffic impact is therefore insignificant.

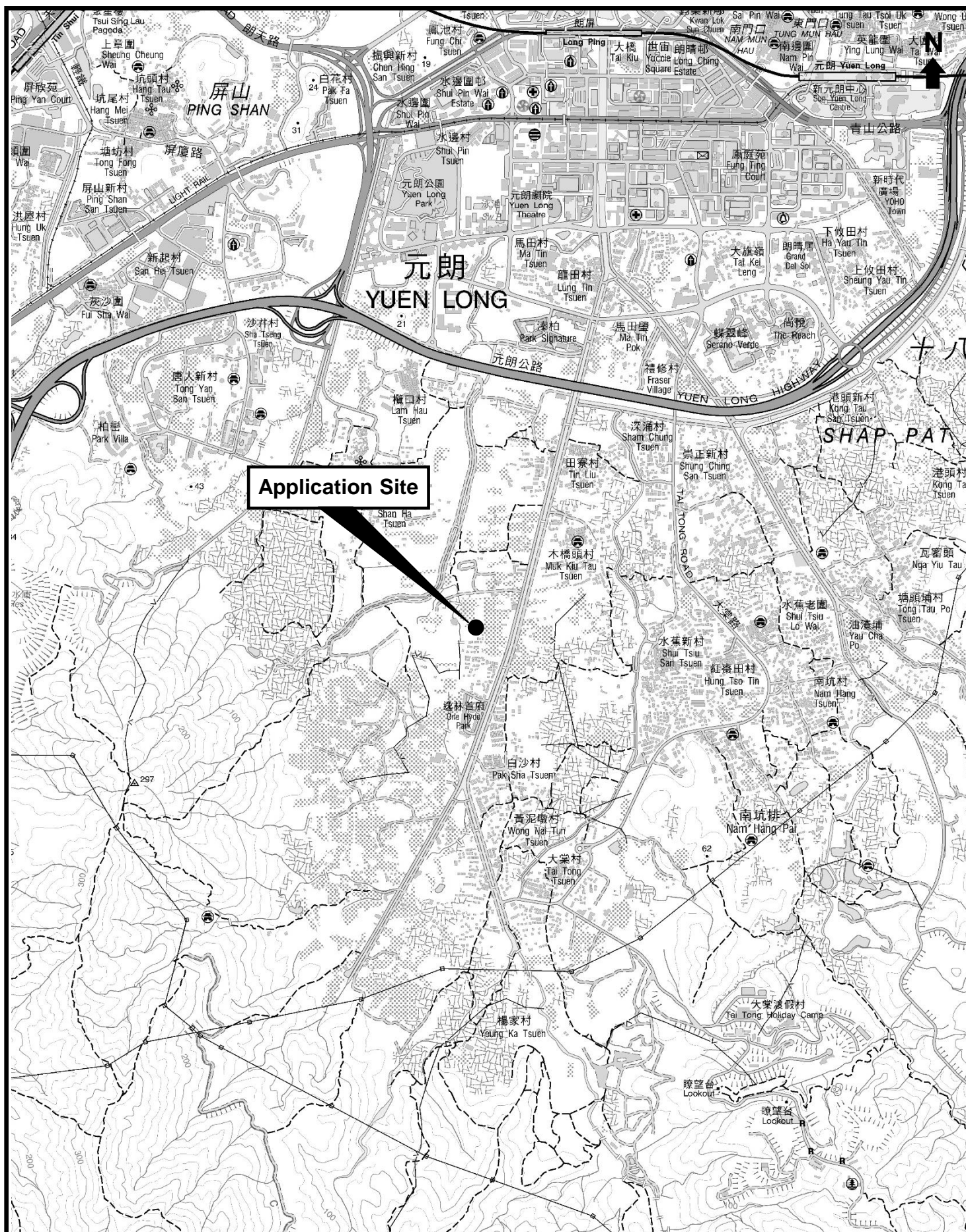
Approval of Similar Applications

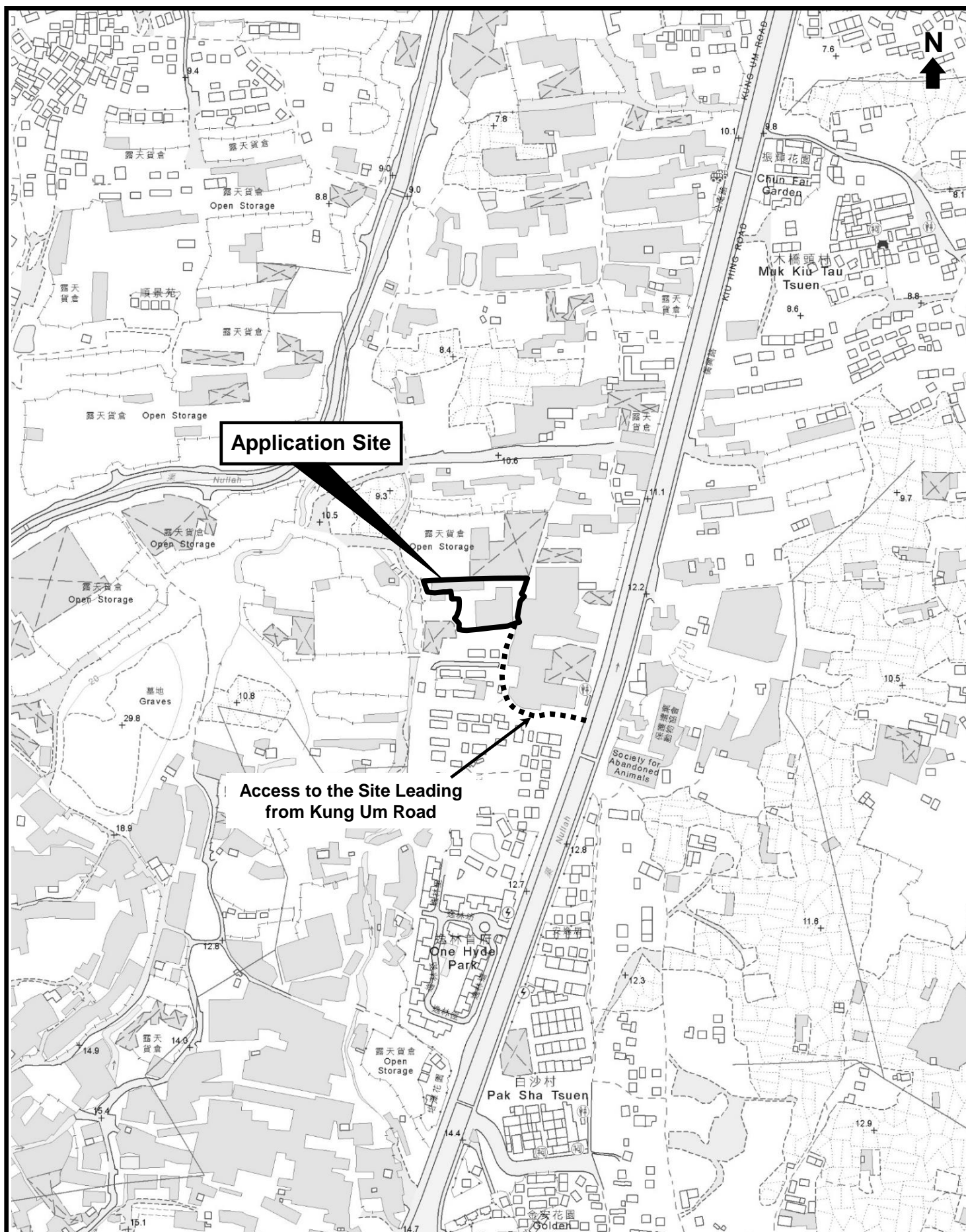
- 6.13 As mentioned in paragraph 4.07, a number of planning approvals have been granted by the Board for similar warehouse use within the "U" zone in recent years. This indicates that the warehouse use can be applied in the area with similar settings on a temporary basis.

7. CONCLUSION

- 7.01 The Application Site falls within an “U” zone on the Tong Yan San Tsuen OZP and, as evidenced by the existing surrounding land uses, has been a popular location for open storage sites, warehouses and rural industrial uses. Until the Stage 3 of the YLS Development will be implemented, the area is a suitable location for warehouse use on a temporary basis. As the length of planning permission sought is only for a temporary period of 3 years, approval of the application will not frustrate the long-term development of the area.
- 7.02 The Proposed Development only reflects the combination of two previously approved applications and is solely a covered storage facility, which does not involve any noise generating, visually intrusive or environmentally detrimental activities such as workshops. With the implementation of mitigation measures and maintaining of the existing facilities on site, no adverse impact on the local surroundings is anticipated. The Proposed Development is also compatible with the surrounding land uses in nature, including open storage yards, vehicle parks, workshops and warehouses.
- 7.03 As there are only minor changes in development parameters and the Applicant has good track record in compliance with approval conditions, the Applicant respectfully requests that the Board give favourable consideration and approve this application for a period of 3 years.

Top Bright Consultants Ltd.
December 2024





Top Bright Consultants Ltd.

Extracted Plan Based on Map
Series HP5C of Sheet No.
6-NW-D

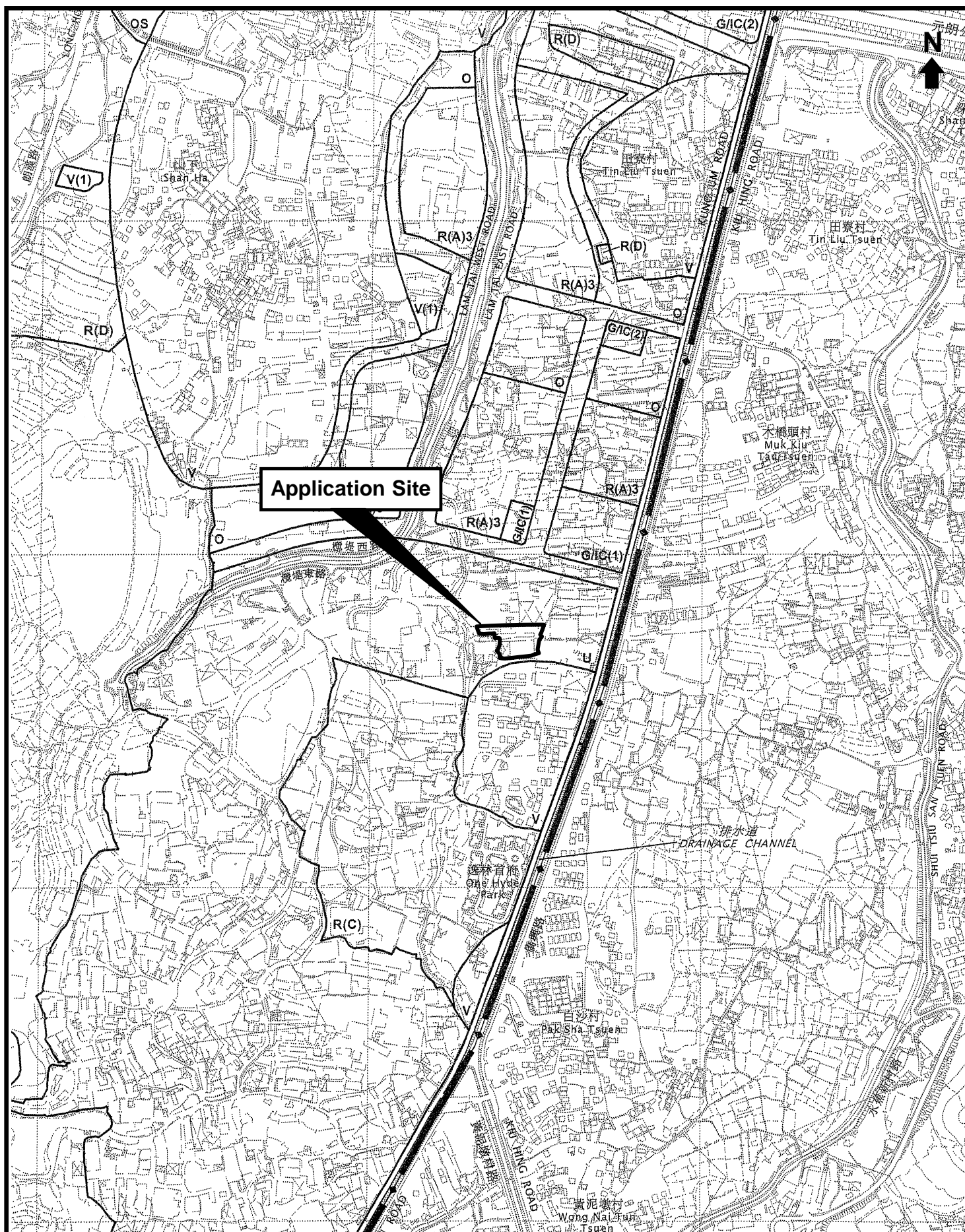
Plan Showing the General Area

Scale 1 : 5 000

FIGURE 3

For Identification Purpose

Date: 28.10.2024

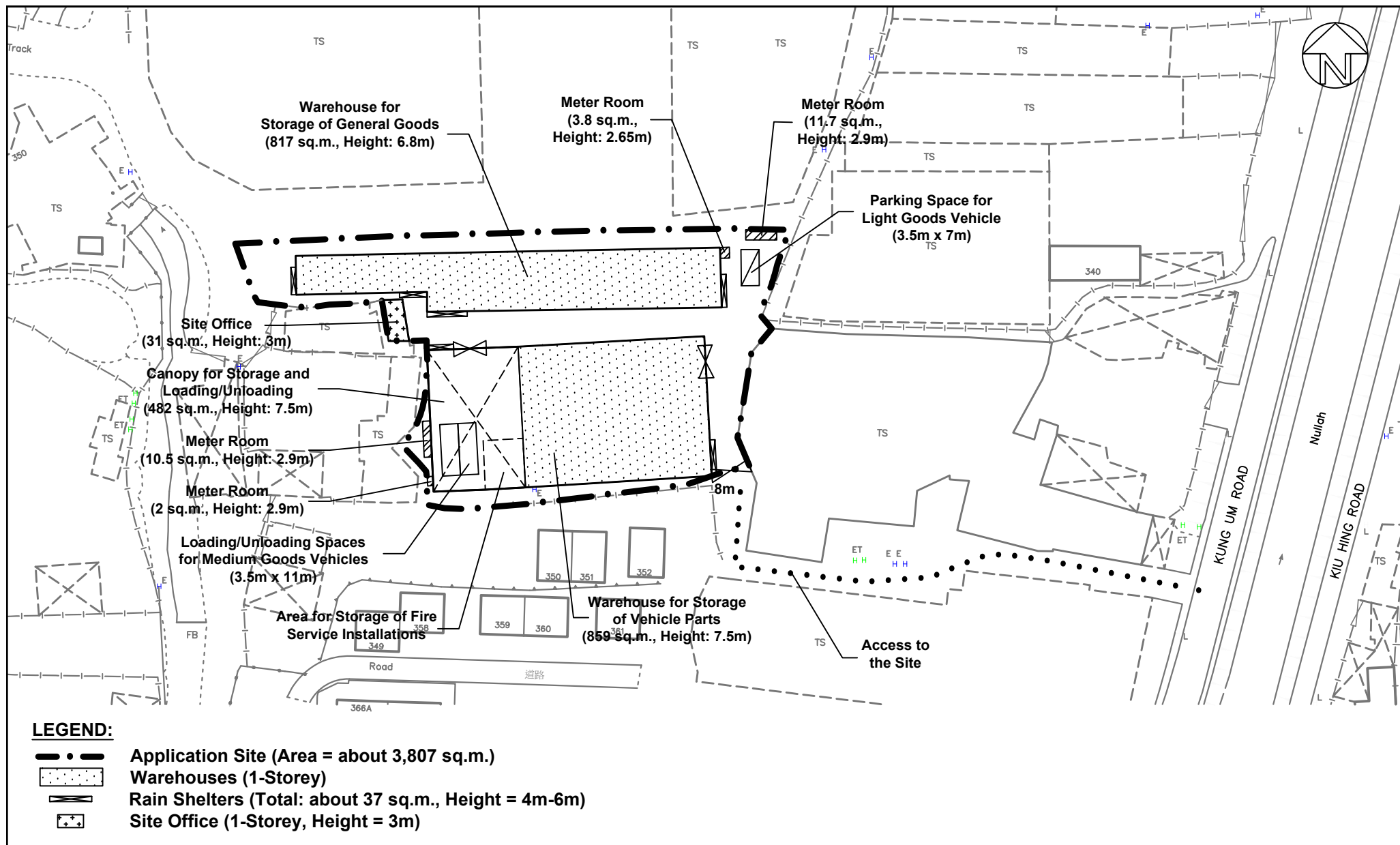


Extract from Tong Yan San Tsuen Outline Zoning
Plan No. S/YL-TYST/14 gazetted on 20.8.2021

FIGURE 4

For Identification Purpose

Date: 28.10.2024



Top Bright Consultants Ltd.

Drawing No. :TB/24/851/05

Layout Plan

Various Lots and Adjoining Government Land
in DD119, Pak Sha Tsuen, Yuen Long, N.T.

FIGURE 5

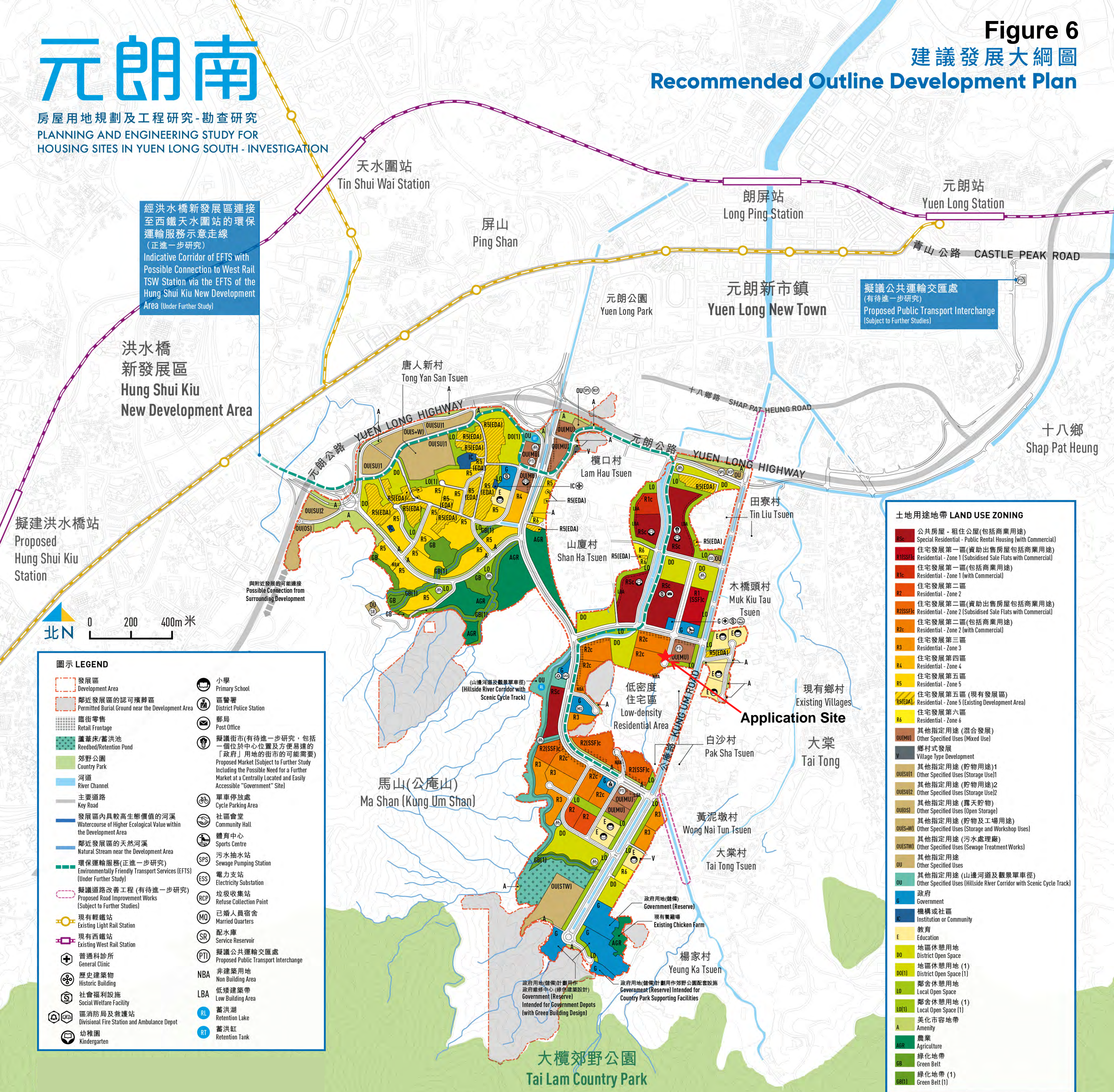
FOR IDENTIFICATION PURPOSE

Date: 28.10.2024

Scale: 1 : 1 000 (A4)

房屋用地規劃及工程研究-勘察研究
PLANNING AND ENGINEERING STUDY FOR
HOUSING SITES IN YUEN LONG SOUTH - INVESTIGATION

Recommended Outline Development Plan



Appendix 1

Approved Drainage Proposal and Approval Letter for Compliance with
Approval Condition of the Previous Applications (Nos. A/YL-TYST/1122 and 1244)

規 劃 署

屯門及元朗西規劃處
香港新界沙田上禾輦路一號
沙田政府合署 14 樓



By Fax (2401 0973) & Post Planning Department

Tuen Mun and Yuen Long West
District Planning Office
14/F, Sha Tin Government Offices,
1 Sheung Wo Che Road, Sha Tin, N.T.
Hong Kong

來函檔號 Your Reference 21/727/L03
本署檔號 Our Reference () in TPB/A/YL-TYST/1122
電話號碼 Tel. No. : 2158 6298
傳真機號碼 Fax No. : 2489 9711

21 January 2022

Top Bright Consultants Ltd.
Room 103
300 Kung Um Road
Yuen Long, New Territories
(Attn: LO Ming Kong)

Dear Sir,

Compliance with Approval Condition (e) Planning Application No. A/YL-TYST/1122

I refer to your submission dated 18.1.2022 for compliance with the captioned approval condition on the submission of a condition record of the existing drainage facilities on the site. The Drainage Services Department (DSD) has been consulted on your submission. Your submission is considered:

- ☒ Acceptable. The captioned condition **has been complied** with. Please find detailed advisory departmental comments at **APPENDIX**
- ☐ Acceptable. Since the captioned condition requires both the submission and implementation of the proposal, it **has not been fully complied with**. Please proceed to implement the accepted proposal for full compliance with the approval condition.
- ☐ Not acceptable. The captioned condition has **not** been complied with.

Should you have any queries on the departmental comments, please contact Mr. Bill C H CHAN (Tel: 2781 4107) of DSD.

Yours faithfully,

(Ms. Ophelia WONG)
for District Planning Officer/
Tuen Mun and Yuen Long West
Planning Department

c.c.

CE/MN, DSD (Attn.: Mr. Bill C H CHAN)

Internal

CTP/TPB (2)

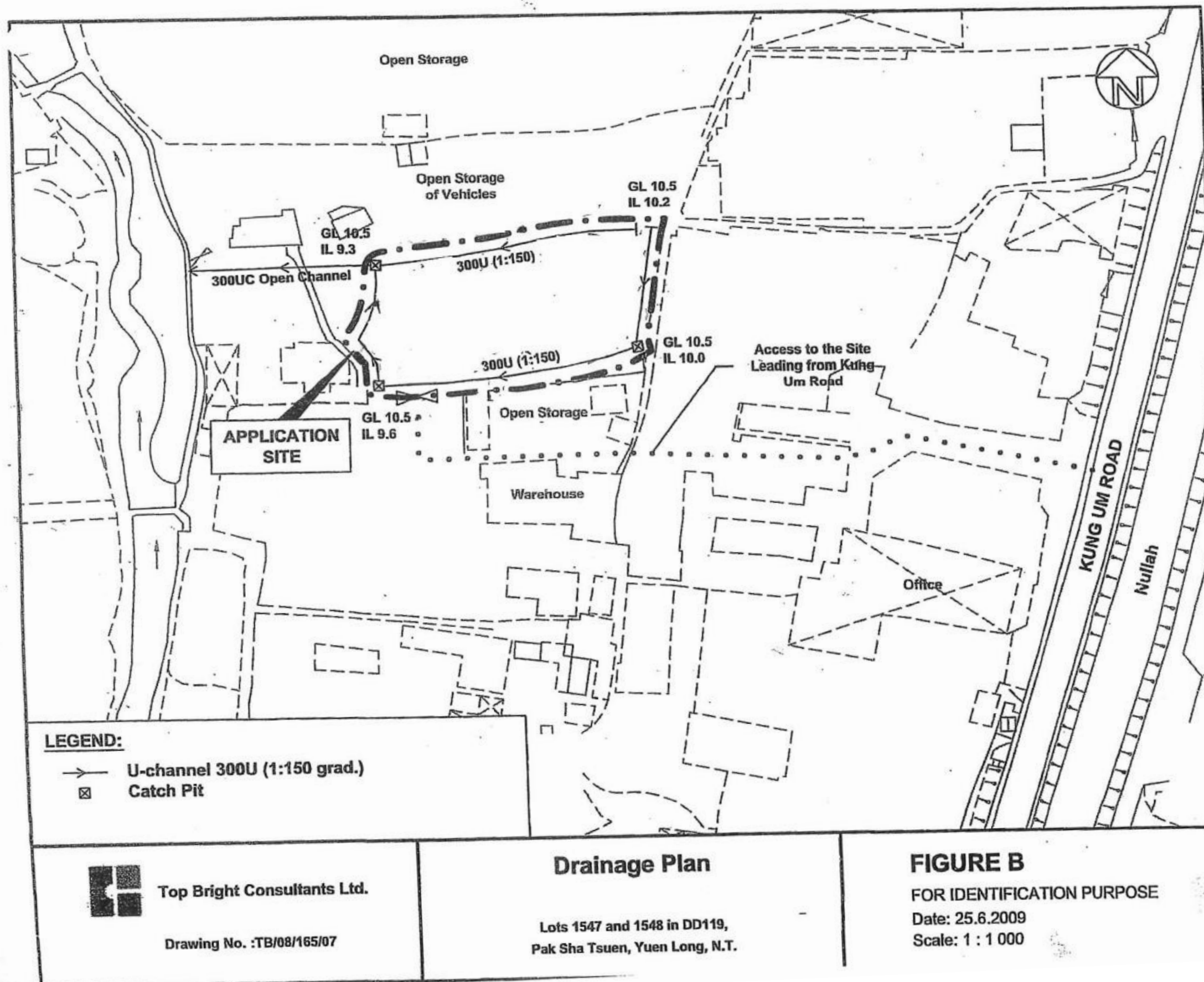
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APPENDIX

Comments of the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD)

You are reminded to maintain all the drainage facilities on site in good condition and ensure that the proposed development would neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent area, etc. You are required to rectify the drainage system at your own expense to the satisfaction of the government parties concerned if they are found to be inadequate or ineffective during operation.

Approved Drainage Proposal for the Previous Application (No.: A/YL-TYST/1122)



規 劃 署

屯門及元朗西規劃處
香港新界沙田上禾輦路一號
沙田政府合署 14 樓



By Fax (2401 0973) & Post

Planning Department

Tuen Mun and Yuen Long West
District Planning Office
14/F, Sha Tin Government Offices,
1 Sheung Wo Che Road, Sha Tin, N.T.
Hong Kong

來函檔號 Your Reference 23/811/L02
本署檔號 Our Reference () in TPB/A/YL-TYST/1244
電話號碼 Tel. No. : 2158 6296
傳真機號碼 Fax No. : 2489 9711

6 June 2024

Top Bright Consultants Limited
300 Kung Um Road,
Yuen Long, New Territories
(Attn.: Lo Ming Kong)

Dear Sir/Madam,

Compliance with Approval Condition (b) **Planning Application No. A/YL-TYST/1244**

I refer to your submission dated 7.2.2024 for compliance with the captioned approval condition on the submission of a condition record of existing drainage facilities implemented on the site. The Drainage Services Department (DSD) has been consulted on your submission. Your submission is considered:

- ☒ Acceptable. The captioned condition **has been complied** with. Please find detailed advisory departmental comments at **APPENDIX**.
- ☐ Acceptable. Since the captioned condition requires both the submission and implementation of the proposal, it **has not been fully complied with**. Please proceed to implement the accepted proposal for full compliance with the approval condition.
- ☐ Not acceptable. The captioned condition has **not** been complied with.

Should you have any queries on the departmental comments, please contact Mr. Jeff TSE (Tel: 2300 1627) of DSD.

Yours faithfully,

(Edwin YEUNG)
for District Planning Officer/
Tuen Mun and Yuen Long West
Planning Department

c.c.

CE/MN, DSD (Attn.: Mr. Jeff TSE)

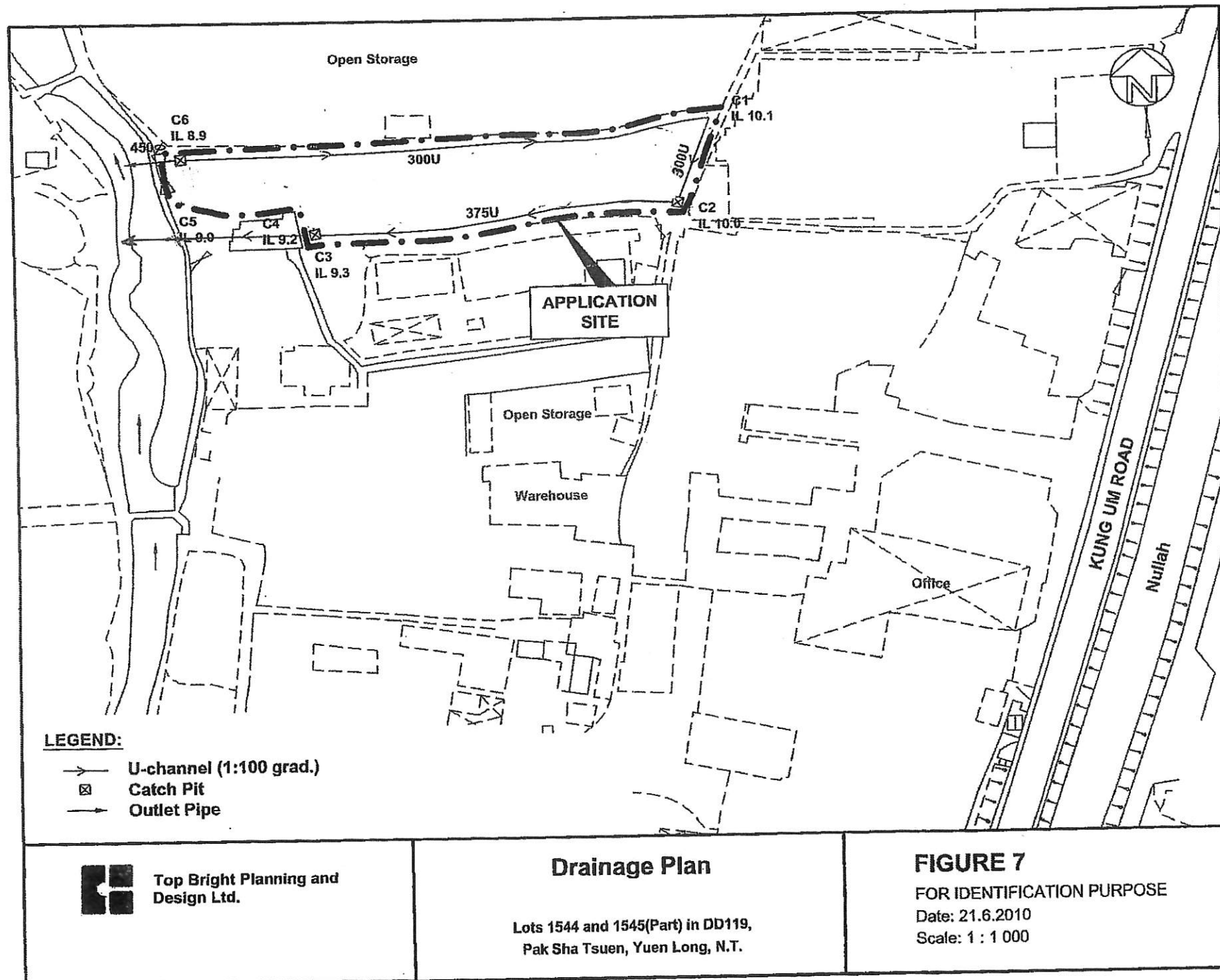
Internal

CTP/TPB (2)

Comments of the Chief Engineer/Mainland North, Drainage Services Department
(CE/MN, DSD)

Please be reminded to maintain all the drainage facilities on site in good condition and ensure that the proposed development would neither obstruct overland flow nor adversely affect existing natural streams, village drains, ditches and the adjacent areas, etc. You are required to rectify the drainage system at your own expense to the satisfaction of the government parties concerned if they are found to be inadequate or ineffective during operation.

Approved Drainage Proposal for the Previous Application (No.: A/YL-TYST/1244)



Appendix 2

Fire Service Installations Proposal and FS251 Certificates

0	22/10/2024	PD SUBMISSION	YK
REV.	DATE	DESCRIPTION	BY

F.S. CONTRACTOR

文滄消防有限公司
Man Leong Fire Services Limited

Address : 1/F, Wing Gar Factory Building,
87 Larch Street, Tai Kok Tsui, Kowloon
Tel : 2712 1522 Fax : 2712 7390

PROJECT

*F.S. INSTALLATION
WORKS AT Lots 1544
(Part), 1545(Part), 1547,
1548, 1574(Part), 1575
(Part), 1576(Part) and
Adjoining Government
Land in DD119, Pak
Sha Tsuen, Yuen
Long.*

DRAWING TITLE

LEGEND, NOTES & ABBREVIATION
FOR FIRE SERVICES INSTALLATION

DRAWING NO
PST-FS-01

DATE	SCALE
10/2024	N.T.S.(A1)

DESIGN	W.H.W	DRAWN	W.H.W
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CHECKED Y.K.WONG	APPROVAL
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Fire Notes:

1. Sufficient emergency lighting shall be provided throughout the entire building in accordance with BS5266-1:2016, BS EN 1838:2013 and the FSD Circular Letter No. 4/2021.

2. Sufficient directional and exit sign shall be provided in accordance with BS EN 5266:Part 1 and FSD Circular letter 5/2008.

3. Sufficient portable hand-operated approved appliance shall be provided and as marked on plans.

4. An Automatic Sprinkler System Supplied by 90m³ Sprinkler Water Tank and Hazard Class OH3 shall be provided to entire building in accordance with LPC BS EN 12845:2015 and the FSD Circular Letter No.5/2020. Sprinkler Water Tank, Sprinkler Pump Room, Sprinkler Inlet and Sprinkler Control Valve Group shall be clearly marked on plans.

5. Goods is classified as category 1. The maximum storage height of free standing of block storage is less than four meter & the maximum storage area shall be 50m² for any single block with no less than 2.4m clearance around the block, as the sprinkler system is ordinary hazard group III.

6. An hose reel system should be supplied by a 2.0m³ F.S Water tank . There shall be sufficient hose reel to ensure that every part of each building can be reached by a length of not more than 30m of hose reel tubing. The F.S water tank, F.S pump room and hose reel shall be clearly marked on plans.

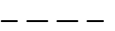
7. Fire alarm system shall be provided throughout the entire building in accordance with BS EN 5839-1:2017 and the FSD Circular Letter 6/2021. One actuation point and one audio warning device to be located at each hose reel point. The actuation point should include facilities for fire pump start and audio/visual warning device initiation.

8. Sprinkler pump (SP1, SP2, SJP) & hose reel pump (FSP-1 & FSP-2) provided at F.S. pump room.

9.Secondary power supply shall be provided.

10.No ventilation / air condition control system provided in building.

LEGEND

	NEW INSTALLED PIPEWORK / EQUIPMENT / CABLE		SPRINKLER INLET
	EXISTING INSTALLED PIPEWORK / EQUIPMENT / CABLE		AIR RELIEF VALVE.
	SPRINKLER HEAD UNDER STRUCTURE SLAB		FLOW SWITCH
	SPRINKLER HEAD (FOR SCHEMATIC)		SPRINKLER CONTROL VALVE.
	F.S. MAIN CONTROL PANEL		BREAKGLASS UNIT
	F.S. / SPR. PUMP CONTROL PANEL		HOSE REEL SET (30M LENGTH)
	CHECK METER POSTION		FIRE ALARM BELL
	PRESSURE SWITCH SET		PRESSURE GAUGE
	GATE VALVE WITH PLUGGED		DAMPED TYPE PRESSURE GAUGE
	PRESSURE SWITCH FOR DROP 0.5 bar SIGNAL		FULL WAY GATE VALVE
	BALL VALVE		FIRE SERVICES PUMP (DUTY/STANDBY)
	LEVEL SWITCHES (HIGH LEVEL CUT-OUT & LOW LEVEL CUT-IN)		SPRINKLER WATER ALARM GONG
	FULL-WAY GATE VALVE. C/W MONITORING SIGNAL		FLASHING LIGHT
	NON-RETURN VALVE.		PRESSURE RELIEF VALVE
	5KG CO2 GAS TYPE FIRE EXTINGUISHER		VORTEX INHIBITOR
	2KG CO2 GAS TYPE FIRE EXTINGUISHER		EMERGENCY LIGHT
	5KG DRY POWDER TYPE FIRE EXTINGUISHER		EXIT SIGN
	9 LITER FOAM TYPE FIRE EXTINGUISHER		
	9 LITER WATER TYPE FIRE EXTINGUISHER		
	2KG DRY POWDER TYPE FIRE EXTINGUISHER		
	SAND BUCKET		

PIPE SCHEDULE	
NOMINAL PIPE SIZE	SPECIFICATION
ø150mm & BELOW (ABOVE-GROUND)	G.I. PIPE TO B.S. 1387, MEDIUM GRADE
ø150mm & BELOW (UNDERGROUND)	G.I. PIPE TO B.S. 1387, HEAVY GRADE
ø200mm & ABOVE (ABOVE-GROUND & UNDERGROUND)	G.I. PIPE TO B.S. 1387, HEAVY GRADE

NOTES:

1. ALL SPRINKLER PIPES SHALL BE 32mm DIA. UNLESS OTHERWISE STATED.

COLOUR CODE		
PIPE(mm)	COLOUR	
ø25	GREEN	
ø32	RED	
ø40	PURPLE	
ø50	YELLOW	
ø65	LIGHT BLUE	
ø80	DARK GREEN	
ø100	LIGHT BROWN	
ø150	DARK BROWN	
ø200	DARK BLUE	

PD SUBMISSION			
0	22/10/2024	PD SUBMISSION	YK
REV.	DATE	DESCRIPTION	BY

F.S. CONTRACTOR

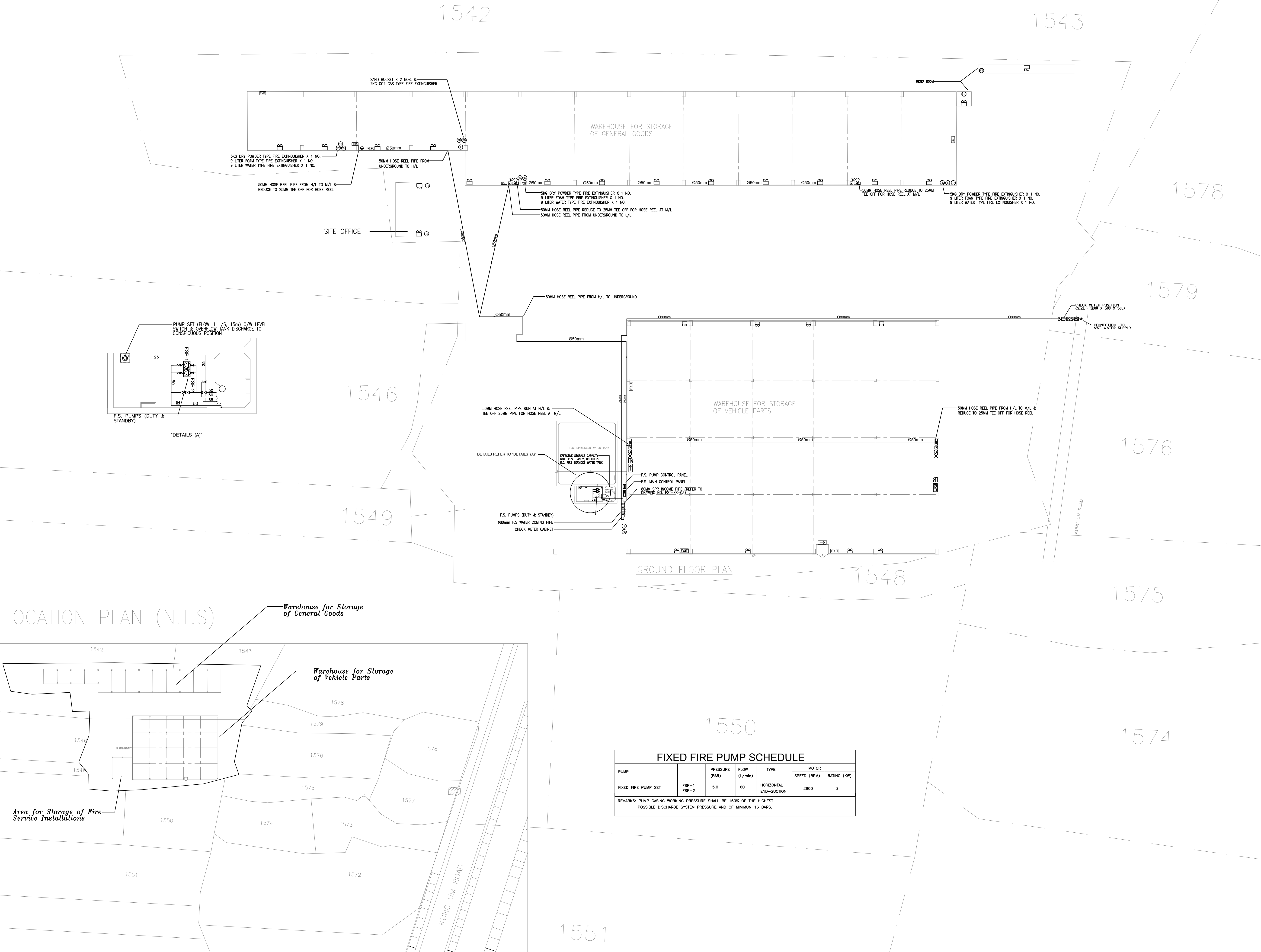
文滙消防有限公司
Man Leong Fire Services Limited
Address : 1/F, Wing Gar Factory Building,
87 Larch Street, Tai Kok Tsui, Kowloon
Tel : 2712 1522 Fax : 2712 7390

PROJECT
**F.S. INSTALLATION
WORKS AT Lots 1544
(Part),1545(Part),1547,
1548,1574(Part),1575
(Part),1576(Part) and
Adjoining Government
Land in DD119 , Pak
Sha Tsuen, Yuen
Long.**

DRAWING TITLE
**HOSE REEL, EMERGENCY LIGHT,
EXIT SIGN, MANUAL FIRE ALARM,
FIRE EXTINGUISHER LAYOUT
PLANT AT G/F**

DRAWING NO
PST-FS-02

DATE	10/2024	SCALE	1:200(A1)
DESIGN	W.H.W	DRAWN	W.H.W
CHECKED	Y.K.WONG	APPROVAL	



FIXED FIRE PUMP SCHEDULE					
PUMP		PRESSURE (BAR)	FLOW (L/min)	TYPE	MOTOR
					SPEED (RPM) RATING (KW)
FIXED FIRE PUMP SET	FSP-1 FSP-2	5.0	60	HORIZONTAL END-SUCTION	2900 3
REMARKS: PUMP CASING WORKING PRESSURE SHALL BE 150% OF THE HIGHEST POSSIBLE DISCHARGE SYSTEM PRESSURE AND OF MINIMUM 16 BARS.					



PD SUBMISSION			
REV.	DATE	DESCRIPTION	BY
0	22/10/2024	PD SUBMISSION	YK

F.S. CONTRACTOR

文滄消防有限公司
Man Leong Fire Services Limited

Address : 1/F, Wing Gar Factory Building,
87 Larch Street, Tai Kok Tsui, Kowloon

Tel : 2712 1522 Fax : 2712 7390

PROJECT

*F.S. INSTALLATION
WORKS AT Lots 1544
(Part), 1545 (Part), 1547,
1548, 1574 (Part), 1575
(Part), 1576 (Part) and
Adjoining Government
Land in DD119 , Pak
Sha Tsuen, Yuen
Long.*

DRAWING TITLE
<p>SPRINKLER SYSTEM LAYOUT</p> <p>PLANT AT G/F</p>

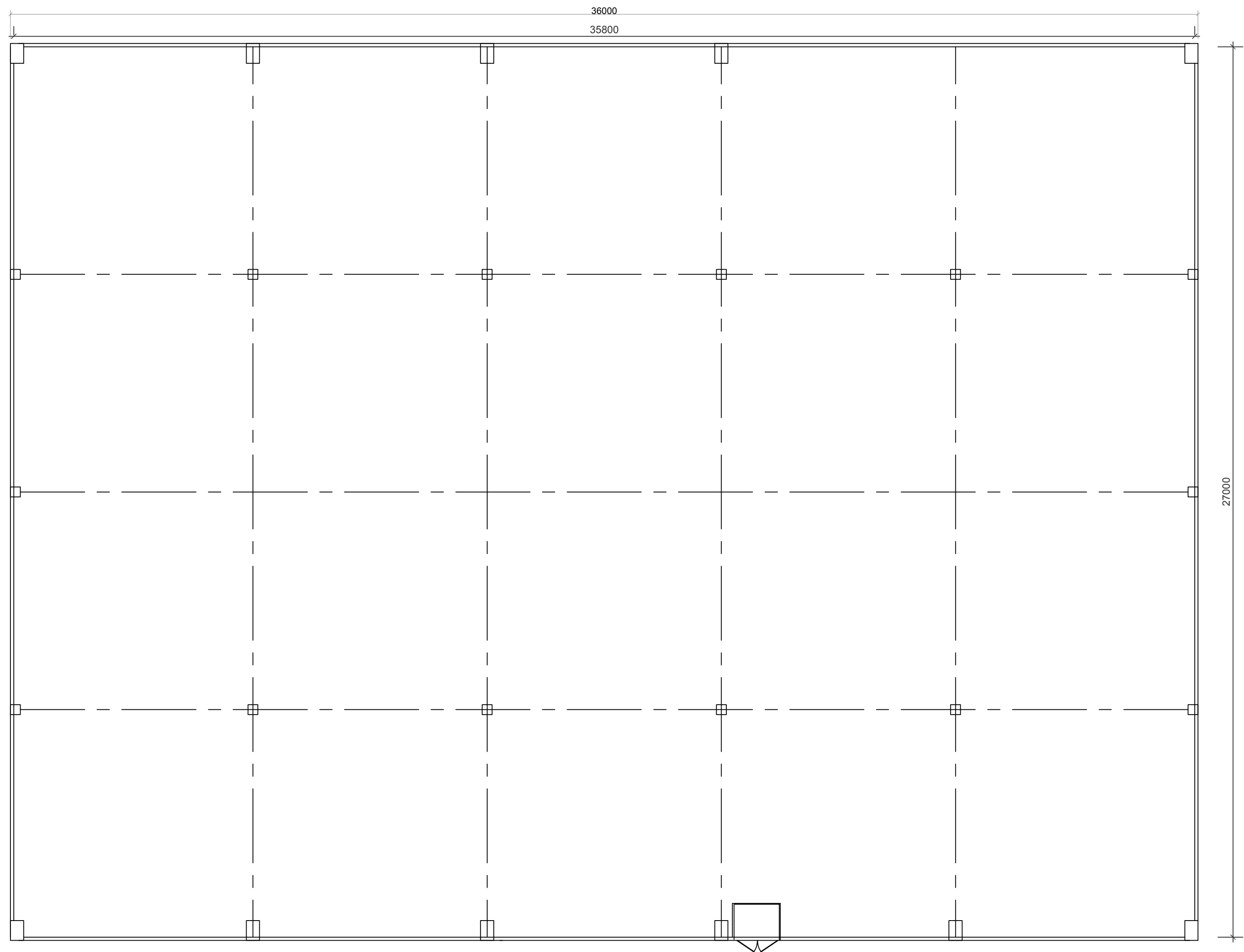
DRAWING NO
PST-FS-03

DATE	SCALE
10/2024	1:200(A1)

DESIGN	W.H.W	DRAWN	W.H.W
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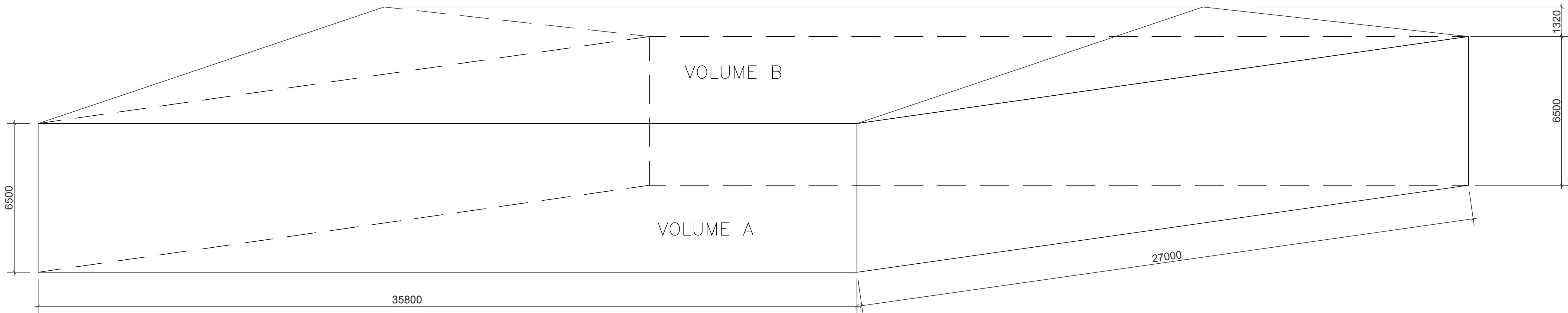
CHECKED Y.K.WONG	APPROVAL
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WAREHOUSE FOR STORAGE OF VEHICLE PARTS



FLOOR AREA = 35.8 X 27.0
= 966.6 m²

GROUND FLOOR PLAN



TOTAL VOLUME OF FIRE COMPARTMENT = VOLUME A (CUBOID) + VOLUME B (TRIANGULAR PRISM)
= (35.8 X 27.0 X 6.5) + [(27.0 X 1.32)/2 X 35.8]
= 6282.9 + 637.956
= 6920.856 M³

A1

0	22/10	TO PD SUBMISSION	I.L.
REV.	DATE	DESCRIPTION	BY

F.S. CONTRACTOR
文滙消防有限公司
Man Leong Fire Services Limited
1/F., Wing Gar Factory Building,
No. 87 Larch Street, Tai Kok Tsui, Kowloon.
Tel : 2712 1522 Fax : 2712 7390

PROJECT
***F.S. INSTALLATION
WORKS AT Lots 1544
(Part),1545(Part),1547,
1548,1574(Part),1575
(Part),1576(Part) and
Adjoining Government
Land in DD119 , Pak
Sha Tsuen, Yuen
Long.***

DRAWING TITLE

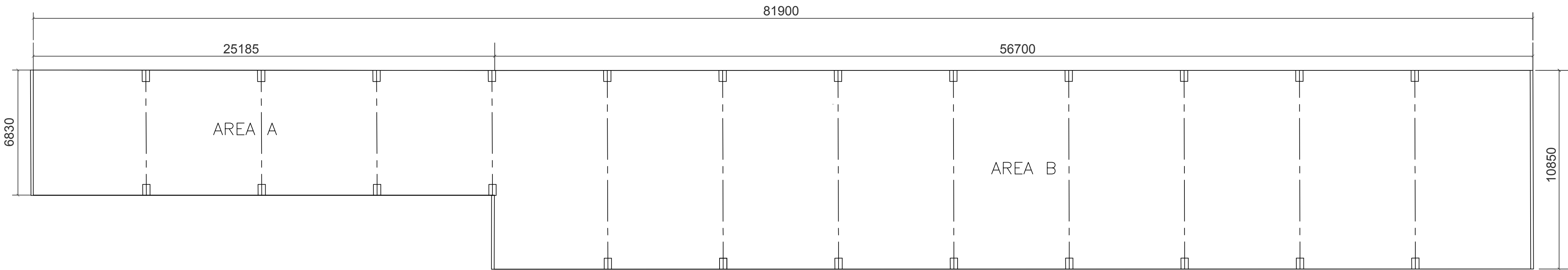
AREA & VOLUME CALCULATION (2 OF 2)

DRAWING NO
PST-FS-05

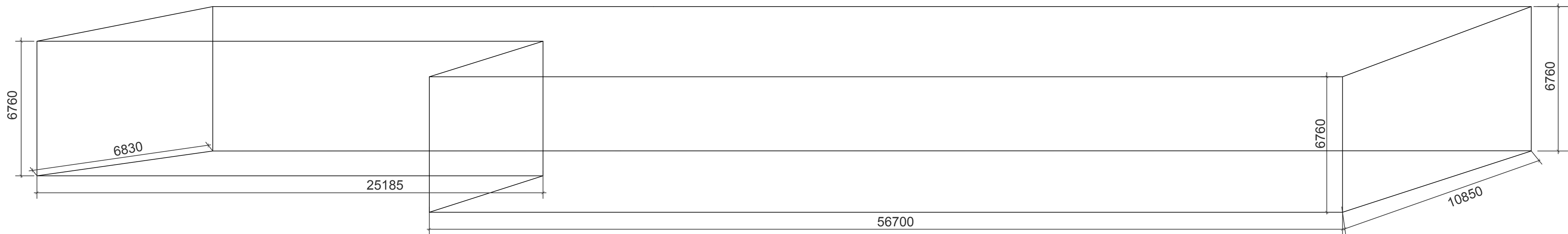
FILE NAME

DATE	SCALE	REV.
10/2024	1:100(A1)	
DESIGN	DRAWN	
I.L.	I.L.	
CHECKED	APPROVAL	

WAREHOUSE FOR STORAGE OF GENERAL GOODS



G/F FLOOR PLAN



STEREO VIEW

THE AREA = AREA A + AREA B
= (25.185 X 6.83) + (56.7 X 10.85)
= 172.1 + 615.2
= 787.3m²

THE VOLUME = AREA X HEIGHT
= 787.3 X 6.76
= 5323m³

A1

NOTES:

0	22/10/2024	PD SUBMISSION	YK
REV.	DATE	DESCRIPTION	BY

F.S. CONTRACTOR

文 澆 消 防 有 限 公 司
Man Leong Fire Services Limited
Address : 1/F, Wing Gar Factory Building,
87 Larch Street, Tai Kok Tsui, Kowloon
Tel : 2712 1522 Fax : 2712 7390

PROJECT

*F.S. INSTALLATION
WORKS AT Lots 1544
(Part),1545(Part),1547,
1548,1574(Part),1575
(Part),1576(Part) and
Adjoining Government
Land in DD119 , Pak
Sha Tsuen, Yuen
Long.*

DRAWING TITLE

AREA & VOLUME CALCULATION (1 OF 2)

DRAWING NO

PST-FS-04

DATE	10/2024	SCALE	N.T.S.(A1)
DESIGN	W.H.W	DRAWN	W.H.W
CHECKED	Y.K.WONG	APPROVAL	

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

消防(裝置及設備)規例

(Regulation 9(1))

(第九條(1)款)

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

FSD Ref.: _____

消防處檔號

A 9579580

Name of Client :

顧客姓名

溢昌(中國)發展有限公司

Name of Building :

樓宇名稱

Lots 1544 (Part), 1545 (Part), 1547, 1548, 1574 (Part), 1575 (Part), 1576 (Part) and
Adjoining Government Land in DD119

Street No./Town Lot :

門牌號數/市地段

Street/Road/Estate Name :

街道/屋苑名稱

Pak Sha Tsuen

Block :

座

District :

分區

Yuen Long

Area :

地區

☐ HK

香港

☐ K

九龍

☒ NT

新界

Type of Building 樓宇類型: ☐ Industrial 工業☐ Commercial 商業☐ Domestic 住宅☐ Composite 綜合☐ Licensed premises 持牌處所☐ Institutional 社團Part 1 Annual Inspection ONLY
第一部 只適用於年檢事項

In accordance with Regulation 8(b) of Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)	Next Due Date 下次到期日(DD/MM/YY)
24	2kg Dry Powder F.E. x 2 nos.	G/F	Conforms with FSD requirements	28/09/2024	27/09/2025
24	5kg Dry Powder F.E. x 3 nos.		Conforms with FSD requirements	28/09/2024	27/09/2025
24	9L Foam type F.E. x 2 nos.		Conforms with FSD requirements	28/09/2024	27/09/2025
24	2kg Co2 Gas F.E. x 1 no.		Conforms with FSD requirements	28/09/2024	27/09/2025
24	5kg Co2 Gas F.E. x 4 nos.		Conforms with FSD requirements	28/09/2024	27/09/2025
25	Sand Bucket x 3 nos.		Conforms with FSD requirements	28/09/2024	27/09/2025
			Defect see part 3		

Part 2 第二部 Installation / Modification / Repair / Inspection work 裝置/改裝/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)
			NIL		

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述
24	Portable Fire Extinguisher	G/F	5kg Dry Powder F.E. expired x 1 no.	Need replace / Hydraulic Pressure Test
24	Portable Fire Extinguisher	G/F	9L W/Co2 F.E. expired x 3 nos.	Need replace / Hydraulic Pressure Test
24	Portable Fire Extinguisher	G/F	9L Foam type F.E. expired x 3 nos.	Need replace / Hydraulic Pressure Test
25	Portable Hand-operated Approved Appliance	G/F	Sand Bucket damaged x 2 nos.	Need replace

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈的最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

**如證書涉及年檢事項, 應張貼於大廈
或處所當眼處以供消防處人員查核**

This certificate should be displayed at prominent location of the building or premises
for FSD's inspection if any annual maintenance work is involved.

Authorized Signature :

授權人簽署

Name :

姓名

Ng Hau Lin

FSD/RC No. :

消防處註冊號碼

RC1/371, RC2/530, RC3/840

Company Name :

公司名稱

Man Leong Fire Services Limited

Telephone :

聯絡電話

27121522 /

Date :

日期

28/09/2024

For FSD
use only:

Inspected

Key-in

Verified

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

FSD Ref.:
消防處檔號

消防 (裝置及設備) 規例

(Regulation 9(1))

(第九條(1)款)

A 9608087

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

Name of Client:

顧客姓名

溢昌(中國)發展有限公司

Name of Building:

樓宇名稱

Lots 1544 (Part), 1545 (Part), 1547, 1548, 1574 (Part), 1575 (Part), 1576 (Part) and

Adjoining Government Land in DD119

Street No./Town Lot:

門牌號數/市地段

Street/Road/Estate Name:

街道/屋苑名稱

Pak Sha Tsuen

Block:

座

District:

分區

Yuen Long

Area:

地區

☐ HK

香港

☐ K

九龍

☒ NT

新界

Type of Building 樓宇類型: ☐ Industrial 工業 ☐ Commercial 商業 ☐ Domestic 住宅 ☐ Composite 綜合 ☐ Licensed premises 持牌處所 ☐ Institutional 社團Part 1 Annual Inspection ONLY
第一部 只適用於年檢事項

In accordance with Regulation 8(b) of Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)	Next Due Date 下次到期日(DD/MM/YY)
			NIL		

Part 2 第二部 Installation / Modification / Repair / Inspection work 裝置/改裝/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)
24	Portable Fire Extinguisher	G/F	Replace 5kg Dry Powder F.E. x 1 no.	Conforms with FSD requirements	04/11/2024
24	Portable Fire Extinguisher	G/F	Replace 9L W/Co2 F.E. x 3 nos.	Conforms with FSD requirements	04/11/2024
24	Portable Fire Extinguisher	G/F	Replace 9L Foam type F.E. x 3 nos.	Conforms with FSD requirements	04/11/2024
25	Portable Hand-operated Approved Appliance	G/F	Replace Sand Bucket x 2 nos.	Conforms with FSD requirements	04/11/2024
			(Defect FS251 No.: A9579580)		

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述
			NIL	

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈的最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

**如證書涉及年檢事項, 應張貼於大廈
或處所當眼處以供消防處人員查核**

This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

Authorized
Signature:
授權人簽署

Name:

姓名

Ng Hau Lin

FSD/RC No.:

消防處註冊號碼

RC1/371, RC2/530, RC3/840

Company Name:

公司名稱

Man Leong Fire Services Limited

Telephone:

聯絡電話

271215227

Date:

日期

04/11/2024

For FSD
use only:

Inspected

Key-in

Verified

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

消防(裝置及設備)規例

(Regulation 9(1))

(第九條(1)款)

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

A 9579760

FSD Ref.: _____
消防處檔號

Name of Client:

顧客姓名

溢昌(中國)發展有限公司

Name of Building:

樓宇名稱

Lots 1544 (Part), 1545 (Part), 1547, 1548, 1574 (Part), 1575 (Part), 1576 (Part) and
Adjoining Government Land in DD119

Street No./Town Lot:

門牌號數/市地段

Street/Road/Estate Name:

街道/屋苑名稱

Pak Sha Tsuen

Block:

座

District:

分區

Yuen Long

Area:

地區

☐ HK

香港

☐ K

九龍

☒ NT

新界

Type of Building 樓宇類型: ☐ Industrial 工業☐ Commercial 商業☐ Domestic 住宅☐ Composite 綜合☐ Licensed premises 持牌處所☐ Institutional 社團Part 1 Annual Inspection ONLY
第一部 只適用於年檢事項

In accordance with Regulation 8(b) of Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)	Next Due Date 下次到期日(DD/MM/YY)
11	Emergency Lighting	G/F	Conforms with FSD requirements	28/09/2024	27/09/2025
12	Exit Sign		Conforms with FSD requirements	28/09/2024	27/09/2025
13	Fire Alarm System (MFA)		Conforms with FSD requirements	28/09/2024	27/09/2025
16	FH / HR System		Conforms with FSD requirements	28/09/2024	27/09/2025
28	Sprinkler System		Conforms with FSD requirements	28/09/2024	27/09/2025
			Defect see part 3		

Part 2 第二部 Installation / Modification / Repair / Inspection work 裝置/改裝/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)
			NIL		

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述
11	Emergency Lighting	G/F	Emergency Light Damage x 6 nos.	Need repair / replace
12	Exit Sign	G/F	Exit Sign Damage x 1 no.	Need repair / replace
13	Fire Alarm System (MFA)	G/F近花酒總控制閥	10" Fire Alarm Bell Damage x 1 no.	Need replace
13	Fire Alarm System (MFA)	Point 1045(消防直線故障); Point 1058(掙手)	Monitor Module Damage x 2 nos.	Need replace
13	Fire Alarm System (MFA)	G/F Panel	12V 44AH Battery老化 x 1 對	Need replace
28	Sprinkler System	G/F: Point 1025(花酒2號泵入水閘掣)	Monitor Module Damage x 1 nos.	Need replace

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈的最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

如證書涉及年檢事項, 應張貼於大廈或處所當眼處以供消防處人員查核

This certificate should be displayed at prominent location of the building or premises for FSD's inspection if any annual maintenance work is involved.

Authorized Signature:
授權人簽署

Name:

姓名

Ng Hau Lin

FSD/RC No.:

消防處註冊號碼

RC1/371, RC2/530, RC3/840

Company Name:

公司名稱

Man Leong Fire Services Limited

Telephone:

聯絡電話

27121522 /

Date:

日期

28/09/2024

For FSD use only:

Inspected

Key-in

Verified

FIRE SERVICE (INSTALLATIONS AND EQUIPMENT) REGULATIONS

FSD Ref.:
消防處檔號

消防(裝置及設備)規例

(Regulation 9(1))

(第九條(1)款)

A 9608301

CERTIFICATE OF FIRE SERVICE INSTALLATION AND EQUIPMENT

消防裝置及設備證書

Name of Client:

顧客姓名

溢昌(中國)發展有限公司

Name of Building:

樓宇名稱

Lots 1544 (Part), 1545 (Part), 1547, 1548, 1574 (Part), 1575 (Part), 1576 (Part) and

Adjoining Government Land in DD119

Street No./Town Lot:

門牌號數/市地段

Street/Road/Estate Name:

街道/屋苑名稱

Pak Sha Tsuen

Block:

座

District:

分區

Yuen Long

Area:

地區

☐ HK

香港

☐ K

九龍

☒ NT

新界

Type of Building 樓宇類型:

☐ Industrial 工業☐ Commercial 商業☐ Domestic 住宅☐ Composite 綜合☐ Licensed premises 持牌處所☐ Institutional 社團Part 1 Annual Inspection ONLY
第一部 只適用於年檢事項

In accordance with Regulation 8(b) of Fire Service (Installations and Equipment) Regulations, the owner of any fire service installation or equipment which is installed in any premises shall have such fire service installation or equipment inspected by a registered contractor at least once in every 12 months. 根據消防(裝置及設備)規例第八條(b)款, 擁有裝置在任何處所內的任何消防裝置或設備的人, 須每12個月由一名註冊承辦商檢查該等消防裝置或設備至少一次。

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)	Next Due Date 下次到期日(DD/MM/YY)
			NIL		

Part 2 第二部 Installation / Modification / Repair / Inspection work 裝置/改裝/修理/檢查工作

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Nature of Work Carried out 完成之工作內容	Comment on Condition 狀況評述	Completion Date 完成日期(DD/MM/YY)
11	Emergency Lighting	G/F	Replace Emergency Light x 6 nos.	Conforms with FSD requirements	04/11/2024
12	Exit Sign	G/F	Replace Exit Sign x 1 no.	Conforms with FSD requirements	04/11/2024
13	Fire Alarm System (MFA)	G/F近花酒總控制點	Replace 10" Fire Alarm Bell x 1 no.	Conforms with FSD requirements	04/11/2024
13	Fire Alarm System (MFA)	Point 1045(消防直梯故障); Point 1058(抄手)	Replace Monitor Module x 2 nos.	Conforms with FSD requirements	04/11/2024
13	Fire Alarm System (MFA)	G/F Panel	Replace 12V 44AH Battery x 1 pair	Conforms with FSD requirements	04/11/2024
28	Sprinkler System	G/F:Point 1025(花酒2號泵入水閘掣)	Replace Monitor Module x 1 no.	Conforms with FSD requirements	04/11/2024
(Defect FS251 No.: A9579760)					

Part 3 第三部 Defects 損壞事項

Code 編碼 (1-35)	Type of FSI 裝置類型	Location(s) 位置	Outstanding Defects 未修缺點	Comment on Defects 缺點評述
			NIL	

I/We hereby certify that the above installations/equipment have been tested and found to be in efficient working order in accordance with the Codes of Practice for Minimum Fire Service Installations and Equipment and Inspection, Testing and Maintenance of Installations and Equipment published from time to time by the Director of Fire Services. Defects are listed in Part 3.

本人藉此證明以上之消防裝置及設備經試驗, 證明性能良好, 符合消防處處長不時公佈的最低限度之消防裝置及設備守則與裝置及設備之檢查測試及保養守則的規格, 損壞事項列於第三部。

**如證書涉及年檢事項, 應張貼於大廈
或處所當眼處以供消防處人員查核**

This certificate should be displayed at prominent location of the building or premises
for FSD's inspection if any annual maintenance work is involved.

Authorized
Signature:
授權人簽署Name:
姓名

Ng Hau Lin

FSD/RC No.:
消防處註冊號碼

RC1/371, RC2/530, RC3/840

Company Name:
公司名稱

Man Leong Fire Services Limited

Telephone:
聯絡電話

27121522 /

Date:
日期

04/11/2024

For FSD
use only:

Inspected

Key-in

Verified